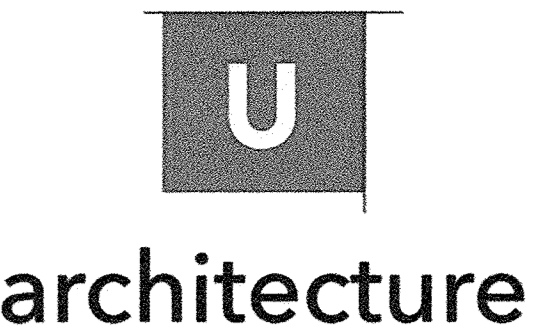




1118 RT 9W, UPPER GRANDVIEW REAR DECK LEGALIZATION



U ARCHITECTURE
845-535-9097
U-ARCHITECT.COM
INFO@U-ARCHITECT.COM

CONSULTANTS
STRUCTURAL ENGINEERS
MARTOS ENGINEERING, PLLC

PROJECT SCOPE

- THIS IS A NO WORK PERMIT FILING TO LEGALIZE EXISTING REAR DECK.
- NO CHANGE TO USE, OCCUPANCY, ZONING, FIRE PROTECTION OR EGRESS UNDER THIS APPLICATION.

PROJECT IDENTIFICATION

PROJECT ADDRESS: 1118 ROUTE 9W, UPPER GRANDVIEW, NY 10960
BLOCK & LOT: 71.05-1-18
USE: SINGLE FAMILY DETACHED RESIDENTIAL
OCCUPANCY: RESIDENTIAL
ZONING DISTRICT: R-22

SCHOOL: NYACK SCHOOL DISTRICT
FIRE: UPPER GRANDVIEW
WATER: TOWN OF ORANGETOWN
SEWER: ORANGETOWN SEWER DISTRICT
LIGHTING: TOWN OF ORANGETOWN

CODE REVIEW

2020 NYS RESIDENTIAL CODE & APPENDIX J (AJ)
R507 Exterior Decks
R507.3.2 Minimum Depth - Exception 2
Free-standing decks need not be provided with footings that extend below the frost line.

R507.8 Vertical and Lateral Supports
Where positive connection to the primary building structure cannot be verified during inspection, decks shall be self-supporting.

AJ301.4 Alterations—Level 1
Level 1 alterations include the removal and replacement or the covering of existing materials, elements, equipment or fixtures using new materials, elements, equipment or fixtures that serve the same purpose, without reconfiguring the space. Level 1 alterations shall comply with the provisions of Section AJ501.

AJ301.5 Alterations—Level 2
TOTAL AREA OF BUILDING ±5300 SF
AREA OF DECK <560 SF
LEGALIZING EXISTING DECK ADDITION

AJ601.9 Structural - New structural members including connections and anchorage shall comply with this code.
NO INCREASED LOADS ARE PROPOSED.
THE STRENGTH & STABILITY OF THE BUILDING SHALL NOT BE AFFECTED.

