

**BULK REQUIREMENTS ZONE: R-15 ONE-FAMILY DETACHED DWELLING**

USE GROUP	FLOOR AREA	MINIMUM LOT AREA	MINIMUM LOT WIDTH	MINIMUM STREET FRONTAGE	MINIMUM FRONT YARD	MINIMUM SIDE YARD	TOTAL SIDE YARDS	MINIMUM REAR YARD	MAXIMUM HEIGHT FEET
REQUIRED	0.20	15,000 S.F.	100'	75'	30'	20'	50'	35'	35'
EXISTING	<0.20	89,272 S.F.	82.23'	97.85'	62'	29.5'	60.2'	259'	<35'
PROPOSED	<0.20	89,272 S.F.	82.23'	97.85'	55.1'	27.7'	63.5'	259'	<35'

LOT AREA = 89,272.19 SQUARE FEET  
 BEING LOT 3.2 ON A CERTAIN MAP ENTITLED  
 "SPURR HOMES"  
 FILED IN THE ROCKLAND COUNTY CLERK'S OFFICE  
 AS MAP #5142 BOOK #95 PAGE #48 ON 05/30/1980.

TAX MAP DESIGNATION: 74.16-1-21  
 REPLACE FIRE  
 DAMAGED  
 HOUSE WITH  
 NEW HOUSE FOR

**12. N. QUEENS CT**

TOWN OF ORANGETOWN, ROCKLAND COUNTY  
 ORANGEBURG, NEW YORK  
 DECEMBER 16, 2021 SCALE: 1" = 20'

ANTHONY R. CELENTANO P.E.  
 31 ROSMAN ROAD  
 THIELLS, N.Y. 10984  
 845 429 5290 FAX 429 5974




*Anthony R. Celentano* IC#76244

WMH DRAWING LIST	
PAGE #	
1	ELEVATIONS
2	FOUNDATION PLAN
3A,3B	FLOOR PLAN
3W	BRACED WALL PLAN
4	CROSS SECTION
5A,5B	PLUMBING PLAN
6A,6B	ELECTRICAL PLAN
7C,7D	FHW HEATING PLAN
8	STD. NOTES & DETAILS

TOTAL AREA	= 3,424 SQ. FT.
USE GROUP	= DETACHED SINGLE FAMILY DWELLING
CONST. TYPE	= WOOD FRAME UNPROTECTED
GROUND SNOW LOAD	= 40 LB/SF
SEISMIC DESIGN CAT.	= C
SOIL SITE CLASS	= D
WIND SPEED (Vult)	= TBD MPH
EXPOSURE CATEGORY	= B
FLOOD ZONE	= NO
NUMBER OF STORIES	= 2
FLOOR LIVE LOAD	=
	1st FL. = 40 LB/SF
	2nd FL. = 30 LB/SF
CLIMATE ZONE	5 (5199 HDD)

THIRD PARTY INSPECTION AGENCY

PE / RA



DESIGNED TO THE FOLLOWING:

- 2020 NEW YORK STATE UNIFORM FIRE PREVENTION AND BUILDING CODE (WHICH INCORPORATES BY REFERENCE)
- 2020 RESIDENTIAL CODE OF NYS
- 2020 ENERGY CONSERVATION CONSTRUCTION CODE OF NYS
- 2017 NATIONAL ELECTRICAL CODE

NOTE:  
UNAUTHORIZED ALTERATION OR ADDITION TO THIS DRAWING IS A VIOLATION OF SECTION 7209, ARTICLE 145 OF THE NYS EDUCATION LAW.

PROJECT ADDRESS  
12 QUEENS COURT  
ORANGEBURG, NY 10962  
"ROCKLAND" COUNTY

NOTES:

1. THE PLANS AND SPECIFICATIONS OF THIS PERMIT PLAN SET ARE DERIVED FROM AND CONSISTENT WITH THE SYSTEMS SET OF PLANS AND SPECIFICATIONS ON FILE WITH THE DEPARTMENT OF STATE, UNDER SYSTEMS NUMBER M0659-2020-056.
2. ENERGY COMPLIANCE IS SHOWN THROUGH THE USE OF RESCHECK SOFTWARE AND IS IN COMPLIANCE WITH CHAPTER 11 OR THE CODE.
3. BLOWER DOOR TESTING SHALL BE PERFORMED ON SITE BY A QUALIFIED HERS RATER IN ACCORDANCE WITH N1102.4.1.2. RATING COMPANY TO BE USED IS GLENN HOOPER, PO BOX 1013, SMITHTOWN, NY 11787.
4. WHOLE HOUSE VENTILATION SYSTEM TO BE DESIGNED, SUPPLIED, AND INSTALLED ON SITE BY B/P WITH A MINIMUM CONTINUOUS FLOW RATE OF PER TABLE M1505.4.3(1). WITH A MINIMUM CONTINUOUS FLOW RATE OF 90cfm.
5. THERE ARE NO LOT LINE SEPARATION REQUIREMENTS FOR THIS DWELLING AS LOCATED ON THIS LOT.

NOTES:

1. ALL ITEMS NOTED AS "B/P" REFER TO THE BUILDER AND/OR PURCHASER OF THE HOME.
2. B/P SHALL BE RESPONSIBLE TO SUPPLY AND INSTALL ALL MATERIALS ON SITE IN ACCORDANCE WITH MANUFACTURE'S SPECIFICATIONS AND STATE AND LOCAL CODES INCLUDING BUT NOT LIMITED TO THE FOLLOWING ITEMS: ALL PORCHES, DECKS, STAIRS, RAILS AND GUARDS, ALL SUPPORTING STRUCTURE FROM THE BOTTOM OF THE MODULES TO GRADE AND BELOW, ALL PLUMBING PIPING BELOW THE 1ST FLOOR SHEATHING (INCLUDING CLEANOUTS), HOT WATER HEATER, ALL ELECTRICAL SERVICE TO THE PANEL BOX LOCATION, ALL EQUIPMENT REQUIRED FOR HEATING AND COOLING OF THE RESIDENCE NOT INSTALLED BY WMH.
3. B/P SHALL BE RESPONSIBLE TO COMPLETE TO FOLLOWING ITEMS PARTIALLY DONE IN THE FACTORY: INSTALL ALL REMAINING SIDING AND ACCESSORIES, CONNECT PLUMBING VENT THROUGH ROOF, CONNECT PIPING TO HOT WATER HEATER, INSTALL GWB AT MATING LINE, INSTALL ALL WIRING AND BREAKERS TO ELECTRIC PANEL BOX, AND LOCATE ROOF TRUSS TYPE SIGNAGE (SUPPLIED BY WMH AND INSTALLED ON SITE BY B/P) AT THE ELECTRIC METER.
4. ALL CUTTING, BORING, AND NOTCHING OF STRUCTURAL MEMBERS SHALL BE DONE IN ACCORDANCE WITH R502.7, R602.6, R802.7 OR AS APPROVED BY A QUALIFIED DESIGN PROFESSIONAL.

