

Name of Municipality: TOWN OF ORANGETOWN Date Submitted: _____

2021 LAND USE BOARD APPLICATION

Please check all that apply:

Commercial Residential

Planning Board Historical Board

Zoning Board of Appeals Architectural Board

Subdivision Consultation

Number of Lots Pre-Preliminary/Sketch

Site Plan Preliminary

Conditional Use Final

Special Permit Interpretation

Variance

Performance Standards Review

Use Variance

Other (specify): _____

PERMIT#: BLDR-566-22

ASSIGNED

INSPECTOR: MM

Referred from Planning Board: YES / NO

If yes provide date of Planning Board meeting: _____

Project Name: Blount

Street Address: 16A SHADYSIDE AVE
NYACK NY 10960

Tax Map Designation: Section: 66.17 Block: 2 Lot(s): 26

Directional Location:

On the east side of Shadyside, approximately 936 feet ~~west~~ south of the intersection of 9W, in the Town of ORANGETOWN in the hamlet/village of NYACK.

Acreage of Parcel <u>6.732</u>	Zoning District <u>RG</u>
School District <u>NYACK</u>	Postal District <u>NYACK</u>
Ambulance District <u>NYACK</u>	Fire District <u>11</u>
Water District <u>SVC2</u>	Sewer District <u>Orangetown Sewer</u>

Project Description: (If additional space required, please attach a narrative summary.)
IN THE PROCESS OF BUYING THIS HOUSE I DISCOVERED THE DECK ON THE EAST SIDE OF THE HOUSE WAS NOT PERMITTED WHEN BUILT BY THE PREVIOUS OWNER. I AM TAKING THE STEPS TO ACQUIRE THE PERMIT RETROACTIVELY

The undersigned agrees to an extension of the statutory time limit for scheduling a public hearing.

Date: 3.25.22 Applicant's Signature: _____

APPLICATION REVIEW FORM

FILL IN WHERE APPLICABLE.

(IF THE FOLLOWING DOES NOT APPLY PLEASE MOVE ON TO THE NEXT PAGE)

If subdivision:

- 1) Is any variance from the subdivision regulations required? _____
- 2) Is any open space being offered? ____ If so, what amount? _____
- 3) Is this a standard or average density subdivision? _____

If site plan:

- 1) Existing square footage _____
- 2) Total square footage _____
- 3) Number of dwelling units _____

If **special permit**, list special permit use and what the property will be used for.

Environmental Constraints:

Are there **slopes greater than 25%**? If yes, please indicate the amount and show the gross and net area _____

Are there **streams** on the site? If yes, please provide the names. _____

Are there **wetlands** on the site? If yes, please provide the names and type:

Project History:

Has this project ever been reviewed before? NO

If so, provide a narrative, including the list case number, name, date, and the board(s) you appeared before, and the status of any previous approvals.

List tax map section, block & lot numbers for all other abutting properties in the same ownership as this project.



OFFICE OF BUILDING, ZONING, PLANNING,
ADMINISTRATION AND ENFORCEMENT
TOWN OF ORANGETOWN
20 Greenbush Road
Orangeburg, N.Y. 10962

Jane Slavin, R.A.
Director

(845)359-8410

Fax: (845) 359-8526

DENIAL TO THE ZONING BOARD OF APPEALS

Date: March 21, 2022
Applicant: Blount
Address: 16a Shadyside Ave, Nyack, NY
RE: Application Made at: same

Chapter 43, Table 3.12, Column 1 RG District, Column 2 Group Q , Column 3 SFR, Column 4 Max FAR 30% with 33% proposed. Column 9 Side Yrd 10 w/ 1'2" proposed, Column 10 Total Side Yd 20' w/ 17' proposed.

Section 5.21(d) Undersized Lots applies

3 variances required

Section: 66.17 Block: 2 Lot: 26

Dear Blount:


Please be advised that the Building Permit Application, which you submitted on February 4, 2022, has been denied. I have enclosed a Xerox copy of your application, where you will find at the bottom the reason for denial.



In Accordance with Zoning, Chapter 43 Section 10.322 the time to appeal a determination of a Building Inspector or Similar administrative office is thirty (30) days from the filing of such a determination with the Town Clerk.

The Clerk to the Zoning Board of Appeals, Debbie Arbolino, will assist you in the preparation necessary to appear before the board.

