

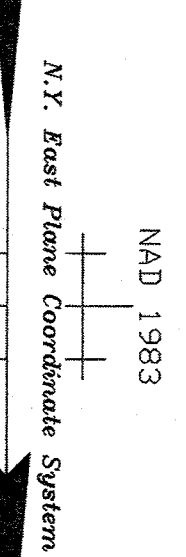


SCHEDULE 'A' LEGAL DESCRIPTION

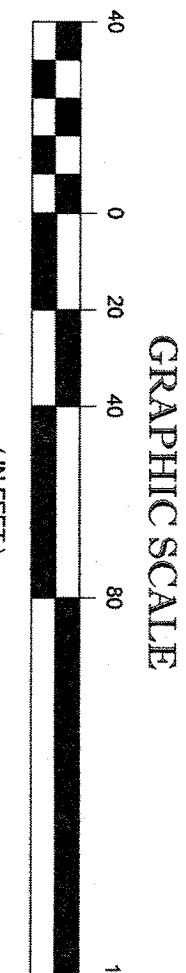
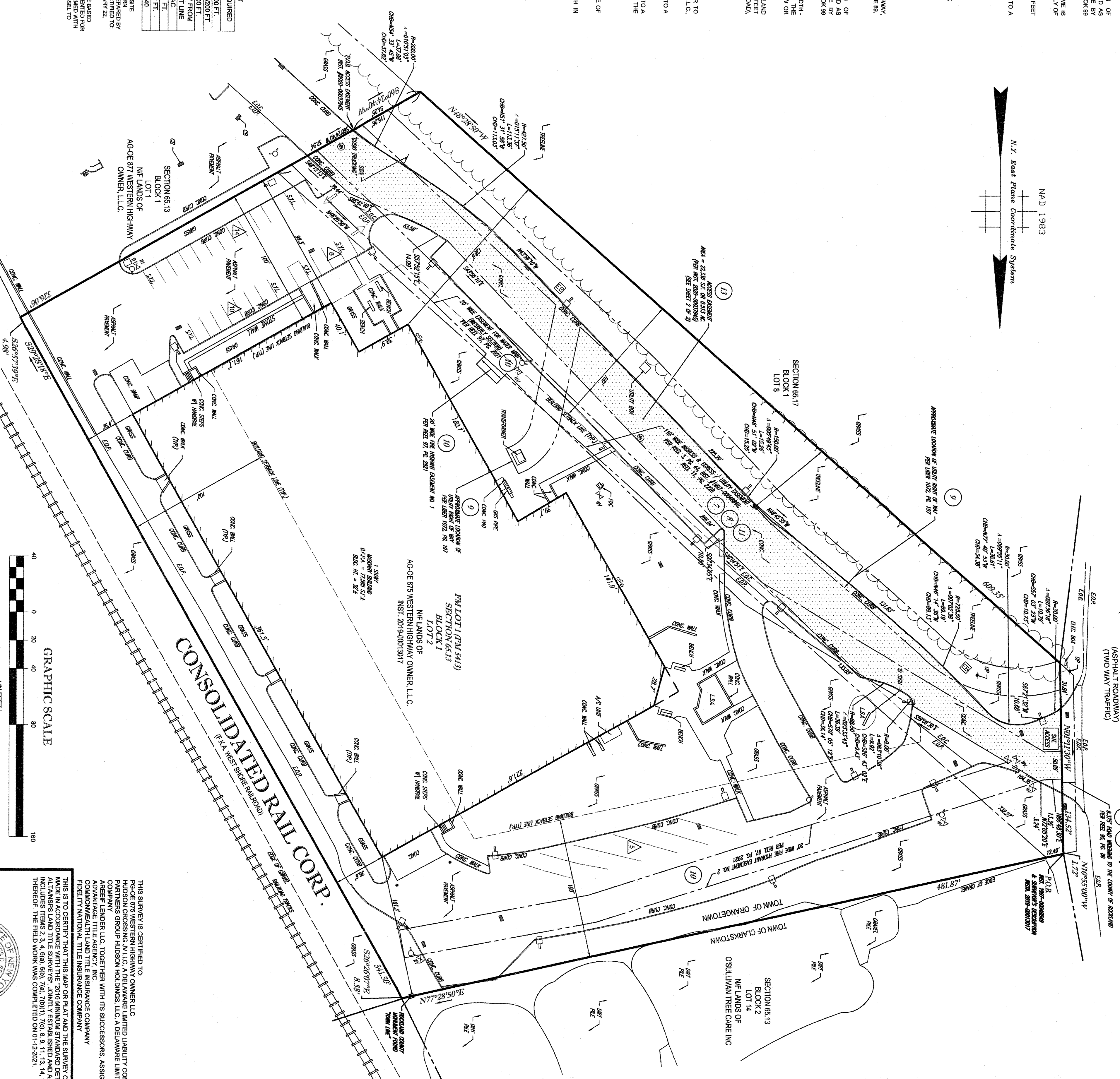
1. ALL THAT CERTAIN PLOT, BEING OR PARTS OF LAND STATE LIVING AND BEING IN THE TOWN OF ORANGETOWN, ROCKLAND COUNTY, STATE OF NEW YORK, WHICH LAND ARE MORE PARTICULARLY DESIGNATED AS LOT #1 ON THE SUBDIVISION PLAN ENTITLED, "SITE PLAN, BRADLEY INDUSTRIAL PARK, SECTION 11", MADE BY DEAN CARLOS YOUNG, C.E., DATED 07/27/2012 AND FILED IN THE ROCKLAND COUNTY CLERK'S OFFICE ON 08/01/12 IN BOOK 89 OF MAPS AT PAGE 20 AS MAP #413, BEING MORE PARTICULARLY BOUND AND DESCRIBED AS FOLLOWS:
2. BEGINNING AT A POINT IN THE EASTERN LINE OF WESTERN HIGHWAY AS IT PRESENTLY EXISTS, WHERE THE SAME IS BOUND ON THE SOUTH AND RUNNING THENCE
3. ALONG THE NORTHERN LINE OF SAID LANDS NOW OR FORMERLY OF BERNARD SOUTH 46°25'00" EAST, 323.23 FEET TO A POINT, THENCE
4. ALONG THE DIVISION LINE BETWEEN LOTS ONE AND TWO ON SAID MAP NORTH 89°25'00" EAST, 323.23 FEET TO A POINT IN THE SOUTHERN LINE OF LOTS NOW OR FORMERLY OF CANVAL, THENCE
5. NORTH 28°48'40" WEST, 5.44 FEET TO A POINT, THENCE
6. ALONG SAID LINES NORTH 29°34'40" WEST, 589.94 FEET TO A POINT IN THE LINE BETWEEN THE TOWNS OF ORANGETOWN AND CLARKSTOWN, THENCE
7. ALONG SAID LINE SOUTH 77°29'50" WEST, 486.72 FEET TO A POINT IN THE EASTERN LINE OF WESTERN HIGHWAY, THENCE ALONG THE EASTERN LINE OF WESTERN HIGHWAY, THE FOLLOWING TWO COURSES AND DISTANCES:
8. SOUTH 10°34'20" EAST, 0.86 FEET TO A COUNTY HIGHWAY MONUMENT, THENCE
9. 7) SOUTH 11°09'50" EAST, 126.07 FEET TO THE POINT OF BEGINNING, EXCEPTING THEREFROM A STRIP OF LAND, 6.375 FEET IN WIDTH ALONG THE EASTERN LINE OF WESTERN HIGHWAY, DESCRIBED TO THE COUNTY OF ROCKLAND ON MAY 31, 1989 BY DEED RECORDED IN LIBER 95 OF DEED RECORDED PAGES 88, ALSO BEING DESCRIBED AS:
10. ALL THAT CERTAIN PLOT, BEING OR PARTS OF LAND STATE LIVING AND BEING IN THE TOWN OF ORANGETOWN, ROCKLAND COUNTY, STATE OF NEW YORK, WHICH LAND ARE MORE PARTICULARLY DESIGNATED AS LOT #1 ON THE SUBDIVISION PLAN ENTITLED, "SITE PLAN, BRADLEY INDUSTRIAL PARK, SECTION 11", MADE BY DEAN CARLOS YOUNG, C.E., DATED 07/27/2012 AND FILED IN THE ROCKLAND COUNTY CLERK'S OFFICE ON 08/01/12 IN BOOK 89 OF MAPS AT PAGE 20 AS MAP #413, BEING MORE PARTICULARLY BOUND AND DESCRIBED AS FOLLOWS:
11. BEGINNING AT A POINT IN THE EASTERN LINE OF WESTERN HIGHWAY AS IT PRESENTLY EXISTS, WHERE THE SAME IS BOUND ON THE SOUTH AND RUNNING THENCE
12. ALONG THE NORTHERN LINE OF SAID LANDS NOW OR FORMERLY OF BERNARD SOUTH 46°25'00" EAST, 323.23 FEET TO A POINT, THENCE
13. ALONG THE DIVISION LINE BETWEEN LOTS ONE AND TWO ON SAID MAP NORTH 89°25'00" EAST, 323.23 FEET TO A POINT IN THE SOUTHERN LINE OF LOTS NOW OR FORMERLY OF CANVAL, THENCE
14. NORTH 28°48'40" WEST, 5.44 FEET TO A POINT, THENCE
15. ALONG SAID LINES NORTH 29°34'40" WEST, 589.94 FEET TO A POINT IN THE LINE BETWEEN THE TOWNS OF ORANGETOWN AND CLARKSTOWN, THENCE
16. ALONG SAID LINE SOUTH 77°29'50" WEST, 486.72 FEET TO A POINT IN THE EASTERN LINE OF WESTERN HIGHWAY, THENCE ALONG THE EASTERN LINE OF WESTERN HIGHWAY, THE FOLLOWING TWO COURSES AND DISTANCES:
17. SOUTH 10°34'20" EAST, 0.86 FEET TO A COUNTY HIGHWAY MONUMENT, THENCE
18. 7) SOUTH 11°09'50" EAST, 126.07 FEET TO THE POINT OF BEGINNING,

1. ALONG THE DIVISION LINE OF WESTERN HIGHWAY TO A POINT ON THE LINE OF LOT 1, PASSING OVER A ROCKLAND COUNTY TOWNSHIP MONUMENT, NORTH 77 DEGREES, 28 MINUTES, 40 SECONDS WEST, A DISTANCE OF 481.87 FEET TO A POINT ON THE WESTERN LINE OF LOTS OF CONSOLIDATED RAIL CORP. (FKA WEST SHORE RAILROAD), THENCE ALONG THE WESTERN LINE OF SAID LOTS (AS SHOWN ON THE LOTS OF CONSOLIDATED RAIL CORP. PLAN) AS FOLLOWS:
2. SOUTH 28 DEGREES, 28 MINUTES, 07 SECONDS EAST, A DISTANCE OF 5.88 FEET TO A POINT, THENCE
3. SOUTH 29 DEGREES, 28 MINUTES, 18 SECONDS EAST, A DISTANCE OF 54.50 FEET TO A POINT, THENCE
4. SOUTH 28 DEGREES, 27 MINUTES, 28 SECONDS EAST, A DISTANCE OF 4.80 FEET TO A POINT AND CORNER TO THENCE
5. ALONG THE LINE OF LOT 1, SOUTH 40 DEGREES, 24 MINUTES, 40 SECONDS WEST, A DISTANCE OF 388.08 FEET TO A POINT, THENCE
6. ALONG THE LINE OF LOT 1, NORTH 40 DEGREES, 28 MINUTES, 20 SECONDS WEST, A DISTANCE OF 609.38 FEET TO A POINT IN THE EASTERN LINE OF WESTERN HIGHWAY, THENCE THE FOLLOWING TWO COURSES ALONG THE EASTERN LINE OF WESTERN HIGHWAY:
7. NORTH 01 DEGREES, 11 MINUTES, 30 SECONDS WEST, A DISTANCE OF 194.40 FEET TO A POINT, THENCE
8. NORTH 10 DEGREES, 55 MINUTES, 00 SECONDS WEST, A DISTANCE OF 112 FEET TO THE POINT AND PLACE OF BEGINNING.

TOGETHER WITH THE BENEFITS AND SUBJECT TO THE BURDENS OF A NON-EXCLUSIVE EASEMENT AS SET FORTH IN SECTION 201 IN THIS SURVEY IS THE SAME AS THAT DESCRIBED IN A TITLE REPORT PREPARED BY ADVANTAGE TITLE AGENCY, INC. TITLE NO. 20-00009345, WITH AN EFFECTIVE DATE OF 11/20/2020.



