

Name of Municipality: TOWN OF ORANGETOWN

Date Submitted: 3/10/2022

2022 LAND USE BOARD APPLICATION

Please check all that apply:

<input type="checkbox"/> Commercial	<input checked="" type="checkbox"/> Residential
<input type="checkbox"/> Planning Board	<input type="checkbox"/> Historical Board
<input checked="" type="checkbox"/> Zoning Board of Appeals	<input type="checkbox"/> Architectural Board
<input type="checkbox"/> Subdivision	<input type="checkbox"/> Consultation
<input type="checkbox"/> Number of Lots	<input type="checkbox"/> Pre-Preliminary/Sketch
<input type="checkbox"/> Site Plan	<input type="checkbox"/> Preliminary
<input type="checkbox"/> Conditional Use	<input type="checkbox"/> Final
<input type="checkbox"/> Special Permit	<input type="checkbox"/> Interpretation
<input type="checkbox"/> Variance	
<input type="checkbox"/> Performance Standards Review	
<input type="checkbox"/> Use Variance	
<input type="checkbox"/> Other (specify): _____	

PERMIT#: BDR-594-22
 ASSIGNED
 INSPECTOR: Glenn

Referred from Planning Board: YES / NO
 If yes provide date of Planning Board meeting: _____

Project Name: Badillo

Street Address: 67 Chestnut Oval
Orangetown, NY 10962

Tax Map Designation:
Section: 74.06 Block: 1 Lot(s): 22
Section: _____ Block: _____ Lot(s): _____

Directional Location:
On the east side of Chestnut Oval, approximately 10 feet north of the intersection of Cypress Lane, in the Town of ORANGETOWN in the hamlet/village of Orangetown.

Acreage of Parcel <u>.20</u>	Zoning District <u>RG</u>
School District <u>South Orangetown</u>	Postal District <u>Orangetown</u>
Ambulance District <u>Orangetown</u>	Fire District <u>Orangetown</u>
Water District <u>Suez</u>	Sewer District <u>Orangetown</u>

Project Description: (If additional space required, please attach a narrative summary.)

Two story addition - 1st floor family room; 2nd floor - master bedroom, carport, master bathroom

The undersigned agrees to an extension of the statutory time limit for scheduling a public hearing.

Date: 3/10/2022 Applicant's Signature: Angela Badillo

APPLICATION REVIEW FORM

FILL IN WHERE APPLICABLE.

(IF THE FOLLOWING DOES NOT APPLY PLEASE MOVE ON TO THE NEXT PAGE)

If subdivision:

- 1) Is any variance from the subdivision regulations required? _____
- 2) Is any open space being offered? ____ If so, what amount? _____
- 3) Is this a standard or average density subdivision? _____

If site plan:

- 1) Existing square footage _____
- 2) Total square footage _____
- 3) Number of dwelling units _____

If special permit, list special permit use and what the property will be used for.

Environmental Constraints:

Are there **slopes greater than 25%**? If yes, please indicate the amount and show the gross and net area _____

Are there **streams** on the site? If yes, please provide the names. _____

Are there **wetlands** on the site? If yes, please provide the names and type: _____

Project History:

Has this project ever been reviewed before? NO _____

If so, provide a narrative, including the list case number, name, date, and the board(s) you appeared before, and the status of any previous approvals.

List tax map section, block & lot numbers for all other abutting properties in the same ownership as this project.



OFFICE OF BUILDING, ZONING, PLANNING,
ADMINISTRATION AND ENFORCEMENT
TOWN OF ORANGETOWN

20 Greenbush Road
Orangeburg, N.Y. 10962

Jane Slavin, R.A.
Director

(845)359-8410

Fax: (845) 359-8526

DENIAL TO THE ZONING BOARD OF APPEALS

Date: February 17, 2022

Applicant: Badillo

Address: 67 Chestnut Oval, Orangeburg, NY

RE: Application Made at: same

Chapter 43, Table 3.12, Column 1 RG District, Column 2 Group Q, Column 3 SFR, Column 4 Max FAR 30% with 39.1% proposed, Column 9 Side Yard 10' with 1.7" proposed, Col 10 Total Side Yd 30' w/ 17' proposed. ✓ ✓ ✓

3 variances required

Section: 74.06

Block: 1

Lot: 22

Dear Badillo:

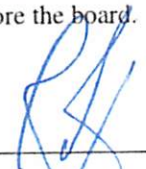
Please be advised that the Building Permit Application, which you submitted on

February 10, 2022, has been denied. I have enclosed a Xerox copy of your application, where you will find at the bottom the reason for denial.