Sincerely,


Richard Oliver
Deputy Building Inspector


Signature of Director
NOTE: PLEASE KEEP FOR YOUR RECORDS
12-31-18-CCC



Date
CC: Rosanna Sfraga
Liz Decort
Debbie Arbolino

SWIS	PRINT KEY	NAME	ADDRESS
392489	66.17-1-9 /	Jacob Silberstein	17 Edwin Ln, Monsey, NY 10952
392489	66.17-1-10 /	Jarl Jensen	6 Riverview Ln, Upper Grandview, NY 10960
392489	66.17-1-11 /	Steve C Kennedy	23 Shadyside Ave, Upper Grandview, NY 10960
392489	66.17-1-12 /	Shadyside 18 Inc	15022 130th St S, Ozone Park, NY 11420
392489	66.17-2-17 /	Town Of Orangetown	26 Orangeburg Rd, Orangeburg, NY 10962
392489	66.17-2-18 /	Andre Melnikov	25 Hidden Glen Ln, Monsey, NY 10952
392489	66.17-2-19 /	Mousumi Dutta	1158 Rte 9W, Upper Grandview, NY 10960
392489	66.17-2-20 /	Curtis Bell	1156 Rte 9W, Upper Grandview, NY 10960
392489	66.17-2-21 /	Marie Burewall	22 Shadyside Av, Upper Grandview, NY 10960
392489	66.17-2-22 /	Suzanne Silverstein	24 Shadyside Av, Upper Grandview, NY 10960
392489	66.17-2-23 /	Marie Burewall	22 Shadyside Ave, Upper Grandview, NY 10960
392489	66.17-2-24 /	Dennis Calero	20 Shadyside Ave, Upper Grandview, NY 10960
392489	66.17-2-25 /	Stephen A Chiareto	18 Shadyside Av, Upper Grandview, NY 10960
392489	66.17-2-26*	John K Blount	16A Shadyside Ave, Nyack, NY 10960
392489	66.17-2-27 /	Michael Wang	16 Shadyside Ave, Upper Grandview, NY 10960
392489	66.17-2-28 /	Idelfonso Rivera	14 Shadyside Av, Upper Grandview, NY 10960
	66.17-1-7	Bernice Brady + Susan Ottogalli	11 Shadyside Ave., Nyack, NY 10960
	66.17-1-8	Linda Williams	15 Shadyside Ave., Nyack, NY 10960
	66.17-1-13	Deborah Michaels	1 Townsend Ave., Nyack, NY 10960

Permit Application - Enclosed Porch & Roof Deck

16a Shadyside Ave
Orangetown, NY 10960

MAY 4 2022

Sheet Number	Sheet Name	Sheet Issue Date
A0	Basement Plan	10/18/21
A1	First Floor Plan	10/18/21
A2	Second Floor Plan	10/18/21
A6	Elevations	10/18/21
A8	Building Sections	10/18/21
A9	Wall Section Details	10/18/21
A10	Wall Section Details	10/18/21
C1	Site Plan	10/18/21
G0	Cover Sheet	10/18/21

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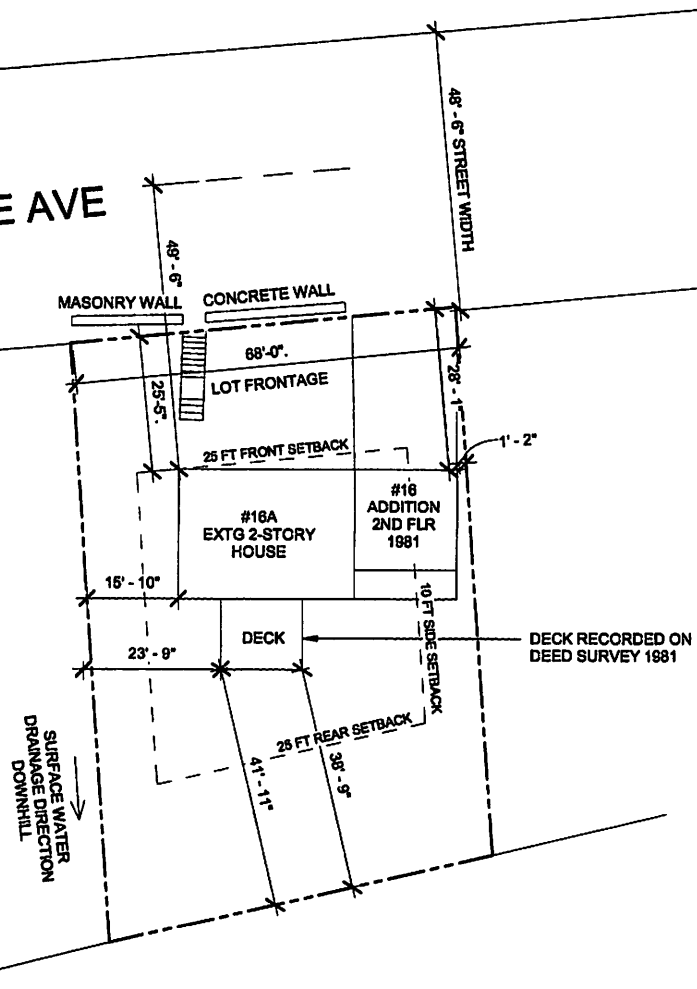


No.	Description	Date
	Permit Application	10/18/21

Cover Sheet

Project number	2102	G0
Date	10/18/21	
Drawn by	dt	
Checked by	dt	
		Scale

SHADYSIDE AVE



TAX LOT #120-1003-4

LOT AREA: 6,732 SF

ZONE: RG - GENERAL RESIDENCE DISTRICT

DISTANCE FROM CENTER LINE OF STREET: 150 FT

LINE OF STREET:

NOTE:
DUE TO THE HOUSE'S ORIGINAL CONSTRUCTION DATE OF 1821, MOST ZONING REGULATIONS ARE GRANDFATHER'D.