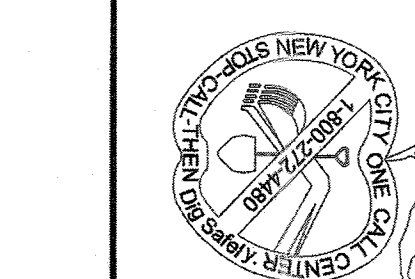
WESTERN HIGHWAY  
(A.K.A. COUNTY HIGHWAY ROUTE 15)  
(VARIABLE WIDTH PUBLIC RIGHT OF WAY)  
(ASPHALT ROADWAY)  
(TWO WAY TRAFFIC)



UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S SEAL IS A VIOLATION OF SECTION 1709, SUBDIVISION 2 OF THE NEW YORK STATE EDUCATION LAW.  
ONLY COPIES FROM THE ORIGINAL OF THIS SURVEY MARKED WITH AN ORIGINAL OF THE LAND SURVEYOR'S SEAL SHALL BE CONSIDERED TO BE VALID TRUE COPIES.

CONTROL POINT ASSOCIATES INC. PC ALL RIGHTS RESERVED  
THE COPYING OR REUSE OF THIS DOCUMENT OR PORTIONS THEREOF FOR ANY PROJECT OR FOR THE PURPOSE ORIGINALLY INTENDED, WITHOUT THE WRITTEN PERMISSION OF CONTROL POINT ASSOCIATES, INC. IS PROHIBITED.

- LEGEND
- OVERHEAD WIRES
  - HYDRAUNT
  - GAS VALVE
  - GAS METER
  - ELECTRIC METER
  - ELECTRIC BOX
  - FIRE DEPARTMENT CONNECTION
  - SAINT/SEWER MANHOLE
  - FIBER OPTIC MANHOLE
  - UNKNOWN MANHOLE
  - CLEAN OUT
  - STREET LIGHT
  - SIGN
  - BOLLARD
  - MONITORING WELL ON CONC.
  - AREAL LIGHT
  - CATCH BASIN OR INLET
  - PARKING SPACE COUNT
  - EDGE OF CONC.
  - EDGE OF PAVEMENT
  - LANDSCAPED AREA
  - METAL COVER
  - TYPICAL
  - SOLID YELLOW LINE
  - SOLID BLUE LINE
  - DOUBLE YELLOW LINE
  - HEIGHT
  - BUILDING
  - BUILDING FOOTPRINT AREA
  - FILED MAP
  - TITLE REPORT EXCEPTION
  - OFFSET OF STRUCTURE AT GROUND LEVEL RELATIVE TO PROPERTY LINE
  - DEED DIMENSION



ITEMS REQUIRED

FRONT SETBACK	100 FT.
REAR SETBACK	100 FT.
MAX BUILDING HEIGHT	37 FT FROM
MIN LOT AREA	2.4 AC
MIN LOT WIDTH	300 FT.
MIN FRONTAGE	150 FT.
MAX F.A.R.	0.40

NOTE: ZONING CRITERIA IDENTIFIED HEREON ARE BASED UPON PRELIMINARY RESEARCH AND PRESENTED FOR LOCAL ZONING OFFICIAL AND LEGAL COUNSEL TO CONSIDER VALIDITY.

REQUIREMENTS REPORT FOR 875 WESTERN HIGHWAY, SECTION 65.13, BLOCK 1, LOT 2, PARCELS 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20 OF TABLE A, PREPARED BY ADVANTAGE TITLE AGENCY, INC. DATE: JANUARY 22, 2021.

AG-02 WESTERN HIGHWAY OWNER, LLC

SECTION 65.13  
BLOCK 1  
LOT 2

CONSOLIDATED RAIL CORP.  
FKA WEST SHORE RAILROAD

PHOTOGRAMMETRIC MAPPING HAS BEEN COMPLETED IN ACCORDANCE WITH PROCEDURES THAT HAVE BEEN APPROVED BY THE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION AND THE NEW YORK STATE DEPARTMENT OF TAXATION AND FINANCE. THE PHOTOGRAMMETRIC MAPPING WAS CONDUCTED BY THE END USER OF THIS SURVEY AND THE SURVEYOR HAS REVIEWED THE PHOTOGRAMMETRIC MAPPING AND HAS DETERMINED THAT THE PHOTOGRAMMETRIC MAPPING IS ACCURATE AND RELIABLE FOR THE PURPOSES OF THIS SURVEY.

REFERENCES:

1. THE OFFICIAL TAX ASSESSORS' MAP OF THE TOWN OF ORANGETOWN, ROCKLAND COUNTY, NEW YORK, SHEET #63.18.
2. MAP ENTITLED "NATIONAL FLOOD INSURANCE PROGRAM, FIRM FLOOD INSURANCE RATE MAP FOR ROCKLAND COUNTY, NEW YORK, (ALL JURISDICTIONS), PANEL 179 OF 207", MAP SURFAC. G, MAP NUMBER 385070179S, EFFECTIVE DATE: MARCH 13, 2014.
3. MAP ENTITLED "NATIONAL FLOOD INSURANCE PROGRAM, FIRM FLOOD INSURANCE RATE MAP FOR ROCKLAND COUNTY, NEW YORK, (ALL JURISDICTIONS), PANEL 179 OF 207", MAP SURFAC. G, MAP NUMBER 385070179S, EFFECTIVE DATE: MARCH 13, 2014.
4. MAP ENTITLED, "SITE PLAN, BRADLEY INDUSTRIAL PARK, SECT. 11, BLVD. #11, TOWN OF ORANGETOWN, ROCKLAND COUNTY, NEW YORK, FILED AUGUST 31, 1989, AS MAP NO. 413 IN THE ROCKLAND COUNTY CLERK'S OFFICE.

ALTA/NSPS LAND TITLE SURVEY  
PARTNERS GROUP HUDSON HOLDINGS, LLC  
875 WESTERN HIGHWAY - "BUILDING #11"  
HAMLET OF BLAUVELT, TOWN OF ORANGETOWN  
ROCKLAND COUNTY, STATE OF NEW YORK

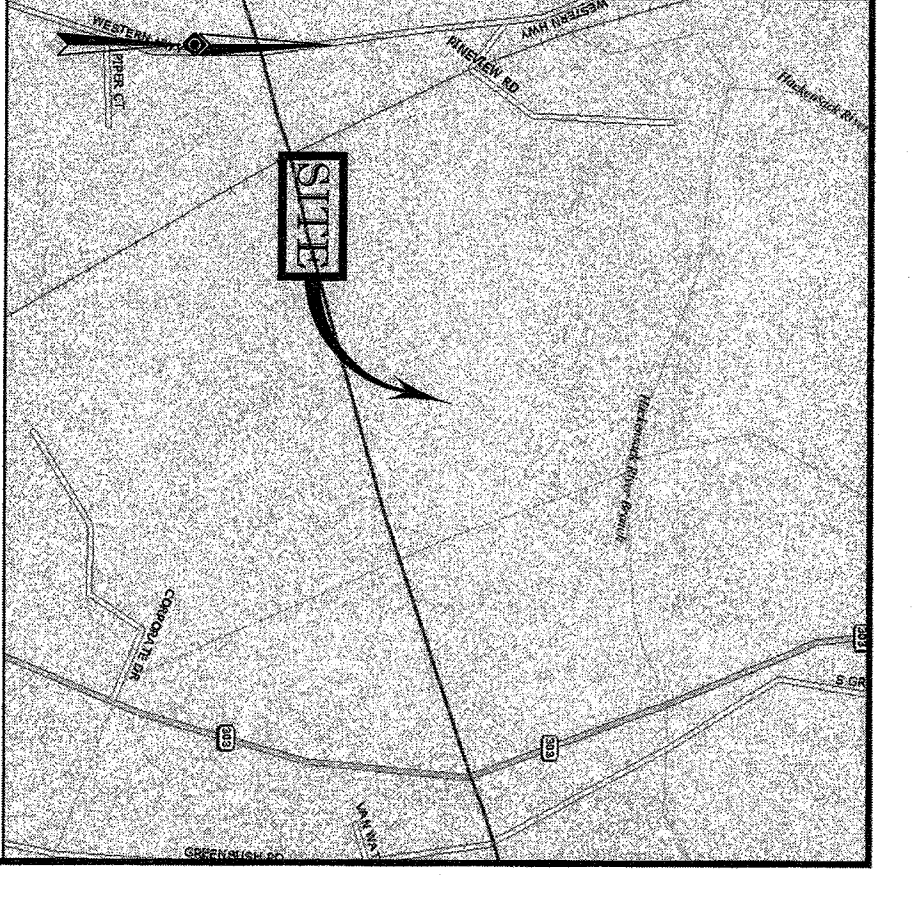
CONTROL POINT  
ASSOCIATES, INC. PC  
100 WESTERN HIGHWAY  
ROCKLAND COUNTY, NEW YORK 10986

JAMES D. SENS  
LAND SURVEYOR #60946-1  
DATE: 03-19-21

ADVANTAGE TITLE AGENCY, INC.  
INSURANCE COMPANY  
FIDELITY NATIONAL TITLE INSURANCE COMPANY

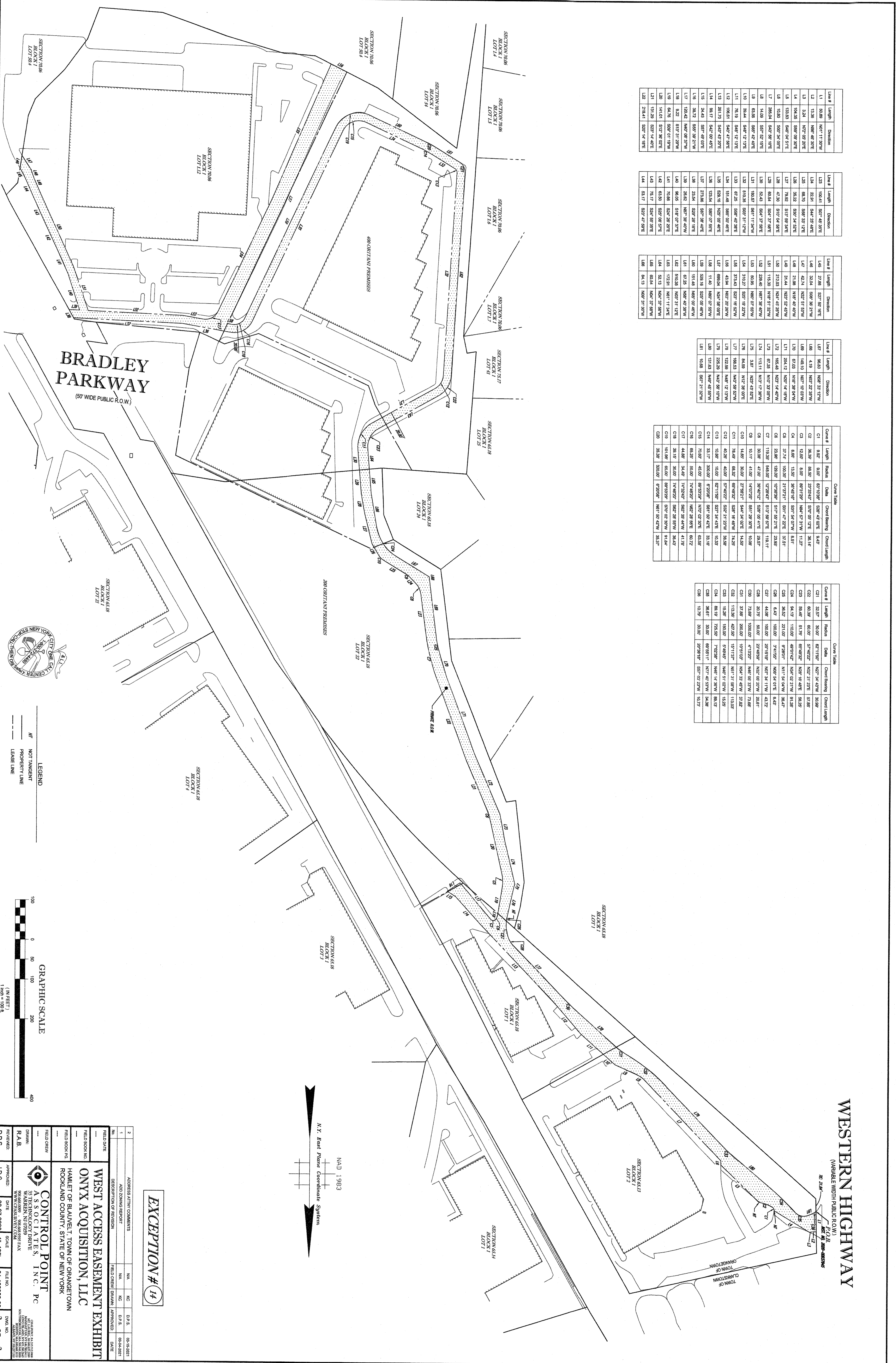
APPROVED: DATE: SCALE: FILE NO: DWG NO:  
01-21-2021 1"=40' 01-190059-03 1 OF 2