**ANTHONY S. PISARRI, P.E.**  
DESIGN PROFESSIONAL  
3 ROSALIND DRIVE  
CORTLANDT MANOR, NY 10562  
(914) 739-6580

**P.F.S. CORPORATION**  
3RD PARTY INSPECTION AGENCY  
417 CENTRAL ROAD SUITE 2  
BLOOMSBURG, PA 17815  
(570) 784-8396

SEE STANDARD NOTES & DETAILS DWG #8

SERIAL No.	22004
PRODUCTION No.	
REVISION	DATE
CHECK	DATE
RS	01/29/2021

HOMEOWNER: CONTRERAS  
SITE: 12 QUEENS COURT ORANGEBURG, NY 10962

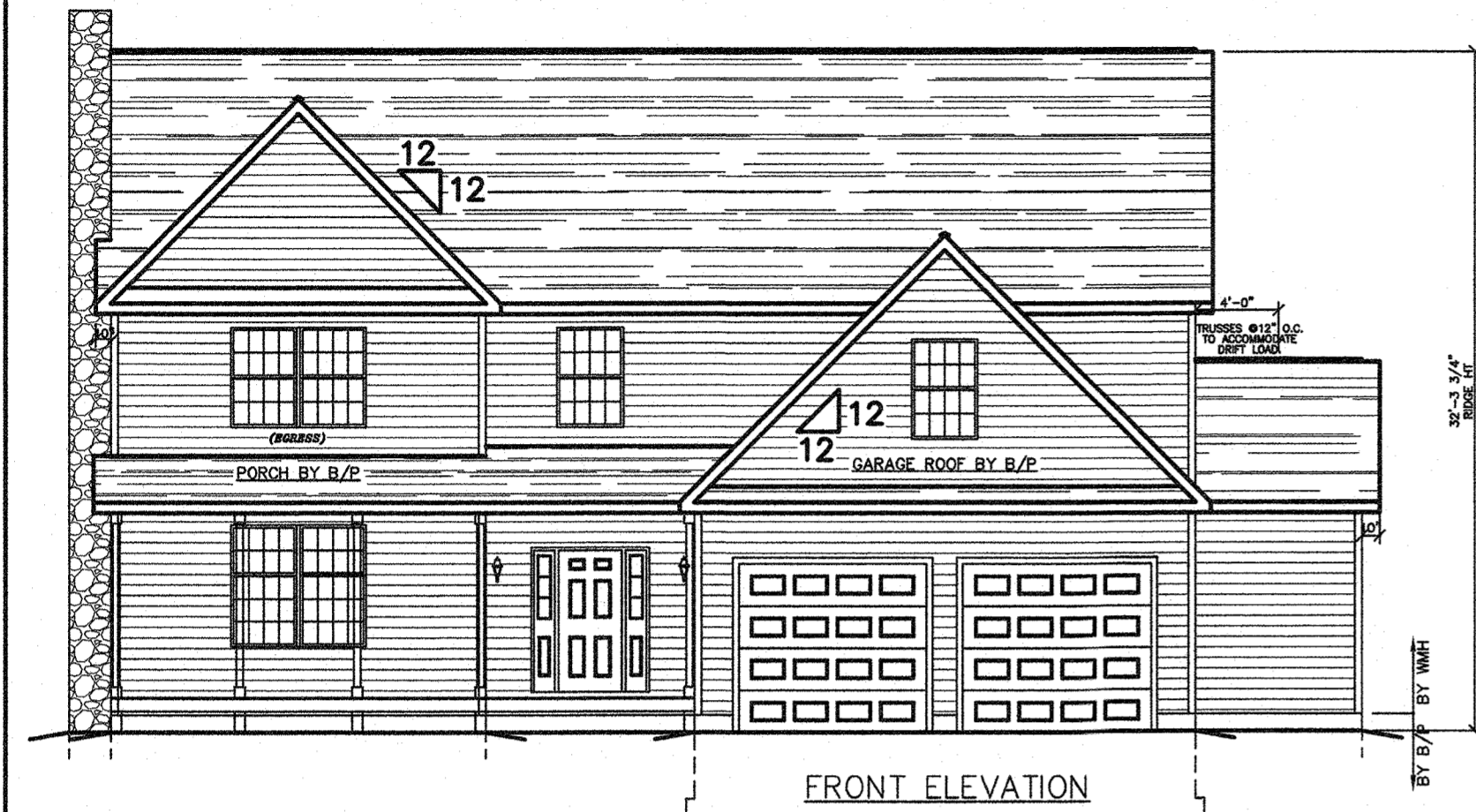
BUILDER: WMHCC OF O.C.  
642 INTERNATIONAL BLVD  
ROCK TAVERN, NY 12575

**NEW YORK 2 STORY COVER SHEET**

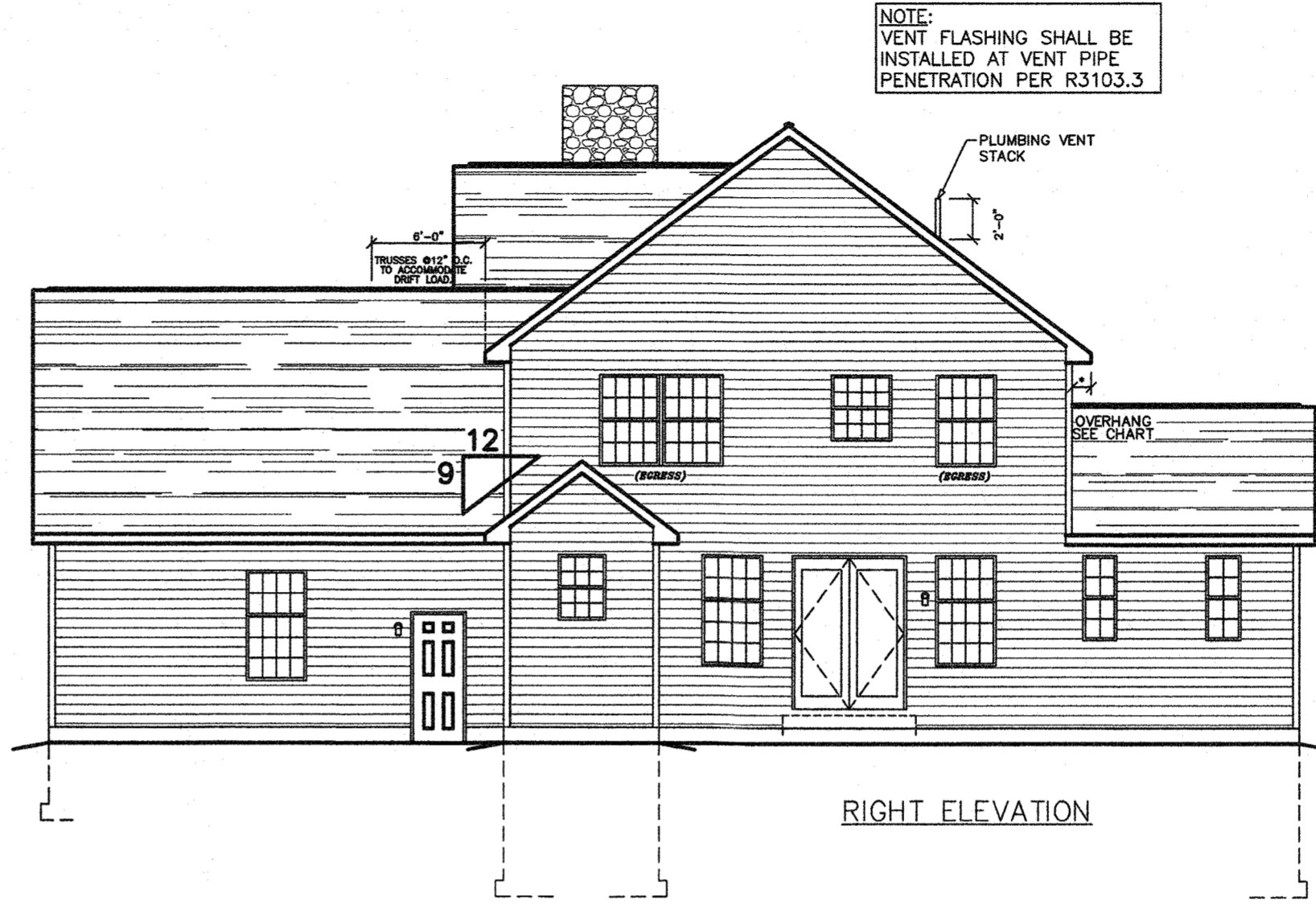
Westchester Modular Homes Inc  
30 Regans Mill Road, Wingdale, New York, 12594  
Tel (845)832-9400 Fax (845)832-6698