RESIDENCE GROSS: 2,021 SF
DECK AREA: 178 SF

FLOOR AREA: 2,199 SF
FLOOR AREA RATIO: 33%



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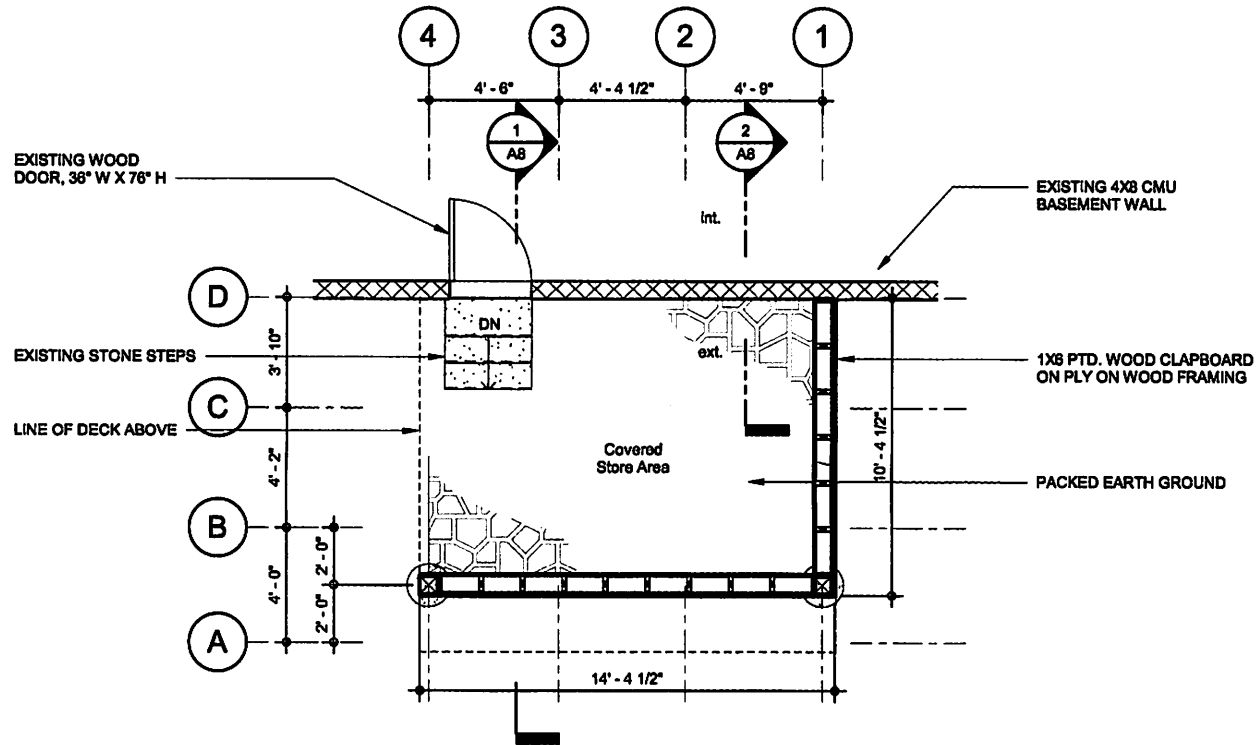
No.	Description	Date
	Permit Application	10/18/21
1	Revision #1	2/25/22

Site Plan

Project number 2102
Date 10/18/21
Drawn by dt
Checked by dt

C1

Scale 1" = 20'-0"