CONTROL POINT ASSOCIATES, INC. PC  
100 WESTERN HIGHWAY  
ROCKLAND COUNTY, NEW YORK 10986



NOTES:

1. PROPERTY MONUMENTS, LOT 2, BLOCK 1, SECTION 65.13, AS SHOWN ON THE OFFICIAL TAX ASSESSORS' MAP OF THE TOWN OF ORANGETOWN, ROCKLAND COUNTY, NEW YORK.
2. AREA = 271,887.51 SQ. FT. OR 6.241 AC.
3. ABOVE GROUND UTILITY STRUCTURES, WHERE VISIBLE, SHOWN HEREON. BEFORE ANY SITE EVALUATION, PREPARATION OF DESIGN DOCUMENTS OR EXCAVATION IS TO BEGUN, THE LOCATION OF UNDERGROUND UTILITIES SHOULD BE DETERMINED BY THE PROPER UTILITY COMPANIES.
4. THIS PLAN IS BASED ON DATA ACQUIRED BY A FIELD SURVEY PREPARED BY CONTROL POINT ASSOCIATES, INC., AND OTHER REFERENCE MATERIALS AS LISTED HEREON.
5. THIS SURVEY IS PREPARED WITH REFERENCE TO A TITLE REPORT PREPARED BY ADVANTAGE TITLE AGENCY, INC. TITLE NO. 20-00009345, WITH AN EFFECTIVE DATE OF 11/20/2020, WHERE THE FOLLOWING SURVEY, RELATED EXCAVATIONS APPEAR IN SCHEDULE B, SECTION II.
6. NOTES, EASEMENTS AND SETBACKS SET FORTH ON FILED MAP NO. 413, IT IS A BLANKET EASEMENT.
7. DEED FOR ROAD WIDENING PURPOSES RECORDED IN REEL 98, AS RECORDED IN REEL 377 PAGE 63, SHOWN HEREON.
8. ACCESS AND UTILITY EASEMENT SET FORTH IN THE DEED RECORDED IN INSTRUMENT NO. 1997-0004884, SHOWN HEREON.
9. ACCESS AND UTILITY EASEMENT SET FORTH IN THE DEED RECORDED IN REEL 1072 PAGE 197, SHOWN HEREON.
10. WATER EASEMENT RECORDED IN REEL 11 PAGE 2228, SHOWN HEREON.
11. ACCESS AND UTILITY EASEMENT RECORDED IN REEL 11 PAGE 2228, SHOWN HEREON.
12. EASEMENTS SET FORTH IN THE DEED RECORDED IN LIBER 1089 PAGE 768, THE LOCATION CANNOT BE DETERMINED FROM THE RECORD DOCUMENT.
13. REGIONAL EASEMENT AND OPERATION AGREEMENT RECORDED IN INSTRUMENT NO. 2020-0003784, SHOWN HEREON. (SEE SHEET 2)
14. BY GRAPHIC PLOTTING ONLY PROPERTY IS LOCATED IN FLOOD ZONE X (OTHER AREAS) (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN), PER REF. #2.
15. THE EXISTENCE OF UNDERGROUND STORAGE TANKS, IF ANY, WAS NOT KNOWN AT THE TIME OF THE FIELD SURVEY.
16. THE OFFSET SURVEY USES NOT TO BE USED FOR THE CONSTRUCTION OF ANY STRUCTURE, FENCE, PERMANENT ADDITION, ETC.
17. PLANIMETRIC FEATURES CONTROLLED BY CONTROL POINT ASSOCIATES, INC. UTILIZING CONVENTIONAL PHOTOGRAMMETRY (UNPHOTOGRAMMETRICALLY REPRODUCED BY CONTROL POINT ASSOCIATES, INC. ON FEBRUARY 22, 2019 WITH A PHOTO SCALE OF 1:7m CSO).
18. PHOTOGRAMMETRIC MAPPING HAS BEEN COMPLETED IN ACCORDANCE WITH PROCEDURES THAT HAVE BEEN APPROVED BY THE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION AND THE NEW YORK STATE DEPARTMENT OF TAXATION AND FINANCE. THE PHOTOGRAMMETRIC MAPPING WAS CONDUCTED BY THE END USER OF THIS SURVEY AND THE SURVEYOR HAS REVIEWED THE PHOTOGRAMMETRIC MAPPING AND HAS DETERMINED THAT THE PHOTOGRAMMETRIC MAPPING IS ACCURATE AND RELIABLE FOR THE PURPOSES OF THIS SURVEY.
19. THE PROPERTY HAS DIRECT VEHICULAR AND PEDESTRIAN ACCESS TO WESTERN HIGHWAY, ALSO KNOWN AS COUNTY HIGHWAY ROUTE 15, PUBLIC RIGHT OF WAY.
20. THE SURVEYOR IS UNAWARE OF ANY ENCROACHMENTS (BY APPROVEMENTS OR PROJECTIONS LOCATED ON PROPERTY FROM ANY ADJACENT PROPERTY EASEMENT BOUNDING THE PROPERTY, RIGHTS OF WAY OR SETBACK LINES, EXCEPT AS SHOWN ON THE SURVEY.
21. THERE ARE 34 PAINTED PARKING SPACES ON SITE.
22. THERE IS NO EVIDENCE OF RECENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADJUSTMENTS OBSERVED IN THE PROCESS OF CONDUCTING THE FIELD WORK.
23. NO PROPOSED CHANGES IN STREET RIGHT-OF-WAY LINES HAVE BEEN MADE AVAILABLE TO THE SURVEYOR BY THE CONTROLLING JURISDICTION.
24. THERE WERE NO DELINEATED WETLANDS AND FLAGS OBSERVED ON THE SUBJECT PREMISES AT THE TIME OF SURVEY.
25. PROFESSIONAL LIABILITY INSURANCE HAS BEEN OBTAINED BY THE SURVEYOR THAT EXCEEDS THE AMOUNT REQUIRED BY CLIENT.



Line #	Length	Direction
L1	50.89	N07°11'30"W
L2	13.36	N89°48'30"E
L3	3.34	N77°08'30"E
L4	104.35	S89°08'30"E
L5	133.53	S89°04'30"E
L6	10.80	S92°34'03"E
L7	286.04	S42°02'10"E
L8	14.09	S57°02'10"E
L9	63.46	S99°42'40"E
L10	39.44	S68°12'13"E
L11	76.16	S68°12'13"E
L12	108.81	S68°47'50"E
L13	261.70	S42°42'02"E
L14	36.17	S42°00'43"E
L15	24.43	S57°49'07"E
L16	38.72	N40°08'21"W
L17	120.82	N40°08'21"W
L18	84.76	S89°01'19"W
L19	64.76	S89°01'19"W
L20	141.01	S17°36'02"E
L21	131.29	S23°14'40"E
L22	218.41	S57°14'19"E

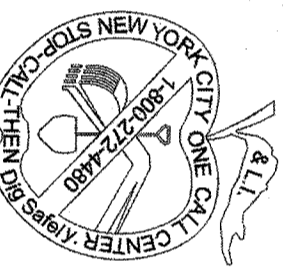
Line #	Length	Direction
L23	104.41	S57°49'37"E
L24	22.91	S44°28'48"E
L25	88.70	S88°39'12"E
L26	35.22	S30°24'52"E
L27	79.92	S12°39'34"E
L28	41.20	S10°04'58"E
L29	60.24	S04°37'56"E
L30	52.43	S04°37'56"E
L31	180.87	S81°12'34"W
L32	84.89	S81°12'34"W
L33	810.25	S89°31'12"W
L34	67.25	S89°48'30"E
L35	151.46	S89°03'46"E
L36	329.18	N23°03'46"E
L37	123.94	S89°07'55"E
L38	273.98	S81°38'40"E
L39	23.44	S29°28'18"E
L40	36.06	S18°07'37"E
L41	70.66	S24°28'20"E
L42	61.50	S29°05'57"E
L43	78.17	S24°55'59"E
L44	83.17	S29°47'59"E

Line #	Length	Direction
L45	27.98	S27°59'19"E
L46	32.04	S59°38'21"W
L47	42.74	N22°51'53"W
L48	21.39	N18°46'40"W
L49	31.44	N22°52'48"W
L50	21.03	N24°48'28"W
L51	116.30	N18°39'40"W
L52	238.40	N87°38'40"W
L53	50.95	N89°07'59"W
L54	310.27	S27°18'22"W
L55	37.45	S27°18'22"W
L56	43.94	N23°28'29"W
L57	69.04	N24°38'01"E
L58	11.40	N89°07'59"W
L59	52.18	S29°07'49"W
L60	151.48	N89°07'49"W
L61	67.25	N89°07'49"W
L62	510.25	N81°11'32"E
L63	122.51	N81°11'32"E
L64	82.13	N23°37'59"W
L65	62.34	N69°31'50"W
L66	64.13	N69°31'50"W

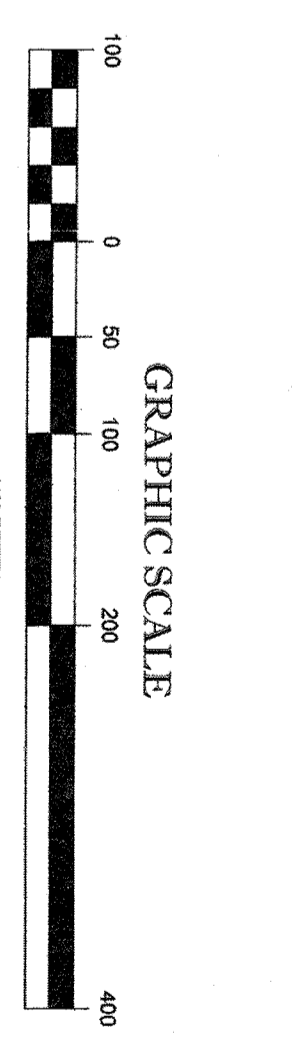
Line #	Length	Direction
L67	86.83	N42°31'57"W
L68	4.10	N07°28'38"W
L69	148.10	N07°18'03"W
L70	67.03	N18°39'40"W
L71	204.12	N23°14'40"W
L72	67.25	N12°37'40"W
L73	113.11	N12°37'40"W
L74	3.87	N23°48'01"E
L75	84.89	N12°38'01"E
L76	188.83	N42°31'57"W
L77	22.89	N48°17'33"W
L78	122.89	N42°38'10"W
L79	131.63	N42°48'55"W
L80	10.88	S97°21'32"W

Curve #	Length	Radius	Data	Chord Bearing	Chord Length
C1	9.87	8.00	631°04'27"	S38°49'50"E	9.42
C2	38.59	88.50	223°35'42"	S107°51'12"E	38.14
C3	12.50	8.00	89°15'00"	N41°37'31"W	11.27
C4	8.86	13.50	36°45'18"	S31°54'07"W	8.51
C5	37.74	100.00	219°21'21"	S01°47'22"E	23.89
C6	23.86	128.00	12°29'38"	S17°59'21"E	23.89
C7	118.95	548.00	12°29'38"	S17°59'21"E	118.11
C8	30.06	47.00	36°48'12"	S09°04'11"E	28.67
C9	10.11	41.00	140°03'27"	S41°24'02"E	14.50
C10	14.65	30.00	140°03'27"	S41°24'02"E	14.50
C11	78.49	68.32	65°48'22"	S38°18'48"W	74.29
C12	42.58	40.00	57°48'22"	S27°12'52"W	38.89
C13	10.88	10.00	62°11'50"	S27°54'42"E	10.33
C14	33.17	300.00	9°20'58"	S81°52'42"E	33.16
C15	70.87	45.00	86°53'59"	N07°02'39"E	63.88
C16	65.57	50.00	74°48'07"	N22°38'49"W	60.72
C17	44.85	34.00	74°48'07"	N22°38'49"W	41.72
C18	30.15	30.00	74°48'07"	S22°38'49"W	30.45
C19	101.28	60.00	69°03'29"	S107°02'39"E	91.84
C20	35.38	350.00	6°20'06"	N81°09'42"W	35.37