DATE: 02/17/2022  
SCALE: N/A  
PAGE: 0

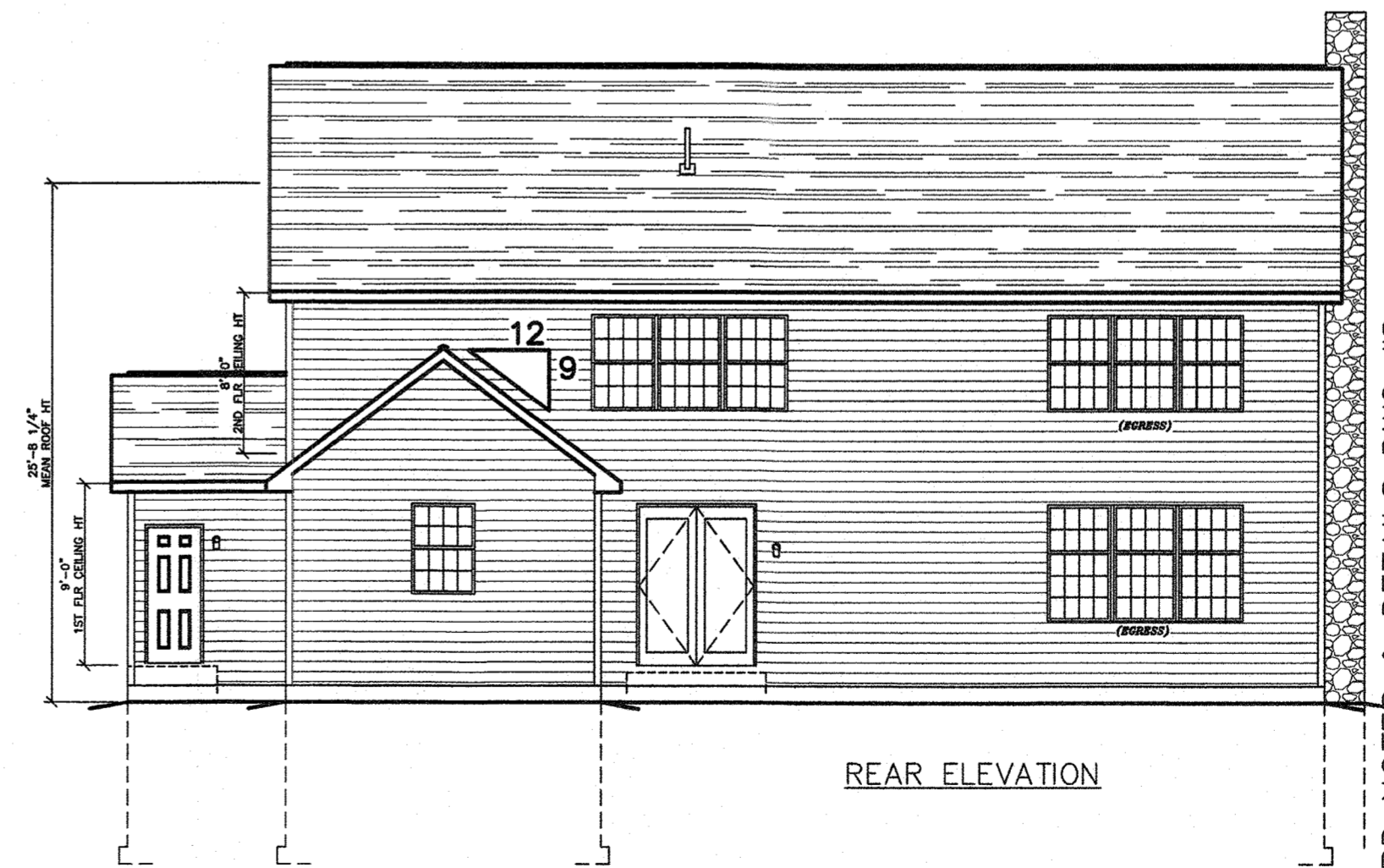
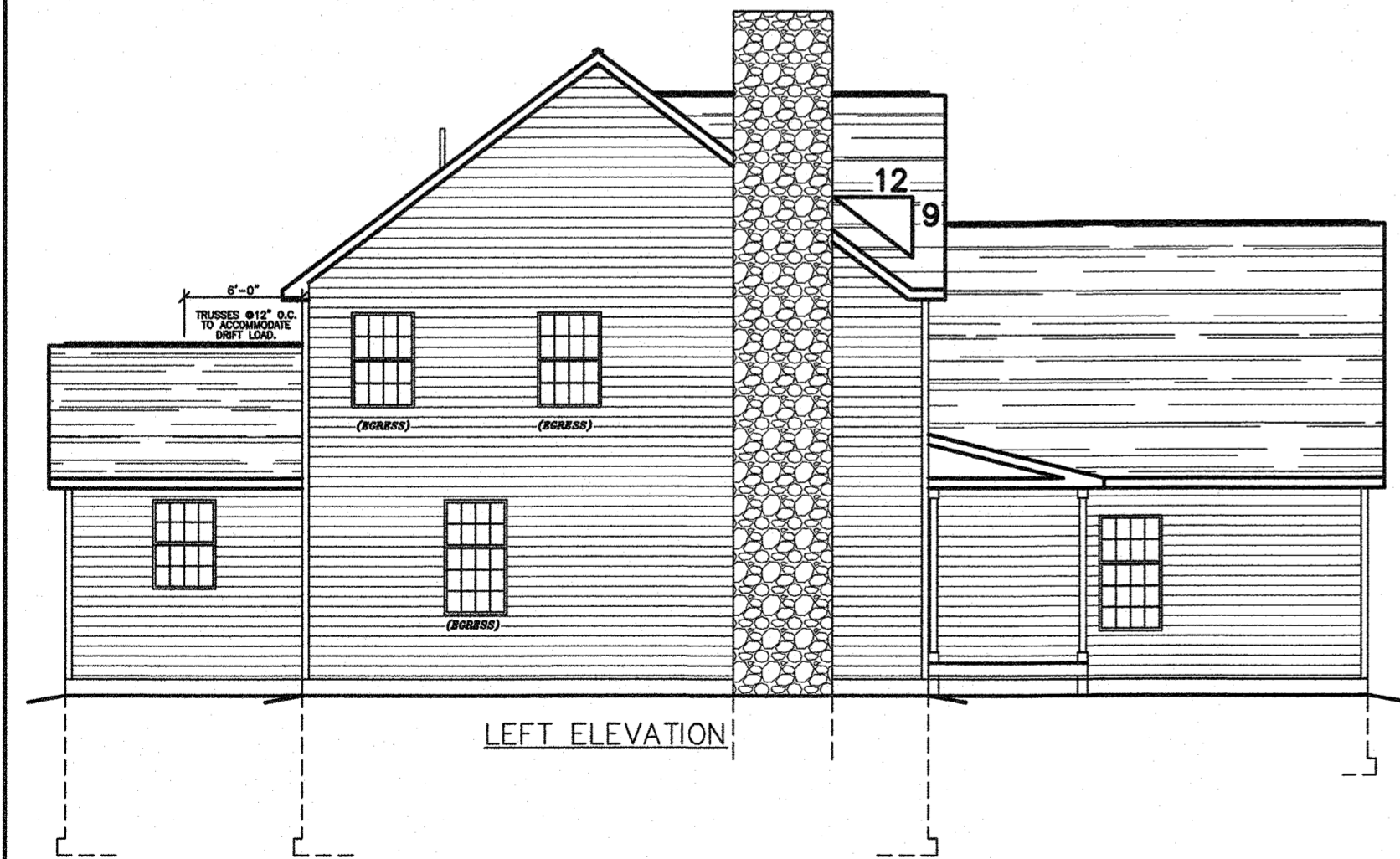
OVERHANG DIMENSION (*)			
ROOF PITCH	HOUSE WIDTH		
	24'-0"	26'-0"/30'-0"	27'-8"/31'-8"
5/12	16"	11"	16"
7/12	16"	11"	16"
9/12	12"	11"	12"
12/12	8 3/4"	8 3/4"	8 3/4"



NOTES:  
 1. ALL EXTERIOR STAIRS, LANDINGS, RAILS, & GUARDS TO BE DESIGNED, SUPPLIED, AND INSTALLED ON SITE BY B/P PER R311.7, 312.1, & R303.8  
 2. ALL STAIRWAY ILLUMINATION AT EXTERIOR DOORS TO BE PROVIDED BY WMH PER R303.8