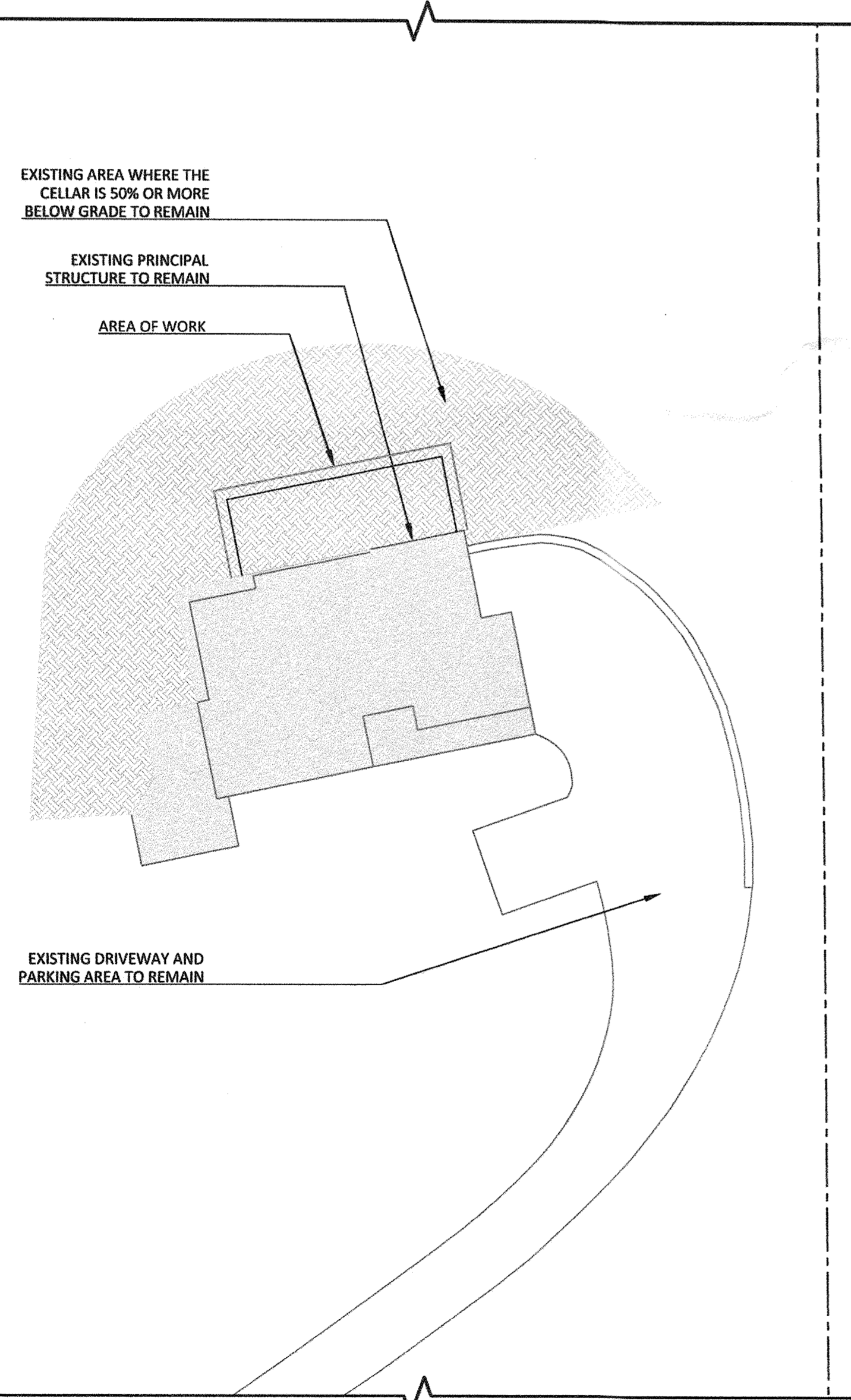
INDEX OF DRAWINGS

SHEET#	SHEET TITLE	REVISION#	PURPOSE
T-101	TITLE SHEET	00	INITIAL FILING
A-001	PLANS	00	INITIAL FILING

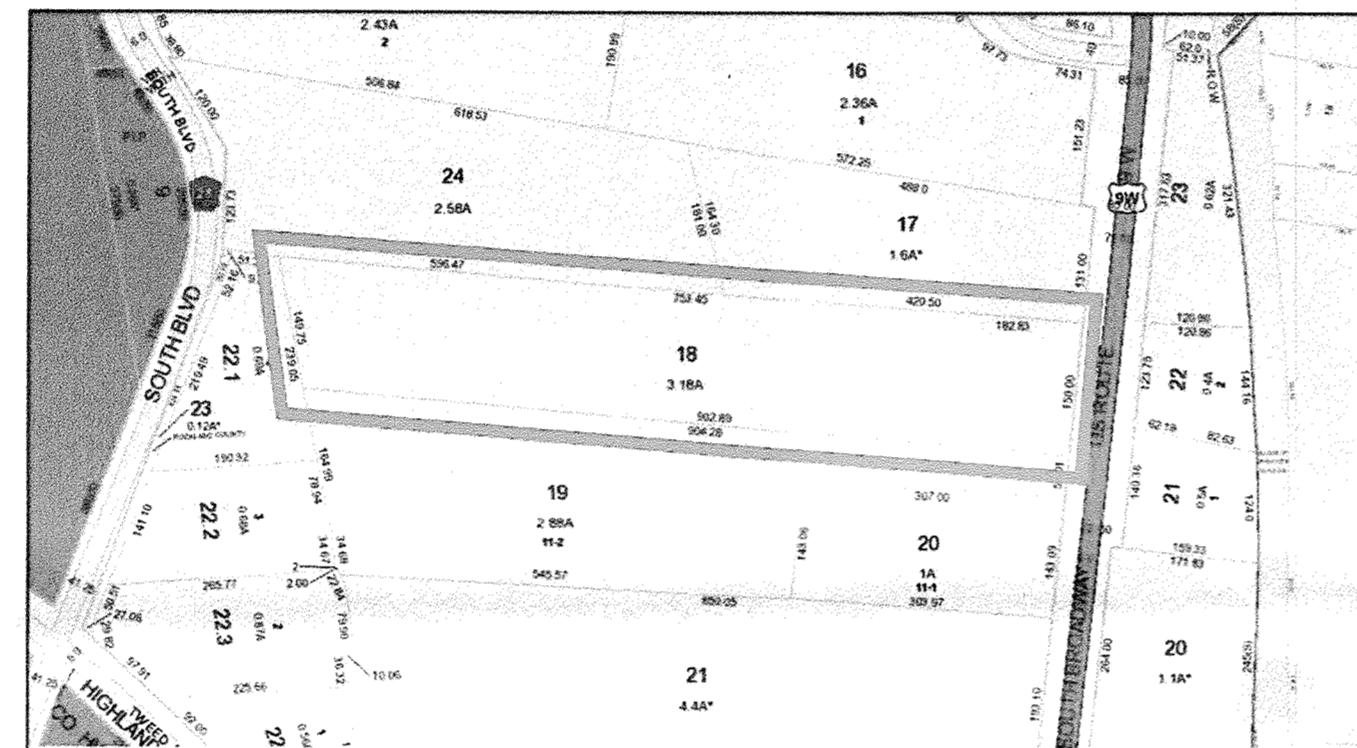
INDEX OF SYMBOLS

	INTERIOR ELEVATION MARK		STRUCTURAL COLUMN GRID LINES		WINDOW TAG
	DETAIL MARK		SPOT ELEVATION MARKER		DOOR TAG
	ELEVATION MARK		ROOM TAG (AREA/CLG HT)		KEYNOTE
	SECTION MARK		ELEVATION MARKER (ABOVE FINISHED FLOOR)		REVISION MARK
			EXIT LIGHT WITH DIRECTIONAL ARROWS		