Curve #	Length	Radius	Data	Chord Bearing	Chord Length
C21	32.57	30.00	61°10'48"	N27°34'43"W	30.89
C22	60.37	60.00	57°42'22"	N22°21'23"E	57.88
C23	80.48	81.78	69°48'22"	N28°16'49"E	80.58
C24	94.15	110.00	49°01'42"	N24°02'21"W	81.24
C25	36.42	221.00	9°29'01"	N11°54'14"W	36.47
C26	6.42	100.00	3°41'02"	N09°54'01"E	6.42
C27	144.65	100.00	25°16'18"	N07°34'11"W	143.22
C28	20.25	50.00	23°16'59"	N22°02'30"W	20.24
C29	73.65	100.00	41°30'21"	N45°02'33"W	73.65
C30	113.36	423.50	19°11'37"	N44°33'49"W	113.82
C31	37.28	200.00	10°51'03"	N48°33'49"W	37.28
C32	113.36	423.50	19°11'37"	N44°33'49"W	113.82
C33	15.26	150.00	5°44'45"	N49°51'02"W	15.25
C34	88.18	725.50	7°02'38"	N49°14'38"W	88.15
C35	36.81	30.00	69°59'11"	N77°47'55"W	34.38
C36	10.97	30.00	20°39'18"	S57°02'23"W	10.27



**LEGEND**  
 --- NOT TANGENT PROPERTY LINE  
 --- LEASE LINE



NAD 1983  
 N.Y. East Plane Coordinate System

**EXCEPTION # 14**

No.	ADDRESS ATTY COMMENTS	WA	KC	D.P.S.	03-15-2021
1	ADD ZONING REVERT	WA <td>KC <td>D.P.S. <td>03-15-2021</td> </td></td>	KC <td>D.P.S. <td>03-15-2021</td> </td>	D.P.S. <td>03-15-2021</td>	03-15-2021
2	DESCRIPTION OF REVISION	WA <td>KC <td>D.P.S. <td>03-15-2021</td> </td></td>	KC <td>D.P.S. <td>03-15-2021</td> </td>	D.P.S. <td>03-15-2021</td>	03-15-2021

**WEST ACCESS EASEMENT EXHIBIT**  
**ONYX ACQUISITION LLC**

HAMLET OF BLAUVELT, TOWN OF ORANGETOWN  
 ROCKLAND COUNTY, STATE OF NEW YORK

**CONTROL POINT ASSOCIATES, INC. PC**  
 55 TECHNOLOGY DRIVE  
 WARREN, NJ 07059  
 WWW.CONTROLPOINT.COM

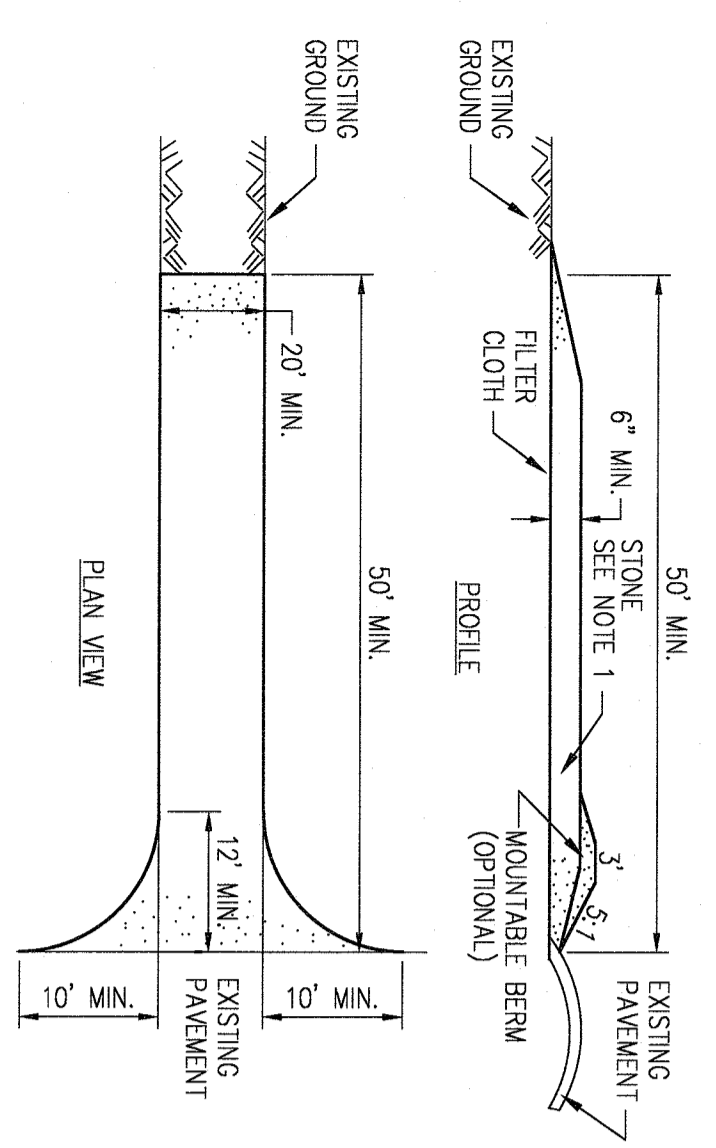
FIELD CREW	DATE	SCALE	FILE NO.	DWG. NO.
R.A.B. <td>08-07-2020</td> <td>1"=100'</td> <td>01-190059-00</td> <td>2 OF 2</td>	08-07-2020	1"=100'	01-190059-00	2 OF 2
D.P.S. <td></td> <td></td> <td></td> <td></td>				

# WESTERN HIGHWAY

(AKA COUNTY HIGHWAY ROUTE 19)  
(VARIABLE WIDTH PUBLIC RIGHT OF WAY)  
(ASPHALT ROADWAY)  
(TYPICAL TROWEL)

## STABILIZED CONSTRUCTION SPECIFICATIONS

1. STONE SIZE: USE 3-6" STONE, OR RECLAIMED OR RECYCLED
2. LENGTH: NOT LESS THAN 50 FEET
3. THICKNESS: NOT LESS THAN TWELVE (12) INCHES
4. WIDTH: TWELVE (12) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS
5. FILTER CLOTH: WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE
6. SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OF FLOWING OR SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. ALL SEDIMENT SPILLED, PROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY
7. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE
8. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN

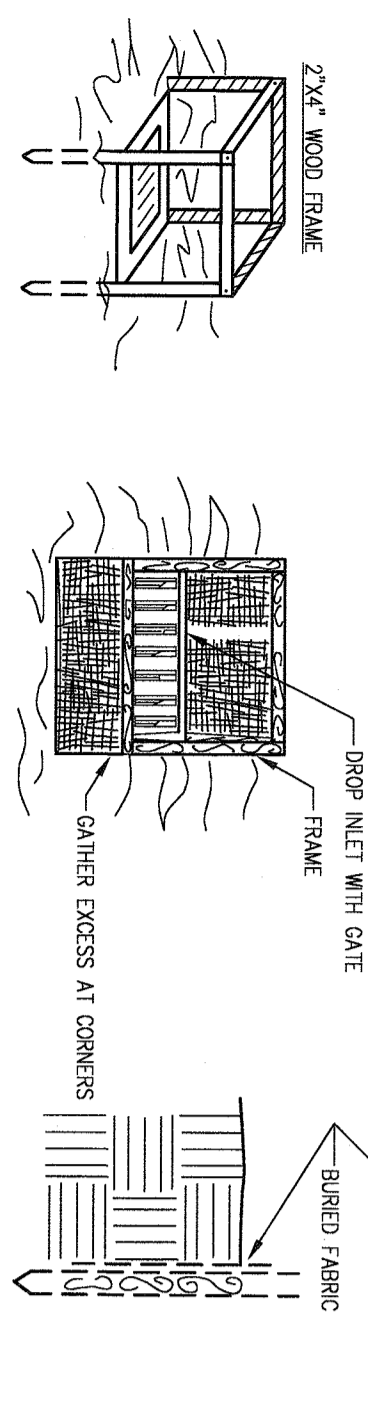


## STABILIZED CONSTRUCTION ENTRANCE

N.T.S.

## CONSTRUCTION SPECIFICATIONS

1. FILTER FABRIC SHALL HAVE AN EGS OF 40-85. BURAP MAY BE USED FOR CUT FABRIC FROM A CONTINUOUS ROLL TO ELIMINATE JOINTS. IF JOINTS ARE NEEDED THEY WILL BE OVERLAPPED TO THE NEXT STAKE
2. STAKE MATERIALS WILL BE STANDARD 2" X 4" WOOD OR EQUIVALENT. METAL STAKE STAKES EXACTLY AROUND INLET 3 FEET APART AND BORED WITH A MINIMUM 18 INCHES DEEP SPANS GREATER THAN 3 FEET MAY BE BORED WITH THE USE OF BRACES BEHIND THE FILTER FABRIC FOR SUPPORT
3. FABRIC SHALL BE MAINTAINED TIGHT AND BACKFILLED WITH STONE. IT SHALL BE SECURELY PASTERED TO THE STAKES AND FRAME
4. A 2" X 4" WOOD FRAME SHALL BE COMPLETED AROUND THE PERIMETER OF THE FABRIC FOR OPEN FLOW STABILITY
5. MAXIMUM DRAINAGE AREA: 1 ACRE
6. TO BE USED TO PROTECT PROPOSED BASIN INLETS UNTIL THE STABILIZATION IS COMPLETE

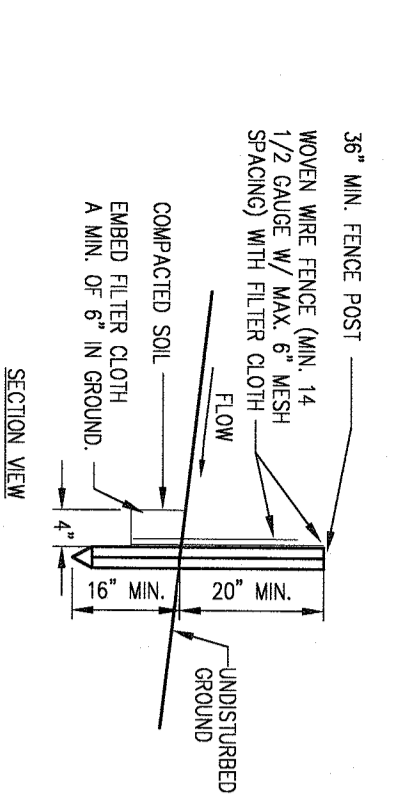


## FILTER FABRIC DROP INLET PROTECTION\*

N.T.S.