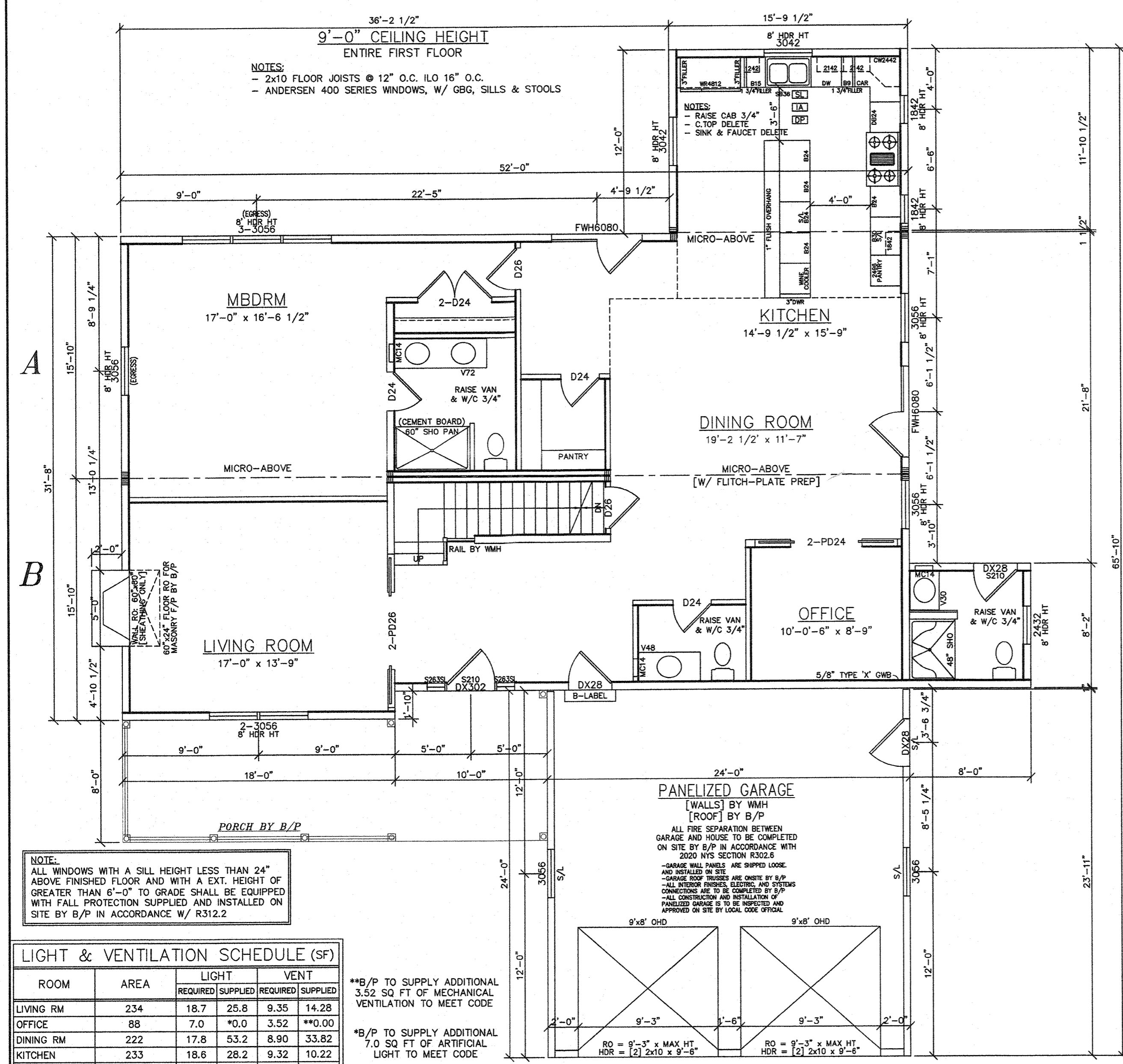


NOTE:  
 VENT FLASHING SHALL BE INSTALLED AT VENT PIPE PENETRATION PER R3103.3



SEE STANDARD NOTES & DETAILS DWG #8

SERIAL No. <b>22004</b> PRODUCTION No.		PE / RA 		THIRD PARTY INSPECTION AGENCY	
REVISION	DATE	CHECK	DATE	STD REVISION	01/10/15
HOMEOWNER: CONTRERAS 12 QUEENS COURT ORANBURG, NY 10962		COLONIAL CTM-L ELEVATIONS		Westchester Modular Homes Inc 30 Regans Mill Road, Wingdale, New York, 12594 Tel (845)832-9400 Fax (845)832-6698	
BUILDER: WMHCC OF O.C. 642 INTERNATIONAL BLVD ROCK TAVERN, NY 12575		COLONIAL CTM-L ELEVATIONS			
USE GROUP: DETACHED SINGLE FAMILY DWELLING CONST. TYPE: WOOD FRAME UNPROTECTED		DATE: 02/17/2022 SCALE: 1/8"=1'-0"		PAGE: 1	



NOTES:  
 - 2x10 FLOOR JOISTS @ 12" O.C. ILO 16" O.C.  
 - ANDERSEN 400 SERIES WINDOWS, W/ GBG, SILLS & STOOLS

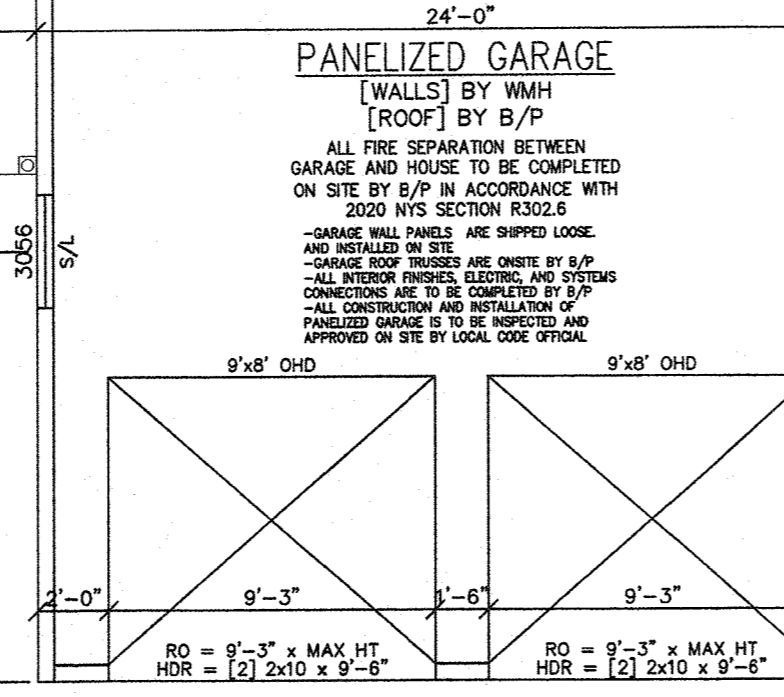
NOTES:  
 - RAISE CAB 3/4"  
 - C.TOP DELETE  
 - SINK & FAUCET DELETE

NOTE:  
 ALL WINDOWS WITH A SILL HEIGHT LESS THAN 24" ABOVE FINISHED FLOOR AND WITH AN EXT. HEIGHT OF GREATER THAN 6'-0" TO GRADE SHALL BE EQUIPPED WITH FALL PROTECTION SUPPLIED AND INSTALLED ON SITE BY B/P IN ACCORDANCE W/ R312.2

ROOM	AREA	LIGHT		VENT	
		REQUIRED	SUPPLIED	REQUIRED	SUPPLIED
LIVING RM	234	18.7	25.8	9.35	14.28
OFFICE	88	7.0	*0.0	3.52	**0.00
DINING RM	222	17.8	53.2	8.90	33.82
KITCHEN	233	18.6	28.2	9.32	10.22
MBDRM	281	22.5	51.6	11.25	28.56

