

SCHEDULE "A" LEGAL DESCRIPTION

ALL THAT CERTAIN PLOT, PIECE OR PARCEL OF LAND SITUATE LYING AND BEING IN THE TOWN OF ORANGETOWN, ROCKLAND COUNTY, STATE OF NEW YORK, WHICH LAND ARE MORE PARTICULARLY DESIGNATED AS LOT #1 ON THE SUBDIVISION PLAN ENTITLED, "SITE PLAN, BRADLEY INDUSTRIAL PARK, SECTION III", MADE BY ADLER, CARUSO & YOUNG P.C., DATED 3/17/82 AND FILED IN THE ROCKLAND COUNTY CLERK'S OFFICE ON 8/31/82 IN BOOK 99 OF MAPS AT PAGE 20 AS MAP #5413, BEING MORE PARTICULARLY BOUNDED AND DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT IN THE EASTERLY LINE OF WESTERN HIGHWAY AS IT PRESENTLY EXISTS, WHERE THE SAME IS INTERSECTED BY THE DIVISION LINE BETWEEN THE PREMISES HEREIN ON THE NORTH AND LANDS NOW OR FORMERLY OF EBERHARD ON THE SOUTH, AND RUNNING THENCE:

- 1) ALONG THE NORTHERLY LINE OF SAID LANDS NOW OR FORMERLY OF EBERHARD, SOUTH 48°28'10" EAST, 622.12 FEET TO A POINT, THENCE
- 2) ALONG THE DIVISION LINE BETWEEN LOTS ONE AND TWO ON SAID MAP, NORTH 60°25'20" EAST, 323.28 FEET TO A POINT IN THE SOUTHERLY LINE OF LANDS NOW OR FORMERLY OF CONRAL, THENCE
- 3) NORTH 26°49'40" WEST, 5.44 FEET TO A POINT, THENCE
- 4) ALONG SAID LANDS, NORTH 28°34'40" WEST, 550.94 FEET TO A POINT IN THE LINE BETWEEN THE TOWNS OF ORANGETOWN & CLARKSTOWN, THENCE
- 5) ALONG SAID LINE, SOUTH 77°29'30" WEST, 466.72 FEET TO A POINT IN THE EASTERLY LINE OF WESTERN HIGHWAY, THENCE ALONG THE EASTERLY LINE OF WESTERN HIGHWAY, THE FOLLOWING TWO COURSES AND DISTANCES:
- 6) SOUTH 10°54'20" EAST, 0.66 FEET TO A COUNTY HIGHWAY MONUMENT, THENCE
- 7) SOUTH 11°05'50" EAST, 125.07 FEET TO THE POINT OR PLACE OF BEGINNING.

EXCEPTING THEREFROM A STRIP OF LAND, 9.375 FEET IN WIDTH ALONG THE EASTERLY LINE OF WESTERN HIGHWAY, DEDICATED TO THE COUNTY OF ROCKLAND ON MAY 31, 1985 BY DEED RECORDED IN LIBER 95 OF LAND RECORDED PAGE 89, ALSO BEING DESCRIBED AS:

ALL THAT CERTAIN PLOT, PIECE OR PARCEL OF LAND SITUATE LYING AND BEING IN THE TOWN OF ORANGETOWN, ROCKLAND COUNTY, STATE OF NEW YORK, WHICH LAND ARE MORE PARTICULARLY DESIGNATED AS LOT #1 ON THE SUBDIVISION PLAN ENTITLED, "SITE PLAN, BRADLEY INDUSTRIAL PARK, SECTION III", MADE BY ADLER, CARUSO & YOUNG P.C., DATED 3/17/82 AND FILED IN THE ROCKLAND COUNTY CLERK'S OFFICE ON 8/31/82 IN BOOK 99 OF MAPS AT PAGE 20 AS MAP #5413, BEING MORE PARTICULARLY BOUNDED AND DESCRIBED AS FOLLOWS:

BEGINNING AT POINT IN THE EASTERLY LINE OF WESTERN HIGHWAY (A.K.A. COUNTY HIGHWAY ROUTE 15 - VARIABLE WIDTH - PUBLIC RIGHT OF WAY) WHERE THE SAME IS INTERSECTED BY THE CLARKSTOWN/ORANGETOWN TOWN LINE AND THE DIVISION LINE BETWEEN PREMISES BEING DESCRIBED HEREIN AND SECTION 65.13, BLOCK 2, LOT 14, LANDS NOW OR FORMERLY OF O'SULLIVAN TREE CARE INC, THENCE:

- 1) ALONG THE CLARKSTOWN/ORANGETOWN TOWN LINE, AND ALONG THE LINE OF LOT 14, PASSING OVER A ROCKLAND COUNTY "TOWNLINE" MONUMENT, NORTH 77 DEGREES - 50 SECONDS EAST, A DISTANCE OF 481.87 FEET TO A POINT ON THE WESTERLY LINE OF LANDS OF CONSOLIDATED RAIL CORP. (F.K.A. WEST SHORE RAILROAD), THENCE THE FOLLOWING THREE (3) COURSES ALONG THE LANDS OF CONSOLIDATED RAIL CORP.:
- 2) SOUTH 26 DEGREES - 26 MINUTES - 07 SECONDS EAST, A DISTANCE OF 8.58 FEET TO A POINT, THENCE;
- 3) SOUTH 29 DEGREES - 28 MINUTES - 18 SECONDS EAST, A DISTANCE OF 541.50 FEET TO A POINT, THENCE;
- 4) SOUTH 26 DEGREES - 57 MINUTES - 39 SECONDS EAST, A DISTANCE OF 4.98 FEET TO A POINT AND CORNER TO SECTION 65.13, BLOCK 1, LOT 1, LANDS NOW OR FORMERLY OF AG-OE 877 WESTERN HIGHWAY OWNER, L.L.C., THENCE;
- 5) ALONG THE LINE OF LOT 1, SOUTH 60 DEGREES - 24 MINUTES - 40 SECONDS WEST, A DISTANCE OF 326.06 FEET TO A POINT, THENCE;
- 6) ALONG THE LINE OF LOT 8, NORTH 48 DEGREES - 28 MINUTES - 50 SECONDS WEST, A DISTANCE OF 609.35 FEET TO A POINT IN THE EASTERLY LINE OF WESTERN HIGHWAY, THENCE THE FOLLOWING TWO (2) COURSES ALONG THE EASTERLY LINE OF WESTERN HIGHWAY:
- 7) NORTH 01 DEGREES - 11 MINUTES - 30 SECONDS WEST, A DISTANCE OF 134.52 FEET TO A POINT, THENCE;
- 8) NORTH 10 DEGREES - 55 MINUTES - 00 SECONDS WEST, A DISTANCE OF 1.72 FEET TO THE POINT AND PLACE OF BEGINNING.

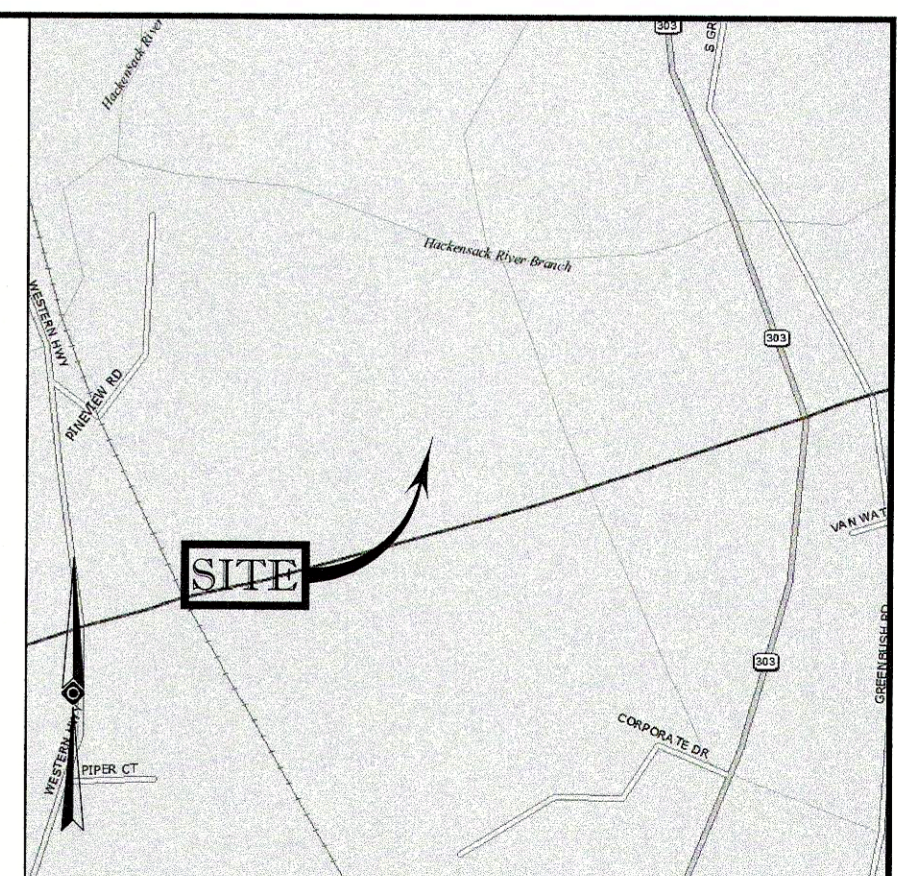
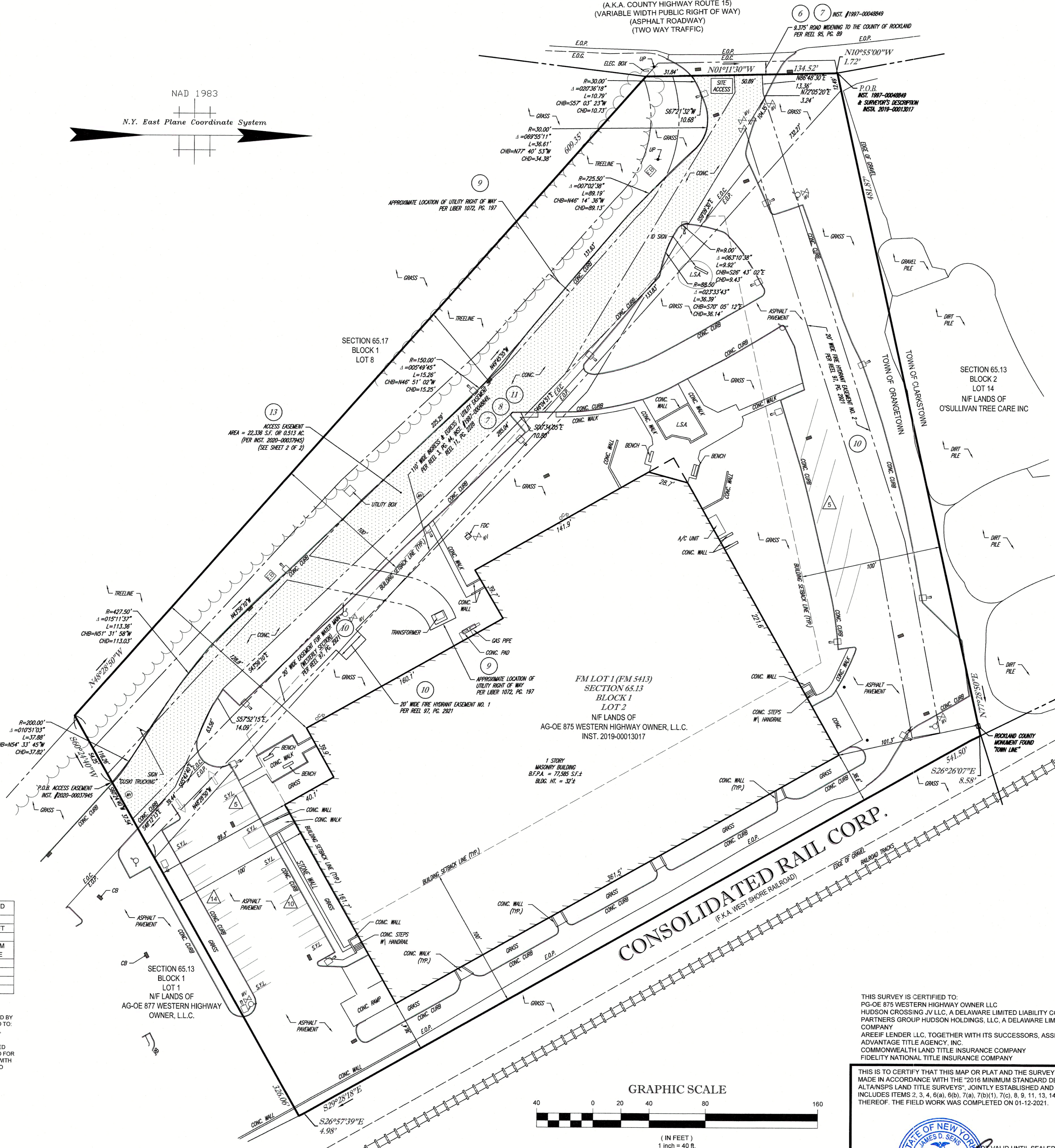
TOGETHER WITH THE BENEFITS AND SUBJECT TO THE BURDENS OF A NON-EXCLUSIVE EASEMENT AS SET FORTH IN SECTION 2.01 IN INSTRUMENT NO. 2020-00037945, SEE SHEET 2 OF 2.