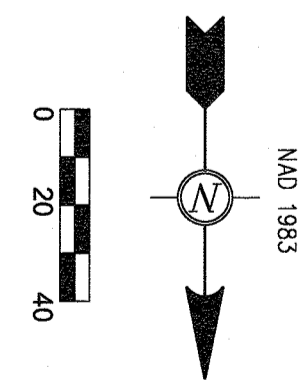
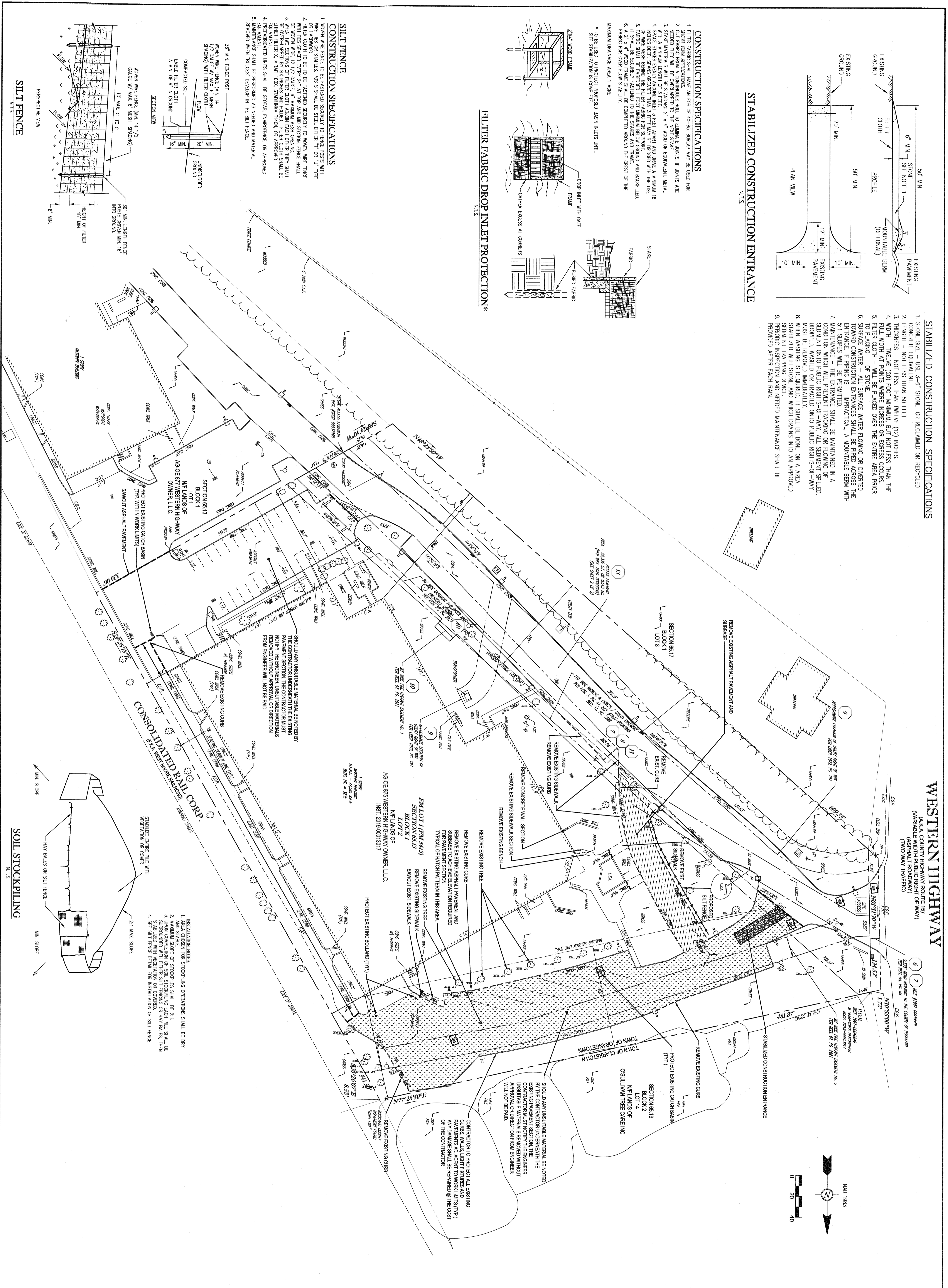
## SILT FENCE CONSTRUCTION SPECIFICATIONS

1. WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL DRIVEN 7' OR 9' TYPICAL OR HARDWOOD
2. FILTER CLOTH TO BE TO BE FASTENED SECURELY TO WOVEN WIRE FENCE BEHIND WIRE MESH EVERY 24" IN PLAN AND SECTION. FENCE SHALL BE MAINTAINED TIGHT AND BACKFILLED WITH STONE
3. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVER-LAPPED BY SIX INCHES AND TIED. FILTER CLOTH SHALL BE EQUIVALENT TO 1 X 1 MESH 100% SAND/SLUDG THICK OR APPROVED
4. PRE-FABRICATED UNITS SHALL BE GEOPAR, ENVIRONMENTAL, OR APPROVED
5. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN TRAILERS DEVELOP IN THE SILT FENCE



## SILT FENCE

N.T.S.



NAD 1983

- 6. DIST. 7197-008689
- 7. DIST. 7197-008689
- 8. DIST. 7197-008689
- 9. DIST. 7197-008689
- 10. DIST. 7197-008689
- 11. DIST. 7197-008689
- 12. DIST. 7197-008689
- 13. DIST. 7197-008689
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- 49. DIST. 7197-008689
- 50. DIST. 7197-008689

**DCAK - MSA**  
ARCHITECTURE AND ENGINEERING

53 HUDSON AVENUE  
MADISON, NEW YORK 10960  
www.DCAK-MSA.com  
Email: info@DCAK-MSA.com

Tel: 845-353-1300 Fax: 845-353-1614

Project Name:  
**Asahi Depository**

Project Address:  
875 Western Highway  
Blauvelt, NY 10913

Consultants:

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Project Number: 21031  
Responsible Party: JS  
Reviewed By: DC

Drawing: **REMOVALS PLAN & EROSION & SEDIMENTATION CONTROL PLAN**

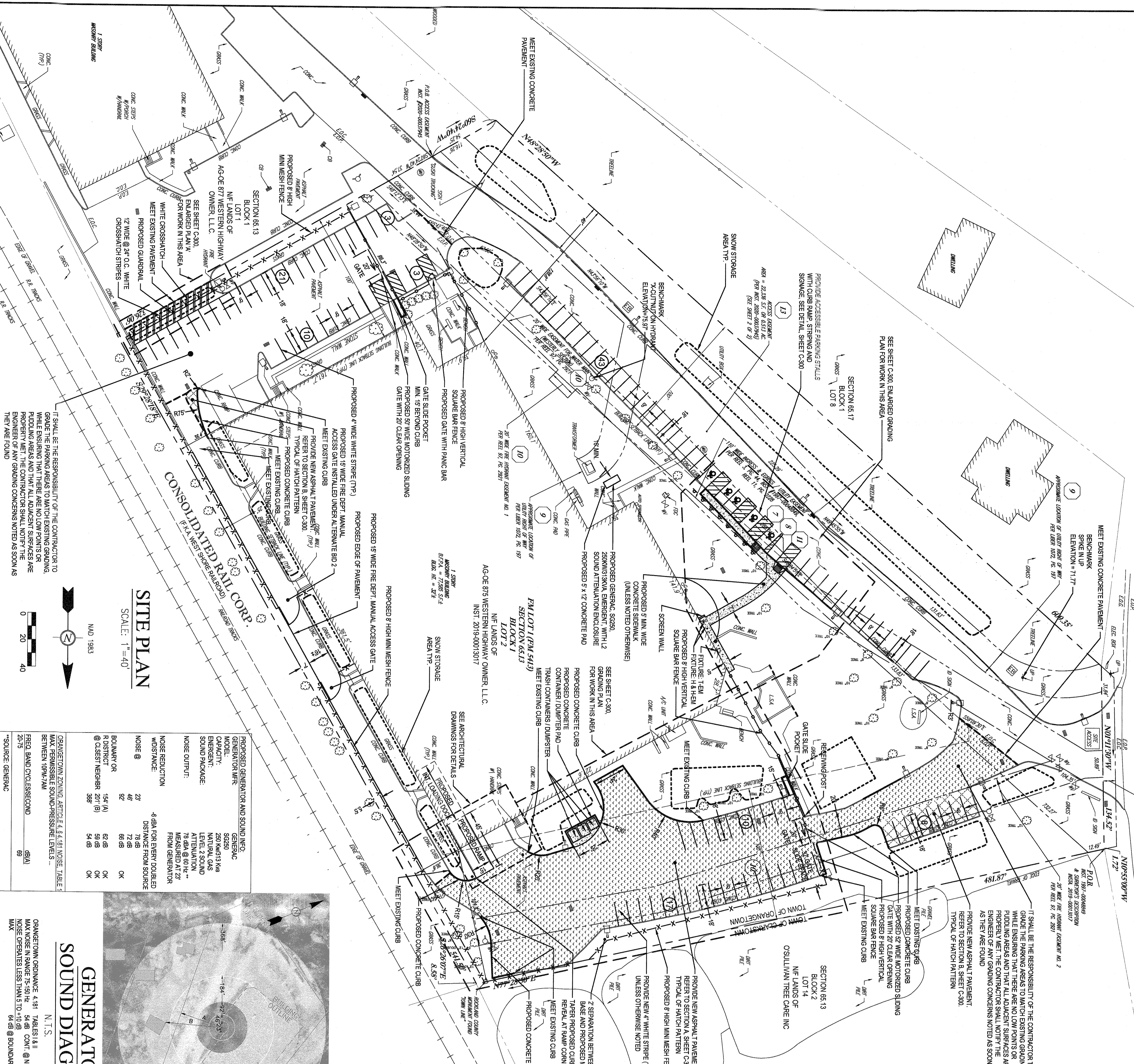
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Drawing Number: **C-100**

**REVISIONS**

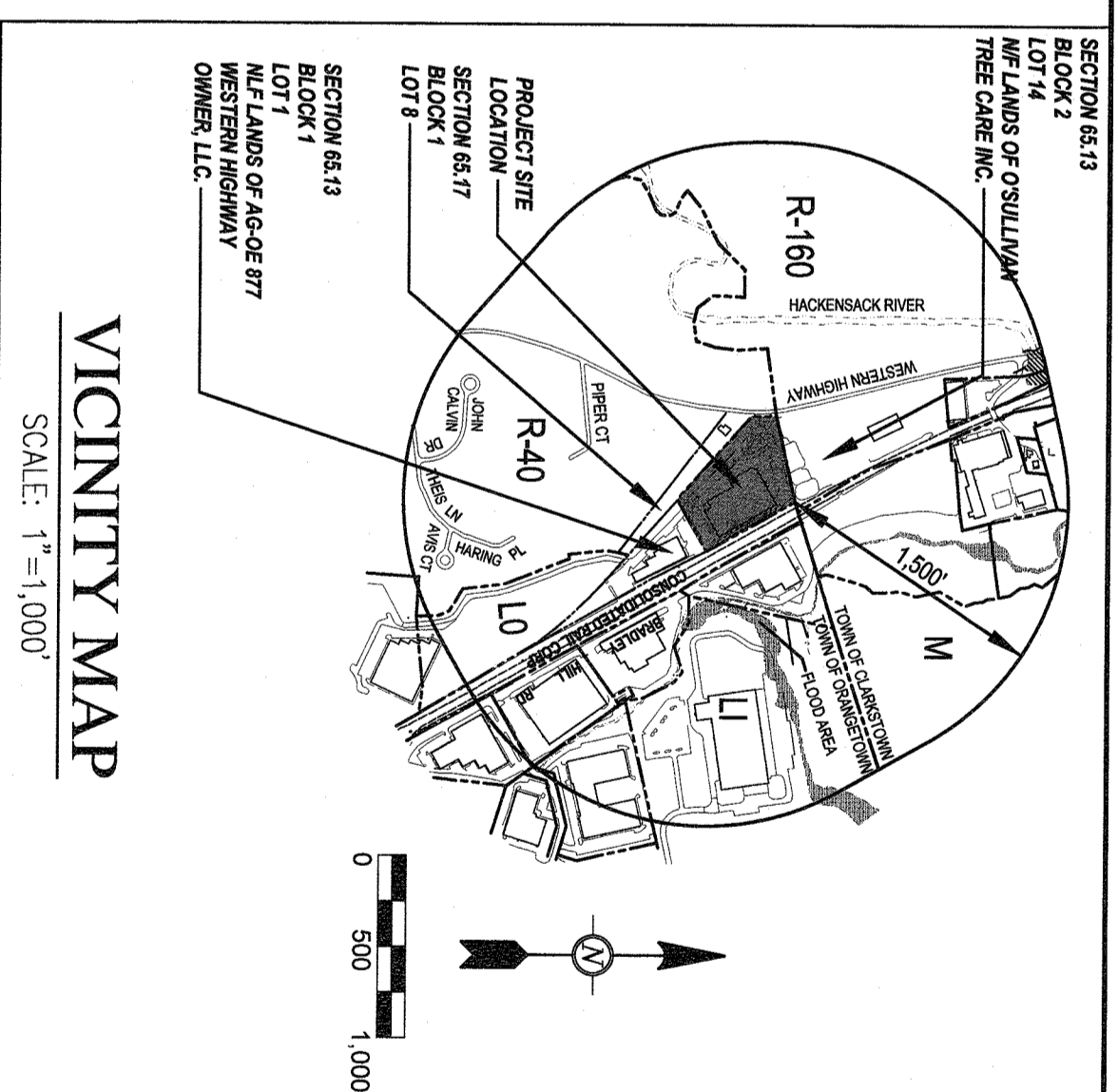
No.	Date	Description	Responsible Party
1	03/28/22	FOR PERMITS	YJM
2	01/13/2023	REMOVALS REV.	YJM