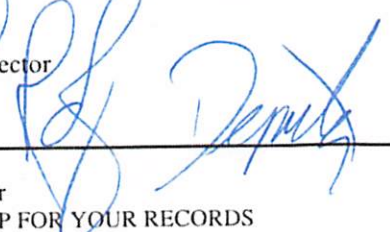
In Accordance with Zoning, Chapter 43 Section 10.322 the time to appeal a determination of a Building Inspector or Similar administrative office is thirty (30) days from the filing of such a determination with the Town Clerk.

The Clerk to the Zoning Board of Appeals, Debbie Arbolino, will assist you in the preparation necessary to appear before the board.

Sincerely,


Richard Oliver
Deputy Building Inspector

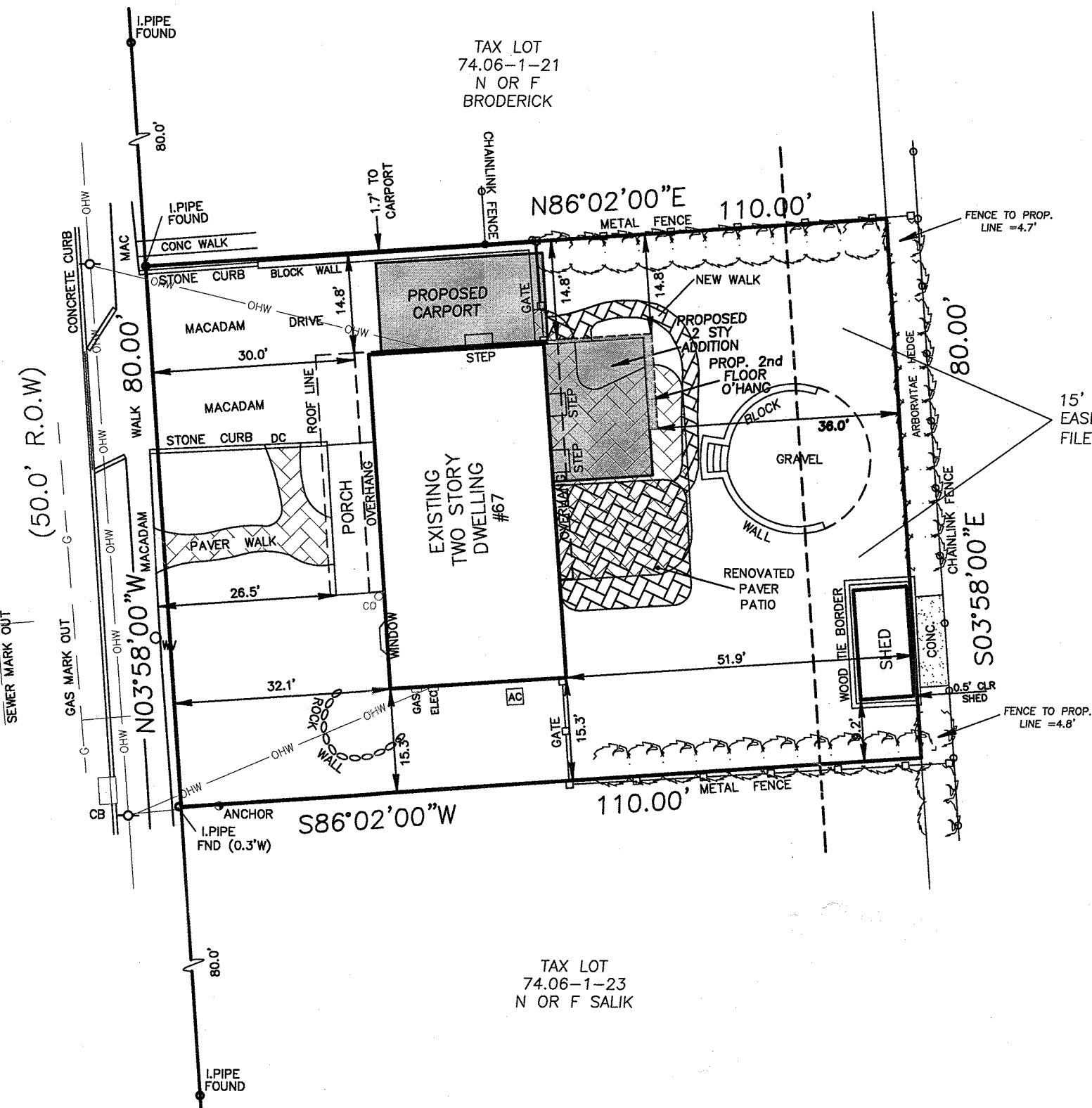
Signature of Director
NOTE: PLEASE KEEP FOR YOUR RECORDS
12-31-18-CCC