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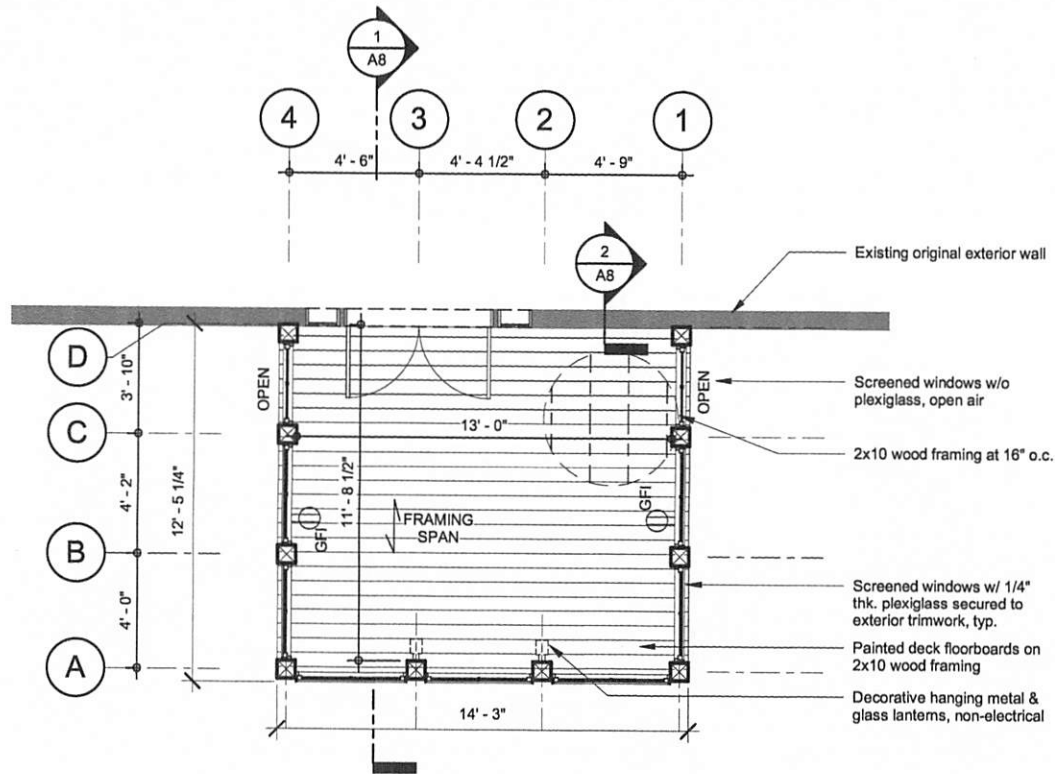
No.	Description	Date
	Permit Application	10/18/21

Basement Plan

Project number 2102
 Date 10/18/21
 Drawn by dt
 Checked by dt

A0

Scale 1/4" = 1'-0"



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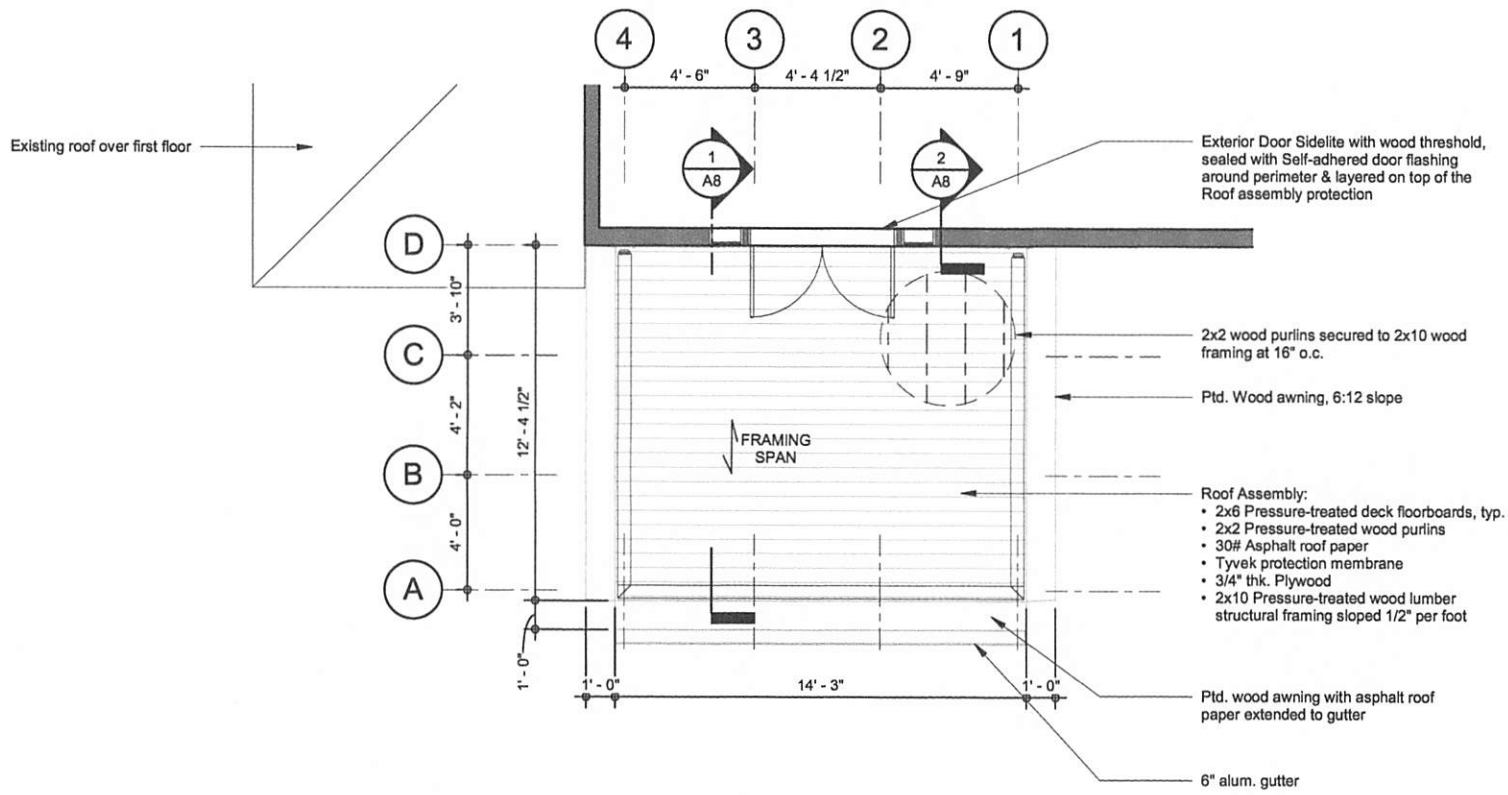
No.	Description	Date
	Permit Application	10/18/21