R-22 ZONING REQUIREMENTS				
	CODE	EXISTING	PROPOSED	COMPLIES
MINIMUM FLOOR AREA RATIO (FAR / SF PER FORMULA ON ZC 11.2)	0.20 / 27,704	+/-8160	NO CHANGE	YES
MINIMUM LOT AREA (SQ FT)	22,500	138,521	NO CHANGE	YES
MINIMUM LOT WIDTH (FT)	125	+/-151	NO CHANGE	YES
MINIMUM STREET FRONTAGE (FT)	100	+/-150	NO CHANGE	YES
MINIMUM SETBACK FRONT STREET LINE (FT)	40	> 300	NO CHANGE	YES
MINIMUM SETBACK FROM SIDE LOT LINES (BOTH / SINGLE)	60 / 20	85 / 35	NO CHANGE	YES
MINIMUM SETBACK FROM REAR LOT LINES (FT PER FORMULA)	45	> 300	NO CHANGE	YES



1 SITE PLAN - NO CHANGE
SCALE 1:250
BASED ON EXCERPT FROM SURVEY BY ROBERT E. SORACE DATED 8/3/97



2 TAX MAP
NOT TO SCALE



3 ZONING MAP
NOT TO SCALE

PROJECT
REAR DECK LEGALIZATION
1118 ROUTE 9W
UPPER GRANDVIEW, NY 10960

DRAWING
TITLE SHEET

REVISIONS	DESCRIPTION
# DATE	

TO THE BEST OF THE SIGNING PROFESSIONAL'S KNOWLEDGE, THE PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES.

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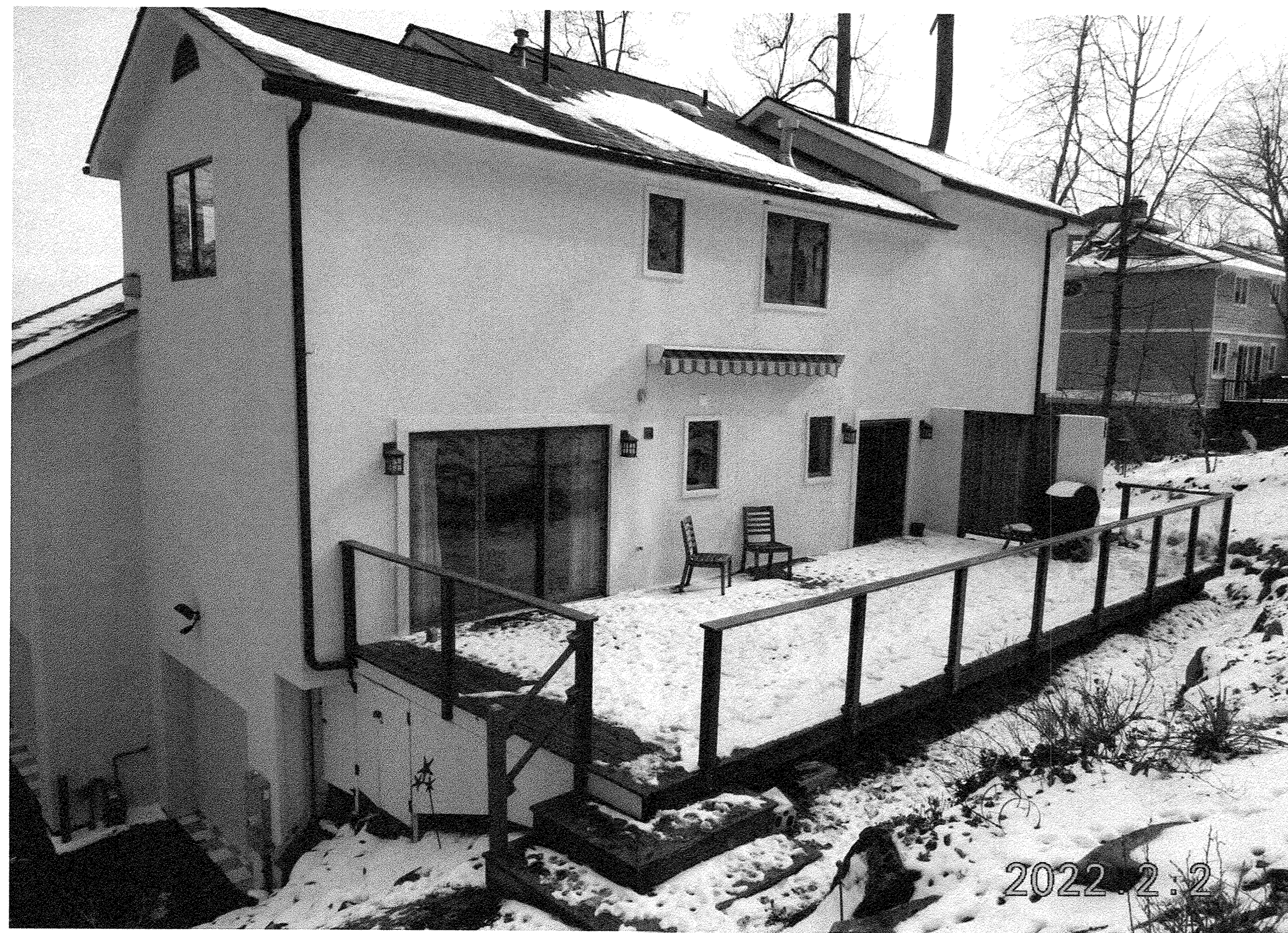