THE LAND SHOWN IN THIS SURVEY IS THE SAME AS THAT DESCRIBED IN A TITLE REPORT PREPARED BY ADVANTAGE TITLE AGENCY, INC., TITLE NO. 20-CRO-56812, WITH AN EFFECTIVE DATE OF 11/20/2020.

NAD 1983
N.Y. East Plane Coordinate System

WESTERN HIGHWAY

(A.K.A. COUNTY HIGHWAY ROUTE 15)
(VARIABLE WIDTH PUBLIC RIGHT OF WAY)
(ASPHALT ROADWAY)
(TWO WAY TRAFFIC)



- NOTES:
1. PROPERTY KNOWN AS LOT 2, BLOCK 1, SECTION 65.13, AS SHOWN ON THE OFFICIAL TAX ASSESSOR'S MAP OF THE TOWN OF ORANGETOWN, ROCKLAND COUNTY, NEW YORK.
 2. AREA = 271,867 S.F. OR 6.241 AC.
 3. ABOVE GROUND UTILITY STRUCTURES, WHERE VISIBLE, SHOWN HEREON, BEFORE ANY SITE EVALUATION, PREPARATION OF DESIGN DOCUMENTS OR EXCAVATION IS TO BEGIN, THE LOCATION OF UNDERGROUND UTILITIES SHOULD BE VERIFIED BY THE PROPER UTILITY COMPANIES.
 4. THIS PLAN IS BASED ON DATA ACQUIRED BY A FIELD SURVEY PREPARED BY CONTROL POINT ASSOCIATES, INC., AND OTHER REFERENCE MATERIAL AS LISTED HEREON.
 5. THIS SURVEY IS PREPARED WITH REFERENCE TO A TITLE REPORT PREPARED BY ADVANTAGE TITLE AGENCY, INC., TITLE NO. 20-CRO-56812, WITH AN EFFECTIVE DATE OF 11/20/2020, WHERE THE FOLLOWING SURVEY RELATED EXCEPTIONS APPEAR IN SCHEDULE B, SECTION II:
 6. DEED FOR ROAD WIDENING PURPOSES RECORDED IN REEL 95 PAGE 89, AS RE-RECORDED IN REEL 337 PAGE 83, SHOWN HEREON.
 7. ACCESS AND UTILITY EASEMENT SET FORTH IN THE DEED RECORDED IN INSTRUMENT NO. 1997-00048849, SHOWN HEREON.
 8. ACCESS AND UTILITY EASEMENT SET FORTH IN THE DEED RECORDED IN REEL 3 PAGE 44, SHOWN HEREON.
 9. GRANT OF RIGHT OF WAY RECORDED IN LIBER 1072 PAGE 197, SHOWN HEREON.
 10. WATER EASEMENT RECORDED IN REEL 97 PAGE 2921, SHOWN HEREON.
 11. ACCESS AND UTILITY EASEMENT RECORDED IN REEL 11 PAGE 2228, SHOWN HEREON.
 12. EASEMENTS SET FORTH IN THE DEED RECORDED IN LIBER 1036 PAGE 768, THE LOCATION CANNOT BE DETERMINED FROM THE RECORD DOCUMENT.
 13. RECIPROCAL EASEMENT AND OPERATION AGREEMENT RECORDED IN INSTRUMENT NO. 2020-00037945, SHOWN HEREON, (SEE SHEET 2)
 14. BY GRAPHIC PLOTTING ONLY PROPERTY IS LOCATED IN FLOOD ZONE X (OTHER AREAS) (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN), PER REF. #2.
 15. THE EXISTENCE OF UNDERGROUND STORAGE TANKS, IF ANY, WAS NOT KNOWN AT THE TIME OF THE FIELD SURVEY.
 16. THE OFFSETS SHOWN ARE NOT TO BE USED FOR THE CONSTRUCTION OF ANY STRUCTURE, FENCE, PERMANENT ADDITION, ETC.
 17. PLANIMETRIC FEATURES COMPILED BY CONTROL POINT ASSOCIATES, INC. UTILIZING CONVENTIONAL GROUND SURVEYING TECHNIQUES COUPLED WITH PHOTOGRAMMETRIC METHODS FROM UAV PHOTOGRAPHY (UAV PHOTOGRAPHY PERFORMED BY CONTROL POINT ASSOCIATES, INC. ON FEBRUARY 22, 2019 WITH A PHOTO SCALE OF 1.7m GSD).
 18. PHOTOGRAMMETRIC MAPPING HAS BEEN COMPILED IN ACCORDANCE WITH PROCEDURES THAT HAVE BEEN DEMONSTRATED TO COMPLY WITH THE AMERICAN SOCIETY FOR PHOTOGRAMMETRY AND REMOTE SENSING (ASPRS) CLASS 1 STANDARD FOR A HORIZONTAL MAPPING SCALE OF 1"=50'. FEATURES ARE LIMITED TO THOSE VISIBLE AT TIME OF THE PHOTOGRAPHY AND ARE SUBJECT TO FIELD VERIFICATION BY THE END USER.
 19. THE PROPERTY HAS DIRECT VEHICULAR AND PEDESTRIAN ACCESS TO WESTERN HIGHWAY, ALSO KNOWN AS COUNTY HIGHWAY ROUTE 15, PUBLIC RIGHT OF WAY.
 20. THE SURVEYOR IS UNAWARE OF ANY ENCROACHMENTS (A) BY IMPROVEMENTS OR PROJECTIONS LOCATED ON THE PROPERTY OUTSIDE THE PROPERTY LINES, (B) BY IMPROVEMENTS OR PROJECTIONS LOCATED ON ANY ADJACENT PROPERTY ONTO THE PROPERTY AND (C) BY IMPROVEMENTS OR PROJECTIONS ON THE PROPERTY UPON ANY ADJACENT PROPERTY, EASEMENT BURDENING THE PROPERTY, RIGHTS OF WAY OR SETBACK LINES, EXCEPT AS SHOWN ON THE SURVEY.
 21. THERE ARE 34 PAINTED PARKING SPACES ON SITE.
 22. THERE IS NO EVIDENCE OF RECENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS OBSERVED IN THE PROCESS OF CONDUCTING THE FIELD WORK.
 23. NO PROPOSED CHANGES IN STREET RIGHT OF WAY LINES HAVE BEEN MADE AVAILABLE TO THE SURVEYOR BY THE CONTROLLING JURISDICTION.
 24. THERE WERE NO DELINEATED WETLAND FLAGS OBSERVED ON THE SUBJECT PREMISES AT THE TIME OF SURVEY.
 25. PROFESSIONAL LIABILITY INSURANCE HAS BEEN OBTAINED BY THE SURVEYOR THAT EXCEEDS THE AMOUNT REQUIRED BY LAW.

- REFERENCES:
1. THE OFFICIAL TAX ASSESSOR'S MAP OF THE TOWN OF ORANGETOWN, ROCKLAND COUNTY, NEW YORK, SHEET #85.18.
 2. MAP ENTITLED "NATIONAL FLOOD INSURANCE PROGRAM, FIRM, FLOOD INSURANCE RATE MAP, FOR ROCKLAND COUNTY, NEW YORK, (ALL JURISDICTIONS), PANEL 179 OF 207", MAP SUFFIX G, MAP NUMBER 36087C01179G, EFFECTIVE DATE: MARCH 3, 2014.
 3. MAP ENTITLED "ALTA/NSPS LAND TITLE SURVEY FOR PONTIAC HOLDING LLC, 875 WESTERN HIGHWAY, BLAUVELT, TOWN OF ORANGETOWN, ROCKLAND COUNTY, NEW YORK", PREPARED BY ROBERT R. RAINEFELD, P.L.S., DATED NOVEMBER 28, 2014.
 4. MAP ENTITLED, "SITE PLAN, BRADLEY INDUSTRIAL PARK, SECT. III, BLAUVELT, TOWN OF ORANGETOWN, ROCKLAND COUNTY, NEW YORK", FILED AUGUST 31, 1982, AS MAP NO. 5413 IN THE ROCKLAND COUNTY CLERK'S OFFICE.

LEGEND

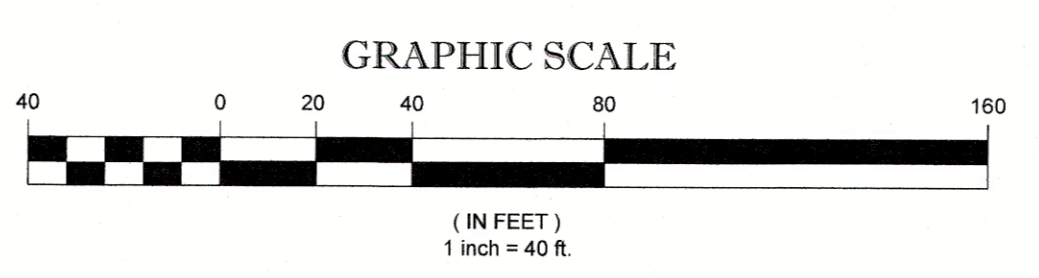
OH	OVERHEAD WIRES
HYD	HYDRANT
GV	GAS VALVE
GM	GAS METER
EM	ELECTRIC METER
EB	ELECTRIC BOX
FD	FIRE DEPARTMENT CONNECTION
SMH	SANITARY/SEWER MANHOLE
FOMH	FIBER OPTIC MANHOLE
MH	UNKNOWN MANHOLE
C/O	CLEAN OUT
SL	STREET LIGHT
S	SIGN
B	BOLLARD
MW	MONITORING WELL
MWOC	MONITORING WELL ON CONC.
AL	AREA LIGHT
LA	AREA LAMP
CB	CATCH BASIN OR INLET
PC	PARKING SPACE COUNT
E.O.C.	EDGE OF CONC.
E.O.P.	EDGE OF PAVEMENT
L.S.A.	LANDSCAPED AREA
M.C.	METAL COVER
(TP)	TYPICAL
S.Y.L.	SOLID YELLOW LINE
S.B.L.	SOLID BLUE LINE
D.Y.L.	DOUBLE YELLOW LINE
HT	HEIGHT
BLDG	BUILDING
B.F.P.A.	BUILDING FOOTPRINT AREA
FM	FILED MAP
RE	TITLE REPORT EXCEPTION
LO	OFFSET OF STRUCTURE AT GROUND LEVEL RELATIVE TO PROPERTY LINE
D	DEED DIMENSION

ZONING INFORMATION
"LO" - LABORATORY OFFICE DISTRICT

ITEMS	REQUIRED
FRONT SETBACK	100 FT.
ONE/BOTH SIDE SETBACK	100/200 FT
REAR SETBACK	100 FT.
MAX BUILDING HEIGHT	37'1" FROM LOT LINE
MIN LOT AREA	2 AC.
MIN LOT WIDTH	300 FT.
MIN FRONTAGE	150 FT.
MAX F.A.R.	0.40

SOURCE: ZONING REPORT ENTITLED "ZONING AND SITE REQUIREMENTS REPORT FOR 875 WESTERN HIGHWAY, ORANGETOWN, NEW YORK" PREPARED BY NATIONWIDE ZONING SERVICES, LLC, CERTIFIED TO: PARTNERS GROUP USA, INC. DATE: JANUARY 22, 2021. REPORT NO: 1697323

NOTE: ZONING CRITERIA IDENTIFIED HEREON ARE BASED UPON PRELIMINARY RESEARCH AND PRESENTED FOR REFERENCE ONLY. SAME MUST BE CONFIRMED WITH LOCAL ZONING OFFICIAL AND LEGAL COUNSEL TO CONFIRM VALIDITY.



UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S SEAL IS A VIOLATION OF SECTION 7209, SUB-DIVISION 2, OF THE NEW YORK STATE EDUCATION LAW.

ONLY COPIES FROM THE ORIGINAL OF THIS SURVEY MARKED WITH AN ORIGINAL OF THE LAND SURVEYOR'S SEAL SHALL BE CONSIDERED TO BE VALID TRUE COPIES.