First Floor Plan

Project number 2102
 Date 10/18/21
 Drawn by dt
 Checked by dt

A1

Scale 1/4" = 1'-0"



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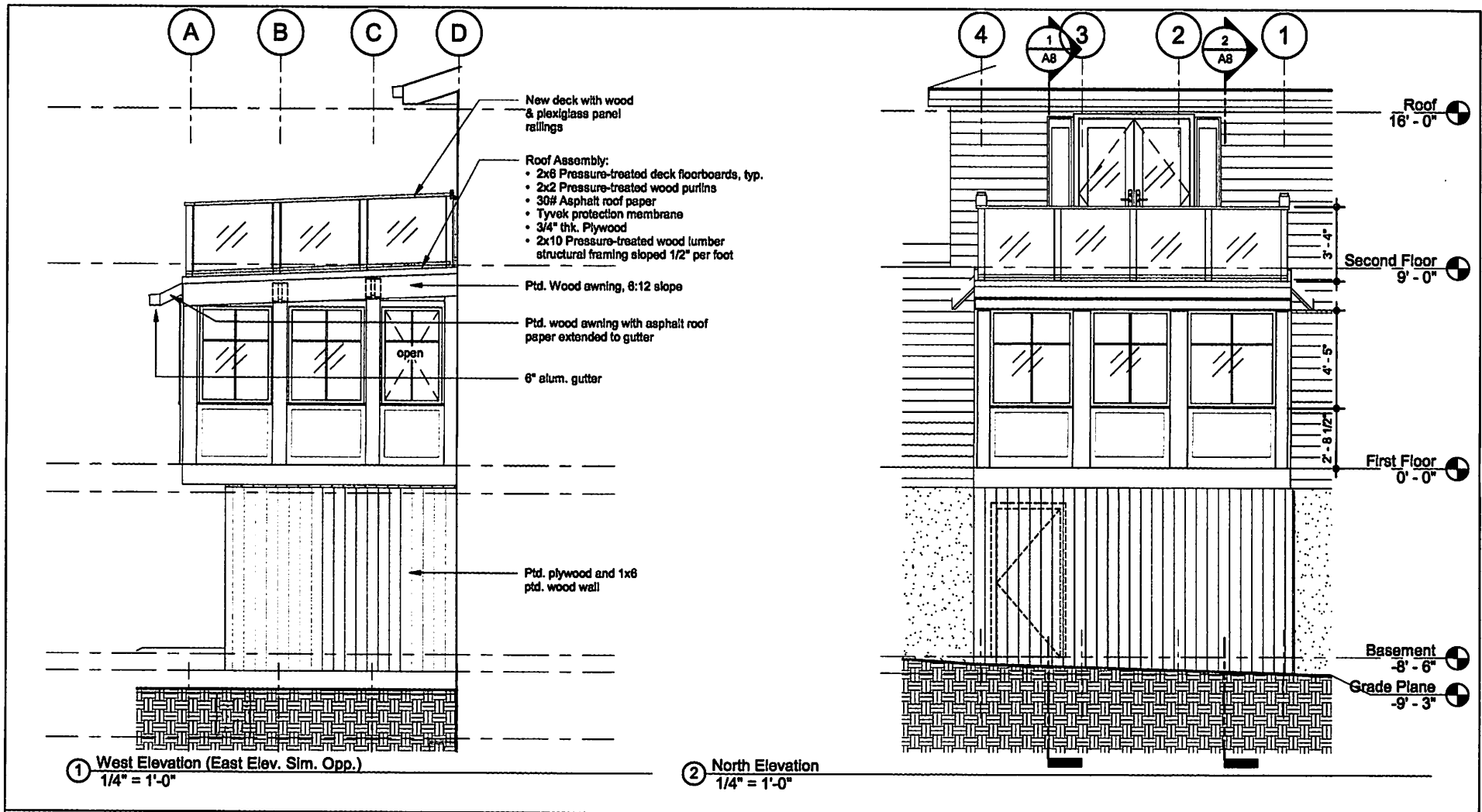
No.	Description	Date
	Permit Application	10/18/21