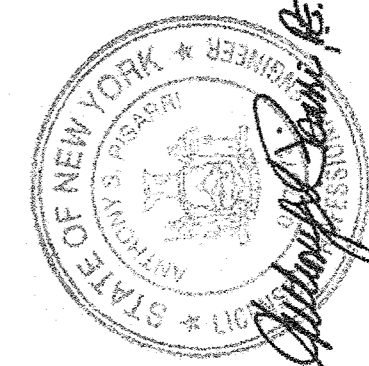
\*\*B/P TO SUPPLY ADDITIONAL 3.52 SQ FT OF MECHANICAL VENTILATION TO MEET CODE

\*B/P TO SUPPLY ADDITIONAL 7.0 SQ FT OF ARTIFICIAL LIGHT TO MEET CODE

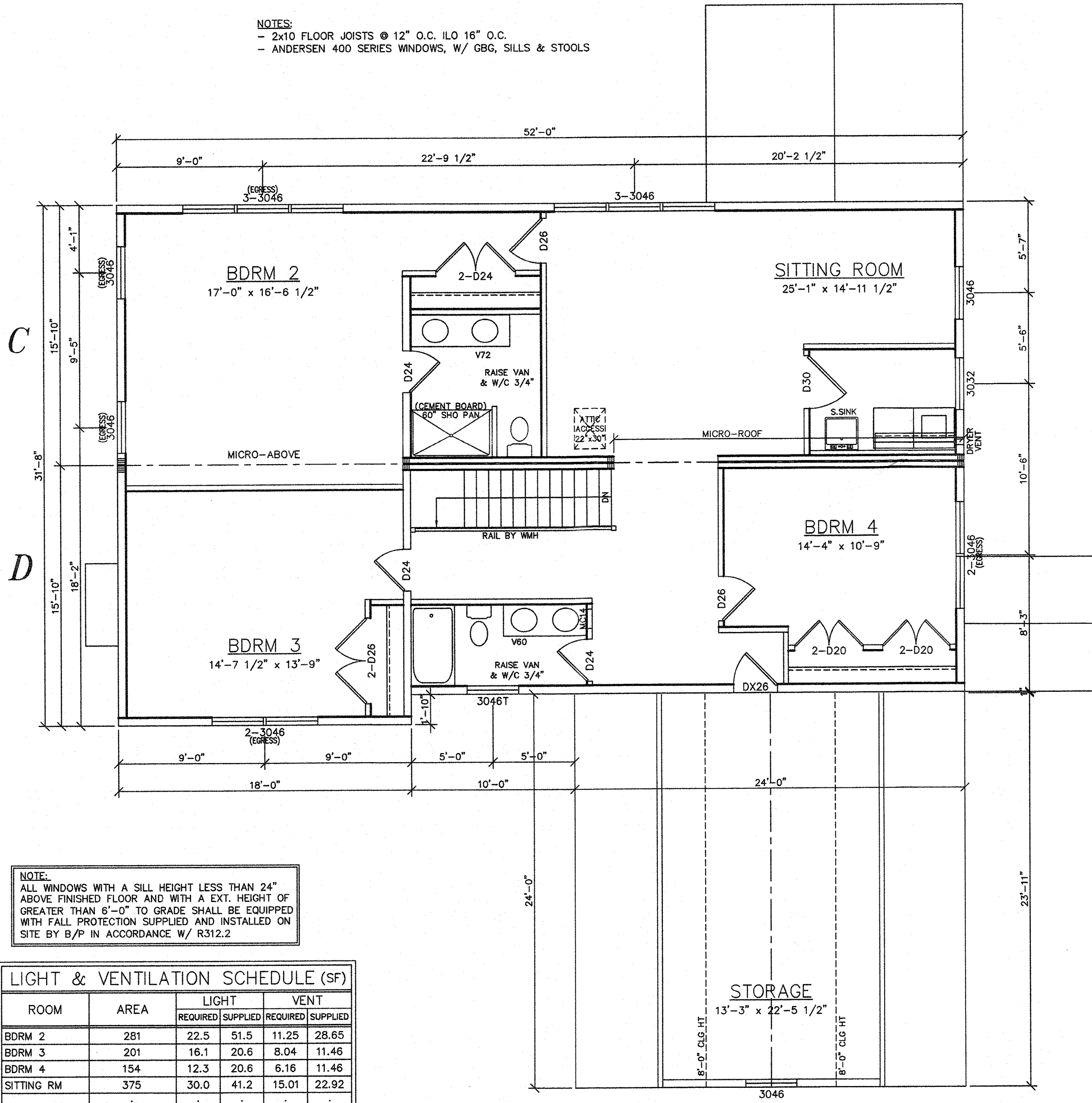


SEE STANDARD NOTES & DETAILS DWG #8

USE GROUP: DETACHED SINGLE FAMILY DWELLING	BUILDER: WMHCC OF O.C. 642 INTERNATIONAL BLVD ROCK TAVERN, NY 12575	HOMEOWNER: CONTRERAS	SERIAL No. <b>22004</b>	THIRD PARTY INSPECTION AGENCY
CONST. TYPE: WOOD FRAME UNPROTECTED	SITE: 12 QUEENS COURT ORANGEBURG, NY 10962	PRODUCTION No.	PE / RA	
DESIGNER: R/S	<b>COLONIAL CTM-L FIRST FLOOR PLAN</b>	REVISION	DATE	
DATE: 02/17/2022	Westchester Modular Homes Inc 30 Reagans Mill Road, Wingdale, New York, 12594 Tel (845)832-9400 Fax (845)832-6698	CHECK	DATE	
SCALE: 3/16" = 1'-0"	<b>3A</b>	STD REVISION	DATE	
PAGE:		01/10/15		



NOTES:  
 - 2x10 FLOOR JOISTS @ 12" O.C. ILO 16" O.C.  
 - ANDERSEN 400 SERIES WINDOWS, W/ GBG, SILLS & STOOLS

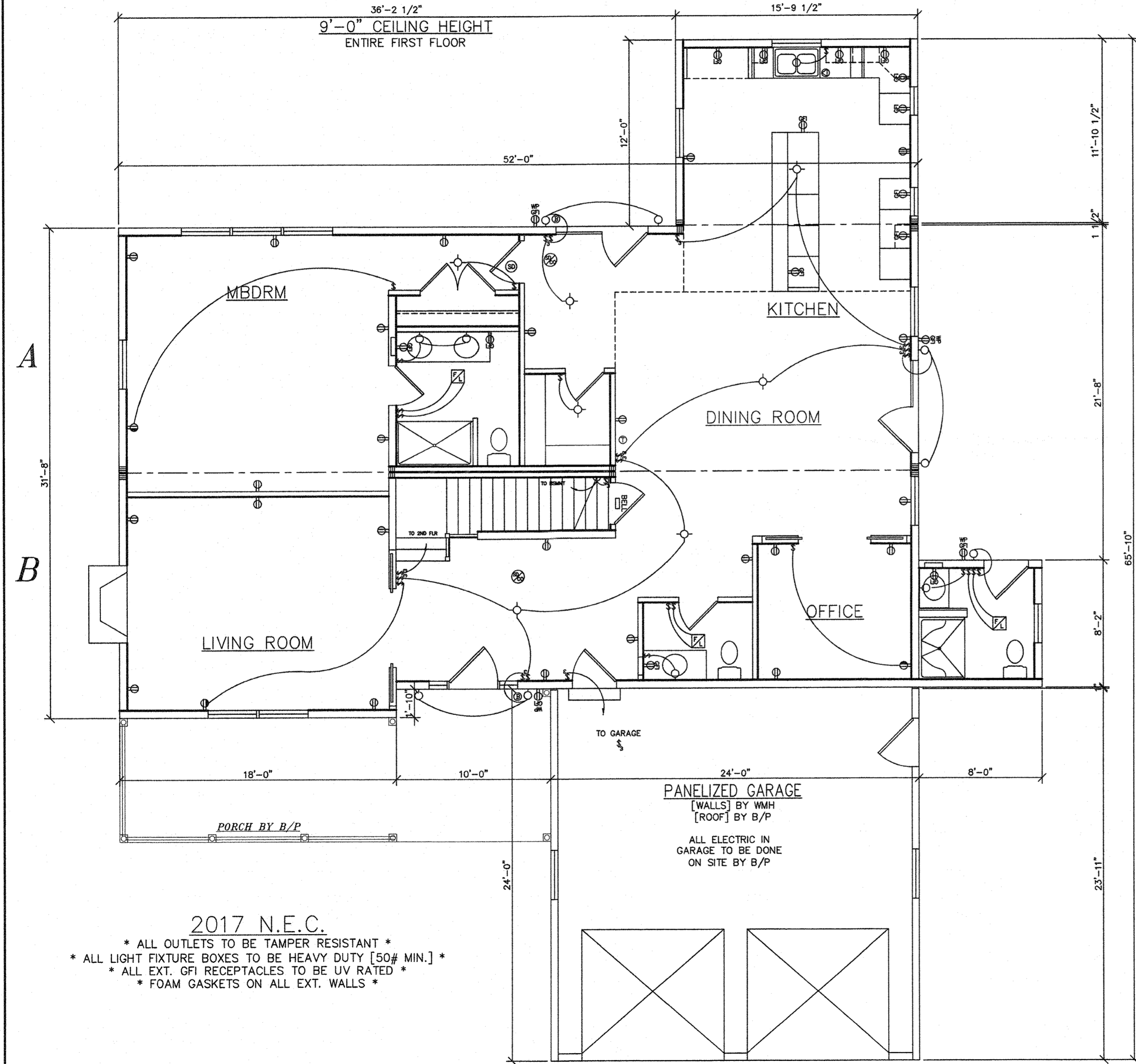


NOTE:  
 ALL WINDOWS WITH A SILL HEIGHT LESS THAN 24" ABOVE FINISHED FLOOR AND WITH A EXT. HEIGHT OF GREATER THAN 6'-0" TO GRADE SHALL BE EQUIPPED WITH FALL PROTECTION SUPPLIED AND INSTALLED ON SITE BY B/P IN ACCORDANCE W/ R312.2