THIS SURVEY IS CERTIFIED TO:
PG-OE 875 WESTERN HIGHWAY OWNER LLC
HUDSON CROSSING JV LLC, A DELAWARE LIMITED LIABILITY COMPANY
PARTNERS GROUP HUDSON HOLDINGS, LLC, A DELAWARE LIMITED LIABILITY COMPANY
AREEF LENDER LLC, TOGETHER WITH ITS SUCCESSORS, ASSIGNS AND AFFILIATES
ADVANTAGE TITLE AGENCY, INC.
COMMONWEALTH LAND TITLE INSURANCE COMPANY
FIDELITY NATIONAL TITLE INSURANCE COMPANY

THIS IS TO CERTIFY THAT THIS MAP OR PLAN AND THE SURVEY ON WHICH IT WAS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 2, 3, 4, 6(a), 6(b), 7(a), 7(b)(1), 7(c), 8, 9, 11, 13, 14, 16, 17, 18, 19 & 20 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON 01-12-2021.

JAMES P. SENS
NEW YORK PROFESSIONAL LAND SURVEYOR #650846-1
EMAIL: JSSENS@CPASURVEY.COM

DATE: 03-18-2021

FIELD DATE	01-12-2021	ALTA/NSPS LAND TITLE SURVEY	
FIELD BOOK NO.	20-34	PARTNERS GROUP HUDSON HOLDINGS, LLC	
FIELD BOOK PG.	53	SECTION 65.13, BLOCK 1, LOT 2	
FIELD CREW	E.M.	875 WESTERN HIGHWAY - "BUILDING #11"	
DRAWN	A.L.D./M.T.B.	HAMLET OF BLAUVELT, TOWN OF ORANGETOWN, ROCKLAND COUNTY, STATE OF NEW YORK	
REVIEWED	K.V.G.	APPROVED	D.P.S.
DATE	01-21-2021	SCALE	1"=40'
FILE NO.	01-190059-03	DWG. NO.	1 OF 2

CONTROL POINT ASSOCIATES, INC. (C.P.A.) - ALL RIGHTS RESERVED. THIS SURVEY MAP IS THE PROPERTY OF CONTROL POINT ASSOCIATES, INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF CONTROL POINT ASSOCIATES, INC. © 2021

WESTERN HIGHWAY

(VARIABLE WIDTH PUBLIC R.O.W.)

Line #	Length	Direction
L1	50.89	N01° 11' 30"W
L2	13.36	N86° 48' 30"E
L3	3.24	N72° 09' 20"E
L4	104.35	S59° 09' 30"E
L5	133.83	S46° 04' 51"E
L6	10.80	S00° 34' 05"E
L7	285.04	S43° 56' 10"E
L8	14.09	S57° 52' 15"E
L9	63.56	S65° 42' 40"E
L10	36.44	S48° 12' 13"E
L11	76.19	S48° 12' 13"E
L12	106.61	S40° 47' 56"E
L13	261.70	S43° 43' 20"E
L14	99.17	S42° 00' 45"E
L15	24.43	S57° 49' 03"E
L16	38.72	S55° 39' 21"W
L17	120.42	N40° 08' 37"W
L18	9.22	S13° 31' 29"W
L19	64.76	S09° 01' 19"W
L20	141.01	S12° 36' 02"E
L21	131.29	S23° 14' 40"E
L22	218.41	S20° 14' 18"E

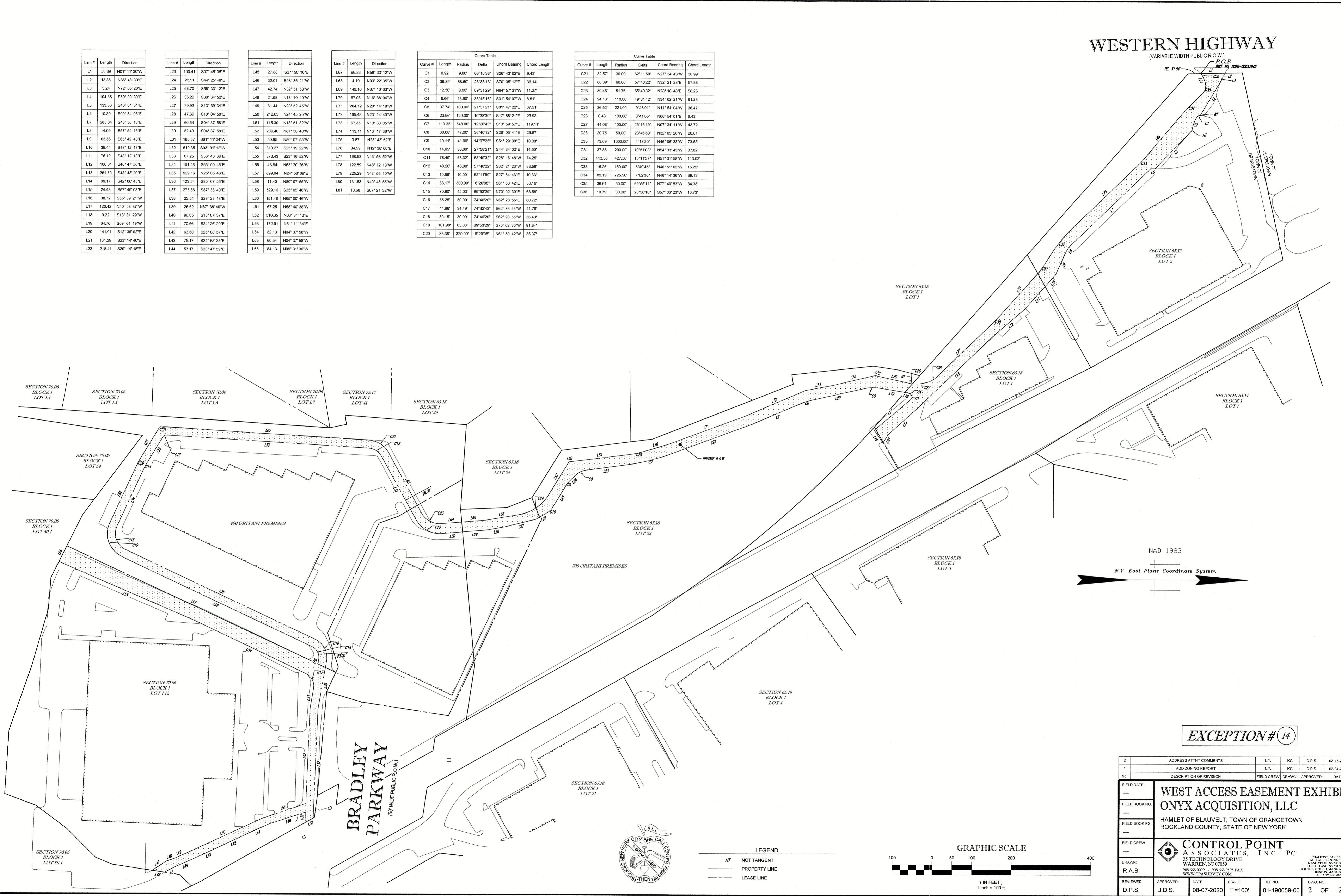
Line #	Length	Direction
L23	100.41	S07° 45' 35"E
L24	22.91	S44° 25' 48"E
L25	68.70	S58° 33' 12"E
L26	35.22	S30° 34' 52"E
L27	79.92	S13° 59' 34"E
L28	47.30	S10° 04' 58"E
L29	60.54	S04° 37' 58"E
L30	52.43	S04° 37' 58"E
L31	180.57	S61° 11' 34"W
L32	510.35	S03° 31' 12"W
L33	67.25	S58° 40' 38"E
L34	151.48	S65° 00' 46"E
L35	529.16	N25° 06' 46"E
L36	123.54	S80° 07' 55"E
L37	273.86	S87° 38' 40"E
L38	23.54	S29° 28' 18"E
L39	26.62	N87° 38' 40"W
L40	96.05	S18° 07' 37"E
L41	70.66	S24° 28' 29"E
L42	63.50	S25° 08' 57"E
L43	75.17	S24° 55' 35"E
L44	53.17	S23° 47' 59"E

Line #	Length	Direction
L45	27.88	S27° 50' 16"E
L46	32.04	S08° 36' 21"W
L47	42.74	N32° 51' 53"W
L48	21.98	N18° 40' 40"W
L49	31.44	N23° 52' 45"W
L50	212.03	N24° 45' 25"W
L51	115.30	N18° 51' 32"W
L52	239.40	N87° 38' 40"W
L53	50.95	N80° 07' 55"W
L54	310.27	S25° 19' 22"W
L55	373.43	S23° 16' 52"W
L56	43.94	N63° 20' 26"W
L57	899.04	N24° 58' 09"E
L58	11.40	N80° 07' 55"W
L59	529.16	S25° 06' 46"W
L60	151.48	N65° 00' 46"W
L61	67.25	N58° 40' 38"W
L62	510.35	N03° 31' 12"E
L63	172.91	N61° 11' 34"E
L64	52.13	N04° 37' 58"W
L65	80.54	N04° 37' 58"W
L66	84.13	N09° 31' 30"W

Line #	Length	Direction
L67	96.83	N58° 33' 12"W
L68	4.19	N03° 22' 35"W
L69	149.10	N07° 10' 03"W
L70	67.03	N18° 38' 04"W
L71	204.12	N20° 14' 18"W
L72	165.48	N23° 14' 40"W
L73	67.35	N10° 33' 05"W
L74	113.11	N13° 17' 36"W
L75	3.87	N23° 43' 52"E
L76	84.59	N12° 38' 00"E
L77	165.53	N43° 58' 52"W
L78	122.59	N48° 12' 13"W
L79	225.29	N43° 58' 10"W
L80	131.63	N49° 45' 55"W
L81	10.68	S67° 21' 32"W

Curve Table					
Curve #	Length	Radius	Delta	Chord Bearing	Chord Length
C1	9.92	9.00	63°10'38"	S26° 43' 02"E	9.43
C2	36.39	88.50	23°33'43"	S00° 00' 12"E	36.14
C3	12.50	8.00	89°31'29"	N84° 57' 51"W	11.27
C4	8.66	13.50	38°45'16"	S31° 54' 07"W	8.51
C5	37.74	100.00	21°37'21"	S01° 47' 22"E	37.51
C6	23.96	129.00	10°38'39"	S17° 55' 21"E	23.93
C7	119.35	548.00	12°28'43"	S13° 59' 57"E	119.11
C8	30.08	47.00	38°40'12"	S28° 05' 41"E	29.57
C9	10.11	41.00	14°07'25"	S51° 29' 30"E	10.08
C10	14.65	30.00	27°58'21"	S44° 34' 02"E	14.50
C11	78.49	68.32	65°49'32"	S28° 16' 48"W	74.25
C12	40.26	40.00	57°40'22"	S32° 21' 23"W	38.58
C13	10.86	10.00	62°11'50"	S27° 34' 43"E	10.33
C14	33.17	300.00	6°20'08"	S61° 50' 42"E	33.16
C15	70.60	45.00	89°53'29"	N70° 02' 30"E	63.58
C16	65.25	50.00	74°48'20"	N62° 28' 55"E	60.72
C17	44.88	34.49	74°32'43"	S62° 35' 44"W	41.78
C18	39.15	30.00	74°48'20"	S62° 28' 55"W	36.43
C19	101.98	65.00	89°53'29"	S70° 02' 30"W	91.84
C20	35.38	320.00	6°20'08"	N61° 50' 42"W	35.37

Curve Table					
Curve #	Length	Radius	Delta	Chord Bearing	Chord Length
C21	32.57	30.00	62°11'50"	N27° 34' 43"W	30.99
C22	60.39	60.00	57°40'22"	N32° 21' 23"E	57.86
C23	59.46	51.76	65°49'32"	N28° 16' 48"E	56.25
C24	94.13	110.00	49°01'42"	N34° 02' 21"W	91.28
C25	36.52	221.00	9°28'01"	N11° 54' 04"W	36.47
C26	6.43	100.00	3°41'05"	N06° 54' 01"E	6.43
C27	44.08	100.00	25°15'19"	N07° 34' 11"W	43.72
C28	20.75	50.00	23°48'59"	N32° 05' 20"W	20.61
C29	73.69	1000.00	4°13'20"	N46° 05' 33"W	73.66
C30	37.88	200.00	10°51'03"	N54° 33' 45"W	37.82
C31	113.36	427.50	15°11'37"	N51° 31' 58"W	113.03
C32	15.26	150.00	5°49'45"	N46° 51' 02"W	15.25
C33	89.19	725.50	7°02'38"	N46° 14' 36"W	89.13
C34	36.61	30.00	89°55'11"	N77° 40' 53"W	34.38
C35	10.79	30.00	20°36'18"	S57° 03' 23"W	10.73



EXCEPTION # 14

2	ADDRESS ATTY COMMENTS	N/A	KC	D.P.S.	03-15-2021
1	ADD ZONING REPORT	N/A	KC	D.P.S.	03-04-2021
No.	DESCRIPTION OF REVISION	FIELD CREW	DRAWN	APPROVED	DATE
FIELD DATE	---				
FIELD BOOK NO.	---				
FIELD BOOK PG.	---				
FIELD CREW	---				
DRAWN	R.A.B.				
REVIEWED	J.D.S.	DATE	08-07-2020	SCALE	1"=100'
D.P.S.	J.D.S.	FILE NO.	01-190059-00	DWG. NO.	2 OF 2

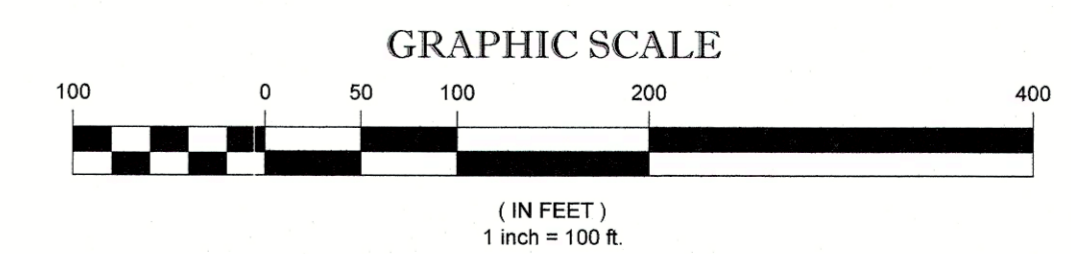
WEST ACCESS EASEMENT EXHIBIT
ONYX ACQUISITION, LLC
 HAMLET OF BLAUVELT, TOWN OF ORANGETOWN
 ROCKLAND COUNTY, STATE OF NEW YORK

CONTROL POINT ASSOCIATES, INC. PC
 35 TECHNOLOGY DRIVE
 WARREN, NJ 07059
 908.668.0099 - 908.668.9595 FAX
 WWW.CPASURVEY.COM

CONTROL POINT ASSOCIATES, INC. PC - ALL RIGHTS RESERVED. THIS IS A PRELIMINARY PLAN. THE PURPOSE OF THIS PLAN IS TO SHOW THE LOCATION OF THE PROPOSED EASEMENT. THE LOCATION OF THE EASEMENT IS SUBJECT TO THE WRITTEN PERMISSION OF CONTROL POINT ASSOCIATES, INC. PC.