Date
CC: Rosanna Sfraga
Liz Decort
Debbie Arbolino

IS	PRINT KEY	NAME	ADDRESS
489	74.06-1-6	Marisa A Perez	34 Chestnut Oval,Orangeburg, NY 10962
489	74.06-1-7	James Dunphy IV	38 Chestnut Oval,Orangeburg, NY 10962
489	74.06-1-8	James S Phelan	42 Chestnut Oval,Orangeburg, NY 10962
489	74.06-1-9	Lorraine Mc Grath	13 Catawba Dr,W Nyack, NY 10994
489	74.06-1-10	Robert Smith	50 Chestnut Oval,Orangeburg, NY 10962
489	74.06-1-11	Dimitrios Xanthopoulos	2 Cypress Ln,Orangeburg, NY 10962
489	74.06-1-12	Heinz Litz	3 Cypress La,Orangeburg, NY 10962
489	74.06-1-13	Carmini F Palermo	54 Chestnut Oval,Orangeburg, NY 10962
489	74.06-1-14	Maria C Scolaro	58 Chestnut Oval,Orangeburg, NY 10962
489	74.06-1-15	Howard L Goldenberg	62 Chestnut Oval,Orangeburg, NY 10962
489	74.06-1-16	Philip Di Venere	43 Chestnut Oval,Orangeburg, NY 10962
489	74.06-1-17	Joseph L Walsh	47 Chestnut Oval,Orangeburg, NY 10962
489	74.06-1-18	Elvir Gacevic	51 Chestnut Oval E,Orangeburg, NY 10962
489	74.06-1-19	Marie Ribauda	55 Chestnut Oval,Orangeburg, NY 10962
489	74.06-1-20	Salvatore Alfano	59 Chestnut Oval,Orangeburg, NY 10962
489	74.06-1-21	Mathew J Broderick	63 Chestnut Oval,Orangeburg, NY 10962
489	74.06-1-22	Daniel Badillo	67 Chestnut Oval,Orangeburg, NY 10962
489	74.06-1-23	Parveen Salik	71 Chestnut Oval,Orangeburg, NY 10962
489	74.06-1-24	Michael Mc Namee	75 Chestnut Oval,Orangeburg, NY 10962-0000
489	74.06-1-25	Daniel Lee	79 Chestnut Oval,Orangeburg, NY 10962
489	74.06-1-26	Kenneth J Mc Closkey	83 Chestnut Oval,Orangeburg, NY 10962
489	74.06-1-27	Saverio Addino	87 Chestnut Oval,Orangeburg, NY 10962
489	74.06-1-46	Christopher M Farrell	70 Chestnut Oval,Orangeburg, NY 10962
489	74.06-1-47	Dominick A Russo Jr	74 Chestnut Oval E,Orangeburg, NY 10962
489	74.06-1-48	Anthony Fugazzotto	119 Chestnut Oval,Orangeburg, NY 10962
489	74.06-1-59	Samantha M Alpert	15 Cypress Ln,Orangeburg, NY 10962
489	74.06-1-60	Toni A Farr	11 Cypress Ln,Orangeburg, NY 10962
489	74.06-1-61	John Dellacava	7 Cypress Ln,Orangeburg, NY 10962
489	74.06-1-62	David Mendell	6 Cypress Ln,Orangeburg, NY 10962
489	74.06-1-63	Matthew Garzia	10 Cypress Ln,Orangeburg, NY 10962
489	74.06-1-64	William S Egan	14 Cypress La,Orangeburg, NY 10962
489	74.06-1-65	Fred Del Rosso	18 Cypress Ln,Orangeburg, NY 10962
489	74.06-3-1.2	Dominican College	470 Western Hwy,Blauvelt, NY 10913
489	74.06-3-1.3	Dominican College of Blauvelt	470 Western Hwy,Orangeburg, NY 10913