Second Floor Plan

Project number 2102
 Date 10/18/21
 Drawn by dt
 Checked by dt

A2

Scale 1/4" = 1'-0"



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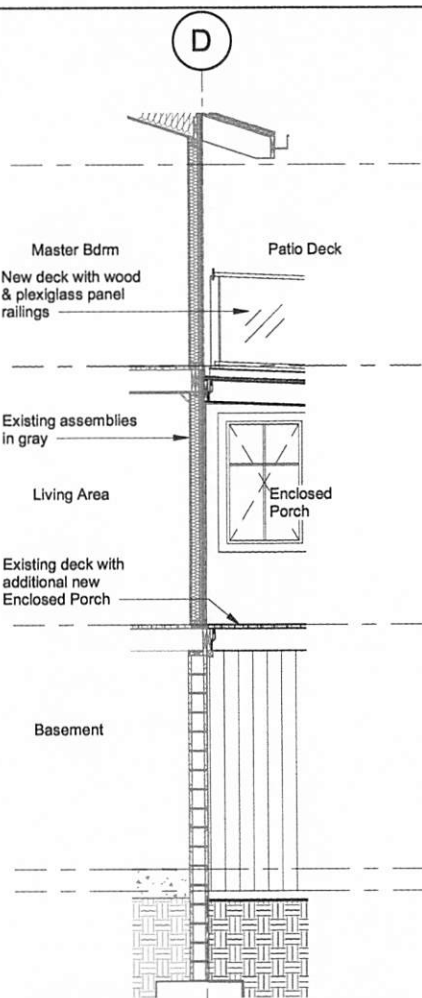
No.	Description	Date
	Permit Application	10/18/21

Elevations

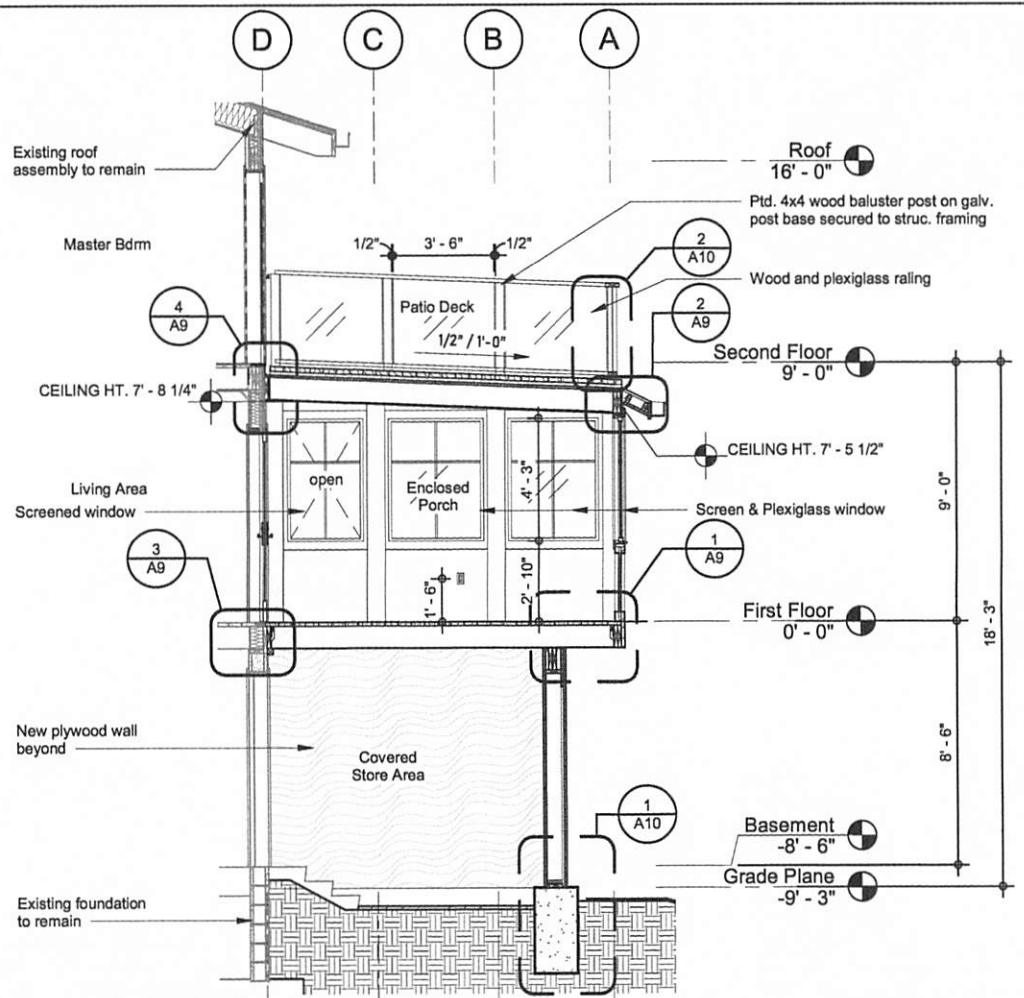
Project number 2102
 Date 10/18/21
 Drawn by dt
 Checked by dt