LEGEND
 - - - - - NOT TANGENT
 - - - - - PROPERTY LINE
 - - - - - LEASE LINE



WESTERN HIGHWAY

(A.K.A. COUNTY HIGHWAY ROUTE 15)
(VARIABLE WIDTH PUBLIC RIGHT OF WAY)
(ASPHALT ROADWAY)
(TWO WAY TRAFFIC)

53 HUDSON AVENUE
NYACK, NEW YORK 10960

www.DCAK-MSA.com
Email: info@DCAK-MSA.com

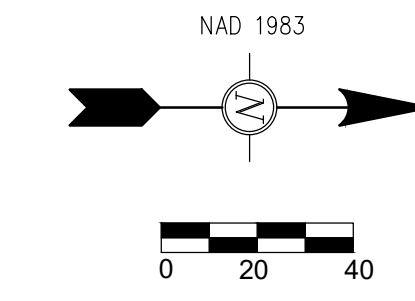
Tel 845-353-1300 Fax 845-353-1614

© 2021 DCAK-MSA ARCHITECTURE AND ENGINEERING RETAINS FULL COPYRIGHT ON INTELLECTUAL PROPERTY CONTAINED HEREIN, WHICH SHALL NOT BE REPRODUCED OR USED FOR FURTHER DEVELOPMENT OF THE PROJECT UNLESS SPECIFICALLY AUTHORIZED IN WRITING BY DCAK-MSA ARCHITECTURE AND ENGINEERING. THIS DRAWING SHALL NOT BE CONSIDERED AN AUTHORIZED COPY ISSUED FROM THE ARCHITECT UNLESS THE ORIGINAL SEAL AND ORIGINAL SIGNATURE ARE AFFIXED.

Project Name:
Asahi Refining

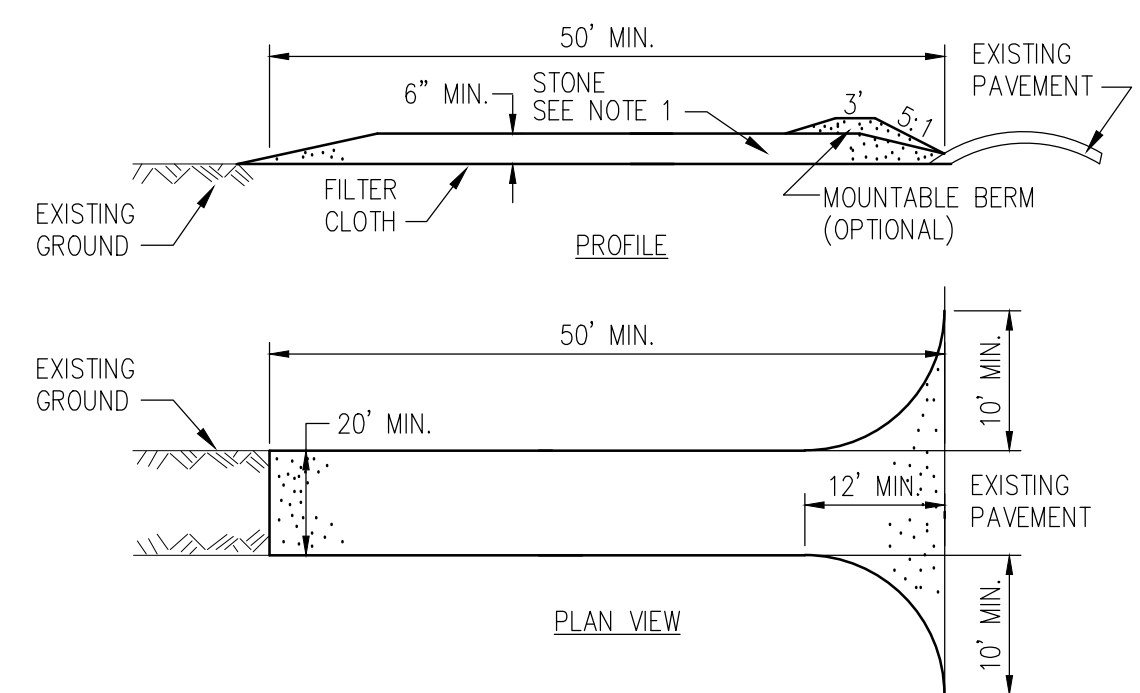
Project Address:
875 Western Highway
Blauvelt, NY 10913

Consultants



STABILIZED CONSTRUCTION SPECIFICATIONS

- STONE SIZE - USE 3-6" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
- LENGTH - NOT LESS THAN 50 FEET
- THICKNESS - NOT LESS THAN TWELVE (12) INCHES.
- WIDTH - TWELVE (20) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS.
- FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
- SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
- MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY, ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACTED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
- WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON A AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
- PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.



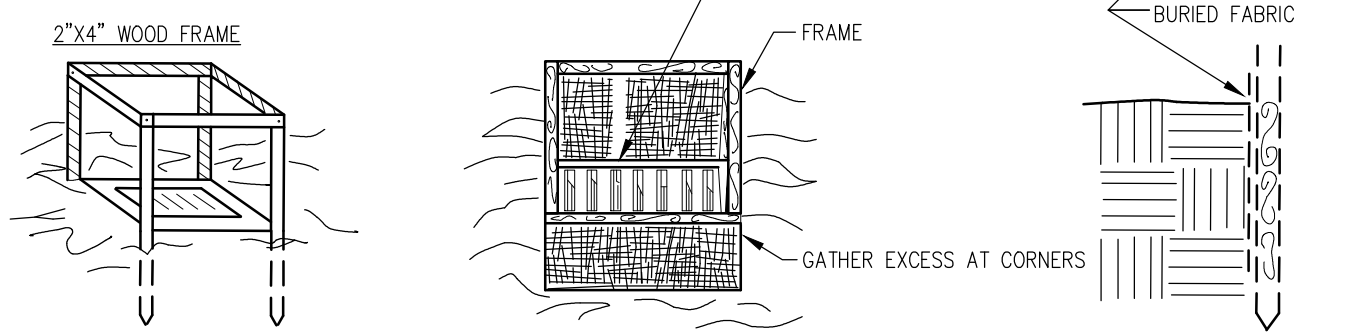
STABILIZED CONSTRUCTION ENTRANCE
N.T.S.

CONSTRUCTION SPECIFICATIONS

- FILTER FABRIC SHALL HAVE AN EOS OF 40-85. BURLAP MAY BE USED FOR SHORT TERM APPLICATIONS.
- CUT FABRIC FROM A CONTINUOUS ROLL TO ELIMINATE JOINTS. IF JOINTS ARE NEEDED THEY WILL BE OVERLAPPED TO THE NEXT STAKE.
- STAKE MATERIALS WILL BE STANDARD 2" x 4" WOOD OR EQUIVALENT. METAL WITH A MINIMUM LENGTH OF 3 FEET.
- SPACE STAKES EVENLY AROUND INLET 3 FEET APART AND DRIVE A MINIMUM 18 INCHES DEEP. SPANS GREATER THAN 3 FEET MAY BE BRIDGED WITH THE USE OF WIRE MESH BEHIND THE FILTER FABRIC FOR SUPPORT.
- FABRIC SHALL BE EMBEDDED 1 FOOT MINIMUM BELOW GROUND AND BACKFILLED. IT SHALL BE SECURELY FASTENED TO THE STAKES AND FRAME.
- A 2" x 4" WOOD FRAME SHALL BE COMPLETED AROUND THE CREST OF THE FABRIC FOR OVER FLOW STABILITY.

MAXIMUM DRAINAGE AREA 1 ACRE

* TO BE USED TO PROTECT PROPOSED BASIN INLETS UNTIL SITE STABILIZATION IS COMPLETE.



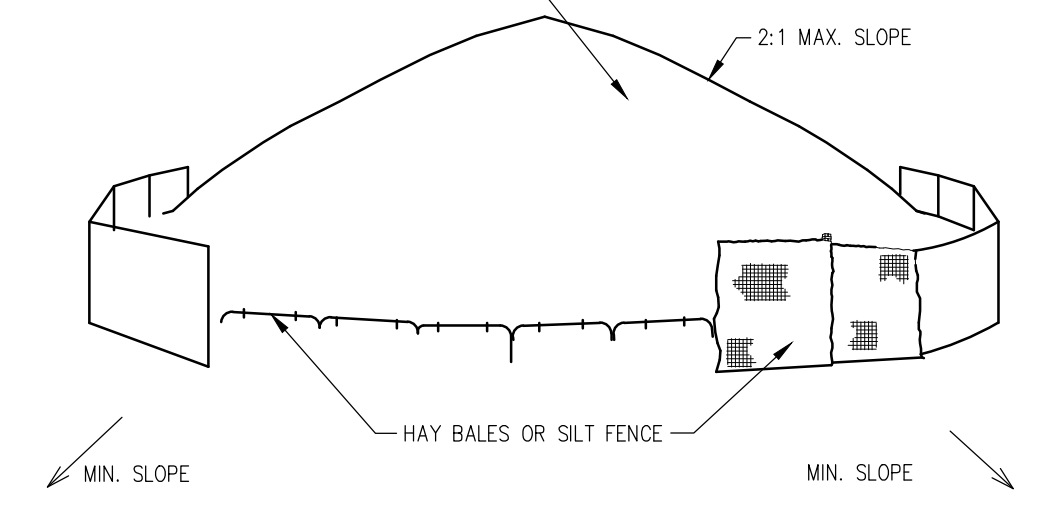
FILTER FABRIC DROP INLET PROTECTION*
N.T.S.