**WESTERN HIGHWAY**  
 (AKA COUNTY HIGHWAY ROUTE 15)  
 (VARIABLE WIDTH PUBLIC RIGHT OF WAY)  
 (ASPHALT ROADWAY)  
 (TWO WAY TRAFFIC)



**SITE PLAN**  
 SCALE: 1"=40'  
 NAD 1983

NOISE SOURCE	NOISE @ 20' (dB)	NOISE @ 40' (dB)	NOISE @ 60' (dB)	NOISE @ 80' (dB)	NOISE @ 100' (dB)
GENERATOR	89	84	80	77	75
GENERATOR	89	84	80	77	75
GENERATOR	89	84	80	77	75
GENERATOR	89	84	80	77	75
GENERATOR	89	84	80	77	75
GENERATOR	89	84	80	77	75
GENERATOR	89	84	80	77	75
GENERATOR	89	84	80	77	75
GENERATOR	89	84	80	77	75
GENERATOR	89	84	80	77	75



DESCRIPTION	SYMBOL	EXISTING	PROPOSED
PROPERTY LINE	---	---	---
EASEMENT LINE	---	---	---
BUILDING	▭	▭	▭
CURB (ALL TYPES)	---	---	---
CONCRETE SIDEWALK	---	---	---
CONCRETE WALK EDGE	---	---	---
PAVEMENT MARKING	---	---	---
MEET PAVEMENT LINE	---	---	---
CHAIN LINK FENCE	---	---	---
SQUARE BAR FENCE	---	---	---
GUARDBAIL	---	---	---
RETAINING WALL	---	---	---
VEGETATION LINE	---	---	---
HYDRANT	⊕	⊕	⊕
WATER VALVE	⊕	⊕	⊕
FIRE DEPT. CONNECTION	⊕	⊕	⊕
ELECTRIC BOX	⊕	⊕	⊕
CLEAN OUT	⊕	⊕	⊕
SIGN	⊕	⊕	⊕
BOLLARD	⊕	⊕	⊕
CATCH BASIN OR INLET	⊕	⊕	⊕
AREA LIGHT	⊕	⊕	⊕
UTILITY POLE	⊕	⊕	⊕
MANHOLE	⊕	⊕	⊕
TREE	⊕	⊕	⊕
PARKING SPACE COUNT	⊕	⊕	⊕
TRUCK TRAFFIC	⊕	⊕	⊕
PARKING A HATCH	⊕	⊕	⊕
SECTION B HATCH	⊕	⊕	⊕

TOTAL AREA OF DISTURBANCE:	4,794
1. REMOVAL OF DRIVEWAY & SIDEWALKS	1,157
2. NEW SIDE WALKS	25,855
3. FULL DEPTH PAVING REPLACEMENT NORTH END	31,796
<b>TOTAL</b>	<b>37,796</b>

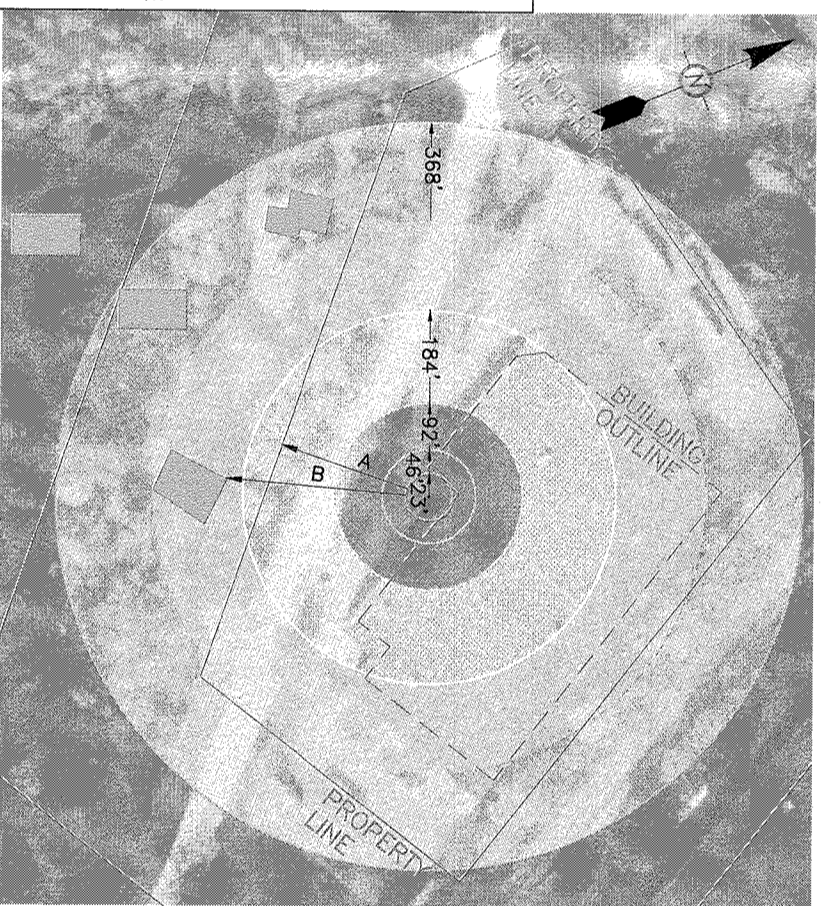
**MAP NOTES:**  
 1. TOPOGRAPHIC INFORMATION SHOWN HEREON WAS COMPILED FROM AN ACTUAL FIELD SURVEY CONDUCTED DURING THE MONTH OF MARCH, 2022.  
 2. ON THE ORIENTATION IS REFERENCED TO GRID NORTH AND IS BASED ON THE NAD 83 DATUM. THE COORDINATE SYSTEM, EAST ZONE, VERTICAL DATUM SHOWN HEREON IS NAD 83 AND WAS OBTAINED FROM GPS OBSERVATIONS.  
 3. FROM GPS OBSERVATIONS.  
**MAP REFERENCE:**  
 1. "ALTA/MSR'S LAND TITLE SURVEY SECTION 66.13, BLOCK 1, LOT 2 875 WESTERN HIGHWAY - BUILDING #11, HAMLET OF BLAUVELT, TOWN OF ORANGETOWN, ROCKLAND COUNTY, STATE OF NEW YORK" PREPARED BY CONROL POINT ASSOCIATES, INC. P.C. DATED DECEMBER 9, 2021.  
 NOTE: SEE ALTA/MSR'S LAND TITLE SURVEY FOR ADDITIONAL NOTES AND DESCRIPTIONS.

**ZONING COMPLIANCE TABLES**

ITEMS	CODE	REQUIRED	EXISTING	PROPOSED	NOTES
Maximum Floor Area Ratio	Table 3.12	0.40	0.35	0.35	Existing FAR: 95.437/6768.765 = 2.40-35. Proposed FAR: 95.437/268.765 = 2.40-35.
Min. Lot Area (square feet)	Table 3.12	2,500	632 sqft	632 sqft	Existing Lot Area: 632 sqft. Proposed Lot Area: 632 sqft.
Min. Lot Width (feet)	Table 3.12	50	45.13	45.13	Existing Lot Width: 45.13 ft. Proposed Lot Width: 45.13 ft.
Min. Street Frontage (feet)	Table 3.12	150	135.24	135.24	Existing Street Frontage: 135.24 ft. Proposed Street Frontage: 135.24 ft.
Required side Yard Setback (ft)	Table 3.12	100	101.3	101.3	Existing side yard setback: 101.3 ft. Proposed side yard setback: 101.3 ft.
Required side Yard Setback (ft)	Table 3.12	100	128.8	128.8	Existing side yard setback: 128.8 ft. Proposed side yard setback: 128.8 ft.
Required side Yard Setback (ft)	Table 3.12	100	99.3	200.6	Existing side yard setback: 99.3 ft. Proposed side yard setback: 200.6 ft.
Required side Yard Setback (ft)	Table 3.12	200	36.6	36.6	Existing side yard setback: 36.6 ft. Proposed side yard setback: 36.6 ft.
Max. Building Height (in feet and inches per foot of distance measured from the designated street line)	Table 3.12	3'	(4)32'	(4)32'	Note: 10' in D.District. Floor level 1.5' when abutting adjacent right-of-way. No Change Proposed.

TABLE 4.2.1 PARKING REQUIREMENTS	SECTION 4.118	69 (8)(A)	na	59 (8)(A)
REQUIRED	46	0	115	115
PROVIDED	0	0	115	115

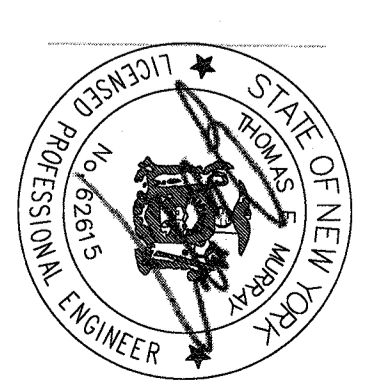
**GENERATOR SOUND DIAGRAM**



**GENERATOR SOUND DIAGRAM**  
 N.T.S.  
 ORANGETOWN CORNICE 4.18' TABLE 4.11  
 MAX NOISE IN RANGE 75-90 dB @ 54dB @ NIGHTTIME  
 NOISE OPERATES LESS THAN 5 TO 10 DB @ BOUNDARY OR R DISTRCT

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**Asahi Depository**  
 Project Address:  
 875 Western Highway  
 Blauvelt, NY 10913  
 Consultants



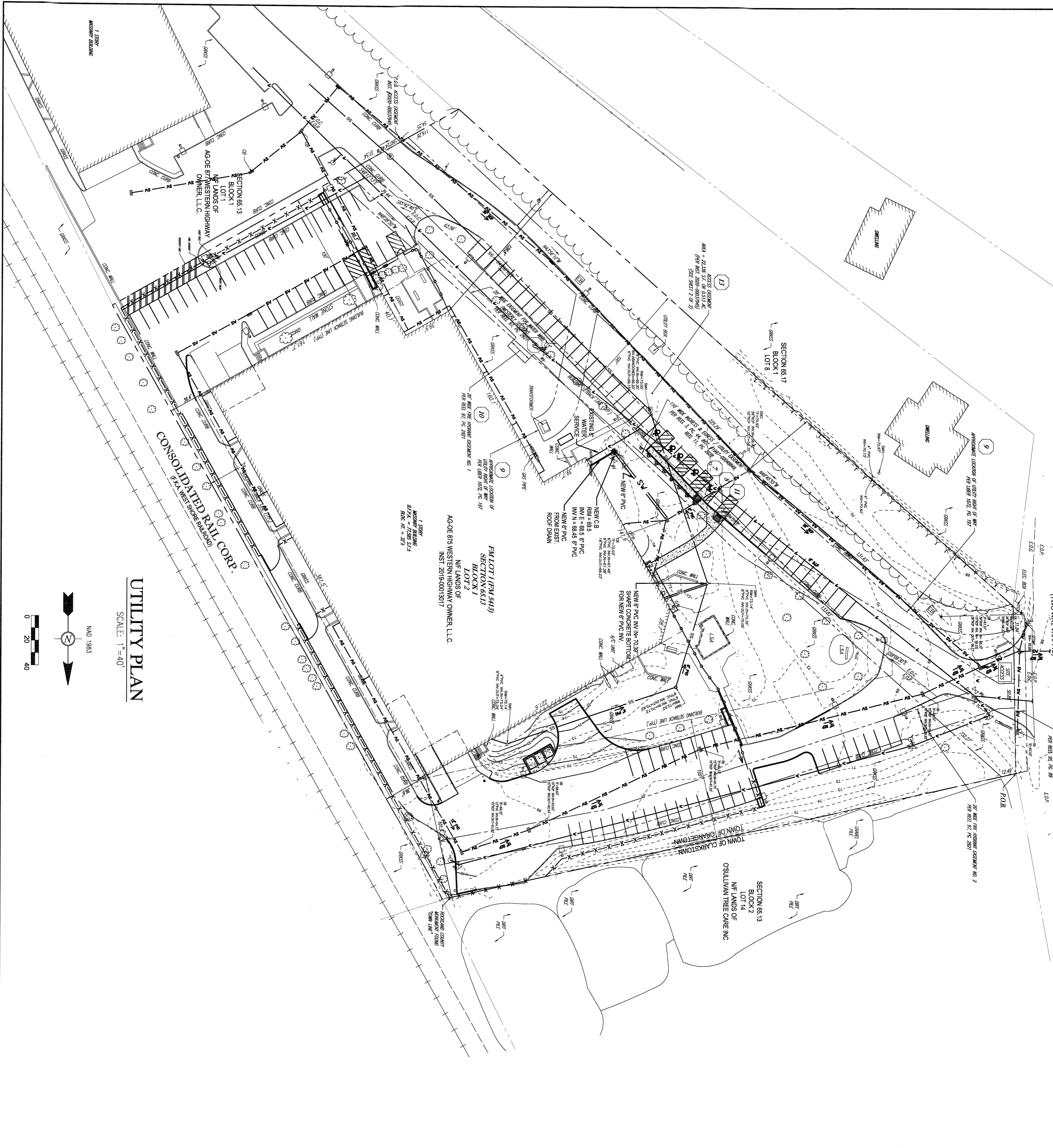
**REVISIONS**

No.	Date	Description	Responsible
01	02/28/22	FOR PERMITS	YJM
02	03/16/22	SITE UPDATES	YJM
03	06/12/22	FOR PB	YJM