SEAL AND SIGNATURE
JACQUELINE URRRA, R.A.
NY R.A. 034687

ISSUE FOR PERMIT
DATE 02/02/2022
UA PROJECT UA2101B
DRAWN/CHK BY JU
SCALE AS NOTED
SHEET



T-101.00
T-001 TITLE SHEET | 10F 2



REAR ELEVATION



PHOTO 1 - POSTS ON CONCRETE FOOTING



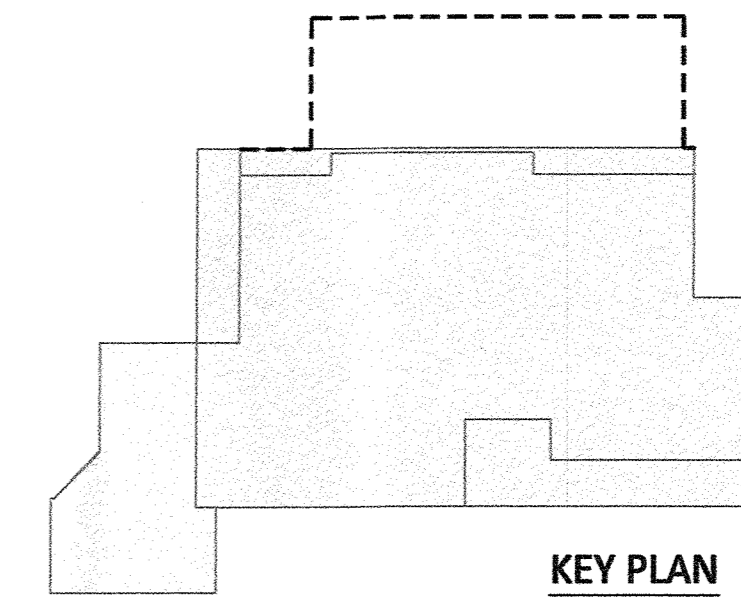
PHOTO 2 - 5 GIRDERS



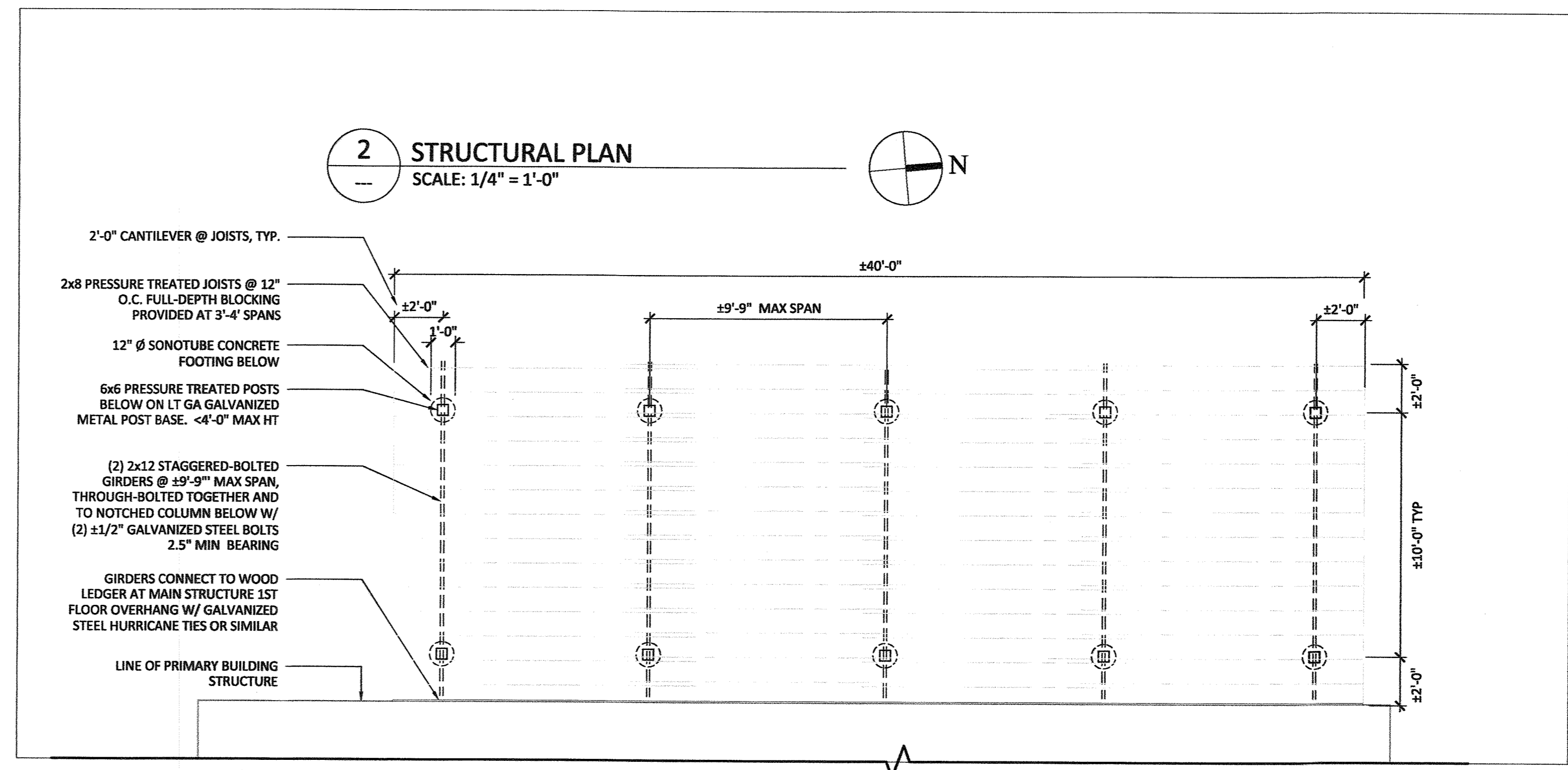
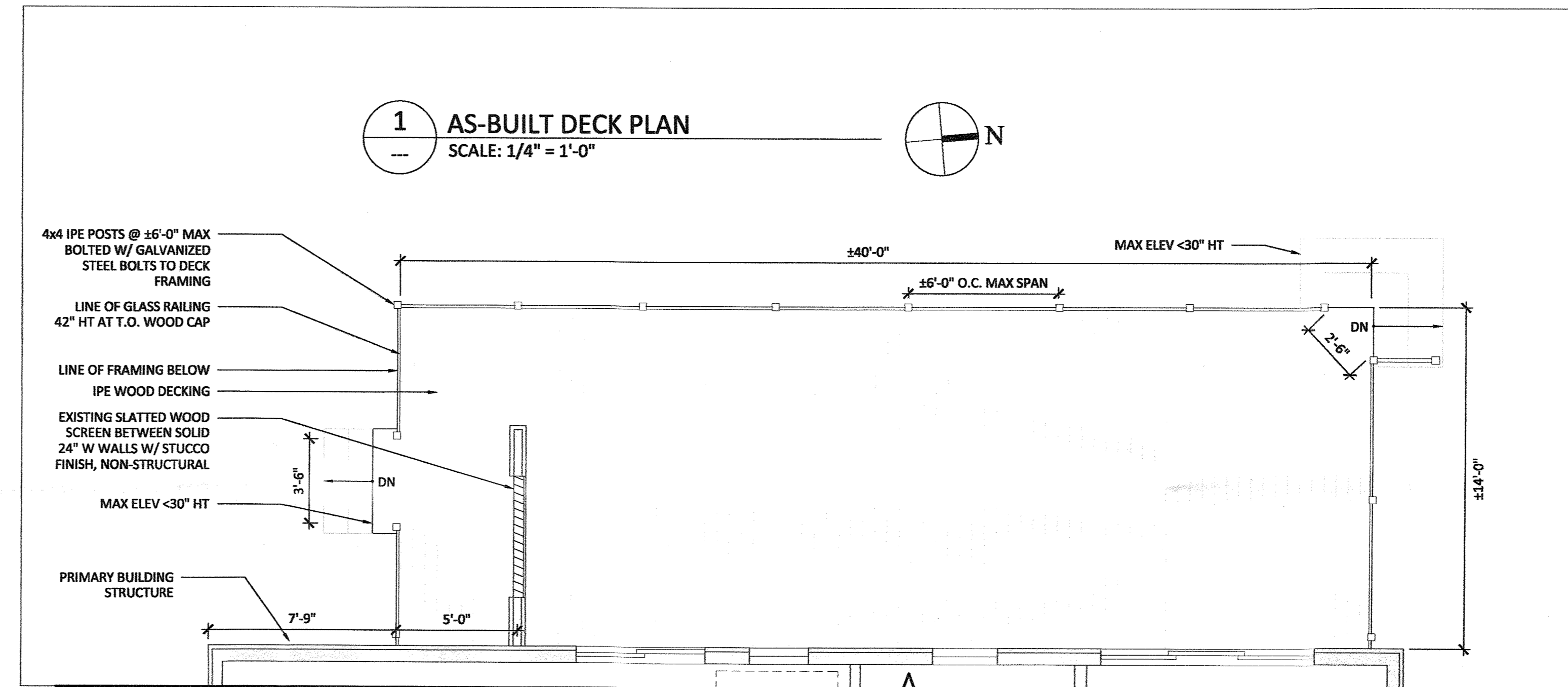
PHOTO 3 - TALLEST POST, BEARING, BLOCKING