ALTERNATE BID 3
REMOVE EXISTING ASPHALT PAVEMENT AND SUBBASE TO ACHIEVE ELEVATION REQUIRED FOR PAVEMENT SECTION. TYPICAL OF HATCH PATTERN IN THIS AREA

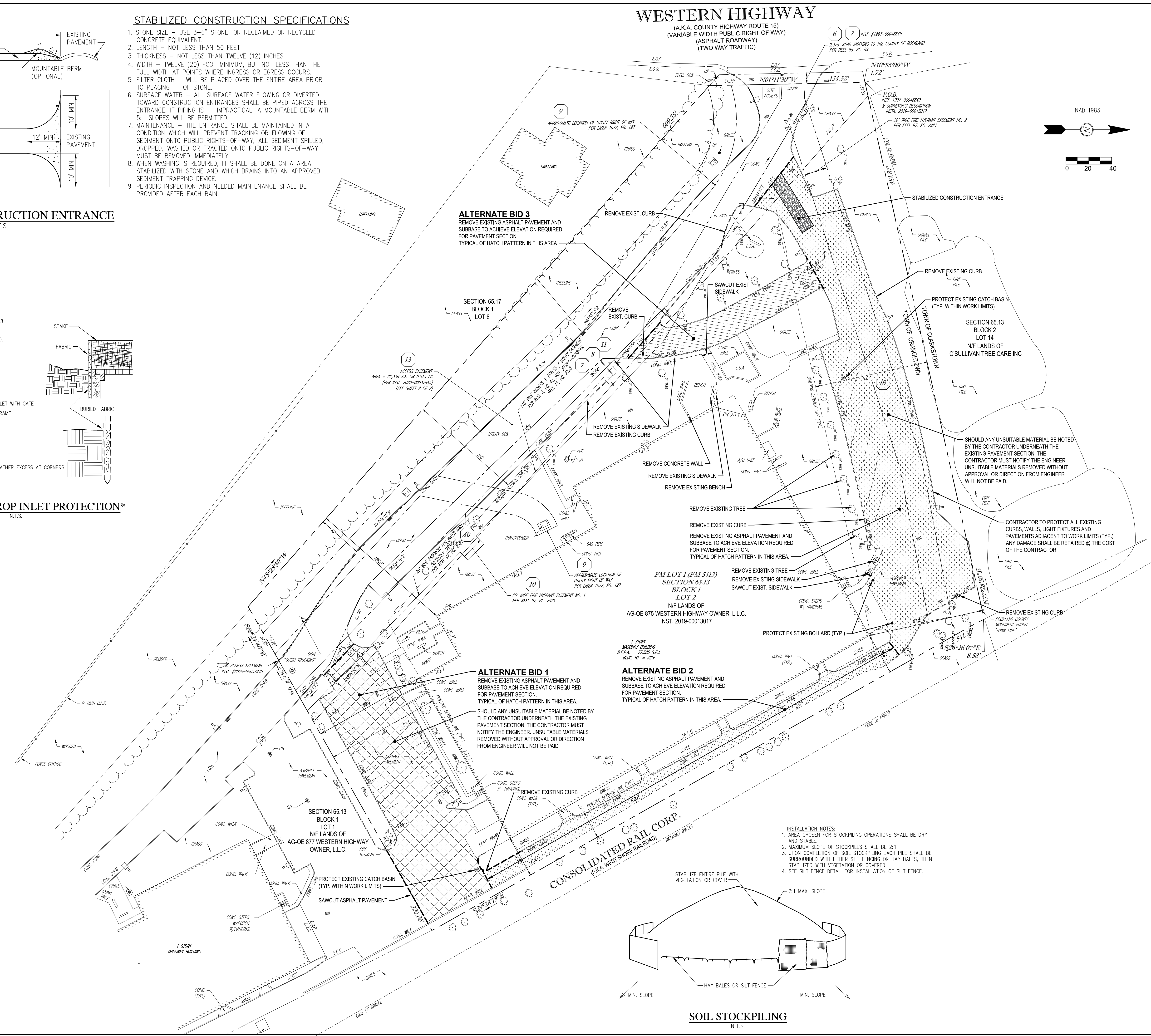
ALTERNATE BID 1
REMOVE EXISTING ASPHALT PAVEMENT AND SUBBASE TO ACHIEVE ELEVATION REQUIRED FOR PAVEMENT SECTION. TYPICAL OF HATCH PATTERN IN THIS AREA.
SHOULD ANY UNSUITABLE MATERIAL BE NOTED BY THE CONTRACTOR UNDERNEATH THE EXISTING PAVEMENT SECTION, THE CONTRACTOR MUST NOTIFY THE ENGINEER. UNSUITABLE MATERIALS REMOVED WITHOUT APPROVAL OR DIRECTION FROM ENGINEER WILL NOT BE PAID.

ALTERNATE BID 2
REMOVE EXISTING ASPHALT PAVEMENT AND SUBBASE TO ACHIEVE ELEVATION REQUIRED FOR PAVEMENT SECTION. TYPICAL OF HATCH PATTERN IN THIS AREA.

- INSTALLATION NOTES:**
- AREA CHOSEN FOR STOCKPILING OPERATIONS SHALL BE DRY AND STABLE.
 - MAXIMUM SLOPE OF STOCKPILES SHALL BE 2:1.
 - UPON COMPLETION OF SOIL STOCKPILING EACH PILE SHALL BE SURROUNDED WITH EITHER SILT FENCING OR HAY BALES, THEN STABILIZED WITH VEGETATION OR COVERED.
 - SEE SILT FENCE DETAIL FOR INSTALLATION OF SILT FENCE.



SOIL STOCKPILING
N.T.S.



Seal:

REVISIONS			
No.	Date	Description	Responsible Party
-	03/28/22	FOR PERMITS	YM

Drawing:
REMOVALS PLAN

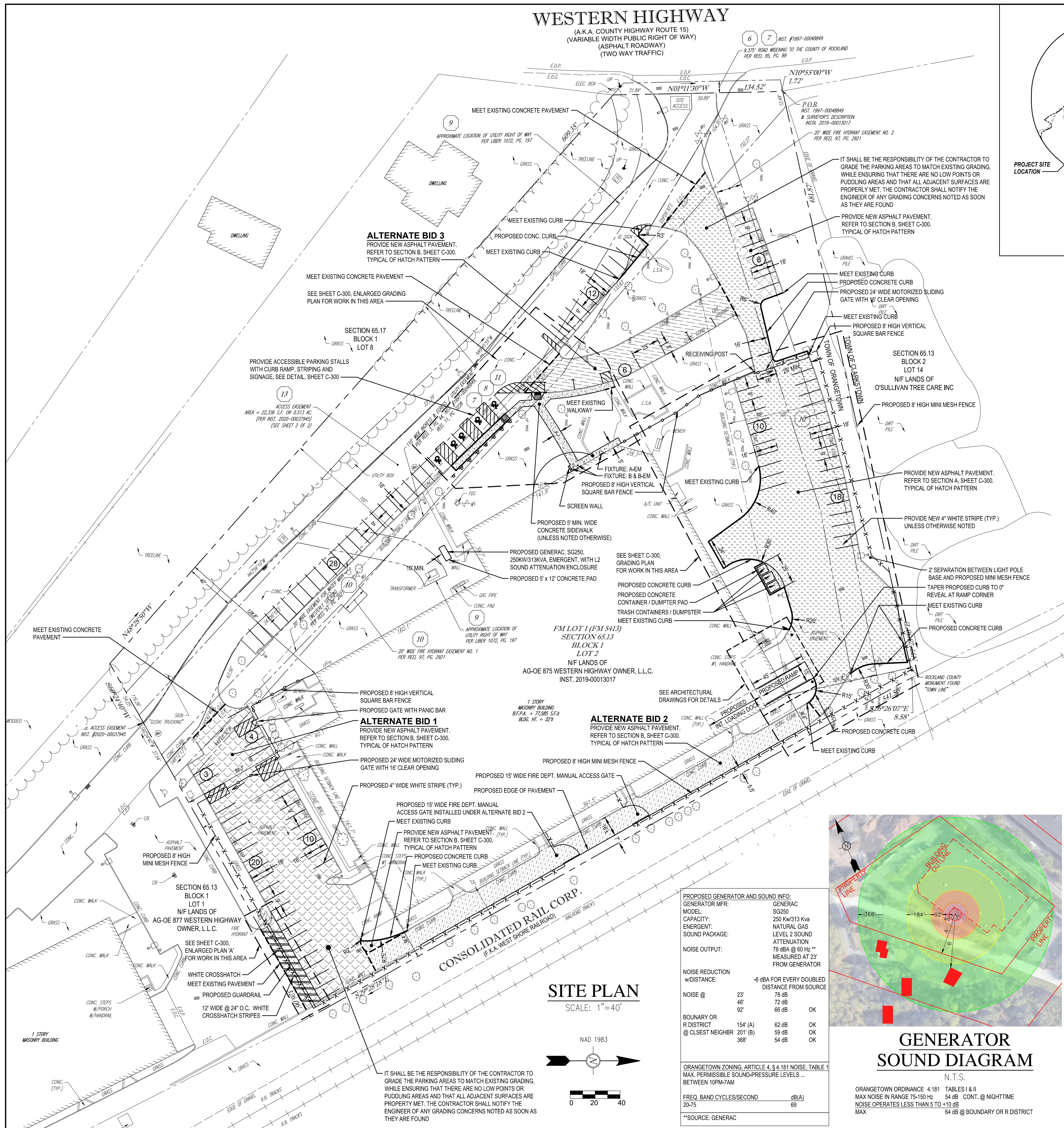
Project Number: 21031 Responsible Party: JS Reviewed By: DC

Scale: 1"=40'

Drawing Number:
C-100

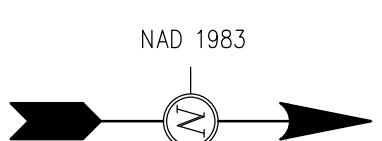
WESTERN HIGHWAY

(A.K.A. COUNTY HIGHWAY ROUTE 15)
(VARIABLE WIDTH PUBLIC RIGHT OF WAY)
(ASPHALT ROADWAY)
(TWO WAY TRAFFIC)



SITE PLAN

SCALE: 1"=40'



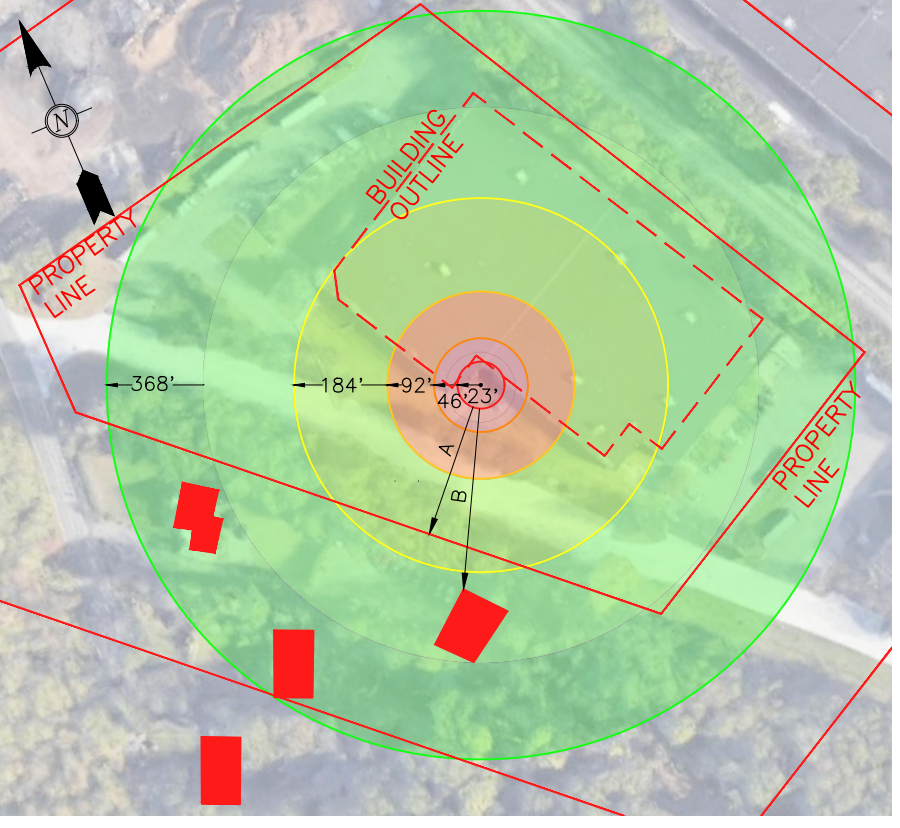
PROPOSED GENERATOR AND SOUND INFO:

GENERATOR MFR.	GENERAC		
MODEL	SG250		
CAPACITY	250 Kw/313 Kva		
EMERGENT	NATURAL GAS		
SOUND PACKAGE	LEVEL 2 SOUND ATTENUATION		
NOISE OUTPUT:	78 dBA @ 60 Hz ** MEASURED AT 23' FROM GENERATOR		
NOISE REDUCTION w/DISTANCE:	-4 dBA FOR EVERY DOUBLED DISTANCE FROM SOURCE		
NOISE @			
23'	78 dB		
46'	72 dB		
92'	66 dB	OK	
BOUNDARY OR R DISTRICT	154' (A)	62 dB	OK
@ CLOSEST NEIGHBR	201' (B)	59 dB	OK
	368'	54 dB	OK