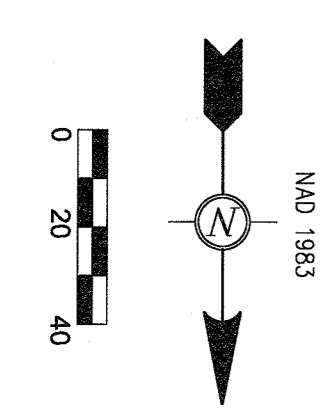
Drawing: **SITE PLAN AND VICINITY MAP**  
 Project Number: 21031  
 Responsible Party: JS  
 Restored By: DC  
 Scale: AS NOTED  
 Drawing Number: **C-200**

# WESTERN HIGHWAY

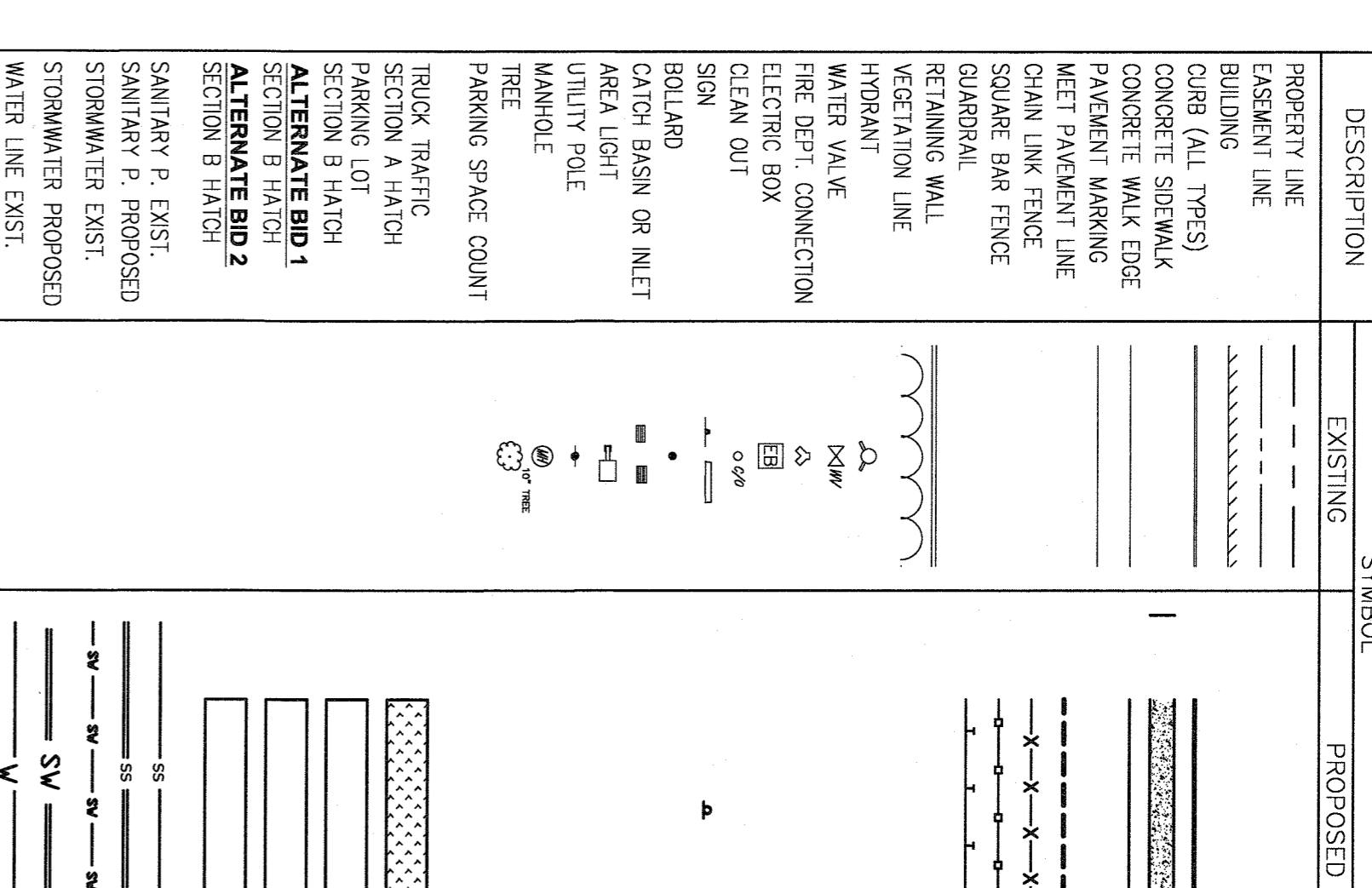
(A.K.A. COUNTY HIGHWAY ROUTE 15)  
(VARIABLE WIDTH PUBLIC RIGHT OF WAY)  
(ASPHALT ROADWAY)  
(TWO WAY TRAFFIC)



UTILITY PLAN  
SCALE: 1"=40'



## LEGEND



PRE VS. POST AREAS (ACRES)

SURFACES AREA	BUILDING	ASPHALT	CONCRETE	GRASS	TOTAL AREA
EXISTING	1.78	1.86	.09	2.50	6.24
PROPOSED	1.78	1.48	.12	2.85	6.24

**REDEVELOPMENT NOTES:**  
1) THE EXISTING SITE HAS A TOTAL OF 373 ACRES OF WETLANDS AREA. THE PROPOSED DEVELOPMENT WILL CAUSE A NET LOSS OF 1.78 ACRES OF WETLANDS AREA. THE PROPOSED DEVELOPMENT WILL BE LOCATED IN AN AREA DETERMINED TO BE A 'NET LOSS' OF WETLANDS. THE PROPOSED DEVELOPMENT WILL MAINTAIN THE ALREADY CONSTRUCTED VAN ENTRANCE.

### GREEN INFRASTRUCTURE SITE PLANNING

PRACTICE	DESCRIPTION	PROJECT APPLICATION
RESTORATION OF UNDEVELOPED AREAS	BRONXITE AND BLACK AND REDUNDANT CONSERVATION UNDEVELOPED FORESTS, MANNING WETLANDS, PERMANENT CHANNELS, WETLANDS, AND NATURAL TERRESTRIAL.	THE EXTENT OF THE CLEARING WAS LIMITED TO USER'S NEEDS. THERE IS NO PROPOSED DISTURBANCE OF THE WETLAND AREAS.
RESTORATION OF BUFFERS	DEFINE, DEMARKATE AND PRESERVE PERMANENT STREAMS, RIVERS, SHOEBELTS AND WETLANDS.	THE PROJECT WAS DESIGNED TO NOT IMPACT THE EXISTING BUFFERS ON SITE TO WHEREVER POSSIBLE.
REDUCTION OF CLEARING & GRADING	LIMIT CLEARING AND GRADING TO THE MINIMUM AMOUNT NEEDED FOR ROADS, DRIVEWAYS, FOUNDATIONS, UTILITIES AND OVERGROUND MANAGEMENT FACILITIES.	THE CLEARING LIMIT WAS MINIMIZED USING MAXIMUM SLOPES AND RETAINING WALLS TO MEET GRADE WHERE APPLICABLE.
LOADING	AVOID SENSITIVE RESOURCE AREAS SUCH AS FLOODPLAINS, STEEP SLOPES, FORESTS AND WETLANDS. MINIMIZE LOADING DEVELOPMENT TO FIT THE TERRESTRIAL AREAS THAT WILL CREATE OPEN SPACE AND PROJECT WATER.	THE PROJECT WAS DESIGNED TO AVOID THE MOST SENSITIVE AREAS ON SITE SUCH AS THE STEEP SLOPES. ADDITIONALLY, THIS SITE HAS BEEN PREVIOUSLY DISTURBED.
OPEN SPACE DESIGN	USE CLUSTERED DEVELOPMENT DESIGN OR OPEN SPACE DESIGN TO REDUCE IMPERVIOUS COVER, PRESERVE MORE OPEN SPACE AND PROJECT WATER.	LARGER GREEN SPACES HAVE BEEN PROPOSED ON THE SITE.
SOIL RESTORATION	RESTORE THE ORIGINAL PROPERTIES AND POROSITY OF THE SOIL BY DEEP TILL AND AMENDMENT WITH COMPOST TO IMPROVE SOIL STRUCTURE AND INCREASE THE NUTRIENT REDUCTION PERFORMANCE OF POST CONSTRUCTION PRACTICES.	COMPACTED SOILS LOCATED IN OPEN AREAS WITHOUT SHALLOW EXISTING UTILITIES WILL BE TILLED IN ORDER TO RESTORE THE ORIGINAL PROPERTIES OF THE SOIL, PRIOR TO SEEDING.
ROADWAY REDUCTION	MINIMIZE ROADWAY WIDTHS AND LENGTHS TO REDUCE SITE IMPERVIOUS AREA.	ROADWAY WIDTHS WERE REDUCED WHEREVER STANDARDS AND ACCESS FOR EMERGENCY VEHICLE ACCESS TO RESTORE THE ORIGINAL PROPERTIES OF THE SOIL, PRIOR TO SEEDING.
SIDWALK REDUCTION	MINIMIZE SIDEWALK LENGTHS AND WIDTHS TO REDUCE SITE IMPERVIOUS AREA.	SIDWALKS WERE REDUCED WHERE NECESSARY TO ACCOMMODATE THE PROPOSED DRIVEWAYS AND SWELLY SERVICE FACILITY WHEREVER POSSIBLE.
DRIVEWAY REDUCTION	MINIMIZE DRIVEWAY LENGTHS AND WIDTHS TO REDUCE SITE IMPERVIOUS AREA.	SIDWALKS WERE REDUCED WHERE NECESSARY TO ACCOMMODATE THE PROPOSED DRIVEWAYS AND SWELLY SERVICE FACILITY WHEREVER POSSIBLE.