CHESTNUT OVAL EAST



15' WIDE DRAINAGE EASEMENT PER FILED MAP #2534

TAX LOT 74.06-3-1.3 N OR F SISTERS OF ST. DOMINIC OF BLAUVELT

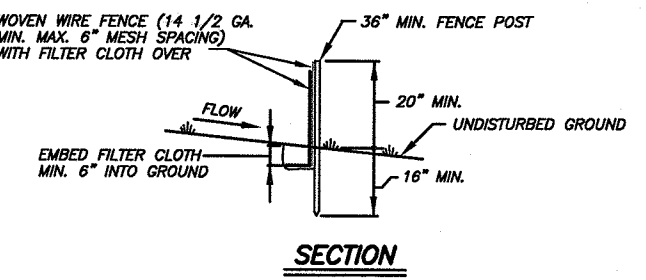
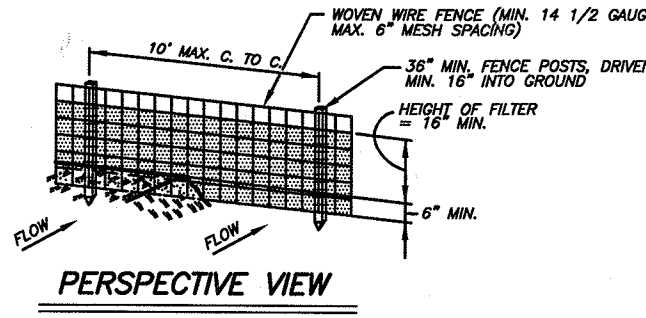
TAX LOT 74.06-1-23 N OR F SALIK



NOTES: VICINITY MAP SCALE 1"=

- THIS IS A SITE PLAN OF TAX LOT 74.06-1-22 AS SHOWN ON THE TOWN OF ORANGETOWN TAX MAPS.
- RECORD OWNER:
- APPLICANT: SAME
- AREA = 10,171 SF
- ZONE: R-15
- THIS PLAT DOES NOT CONFLICT WITH THE COUNTY OFFICIAL MAP, AND 8. THIS PLAT DOES NOT CONFLICT WITH THE COUNTY OFFICIAL MAP, AND HAS BEEN APPROVED IN THE MANNER SPECIFIED BY SECTION 239 L&M OF THE GENERAL MUNICIPAL LAW OF THE STATE OF NEW YORK.
- ALL UTILITIES, INCLUDING ELECTRIC AND TELEPHONE SERVICE SHALL BE INSTALLED UNDERGROUND.
- THIS PLAT IS SUBJECT TO DETAILS OF GRADING, ROADS AND UTILITIES AS SHOWN ON CONSTRUCTION PLANS APPROVED BY THE PLANNING BOARD AND FILED WITH THE TOWN CLERK. LOT DRAINAGE SHOWN ON SUCH PLANS SHALL CONSTITUTE EASEMENTS RUNNING WITH THE LAND & SHALL NOT BE DISTURBED.
- ANY EXISTING UTILITIES (POLES, HYDRANTS, ETC.) AFFECTED BY CONSTRUCTION OF THIS SITE PLAN SHALL BE RELOCATED AT THE DEVELOPERS EXPENSE PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY.
- NO BUILDING PERMIT SHALL BE ISSUED UNTIL SITE PLANS HAVE BEEN APPROVED BY ACABOR.