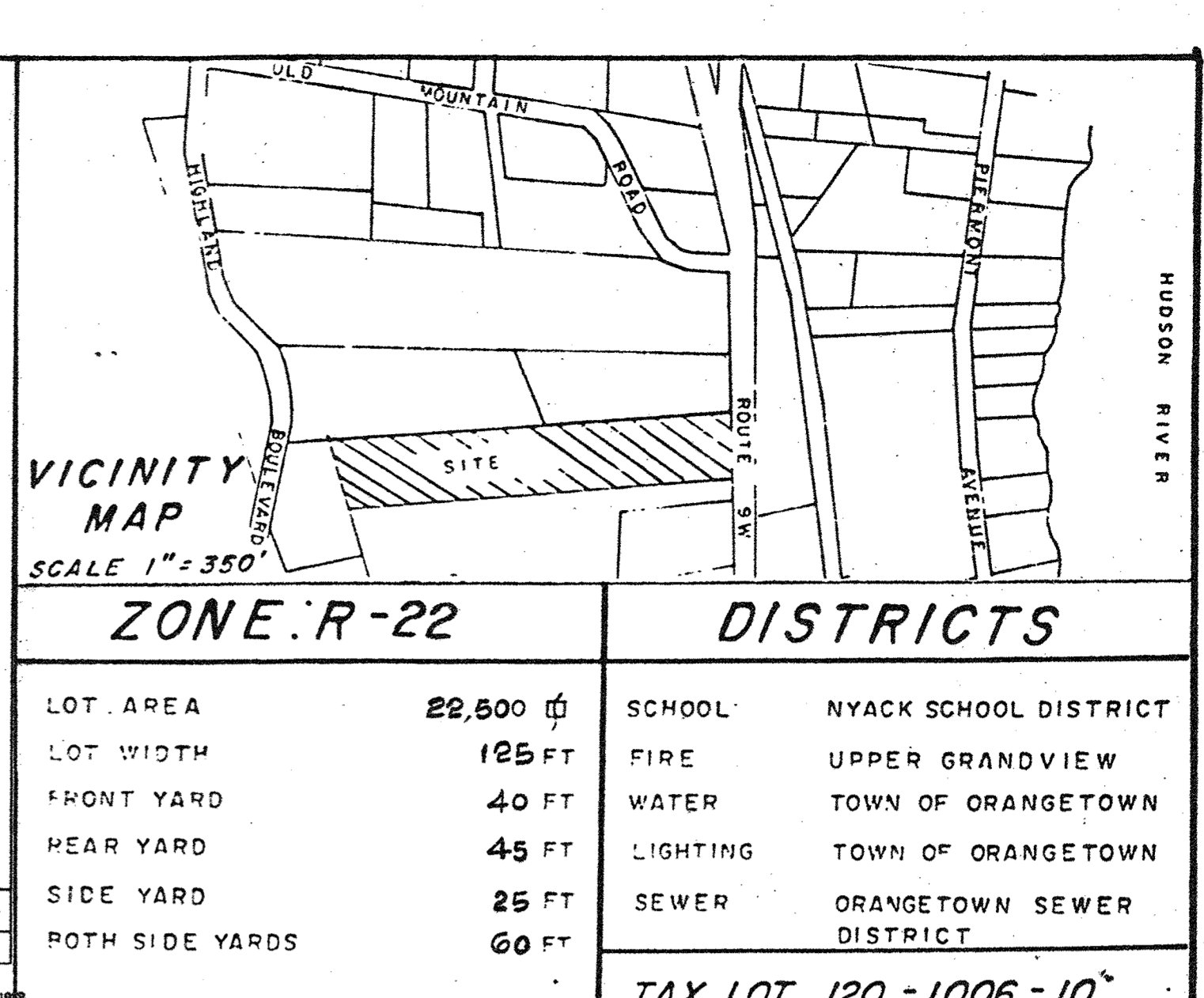
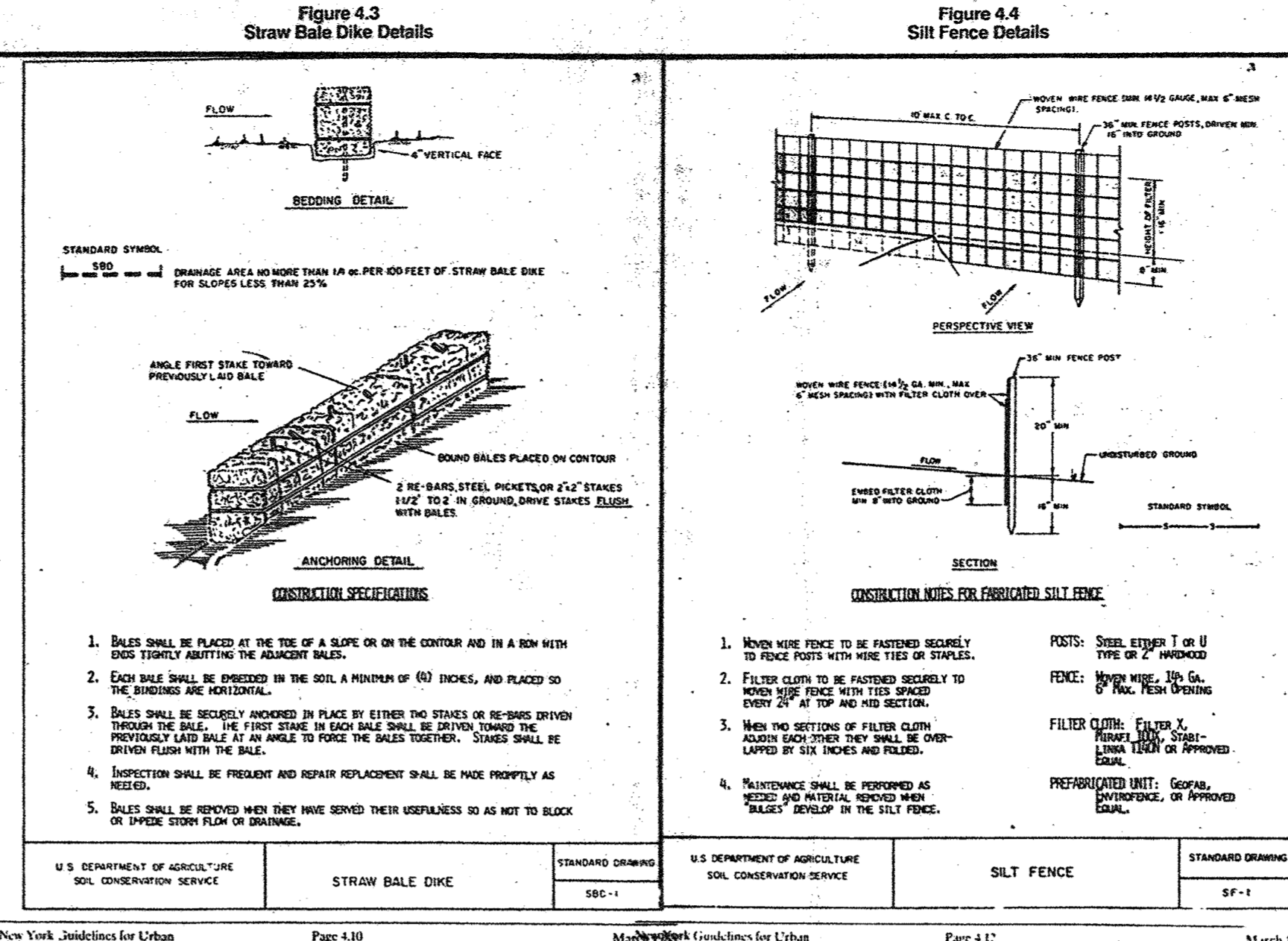