A6

Scale 1/4" = 1'-0"



② Section 2
1/4" = 1'-0"



① East-west section at doors
1/4" = 1'-0"

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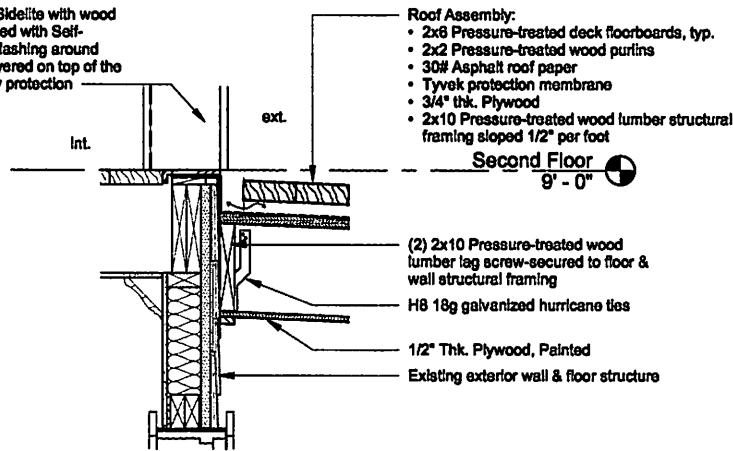
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No.	Description	Date
	Permit Application	10/18/21

Building Sections

Project number	2102	A8
Date	10/18/21	
Drawn by	dt	
Checked by	dt	
		Scale 1/4" = 1'-0"

Exterior Door Sidelite with wood threshold, sealed with Self-adhered door flashing around perimeter & layered on top of the Roof assembly protection



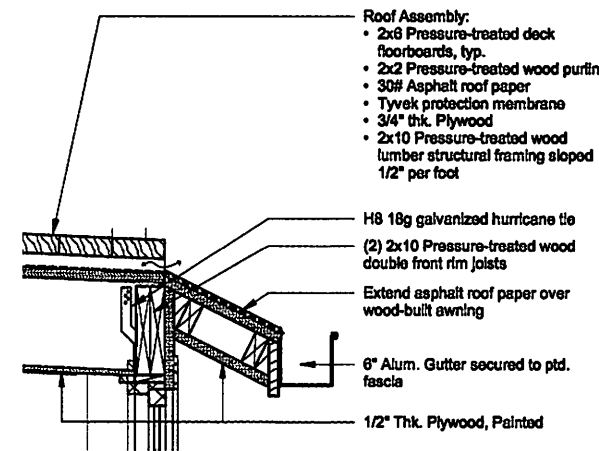
④ section detail at 2nd fir threshold
1" = 1'-0"

Roof Assembly:
 • 2x6 Pressure-treated deck floorboards, typ.
 • 2x2 Pressure-treated wood purlins
 • 30# Asphalt roof paper
 • Tyvek protection membrane
 • 3/4" thk. Plywood
 • 2x10 Pressure-treated wood lumber structural framing sloped 1/2" per foot

Second Floor
9' - 0"

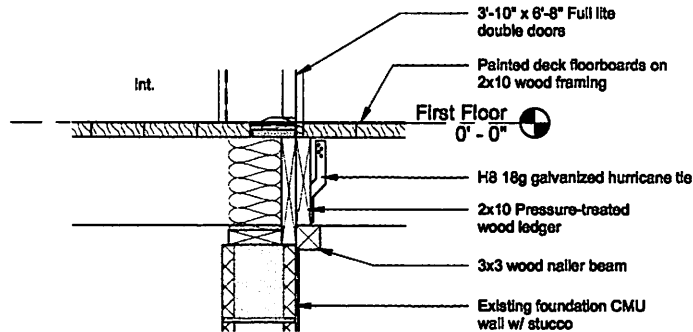
(2) 2x10 Pressure-treated wood lumber lag screw-secured to floor & wall structural framing
 H8 18g galvanized hurricane ties
 1/2" Thk. Plywood, Painted
 Existing exterior wall & floor structure