LIGHT & VENTILATION SCHEDULE (SF)					
ROOM	AREA	LIGHT		VENT	
		REQUIRED	SUPPLIED	REQUIRED	SUPPLIED
BDRM 2	281	22.5	51.5	11.25	28.65
BDRM 3	201	16.1	20.6	8.04	11.46
BDRM 4	154	12.3	20.6	6.16	11.46
SITTING RM	375	30.0	41.2	15.01	22.92

SEE STANDARD NOTES & DETAILS DWG #8

SERIAL No. <b>22004</b> PRODUCTION No.	REVISION DATE	CHECK DATE	STD REVISION 01/10/15	PE / RA 	THIRD PARTY INSPECTION AGENCY
HOMEOWNER: CONTRERAS SITE: 12 QUEENS COURT ORANGETOWN, NY 10962	BUILDER: WMHCC OF O.C. 642 INTERNATIONAL BLVD ROCK TAVERN, NY 12575	<b>COLONIAL CTM-L</b> <b>SECOND FLOOR PLAN</b>			
USE GROUP: DETACHED SINGLE FAMILY DWELLING	CONST. TYPE: WOOD FRAME UNPROTECTED	DESIGNER: 	DATE: 02/17/2022	SCALE: 3/16" = 1'-0"	PAGE: <b>3B</b>
Westchester Modular Homes Inc 30 Reagans Mill Road, Wingdale, New York, 12594 Tel (845)832-9400 Fax (845)832-6698					

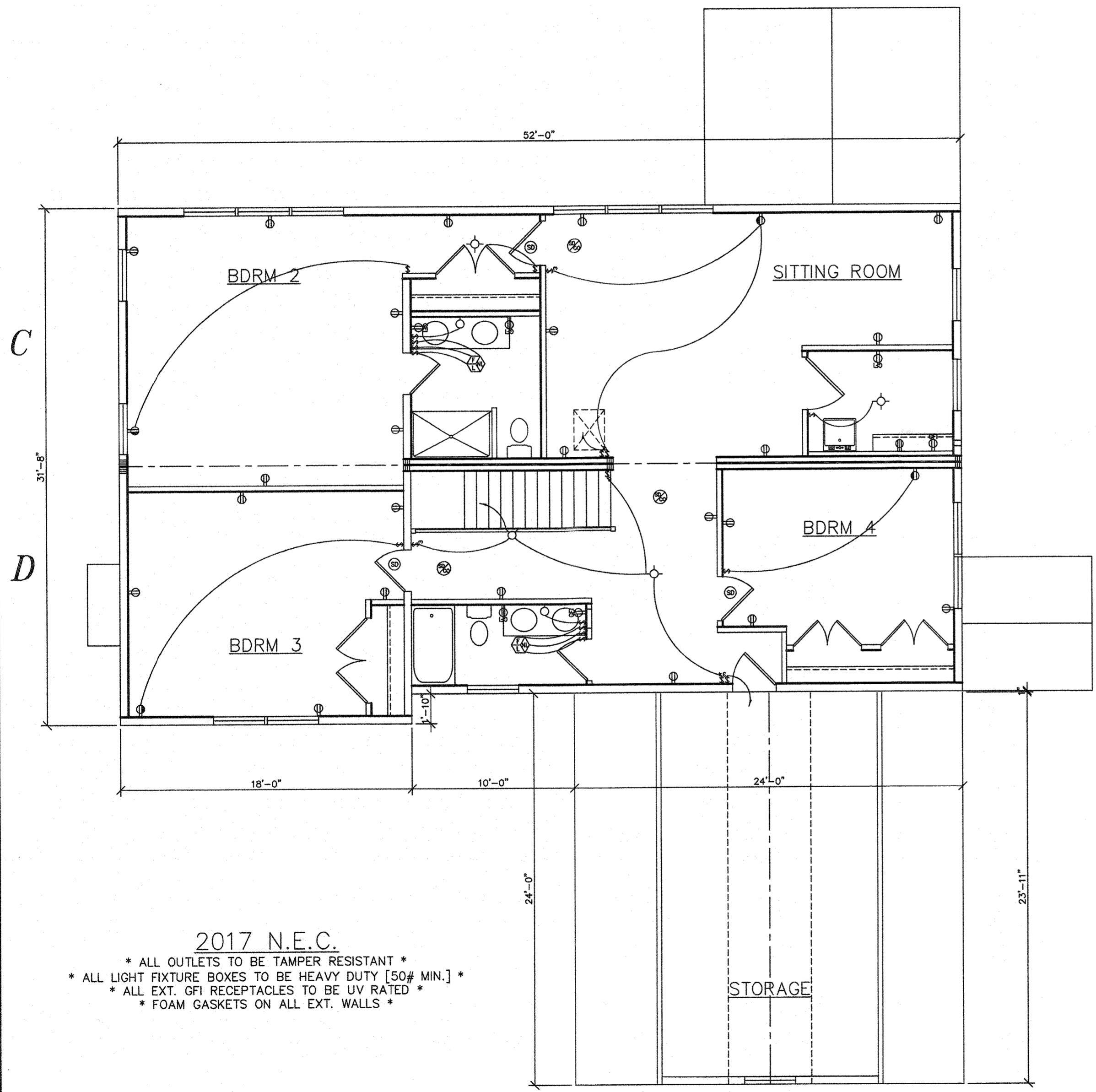


2017 N.E.C.  
 \* ALL OUTLETS TO BE TAMPER RESISTANT \*  
 \* ALL LIGHT FIXTURE BOXES TO BE HEAVY DUTY [50# MIN.] \*  
 \* ALL EXT. GFI RECEPTACLES TO BE UV RATED \*  
 \* FOAM GASKETS ON ALL EXT. WALLS \*

LEGEND			
□	PANEL BOX	⚡	SWITCH, SINGLE POLE
⊕	110V DUPLEX RECEPTICAL	⚡	SWITCH, THREE WAY
⊕	110V DUPLEX RECEPTICAL - SPLIT WIRE	⚡	SWITCH, FOUR WAY
⊕	220V RECEPTICAL	⊕	SPECIAL PURPOSE CONNECTION
⊕	WALL LIGHT	⊕	JUNCTION BOX
⊕	CEILING LIGHT SURFACE MOUNTED	⊕	AO/AC SMOKE DETECTOR
⊕	RECESSED LIGHT AT CEILING	⊕	BELL
⊕	FAN/LIGHT PICTURE	⊕	DOOR BELL BUTTON
⊕	FAN/LIGHT & HEAT CEILING UNIT	⊕	TELEPHONE OUTLET
⊕	TELEVISION CABLE OUTLET	⊕	CEILING FAN & LIGHT
⊕	THERMOSTAT	⊕	CEILING FAN
⊕	VACUUM SYSTEM OUTLET	⊕	FLOOD LIGHTS

SEE STANDARD NOTES & DETAILS DWG #8

USE GROUP: DETACHED SINGLE FAMILY DWELLING	BUILDER: WMHCC OF O.C. 642 INTERNATIONAL BLVD ROCK TAVERN, NY 12575	HOMEOWNER: CONTRERAS	SERIAL No. <b>22004</b>	THIRD PARTY INSPECTION AGENCY
CONST. TYPE: WOOD FRAME UNPROTECTED	SITE: 12 QUEENS COURT ORANGEBURG, NY 10962		PRODUCTION No.	
DESIGNER: R.S.	<b>COLONIAL CTM-1</b> 1st.FL ELECTRICAL PLAN		REVISION	
DATE: 02/17/2022			DATE	
SCALE: 3/16" = 1'-0"			CHECK	
PAGE: <b>6A</b>			DATE	
			STD REVISION	01/10/15



2017 N.E.C.

- \* ALL OUTLETS TO BE TAMPER RESISTANT \*
- \* ALL LIGHT FIXTURE BOXES TO BE HEAVY DUTY [50# MIN.] \*
- \* ALL EXT. GFI RECEPTACLES TO BE UV RATED \*
- \* FOAM GASKETS ON ALL EXT. WALLS \*

SEE STANDARD NOTES & DETAILS DWG #8

USE GROUP: DETACHED SINGLE FAMILY DWELLING  
 CONST. TYPE: WOOD FRAME UNPROTECTED  
 DESIGNER: **RS**  
 DATE: 02/17/2022  
 SCALE: 3/16" = 1'-0"  
 PAGE: **6B**