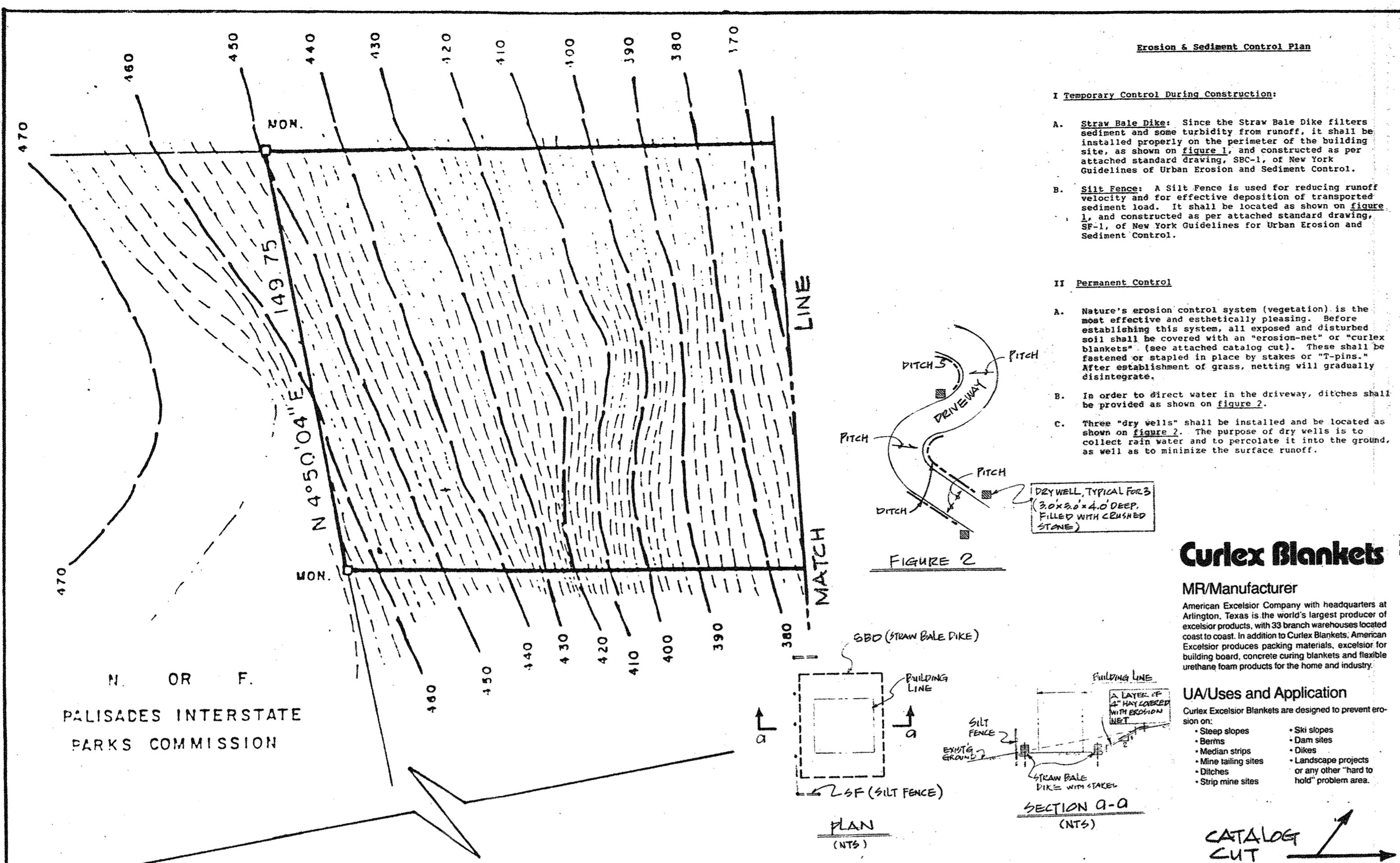