ORANGTOWN ZONING, ARTICLE 4, § 4.181 NOISE, TABLE 1
MAX. PERMISSIBLE SOUND-PRESSURE LEVELS... BETWEEN 10PM-7AM

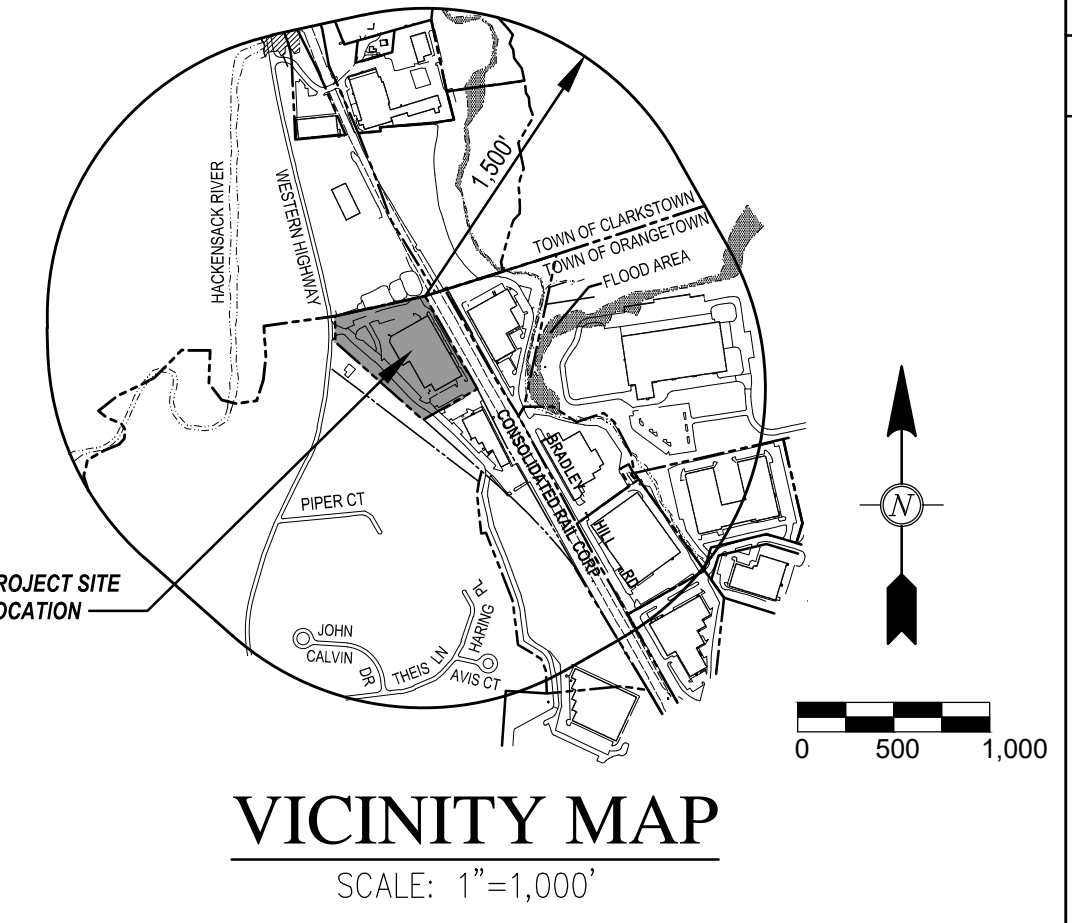
FREQ. BAND	CYCLES/SECOND	dB(A)
20-75		69

**SOURCE: GENERAC



GENERATOR SOUND DIAGRAM

N. T. S.
ORANGTOWN ORDINANCE 4.181 TABLES I & II
MAX NOISE IN RANGE 75-150 Hz 54 dB CONT. @ NIGHTTIME
NOISE OPERATES LESS THAN 5 TO +10 dB MAX
64 dB @ BOUNDARY OR R DISTRICT

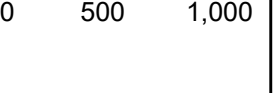
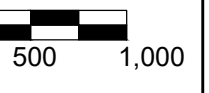


VICINITY MAP

SCALE: 1"=1,000'

LEGEND

DESCRIPTION	SYMBOL	
	EXISTING	PROPOSED
PROPERTY LINE	---	---
EASEMENT LINE	---	---
BUILDING	---	---
CURB (ALL TYPES)	---	---
CONCRETE SIDEWALK	---	---
CONCRETE WALK EDGE	---	---
PAVEMENT MARKING	---	---
MEET PAVEMENT LINE	---	---
CHAIN LINK FENCE	---	---
SQUARE BAR FENCE	---	---
GUARDRAIL	---	---
RETAINING WALL	---	---
VEGETATION LINE	---	---
HYDRANT	---	---
WATER VALVE	---	---
FIRE DEPT. CONNECTION	---	---
ELECTRIC BOX	---	---
CLEAN OUT SIGN	---	---
BOLLARD	---	---
CATCH BASIN OR INLET	---	---
AREA LIGHT	---	---
UTILITY POLE	---	---
MANHOLE	---	---
TREE	---	---
PARKING SPACE COUNT	---	---
TRUCK TRAFFIC SECTION A HATCH	---	---
PARKING LOT SECTION B HATCH	---	---
ALTERNATE BID 1 SECTION B HATCH	---	---
ALTERNATE BID 2 SECTION B HATCH	---	---
ALTERNATE BID 3 SECTION B HATCH	---	---



ZONING COMPLIANCE TABLES

Town of Orangetown, Chapter 43 - Zoning
Zoning District: LO - Laboratory-Office District Group-X

TABLE 15 GENERAL USE REGULATIONS

USE	ATTACHMENT	REQUIRED	NOTES
Office	Attachment 8: Table 3.11	Permitted by Right	
Service	Attachment 8: Table 3.11	Permitted by Right	
Warehouse	Attachment 8: Table 3.11	Permitted by Right	
Storage	Attachment 8: Table 3.11	Permitted General Accessory Uses	
Accessory loading	Attachment 8: Table 3.11	Permitted General Accessory Uses	
Accessory parking	Attachment 8: Table 3.11	Permitted General Accessory Uses	

TABLE 12 GENERAL BULK REGULATIONS

ITEMS	CODE	REQUIRE D/ ALLOWE D	EXISTING	PROPOSE D	NOTES
Maximum Floor Area Ratio	Table 3.12	0.40	0.35	0.35	Existing FAR: 95,437.06/268,765.2=0.35; Proposed FAR: 95,437.06/268,765.2=0.35;
Min. Lot Area (square feet)	Table 3.12	2 acres	6.17 acres	6.17 acres	
Min. Lot Width (feet)	Table 3.12	300	451.93	451.93	
Min. Lot Coverage	Attachment 43.18 (Note 14)	50%	64.4%	65.4%	Existing: 173,317.94/268,765.2= 64.4% Proposed: 175,804.25/268,765.2= 65.4%
Min. Street Frontage(feet)	Table 3.12	150	135.24	135.24	
Required Front Yard (feet)	Table 3.12	100	281.15	281.15	Existing street frontage- no change proposed.
Required Side Yard Setback N (feet)	Table 3.12	100	101.3	101.3	
Required Side Yard Setback SW (feet)	Table 3.12	100	128.8	128.8	
Required Side Yard Buffer SW(feet)	Table 3.12	100	40	40	No Change Proposed
Required Side Yard Setback S (feet)	Table 3.12	100	99.3	99.3	Existing side yard setback- no change proposed.
Total Side Yard (feet)	Table 3.12	200	200.6	200.6	
Required Rear Yard E (feet)	Table 3.12	25	36.6	36.6	Note 10: Note 10: Where a lot line in an LO, LI or LIQ District abuts a railroad right-of-way, the normally required rear or side yard may be reduced to twenty-five (25) feet, and the maximum building height shall apply for that portion of a building over twenty-five (25) feet in height.
Max. Building Height (in feet and inches per foot of distance measured from the designated Street Line)	Table 3.12	3'	(+/-)32'	(+/-)32'	No Change Proposed

TABLE 4.2 PARKING REQUIREMENTS

OCCUPANCY TYPE	AREA	REQ. PARKING SPACES PER CODE (PER SQ.FT GFA)	REQUIRED PARKING SPACES	PROVIDED PARKING SPACES	CALCULATIONS/ COMMENTS
Office	9,338	1/ 300	31	0	
Storage	83,627	1/ 1000	84	0	
TOTAL	92,965		115	119	

DCAK - MSA

ARCHITECTURE AND ENGINEERING
53 HUDSON AVENUE
NYACK, NEW YORK 10960
www.DCAK-MSA.com
Email: info@DCAK-MSA.com
Tel 845-353-1300 Fax 845-353-1614

© 2021 DCAK-MSA ARCHITECTURE AND ENGINEERING RETAINS FULL COPYRIGHT ON INTELLECTUAL PROPERTY CONTAINED HEREIN, WHICH SHALL NOT BE REPRODUCED OR USED FOR FURTHER DEVELOPMENT OF THE PROJECT UNLESS SPECIFICALLY AUTHORIZED IN WRITING BY DCAK-MSA ARCHITECTURE AND ENGINEERING. THIS DRAWING SHALL NOT BE CONSIDERED AN AUTHORIZED COPY ISSUED FROM THE ARCHITECT UNLESS THE ORIGINAL SEAL AND ORIGINAL SIGNATURE ARE AFFIXED.

Project Name:
Asahi Refining

Project Address:
**875 Western Highway
Blauvelt, NY 10913**

Consultants



REVISIONS

No.	Date:	Description:	Responsible Party:
-	03/28/22	FOR PERMITS	YM
	05/16/22		

Drawing: SITE PLAN AND VICINITY MAP

Project Number: 21031 Responsible Party: JS Reviewed By: DC

Scale: AS NOTED
Drawing Number:

C-200

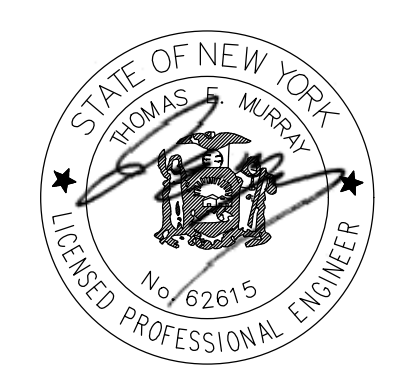
© 2021 DCAK-MSA ARCHITECTURE AND ENGINEERING RETAINS FULL COPYRIGHT ON INTELLECTUAL PROPERTY CONTAINED HEREIN, WHICH SHALL NOT BE REPRODUCED OR USED FOR FURTHER DEVELOPMENT OF THE PROJECT UNLESS SPECIFICALLY AUTHORIZED IN WRITING BY DCAK-MSA ARCHITECTURE AND ENGINEERING. THIS DRAWING SHALL NOT BE CONSIDERED AN AUTHORIZED COPY ISSUED FROM THE ARCHITECT UNLESS THE ORIGINAL SEAL AND ORIGINAL SIGNATURE ARE AFFIXED.

Project Name:
Asahi Refining

Project Address:
875 Western Highway
Blauvelt, NY 10913

Consultants

Scale:



REVISIONS

No.	Date	Description	Responsible Party
-	03/28/22	FOR PERMITS	YM
	05/16/22		

Drawing:
GRADING PLAN & ENLARGED SITE PLANS

Project Number: 21031 Responsible Party: JS Reviewed By: DC

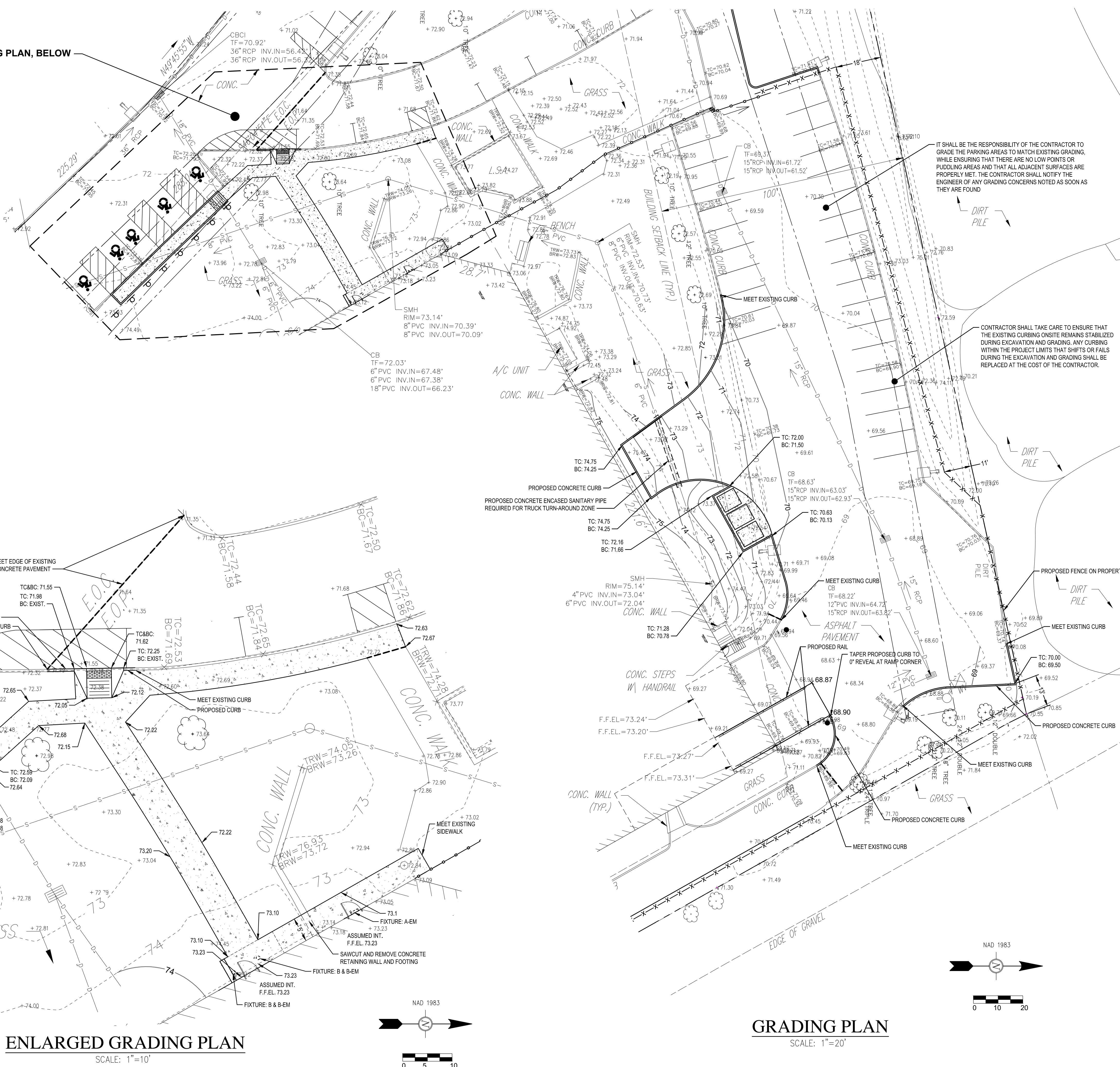
Scale: AS NOTED

Drawing Number:

C-300

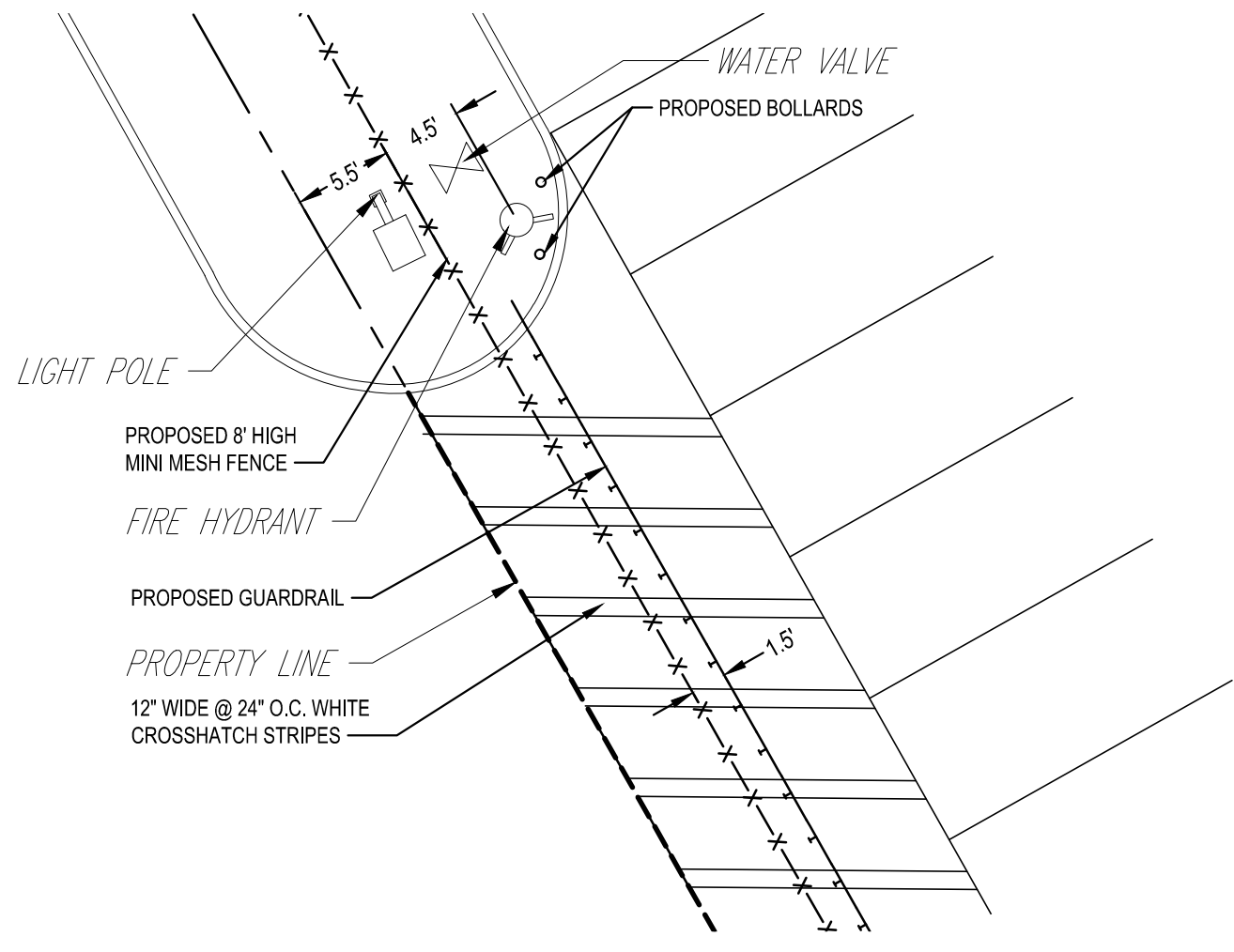
DESCRIPTION	SYMBOL	
	EXISTING	PROPOSED
BUILDING	[Symbol]	[Symbol]
CURB (ALL TYPES)	[Symbol]	[Symbol]
CONCRETE SIDEWALK	[Symbol]	[Symbol]
CONCRETE WALK EDGE	[Symbol]	[Symbol]
PAVEMENT MARKING	[Symbol]	[Symbol]
MEET PAVEMENT LINE	[Symbol]	[Symbol]
CHAIN LINK FENCE	[Symbol]	[Symbol]
SQUARE BAR FENCE	[Symbol]	[Symbol]
GUARDRAIL	[Symbol]	[Symbol]
DRAINAGE LINE	[Symbol]	[Symbol]
SEWER LINE	[Symbol]	[Symbol]
CONTOUR	[Symbol]	[Symbol]
SPOT ELEV	[Symbol]	[Symbol]
CURB TOP AND BOTTOM ELEVATION	[Symbol]	[Symbol]
RETAINING WALL	[Symbol]	[Symbol]
SIGN	[Symbol]	[Symbol]
WATER VALVE	[Symbol]	[Symbol]
FIRE HYDRANT	[Symbol]	[Symbol]
TREE	[Symbol]	[Symbol]
AREA LIGHT	[Symbol]	[Symbol]

SEE ENLARGED GRADING PLAN, BELOW



IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO GRADE THE PARKING AREAS TO MATCH EXISTING GRADING, WHILE ENSURING THAT THERE ARE NO LOW POINTS OR PUDDLING AREAS AND THAT ALL ADJACENT SURFACES ARE PROPERLY MET. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY GRADING CONCERNS NOTED AS SOON AS THEY ARE FOUND

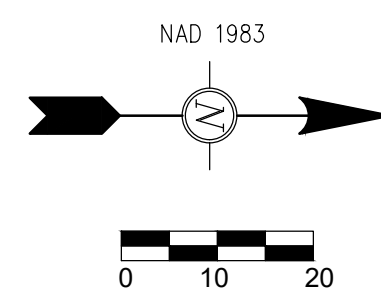
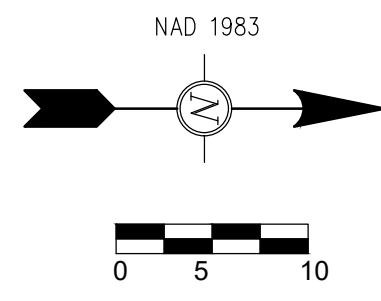
CONTRACTOR SHALL TAKE CARE TO ENSURE THAT THE EXISTING CURBING ON SITE REMAINS STABILIZED DURING EXCAVATION AND GRADING. ANY CURBING WITHIN THE PROJECT LIMITS THAT SHIFTS OR FALLS DURING THE EXCAVATION AND GRADING SHALL BE REPLACED AT THE COST OF THE CONTRACTOR.

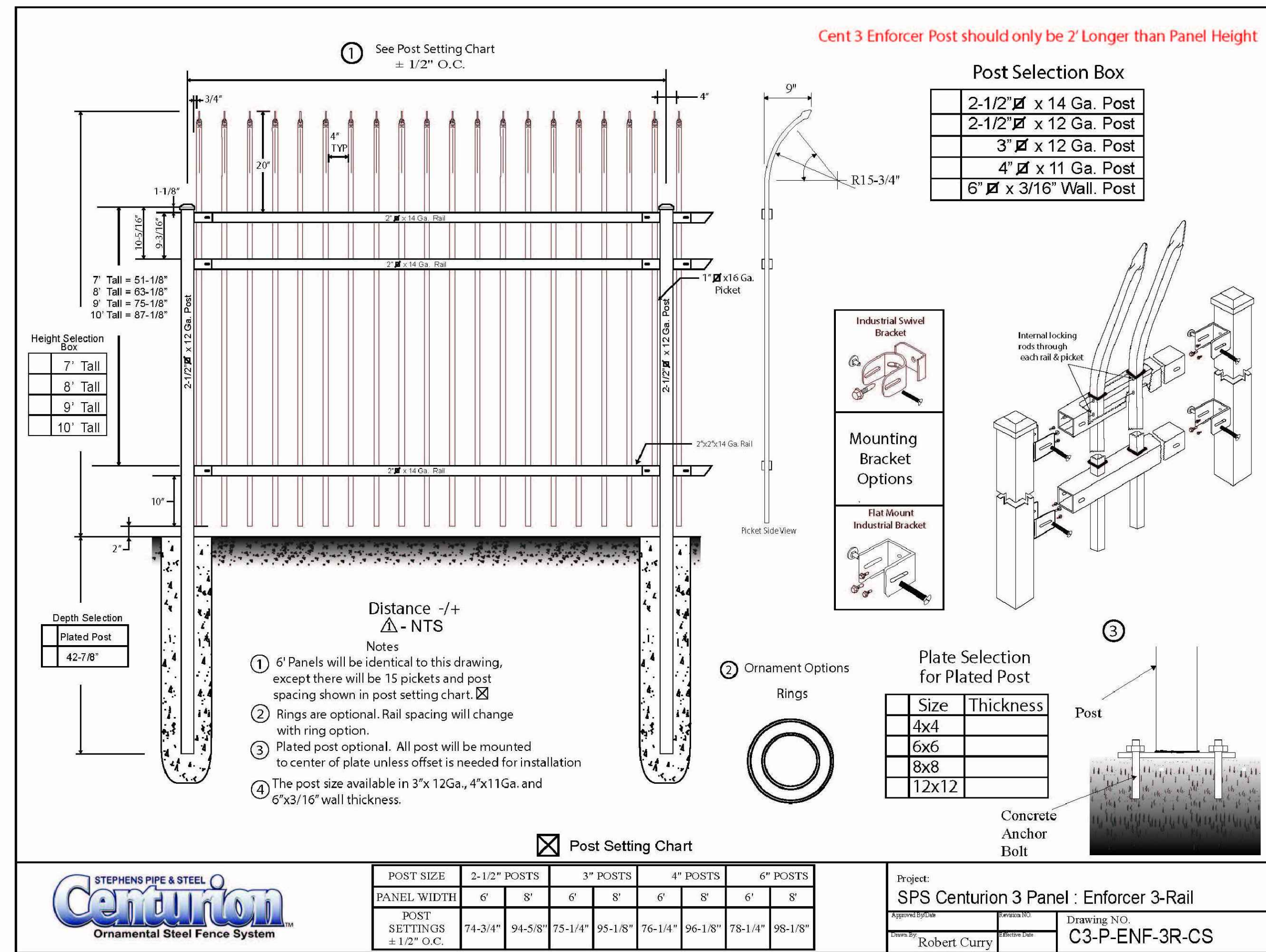


ENLARGED PLAN 'A'
SCALE: 1"=10'

ENLARGED GRADING PLAN
SCALE: 1"=10'

GRADING PLAN
SCALE: 1"=20'