Roof Assembly:
 • 2x6 Pressure-treated deck floorboards, typ.
 • 2x2 Pressure-treated wood purlins
 • 30# Asphalt roof paper
 • Tyvek protection membrane
 • 3/4" thk. Plywood
 • 2x10 Pressure-treated wood lumber structural framing sloped 1/2" per foot



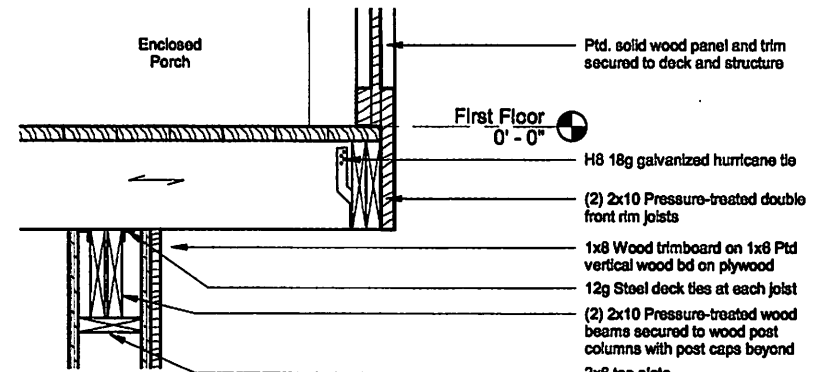
② section detail at roof end condition
1" = 1'-0"

H8 18g galvanized hurricane tie
 (2) 2x10 Pressure-treated wood double front rim joists
 Extend asphalt roof paper over wood-built awning
 6" Alum. Gutter secured to ptd. fascia
 1/2" Thk. Plywood, Painted



③ section detail at 1st fir threshold
1" = 1'-0"

3'-10" x 6'-8" Full lite double doors
 Painted deck floorboards on 2x10 wood framing
 H8 18g galvanized hurricane tie
 2x10 Pressure-treated wood ledger
 3x3 wood nailer beam
 Existing foundation CMU wall w/ stucco



① section detail at deck end condition
1" = 1'-0"

Ptd. solid wood panel and trim secured to deck and structure
 H8 18g galvanized hurricane tie
 (2) 2x10 Pressure-treated double front rim joists
 1x8 Wood trimboard on 1x8 Ptd vertical wood bd on plywood
 12g Steel deck ties at each joist
 (2) 2x10 Pressure-treated wood beams secured to wood post columns with post caps beyond
 2x6 top plate

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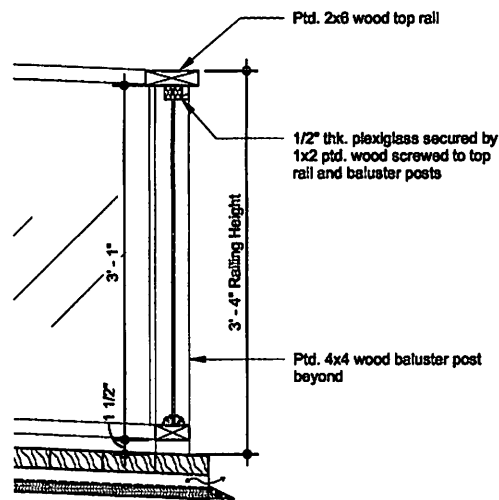
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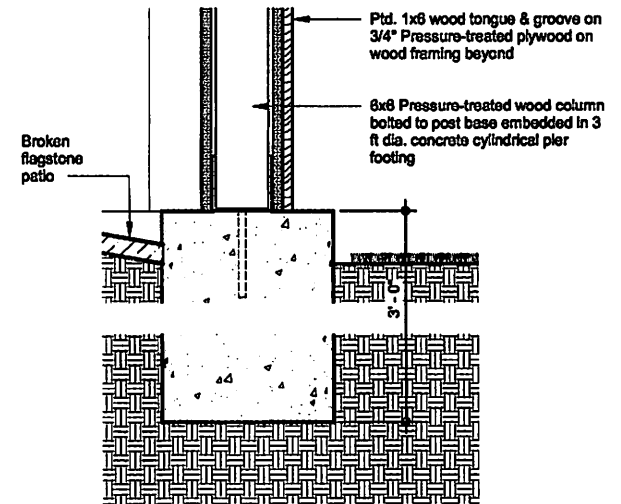
No.	Description	Date
	Permit Application	10/18/21

Wall Section Details

Project number	2102	A9
Date	10/18/21	
Drawn by	dt	
Checked by	dt	
		Scale 1" = 1'-0"



② section detail at typ. railing
1" = 1'-0"



① section detail at column footing
1" = 1'-0"

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No.	Description	Date
	Permit Application	10/18/21

Wall Section Details

Project number 2102
Date 10/18/21
Drawn by dt
Checked by dt

A10

Scale 1" = 1'-0"