CYPRESS LANE EAST

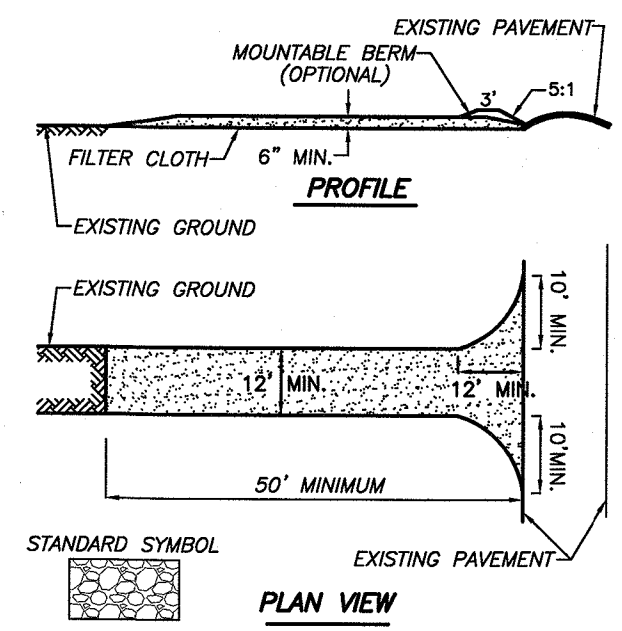


CONSTRUCTION NOTES FOR FABRICATED SILT FENCE

- WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES.
 - FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION.
 - WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED.
 - MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.
- POSTS: STEEL EITHER "1" OR "2" TYPE OR 2" HARDWOOD.
 FENCE: WOVEN WIRE 14 1/2 GA. 6" MAX. MESH OPENING.
 FILTER CLOTH: FILTER X, MIRAFI 100X, STABILINKA T140N, OR APPROVED EQUAL.
 PREFABRICATED: GEOFAB, ENVIROFENCE, UNIT: OR APPROVED EQUAL.

WIRE REINFORCED SILT FENCE

NTS



STABILIZED CONSTRUCTION ENTRANCE

NTS

CONSTRUCTION SPECIFICATIONS

- STONE SIZE - USE 2" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
- LENGTH - NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY.)
- THICKNESS - NOT LESS THAN (6) INCHES.
- WIDTH - TWELVE (12) FOOT MINIMUM. BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. TWENTY-FOUR (24) FOOT IF SINGLE ENTRANCE TO SITE.
- FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
- SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTING BERM WITH 5:1 SLOPES WILL BE PERMITTED.
- MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
- WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
- PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

REFERENCE: BEING LOT #21 AS SHOWN ON A FILED MAP ENTITLED "MAP OF ROCKLAND, SECTION II; SANDRA CONSTRUCTION CO, INC" FILED APR. 26, 1957 AS MAP #2496 AND "MAP OF ROCKLAND, SECTION II" FILED NOV. 19, 1957 AS MAP #2534.

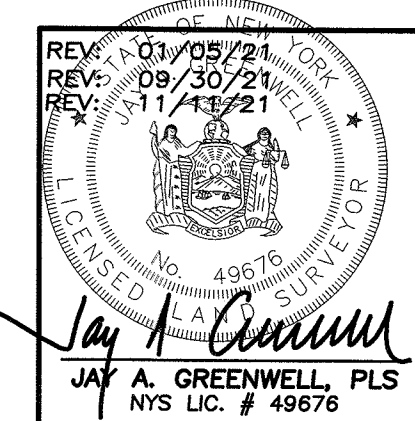
LEGEND

- CB □ FI CATCH BASIN/FIELD INLET
- DRAIN LINE
- SMH — SANITARY MANHOLE / PIPE
- EDGE OF PAVEMENT
- CONCRETE CURB
- G — GAS LINE
- W — WATER LINE
- UTILITY POLE
- LIGHT POLE
- OHW — OVERHEAD WIRES
- UE — UNDERGROUND ELECTRIC

BULK REGULATIONS - RG - SINGLE FAMILY RESIDENCE GROUP "Q"									
	MIN LOT AREA	MIN LOT WIDTH	MIN STREET FRONTAGE	MIN FRONT YARD	MIN SIDE YARD	TOTAL SIDE YARDS	MIN REAR YARD	MAX BLDG HEIGHT	MAX F.A.R.
REQUIRED	10,000 SF	75 FT	50 FT	25 FT	10 FT	30 FT	25 FT	1'4"/FT	0.30
EXISTING	8800 SF	80.0'	80.0'	26.5'	14.8'	30.1'	51.9'	25'±	0.295
PROPOSED	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	1.7' *	17.5' *	36.0'	NO CHANGE	0.391 *

* VARIANCE REQUIRED

† NOTE: PARCEL WAS DEVELOPED IN ACCORDANCE WITH FILED MAP #2496, AND IS A PRE-EXISTING NON-CONFORMING LOT.