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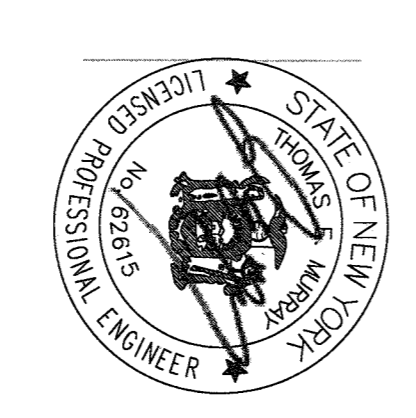
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Project Name:  
**Asahi Depository**

Project Address:  
875 Western Highway  
Blauvelt, NY 10913

Consultants



### REVISIONS

No.	Date	Description	Responsible Party
01/12/22	ISSUED		YJM

### UTILITY PLAN

Drawing:  
**UTILITY PLAN**

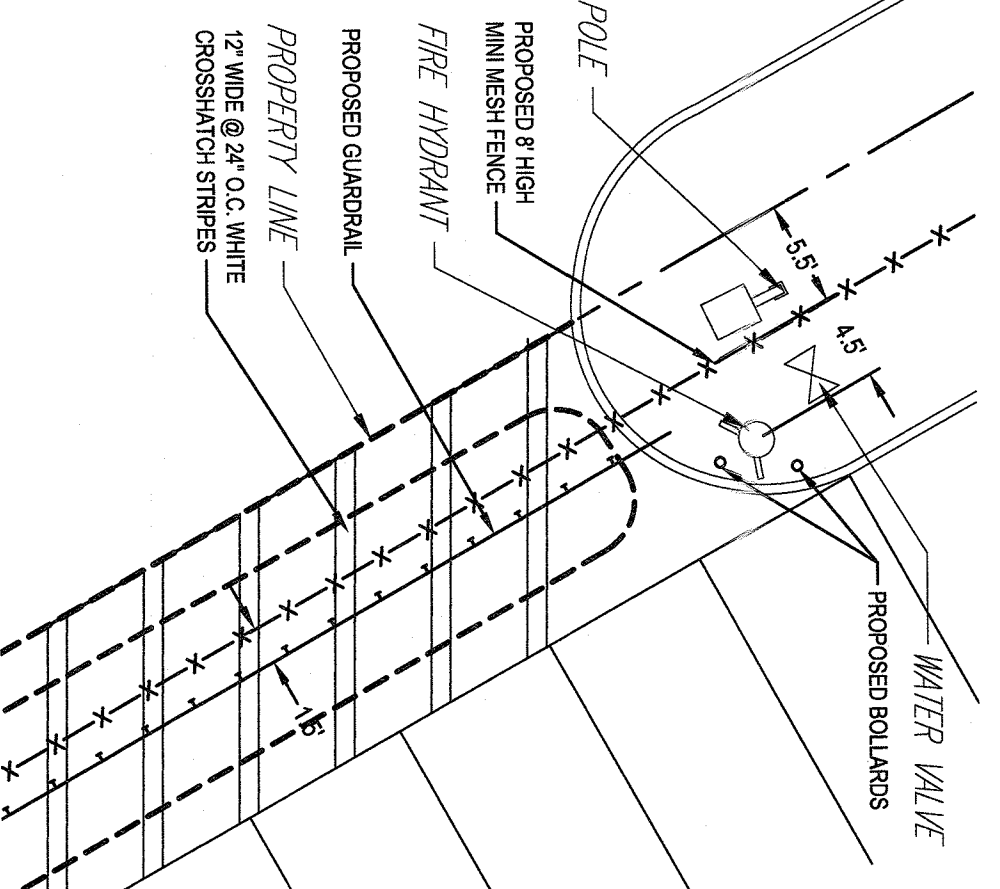
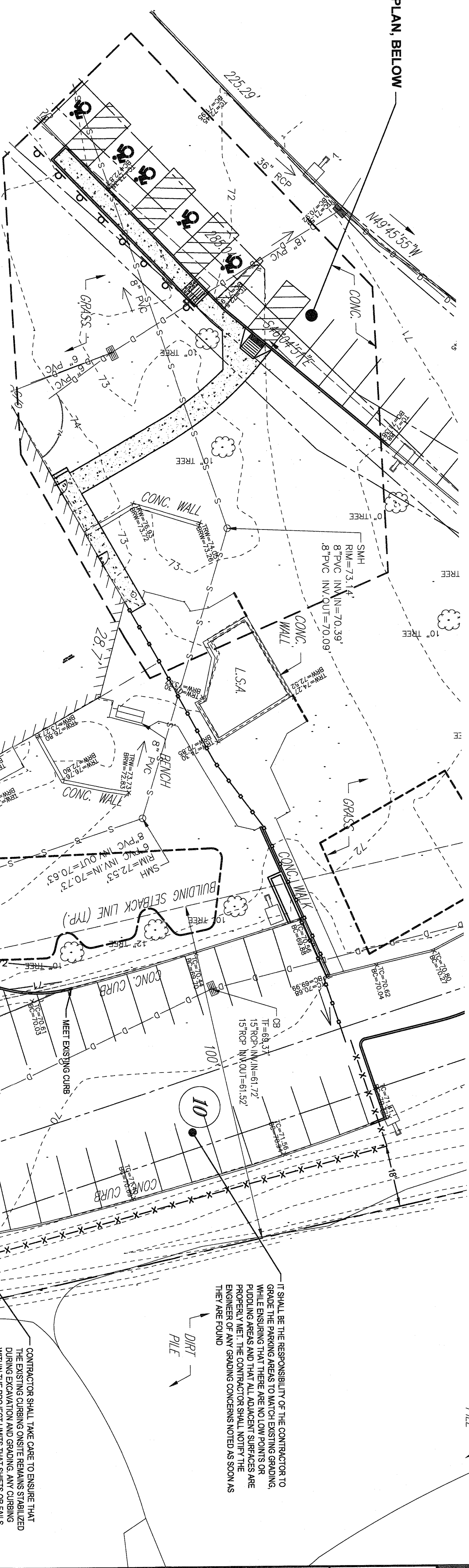
Project Number: 21031  
Scale: AS NOTED  
Drawing Number: C-201

Responsible Party: JS  
Reviewed By: DC

DESCRIPTION	SYMBOL	PROPOSED
BUILDING CURB (ALL TYPES)	[Symbol]	[Symbol]
CONCRETE SIDEWALK	[Symbol]	[Symbol]
PAVEMENT MARKING	[Symbol]	[Symbol]
MEET PAVEMENT LINE	[Symbol]	[Symbol]
CHAIN LINK FENCE	[Symbol]	[Symbol]
SQUARE BAR FENCE	[Symbol]	[Symbol]
SQUARE BAR FENCE	[Symbol]	[Symbol]
SEWER LINE	[Symbol]	[Symbol]
CONTOUR	[Symbol]	[Symbol]
SPOT ELEV	[Symbol]	[Symbol]
CURB TOP AND BOTTOM ELEVATION	[Symbol]	[Symbol]
RETAINING WALL	[Symbol]	[Symbol]
SON	[Symbol]	[Symbol]
WATER VALVE	[Symbol]	[Symbol]
FIRE HYDRANT	[Symbol]	[Symbol]
TREE	[Symbol]	[Symbol]
AREA LIGHT	[Symbol]	[Symbol]

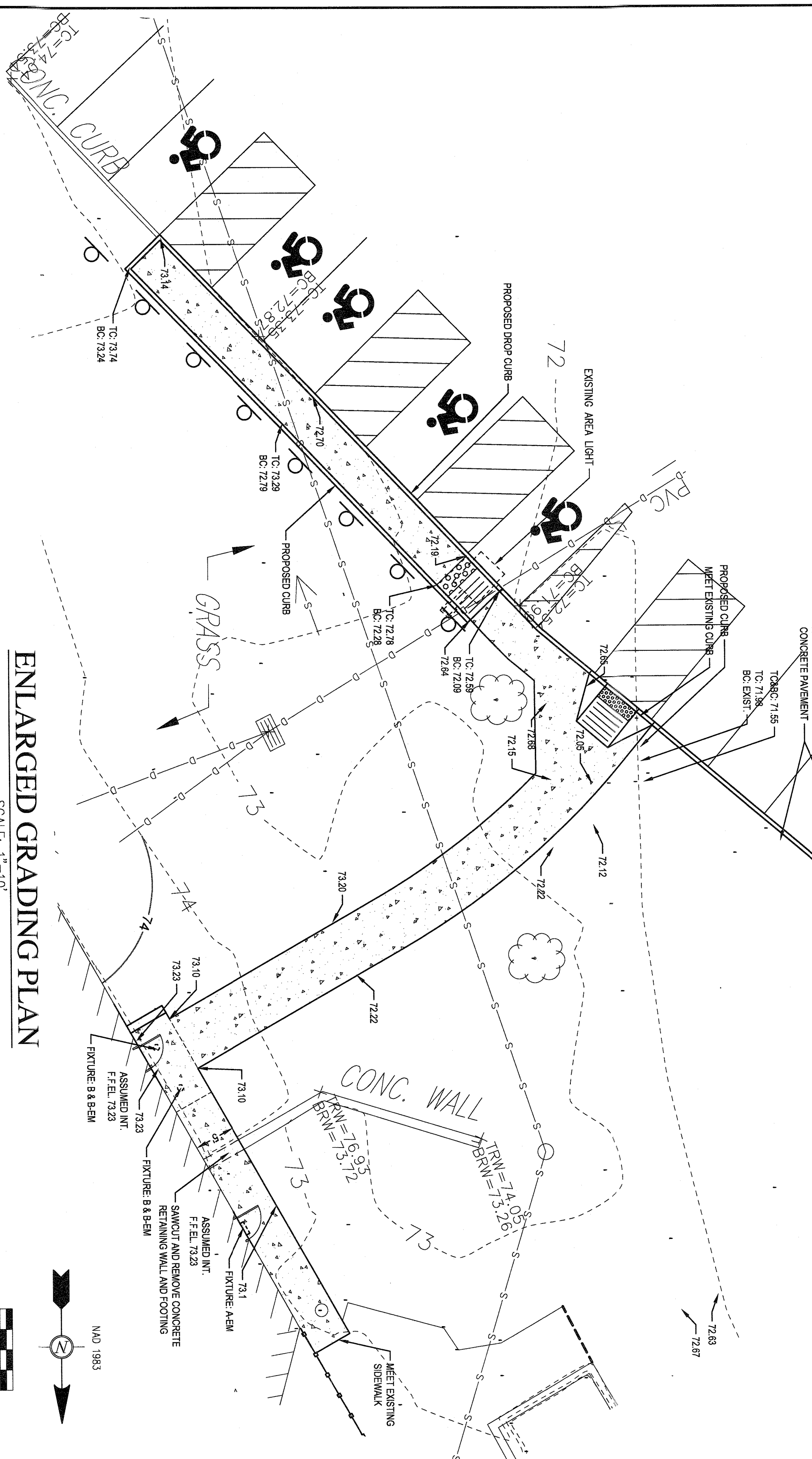
**LEGEND**

SEE ENLARGED GRADING PLAN, BELOW



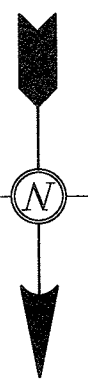
**ENLARGED PLAN 'A'**

SCALE: 1"=10'



**ENLARGED GRADING PLAN**

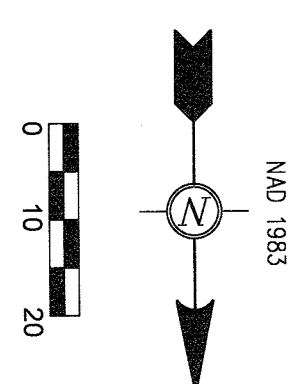
SCALE: 1"=10'



MAD 1983

**GRADING PLAN**

SCALE: 1"=20'



MAD 1983

IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO GRADE THE PARKING AREAS TO MATCH EXISTING GRADING. PROVIDE AREAS AND THAT ALL ADJACENT SURFACES ARE PROPERLY MET. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY GRADING CONCERNS NOTED AS SOON AS THEY ARE FOUND.

CONTRACTOR SHALL TAKE CARE TO ENSURE THAT THE EXISTING CURBING ON SITE REMAINS STABILIZED WITHIN THE PROJECT LIMITS THAT SHIP'S CURBLES REMAIN WITHIN THE PROJECT LIMITS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE STABILIZATION OF THE CURBING REPAIRED AT THE COST OF THE CONTRACTOR.

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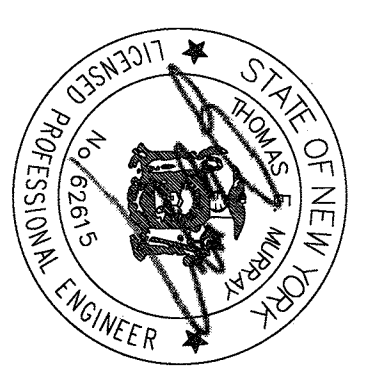
Project Name:  
**Asahi Depository**

Project Address:  
875 Western Highway  
Blauvelt, NY 10913

Consultants

Scale:

No.	Date	Description	Responsible
1	03/28/22	FOR PERMITS	YM
2	05/16/22	GRADING	YM
3	06/13/22	P/B Comments	YM



Drawing:  
**GRADING PLAN & ENLARGED SITE PLANS**

Project Number: 21031  
Responsible Party: JS  
Reviewed By: DC

Scale:  
AS NOTED

Drawing Number:  
**C-300**