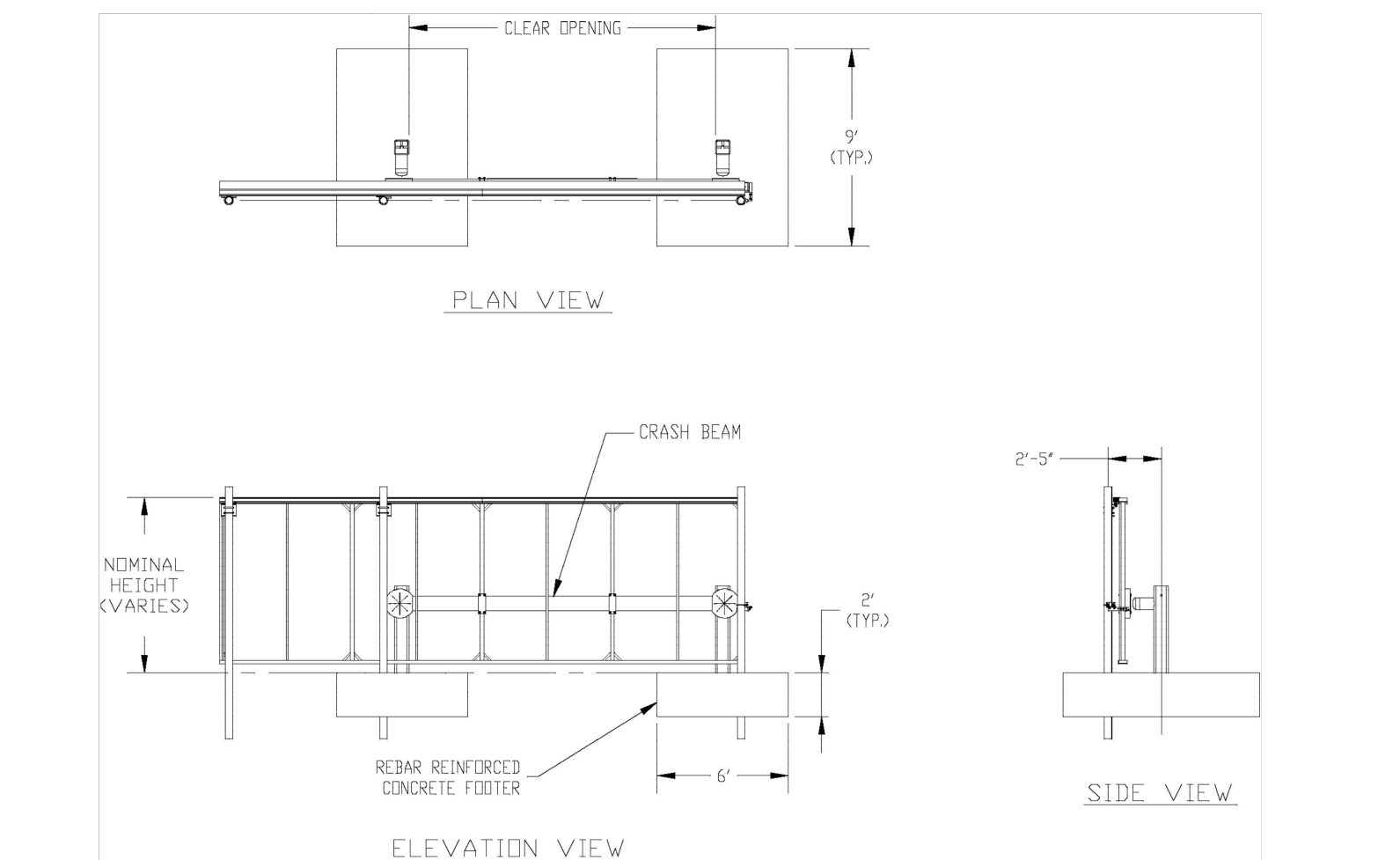


RAIL FENCE DETAIL
N.T.S.

COLOR: BLACK

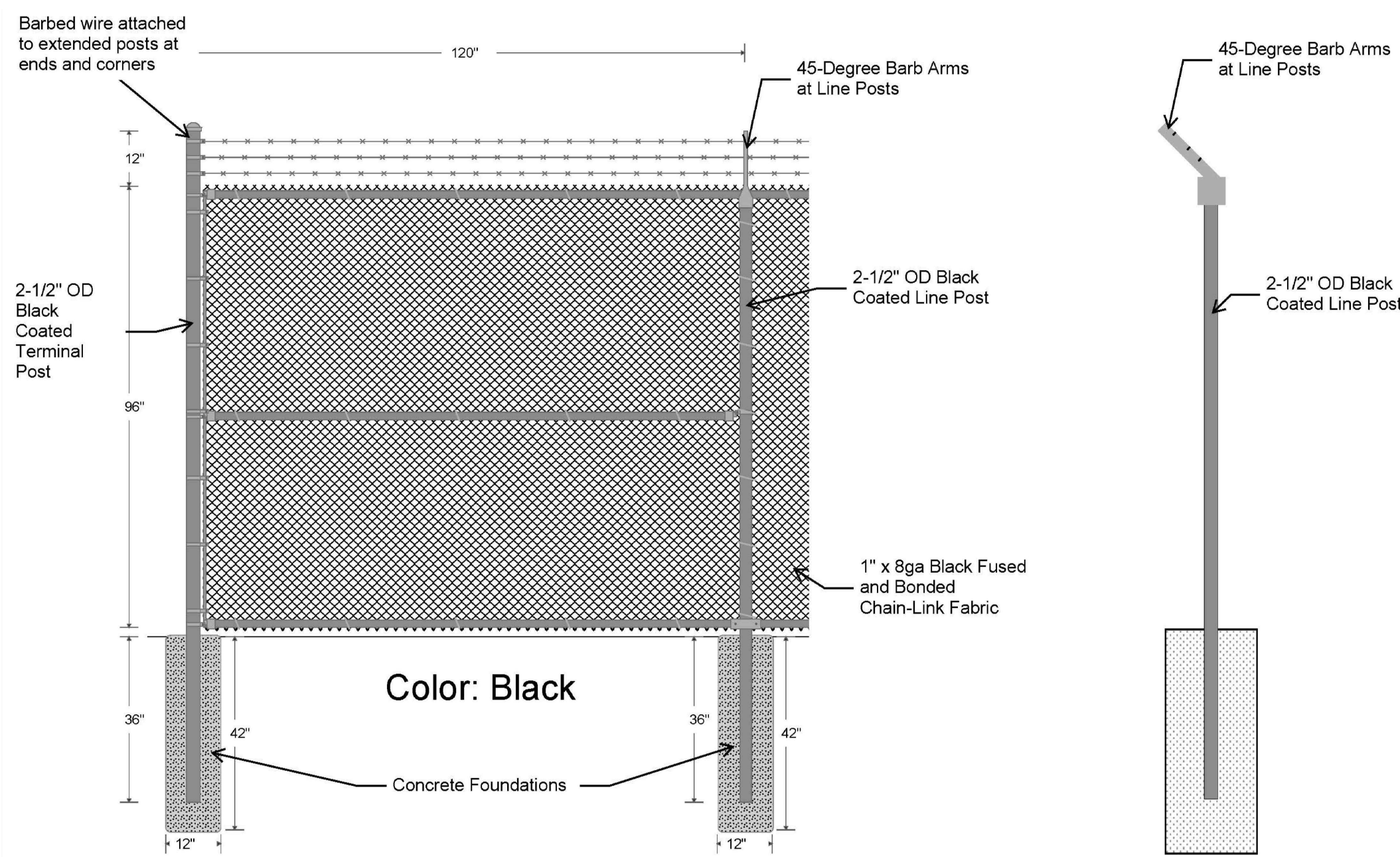
Operation
The model TCG-4 gate assembly includes two transfer stanchions, crash beam, and an aluminum gate panel with integrated track, truck assemblies and hardware. Tymetal can also supply optional gate mounting posts, operator, control panels and safety devices as required. The TCG-4 is available with multiple infills in clear openings up to 30 feet, and heights as required.

- Product Information**
- ASTM certified (ASTM F2656-07 M30 P1)
 - Clear Openings up to 30'
 - Multiple Infill Options
 - Customizable operating parameters
 - 208-240 single and three phase
 - Manual, Hydraulic, or Mechanical operation

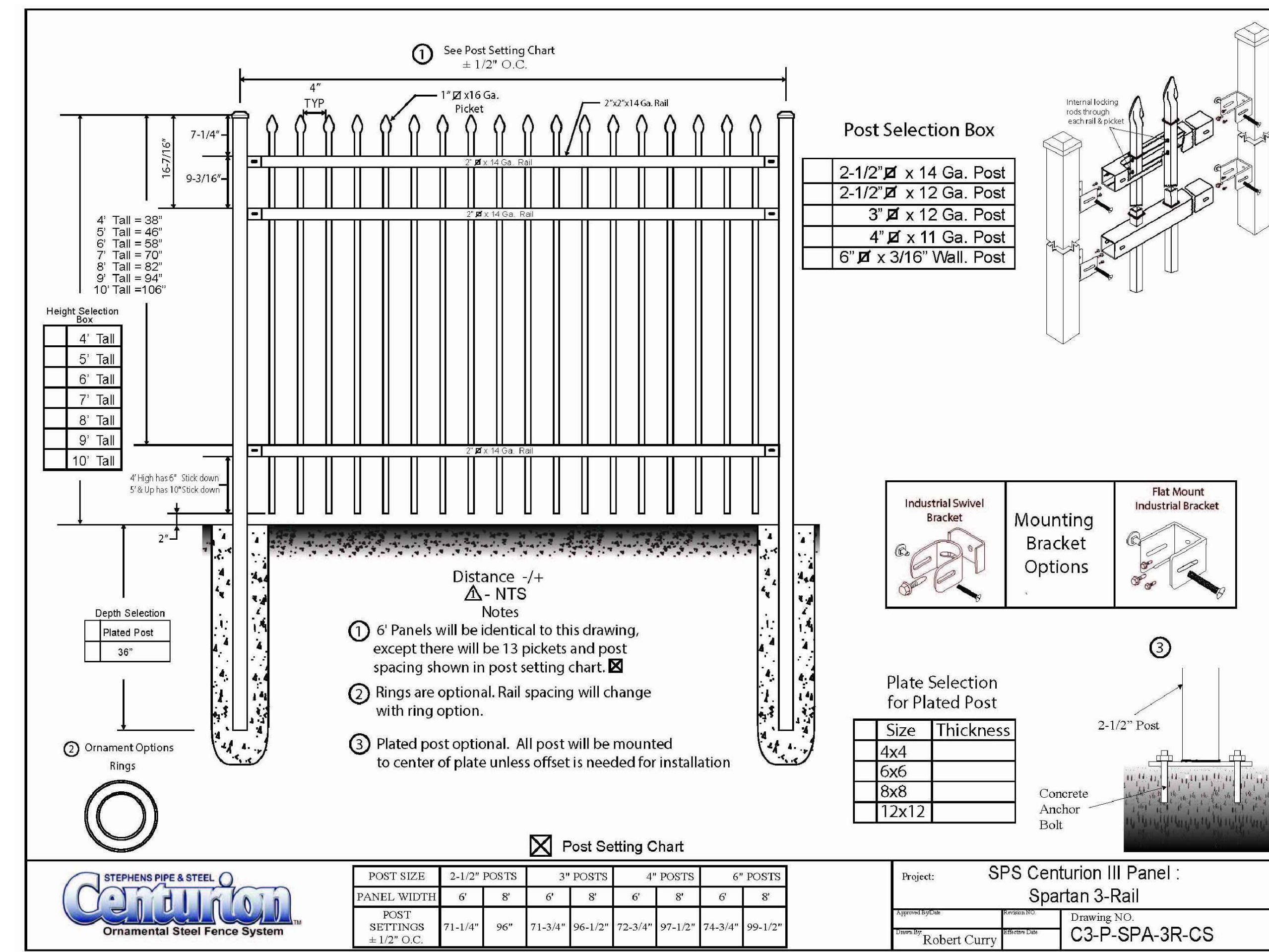


800-328-GATE (4283)
678 Wilbur Avenue, Greenwich, NY 12834
4501 Dixie Farm Rd, Pearland, TX 77581

PERIMETER SLIDING GATE PLAN
N.T.S.



MESH FENCE DETAIL
N.T.S.



PERIMETER SLIDING GATE RAIL DETAIL
N.T.S.

COLOR: BLACK

53 HUDSON AVENUE
NYACK, NEW YORK 10960
www.DCAK-MSA.com
Email: info@DCAK-MSA.com
Tel 845-353-1300 Fax 845-353-1614

© 2021 DCAK-MSA ARCHITECTURE AND ENGINEERING RETAINS FULL COPYRIGHT ON INTELLECTUAL PROPERTY CONTAINED HEREIN, WHICH SHALL NOT BE REPRODUCED OR USED FOR FURTHER DEVELOPMENT OF THE PROJECT UNLESS SPECIFICALLY AUTHORIZED IN WRITING BY DCAK-MSA ARCHITECTURE AND ENGINEERING. THIS DRAWING SHALL NOT BE CONSIDERED AN AUTHORIZED COPY ISSUED FROM THE ARCHITECT UNLESS THE ORIGINAL SEAL AND ORIGINAL SIGNATURE ARE AFFIXED.

Project Name:
Asahi Refining

Project Address:
875 Western Highway
Blauvelt, NY 10913

Consultants



REVISIONS

No.	Date	Description	Responsible Party
-	03/28/22	FOR PERMITS	YM

CIVIL DETAILS

Project Number: 21031 Responsible Party: JS Reviewed By: DC
Scale: AS NOTED
Drawing Number:

C-401