PLOT PLAN FOR

BADILLO

TOWN OF ORANGETOWN
ROCKLAND COUNTY, NEW YORK

JAY A. GREENWELL, PLS, LLC

LAND SURVEYING - LAND PLANNING
85 LAFAYETTE AVENUE, SUFFERN, NEW YORK, 10901
PHONE 845-357-0830 FAX 845-357-0756
© 2020 JAY A. GREENWELL, PLS, LLC

TAX LOT #	74.06-1-22
AREA	8800 SF
FILE	22063PP
SCALE	1"= 20'
DATE	01/04/21
JOB NO.	22063

APR 20 2022

GENERAL NOTES:

1. ALL CONSTRUCTION METHODS SHALL CONFORM TO THE TOWN OF ORANGETOWN BUILDING CODE, THE 2020 NEW YORK STATE RESIDENTIAL BUILDING CODE AND REGULATIONS OF ALL OTHER AGENCIES HAVING JURISDICTION.
2. ALL EXISTING CONDITIONS TO BE VERIFIED IN FIELD. CONTRACTOR TO NOTIFY OWNER/ ARCHITECT OF ANY DISCREPANCY PRIOR TO CONSTRUCTION OR IMMEDIATELY UPON DISCOVERY.
3. UPGRADE EXISTING ELECTRICAL AS REQ'D, INCLUDING SERVICE, DEDICATED CIRCUITS, GFCI OUTLETS IN KITCHEN & BATHS, AS REQ'D TO MEET ALL APPLICABLE CODES AND SAFETY STANDARDS. ALL WORK TO BE PERFORMED BY A CONTRACTOR LICENSED IN ROCKLAND COUNTY.
4. UPGRADE ALL PLUMBING SUPPLY LINES, PROVIDE VENTING AND MAINTAIN CONSTANT SLOPE IN ALL WASTE LINES. UPGRADE HEATING SYSTEM TO PROVIDE ADEQUATE HEATING THROUGHOUT. PROVIDE NEW HOT-WATER BASEBOARD RADIATORS TIED INTO EXISTING SYSTEM TO MEET STANDARD HEATING REQUIREMENTS. ALL PLUMBING WORK TO BE PERFORMED TO MEET ALL APPLICABLE CODES BY A PLUMBING CONTRACTOR LICENSED IN ROCKLAND COUNTY.

DEMOLITION NOTES:

1. ALL EXISTING CONSTRUCTION TO REMAIN TO BE SHORED ADEQUATELY WITH TEMPORARY BRACING PRIOR TO ANY REMOVALS.
2. CONTRACTOR TO TAKE EXTREME CAUTION NOT TO DAMAGE ANY WORK TO REMAIN.
3. CONTRACTOR TO BE RESPONSIBLE FOR REMOVAL AND DISPOSAL OF ALL DEMOLISHED MATERIAL AND CONSTRUCTION DEBRIS. DEBRIS, DUST AND DIRT TO BE KEPT TO A MINIMUM, AND TO BE CLEARED FROM SITE PERIODICALLY TO PREVENT EXCESSIVE ACCUMULATION.
4. AT AREAS TO RECEIVE NEW FINISH FLOORING, REMOVE ALL EXISTING FLOORING. REPAIR, LEVEL AND PREPARE SURFACE TO RECEIVE NEW FINISHES - TYPICAL.
5. CONTRACTOR TO NOTIFY ARCHITECT IMMEDIATELY UPON DISCOVERY OF ANY UNFORESEEN STRUCTURAL CONDITIONS, THESE CONDITIONS TO BE REVIEWED BY ARCHITECT AND A STRUCTURAL ENGINEER IF NECESSARY TO DETERMINE ANY FURTHER ACTION REQUIRED.

DESIGN LOADS (Micucci Engineering):

FLOOR LOADS per ASCE 7-10

- DEAD LOAD: 12 PSF - 2X10 JOIST AT 16" O.C., 3/4" SUBFLOOR & MISC.
- LIVE LOAD: 30 PSF - HABITABLE ATTICS & SLEEPING AREA
- 40 PSF - ALL OTHER AREAS EXCEPT STAIRS
- UNOCCUPIED ATTIC SPACE: 5 PSF DL + 20 PSF LL = 25 PSF

ROOF LOADS:

- DEAD LOAD: 20 PSF - 2x10S AT 16"oc 5/8" SHEATHING & SHINGLE ROOFING
- LIVE LOAD: 30 PSF

ASCE 7-10 DESIGN CRITERIA

ROOF SNOW LOADS:

- GROUND SNOW LOAD (Pg): 30 PSF
- FLAT ROOF SNOW LOAD (Pf): 21.0 PSF
- SNOW EXPOSURE FACTOR (Ce): 1.0
- SNOW LOAD IMPORTANCE FACTOR (Is): 1.0
- THERMAL FACTOR (Ct): 1.0