BUILDER: WMHCC OF O.C.  
 642 INTERNATIONAL BLVD  
 ROCK TAVERN, NY 12575

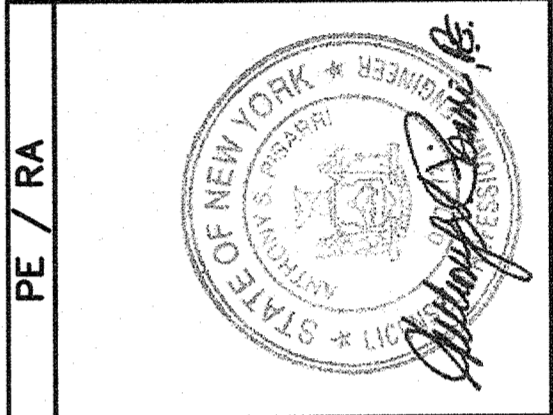
HOMEOWNER: CONTRERAS  
 SITE: 12 QUEENS COURT  
 ORANGEBURG, NY 10962

**COLONIAL CTM-L**  
 2nd.FL ELECTRICAL PLAN



Westchester Modular Homes Inc  
 30 Reagans Mill Road, Wingdale, New York, 12594  
 Tel (845)832-9400 Fax (845)832-6698

SERIAL No.	<b>22004</b>
PRODUCTION No.	
REVISION	DATE
CHECK	DATE
STD REVISION	01/10/15



THIRD PARTY INSPECTION AGENCY

ANDERSEN WINDOW SCHEDULE							
WINDOW	SERIES/STYLE	GLASS(SF)	VENT(SF)	"U" VALUE	SHGC	ROUGH OPENING	UNIT AREA(SF)
◇ 3056	400/DOUBLE HUNG	12.9	7.14	0.30	0.31	3'-2 1/8" x 5'-8 7/8"	7.11 SF
◇ 3046	400/DOUBLE HUNG	10.3	5.73	0.30	0.31	3'-2 1/8" x 4'-8 7/8"	5.70 SF
3032	400/DOUBLE HUNG	6.9	3.85	0.30	0.31	3'-2 1/8" x 3'-4 7/8"	3.82 SF
3042	400/DOUBLE HUNG	9.5	5.26	0.30	0.31	3'-2 1/8" x 4'-4 7/8"	5.23 SF
1842	400/DOUBLE HUNG	4.6	2.78	0.30	0.31	1'-10 1/8" x 4'-4 7/8"	7.94
2432	400/DOUBLE HUNG	5.1	2.94	0.30	0.31	2'-6 1/8" x 3'-4 7/8"	8.40
◇ = THESE UNITS MEET OR EXCEED A CLEAR OPENABLE AREA OF 5.7 SQ. FT., WIDTH OF 20", & HEIGHT OF 24". WINDOWS FOLLOWED BY "T" IN FLOOR PLANS ARE TEMPERED							

EXTERIOR DOOR SCHEDULE							
THERMATRU DOORS							
DOOR	TYPE	SIZE	GLASS(SF)	VENT(SF)	"U" VALUE	MATERIAL	REMARKS
DX30(SE210HD)	HINGED	3'-0" x 6'-8"	N/A	N/A	0.16	METAL	FIRE RATED(90 MIN.)
DX302	(S263SL)	5'-9" x 6'-8"					SEE BELOW
DX30(S210)	SIDELIGHTS HINGED	1'-2" x 6'-8"	2.60	N/A	0.27	FIBERGLASS	3-LITE
		3'-0" x 6'-8"	N/A	20	0.16	FIBERGLASS	6-PANEL
ANDERSEN DOORS							
DOOR	TYPE	SIZE	GLASS(SF)	VENT(SF)	"U" VALUE	MATERIAL	
FWH6080	FRENCHWOOD HINGED PATIO	6'-0" x 8'-0"	27.44	40.71	0.30	WOOD/VINYL	
- ALL THERMATRU DOORS HAVE LEVERS W/ KEY SET UNLESS OTHERWISE NOTED ON PLANS. - ALL GLASS IN DOORS TO BE TEMPERED							

- ### FLOOR PLAN NOTES
- 1) THE BUILDER/PURCHASER IS NOTED AS B/P.
  - 2) SEE FLOOR PLANS FOR LABEL LOCATIONS, ABBREVIATIONS ARE AS FOLLOWS:  
 STATE LABELS       INDUSTRIALIZED BUILDINGS COMMISSION  
 THIRD PARTY INSPECTION AGENCY       WARRANTY LABEL  
 DATA PLATE       CONNECTICUT LABEL/THIRD PARTY INSPECTION AGENCY
  - 3) MAXIMUM HEIGHT OF EGRESS WINDOW SILLS IS 3'-6" ABOVE FINISHED FLOOR.
  - 4) REFER TO ORDER SELECTION FORM FOR SPECIFIC APPLIANCES SUPPLIED WITH THIS HOUSE.
  - 5) BATH ROOM FANS ARE RATED AT 70 CFM UNLESS OTHERWISE NOTED ON PLANS.
  - 6) ATTIC ACCESS(ES) ON CAPE MODELS ARE TO BE DONE ON SITE BY THE B/P.
  - 7) ALL AREAS TO BE FINISHED OR BUILT BY B/P ON SITE TO BE IN COMPLIANCE WITH ALL APPLICABLE CODE REQUIREMENTS INCLUDING (BUT NOT LIMITED TO) GARAGE, ADDITIONS, PORCHES & FIRE SEPARATIONS. TO BE INSPECTED AND APPROVED BY LOCAL BUILDING OFFICIALS
  - 8) ALL INTERIOR AND EXTERIOR HANDRAILS OR GUARDRAILS ARE INSTALLED BY B/P HAVING SPINDLES SPACED 4" APART. HANDRAILS FOR STAIRWAYS SHALL BE CONTINUOUS FOR THE FULL LENGTH OF THE FLIGHT, FROM A POINT DIRECTLY ABOVE THE TOP RISER OF THE FLIGHT TO A POINT DIRECTLY ABOVE THE LOWEST RISER OF THE FLIGHT.
  - 9) ALL FACTORY INSTALLED/SUPPLIED FIREPLACES ARE TO BE COMPLETED ON SITE BY B/P, INCLUDING FLUE PIPES AND FIRE STOPS. NOTE: NO COMBUSTION AIR TO BE DRAWN FROM BEDROOMS.

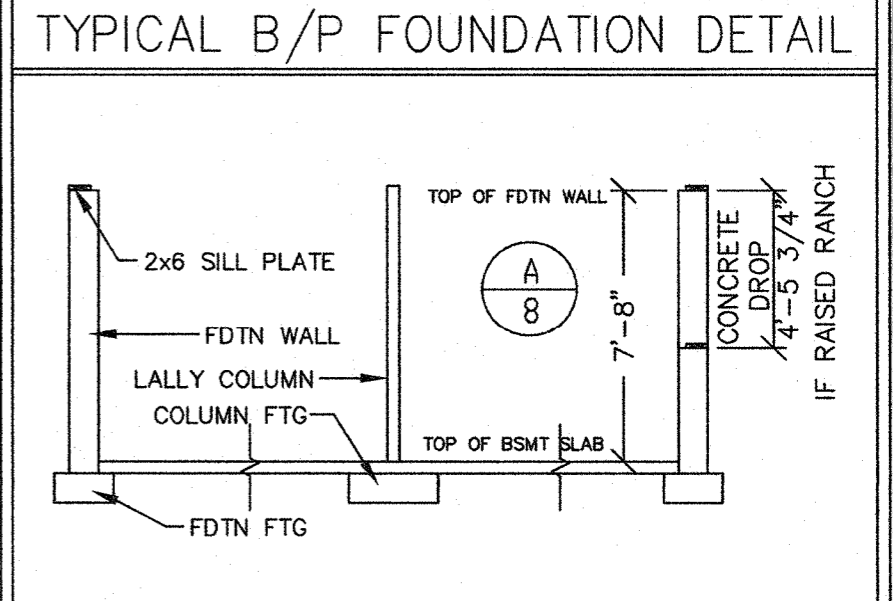
- ### SUPPLY NOTES
- 1) MATERIALS ARE TYPE A PEX.
  - 2) WATER SUPPLY SHALL BE SECURELY ATTACHED TO THE BUILDING AT NOT GREATER DISTANCES BETWEEN SUPPORT INTERVALS THAN SPECIFIED:  
HORIZONTAL PIPE @ 32"  
VERTICAL PIPE AT MID-STORY (10' MAX)
  - 3) WATER HEATER SHALL BE SUPPLIED AND INSTALLED BY B/P.
  - 4) ALL SUPPLY LINES ARE STUBBED THROUGH THE FIRST FLOOR. SUPPLY LINES BELOW FIRST FLOOR SUPPLIED AND INSTALLED BY B/P.
  - 5) ALL HOT WATER LINES IN UNHEATED SPACES SHALL BE INSULATED BY B/P.
  - 6) ALL TUBS AND/OR SHOWERS SHALL BE SUPPLIED WITH ANTI-SCALD VALVES.]
  - 7) ALL DEVICES INSTALLED WITH SELF CLOSING VALVES (I.E. WASHER, DISHWASHER) SHALL HAVE A WATER HAMMER ARRESTING DEVICE ON THE SUPPLY LINE SUPPLIED AND INSTALLED BY B/P ON SITE, IN ACCORDANCE WITH ALL STATE AND LOCAL APPLICABLE CODES.
  - 8) ALL FIXTURE SUPPLY LINES 1/2"Ø SHALL HAVE INDIVIDUAL SHUT OFF VALVES.