PHOTO 4 - LEDGER AT PRIMARY STRUCTURE & TIE BACK



KEY PLAN





VICINITY MAP
SCALE 1" = 350'

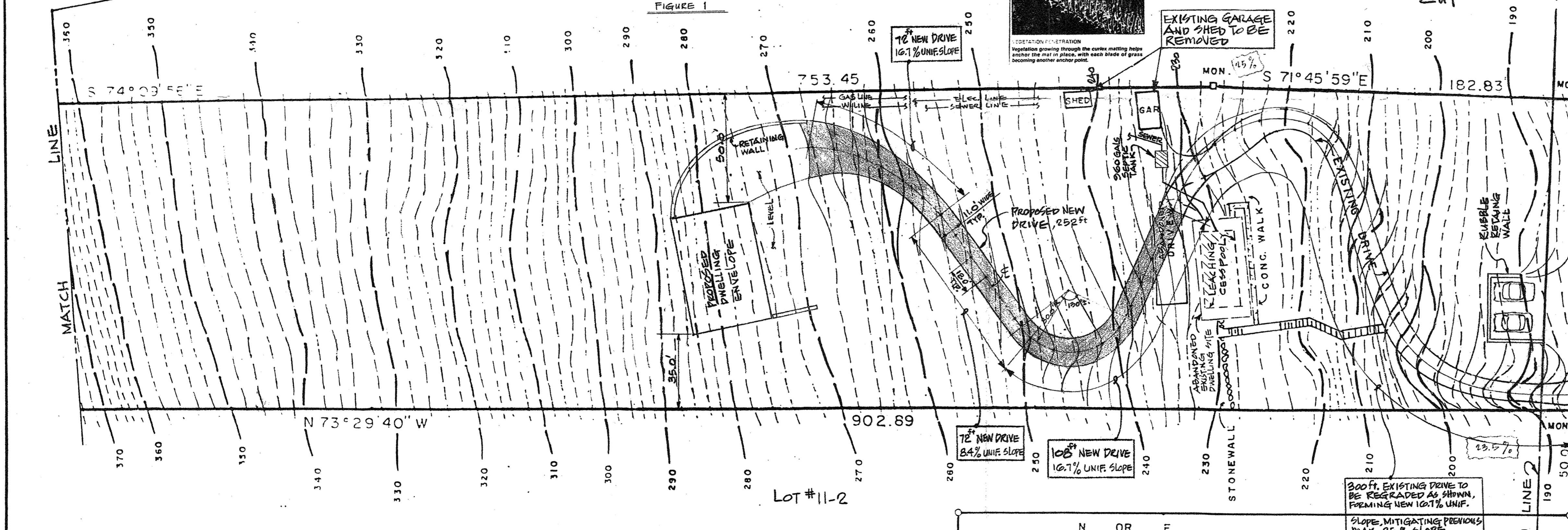
ZONE R-22		DISTRICTS	
LOT AREA	22,500 sq ft	SCHOOL	NYACK SCHOOL DISTRICT
LOT WIDTH	125 FT	FIRE	UPPER GRANDVIEW
FRONT YARD	40 FT	WATER	TOWN OF ORANGETOWN
REAR YARD	45 FT	LIGHTING	TOWN OF ORANGETOWN
SIDE YARD	25 FT	SEWER	ORANGETOWN SEWER DISTRICT
BOTH SIDE YARDS	60 FT		

TAX LOT 120-1006-10

OWNER & APPLICANT

HERBERT F. & ELSPETH SWAIN
514 ROUTE 9W
UPPER GRANDVIEW, N.Y.

CONTRACT PURCHASERS
JAMES H.C. & GLORIA S.K. HU
57 TARRYHILL ROAD
TARRYTOWN, N.Y. 10591



Curlex Blankets
MR/Manufacturer
American Excelsior Company with headquarters at Arlington, Texas is the world's largest producer of excelsior products...

UA/Uses and Application
Curlex Excelsior Blankets are designed to prevent erosion on:
• Steep slopes
• Berms
• Median strips
• Mine tailing projects
• Ditches
• Driveway sites

OP/Overall Product
Slope Applications

EROSION-NET
An economical extruded polypropylene net for use as a jute replacement or where longer soil retention periods are desired...

"U" STAPLES
Degradable carbon iron, 11 gauge, 8 inch lengths. Use with HoudiGro, RollLife or jute erosion control materials. Packed 1000 per carton.

NOTES:

- MONUMENTS TO BE INSTALLED AT ALL LOCATIONS WITH SYMBOL (B)
- TOPOGRAPHY - N.G.S. DATUM, CONTOUR INTERVALS 2 FEET,
- NO BUILDING PERMIT WILL BE ISSUED UNTIL SEWAGE DISPOSAL ARRANGEMENTS HAVE BEEN APPROVED BY THE ROCKLAND COUNTY HEALTH DEPARTMENT AND/OR THE TOWN OF ORANGETOWN
- 120-1006-10 DENOTES EXISTING TAX LOT DESIGNATION
- WATER SUPPLY PUBLIC - SPRING VALLEY WATER COMPANY
- DRIVWAY SHALL BE INSTALLED WITH THREE (3) INCHES OF BINDER MIX WITH A TOP WEARING COURSE OF ONE AND ONE-HALF (1 1/2) INCHES OF FINE MIX ASPHALT CONCRETE ROLLED WITH A FOUR TO SIX TON TANDEM ROLLER OR EQUIVALENT AS APPROVED BY THE TOWN ENGINEER OR CONSULTING ENGINEER

GRAPHIC SCALE (1" = 30')

THIS PLAN DRAWN FROM LAND SURVEY BY ROBERT E. SORACE DATED ON AUG. 3, 1987

RECEIVED
DEC 30 1992
ZONING BOARD OF APPEALS
TOWN OF ORANGETOWN

NO.	DATE	REVISION
#2	12-29-92	(1) REGRADE EXISTING DRIVE (2) ADD EROSION & SEDIMENT CONTROL PLAN
#1	12-12-92	(1) RELOCATED PROPOSED DWELLING SITE (2) REROUTED PROPOSED NEW DRIVE

PROPOSED DWELLING
514 UPPER GRANDVIEW, NEW YORK

SCALE: AS NOTED APPROVED BY
DATE: OCT. 21, 1993
DRAWN BY: J. H.
REVISED: J. H.

HUS CONSULTING FIRM, P.C.
TARRYTOWN, NEW YORK
ENGINEERS & CONSULTANTS
DRAWING NUMBER

SITE PLAN

PROFESSIONAL ENGINEER
JAMES HSI CHENG HU
TARRYTOWN, NEW YORK

Date: 1/6/93