- ### DWV NOTES
- 1) MATERIALS ARE PVC SCHEDULE 40.
  - 2) DRAINAGE AND VENT PIPING SHALL BE SECURELY ATTACHED TO THE BUILDING AT NO GREATER SUPPORT INTERVALS THAN SPECIFIED.  
HORIZONTAL PIPE @ 4'-0" FOR 2"Ø OR LARGER  
HORIZONTAL PIPE @ 3'-0" FOR 1 1/2"Ø OR SMALLER  
VERTICAL PIPE @ 4'-0"
  - 3) ALL DRAINAGE CONNECTIONS HORIZONTAL TO HORIZONTAL AND VERTICAL TO HORIZONTAL ARE LONG SWEEP OR DOUBLE 45° FITTINGS
  - 4) HORIZONTAL VENT PIPE CONNECTIONS TO VERTICAL VENT BRANCH OR STACK SHALL OCCUR AT LEAST 6" ABOVE THE FLOOR RIM OF THE HIGHEST FIXTURE SERVED BY THE HORIZONTAL VENT.
  - 5) STAND PIPES SHALL EXTEND NOT LESS THAN 18 INCHES AND NOT GREATER THAN 42 INCHES ABOVE THE TRAP WEIR.

- ### ELECTRICAL NOTES
- 1) ELECTRICAL PANEL IS RATED 200 AMPS (UNLESS OTHERWISE NOTED) AND LOCATED PER PLAN.
  - 2) NON-METALLIC SHEATHED CABLE IS TYPE NM-B.
  - 3) WIRES ARE INSTALLED WITH INSULATED STAPLES.
  - 4) ELECTRIC SERVICE SHALL BE GROUNDED BY B/P IN COMPLIANCE WITH NEC, STATE AND LOCAL CODES.
  - 5) ALL ELECTRICAL COMPONENTS SHALL BE LISTED AND/OR LABELED BY A NATIONALLY RECOGNIZED TESTING LAB AND SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER INSTRUCTIONS AND LOCATIONS/USE INSTRUCTIONS.
  - 6) ELECTRIC PANEL SHALL BE LOCATED AND MOUNTED IN BASEMENT BY B/P, UNLESS NOTED OTHERWISE.
  - 7) A SERVICE DISCONNECT SHALL BE INSTALLED AT A READILY ACCESSIBLE LOCATION NEAREST THE POINT OF ENTRANCE OF THE SERVICE CONDUCTORS.
  - 8) TELEPHONE, AND TELEVISION CABLES TO BE RUN TO THE ELECTRIC PANEL LOCATION. UNLESS OTHERWISE REQUESTED/NOTED
  - 9) WIRELESS DOOR BELL TO BE SHIPPED LOOSE (INCLUDES 2 BUTTONS)
  - 10) ONE GFI CIRCUIT SHALL BE INSTALLED IN BASEMENT BY B/P
  - 11) WATER HEATER, FURNACE, BASEMENT GFI, BASEMENT LIGHTS, ETC. ARE THE SITE RESPONSIBILITY OF THE B/P.
  - 12) A CLOTHES WASHER CIRCUIT SHALL BE INSTALLED IN BASEMENT BY B/P IF WASHER LOCATION IS NOT INCORPORATED IN HOUSE.
  - 13) RECEPTACLES SHALL NOT BE INSTALLED DIRECTLY OVER ELECTRIC BASEBOARD HEATERS.
  - 14) CIRCUIT BREAKERS FOR ELECTRIC BASEBOARD HEATERS ARE ONLY INSTALLED IN PANELS OF HOUSES WITH ELECTRIC BASEBOARD SYSTEMS.
  - 15) SMOKE DETECTORS ARE INTERCONNECTED AND INSTALLED ON A LIGHTING CIRCUIT WITH NO INTERVENING SWITCHES ON THAT CIRCUIT.
  - 16) SMOKE DETECTORS SHALL HAVE A BATTERY BACK-UP POWER SOURCE.
  - 17) BASEMENT SMOKE DETECTORS ARE SUPPLIED BY WMH AND INSTALLED BY B/P ON SITE.
  - 18) ALL RECESSED LIGHTS SHALL BE IC RATED AND ALSO RATED FOR WET LOCATIONS.

- ### FHW (FORCED HOT WATER) BASEBOARD HEATING NOTES
- 1) BASEBOARD RATINGS ARE BASED ON 190°F WATER TEMPERATURE AT 1 GPM FLOW RATE WITH 65° ENTERING AIR.
  - 2) FIRST FLOOR BASEBOARD UNITS ARE INSTALLED WITH HEATING PIPES STUBBED THRU FLOOR. SECOND FLOOR HEATING PIPES BETWEEN BASEBOARD UNITS ARE INSTALLED IN FLOOR AND/OR WALL PANELS. B/P IS RESPONSIBLE FOR INTERCONNECTION BETWEEN MODULES AND FLOORS. BALANCE OF HEATING SYSTEM IS TO BE DESIGNED, SUPPLIED AND INSTALLED BY B/P.
  - 3) ALL HEATING PIPES IN UNHEATED SPACES SHALL BE INSULATED BY B/P.
  - 4) MINIMUM THERMOSTAT RANGE IS 45° TO 75°F.
  - 5) ACCESS PANELS ARE FOR THE B/P TO USE IN THE INTERCONNECTION OF THE HEATING SYSTEM. THESE PANELS MAY BE PERMANENTLY ATTACHED AND FINISHED OVER BY B/P AFTER HEATING SYSTEM IS COMPLETED.

- ### EBB (ELECTRICAL BASEBOARD) HEATING NOTES
- 1) ELECTRIC BASEBOARD HEATING CIRCUITS ARE 20 AMP, 220 VOLTS WITH 12-2 NON-METALLIC SHEATHED CABLE TYPE NM-B.
  - 2) MAXIMUM WATTAGE PER CIRCUIT SHALL BE 3750 WATTS
  - 3) BASEBOARDS ARE RATED AT 250 WATTS PER LINEAR FOOT.
  - 4) MINIMUM THERMOSTAT RANGE IS 45° TO 75°F.
  - 5) GENERAL LIGHTING RECEPTACLES SHALL NOT BE LOCATED ABOVE ELECTRIC BASEBOARD HEATING UNITS.



USE GROUP: DETACHED SINGLE FAMILY DWELLING CONST. TYPE: WOOD FRAME UNPROTECTED	BUILDER: WMHCC OF O.C. 642 INTERNATIONAL BLVD ROCK TAVERN, NY 12575	HOMEOWNER: CONTRERAS SITE: 12 QUEENS COURT ORANGEBURG, NY 10962	SERIAL No. <b>22004</b>	PE / RA	THIRD PARTY INSPECTION AGENCY
DESIGNER: <b>RS</b> DATE: 02/17/2022 SCALE: N/A PAGE: <b>8</b>	<b>STANDARD NOTES, SCHEDULES &amp; DETAILS</b>		PRODUCTION No.	STATE OF NEW YORK ANTHONY'S PLASTER INSURANCE CONTRACTOR No. 11382	
	Westchester Modular Homes Inc 30 Reagans Mill Road, Wingdale, New York, 12594 Tel (914)832-9400 Fax (914)832-6698		REVISION      DATE		