WIND LOADS:

- ULTIMATE DESIGN WIND SPEED (Vult): 115 MPH
- RISK CATEGORY: II
- WIND EXPOSURE CATEGORY: B
- INTERNAL PRESSURE COEFFICIENT: +/- 0.18

CONSTRUCTION NOTES:

1. ALL DIMENSIONS GIVEN ARE TO FACE OF GYPSUM BOARD UNLESS OTHERWISE NOTED.
2. PARTITIONS SHOWN ALIGNED WITH EXISTING CONSTRUCTION SHALL BE FLUSH AND SMOOTH WITH EXISTING SURFACES U.O.N.
3. DO NOT SCALE DRAWINGS, DIMENSIONS GOVERN.
4. ALL FRAMING MEMBERS SHALL BE DOUGLAS FIR NO. 2 OR BETTER, SURFACE DRY WITH 19% MAX MOISTURE CONTENT. FB = 850 PSI MIN., FV = 95 PSI, FC = 625 PSI, E = 1,600,000 PSI.
5. ALL FRAMING MEMBERS (LEDGERS, SILL PLATES, ETC.) THAT TIE NEW CONSTRUCTION INTO EXISTING ARE TO BE SECURED WITH 3/8" x 5" (MIN.) LAG BOLTS @ 16" O.C. MIN. INTO EXISTING HOUSE STRUCTURAL FRAMING (NOT SHEATHING ONLY).
6. INSTALL FIRE-BLOCKING WHEREEVER POSSIBLE IF EXISTING STRUCTURE IS BALLOON FRAMING THAT BECOMES EXPOSED AT SECOND FLOOR LEVEL.
7. ALL ENGINEERED FRAMING MEMBERS ARE TO BE BY TRUS JOIST WEYERHAEUSER OR APPROVED EQUAL.
8. STRUCTURAL MEMBERS SHALL NOT BE CUT FOR PIPES, ETC. UNLESS SPECIFICALLY NOTED OR APPROVED BY THE ARCHITECT OR STRUCTURAL ENGINEER IN ADVANCE.
9. ALL **STRUCTURAL LUMBER** AND FASTENINGS SHALL CONFORM TO THE MINIMUM REQUIREMENTS OF TABLE 2304.9.1 OF THE IBC, LATEST EDITION.
10. **ROOF SHEATHING** SHALL BE 19/32" MIN. A.P.A. RATED SHEATHING 32/16 EXPOSURE I. LAY FACE GRAIN AT RIGHT ANGLE TO SUPPORTS. PROVIDE 1/8" SPACE BETWEEN SHEETS AT END AND SIDE JOINTS. SHEATHING SHALL BE CONTINUOUS OVER A MIN. OF TWO SPANS. PROVIDED 10D COMMON NAILS AT 6" OC ALONG SUPPORTED EDGES AND 12" OC ALONG INTERMEDIATE SUPPORTS. PROTECT ROOF SHEATHING FROM MOISTURE UNTIL ROOFING IS INSTALLED.
11. INSTALL NEW WINDOWS & DOORS AT NEW LOCATIONS AS SHOWN ON PLANS; PATCH & REPAIR EXISTING WALLS & EXTERIOR CLADDING AS REQ'D.
12. INSTALL NEW 5/8" G.W.B. @ ALL NEW INTERIOR WALLS & CEILINGS, U.O.N. PATCH, REPAIR AND/OR PREPARE ALL EXISTING CONSTRUCTION AT AREAS TO ACCEPT NEW, AND WHERE AFFECTED BY DEMOLITION AND CONSTRUCTION.
13. INSTALL FINISH FLOORING OVER 3/4" T&G PLYWOOD SUBFLOOR - TYP UON.
14. ALL NEW INTERIOR DOORS TO BE SOLID WOOD paneled doors TO MATCH EXISTING AS CLOSELY AS POSSIBLE. HARDWARE TO MATCH EXISTING, REVIEW WITH OWNER.
15. ALL INSTALLATION OF MATERIALS, DEVICES, APPLIANCES, FIXTURES, ETC. TO BE AS PER MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS AND AS PER ALL APPLICABLE CODES.
16. PROVIDE VAPOR BARRIER AT EXTERIOR SIDE OF ALL NEW CONCRETE FOUNDATION WALLS CONTINUOUSLY FROM FOOTING TO TOP OF GRADE.

LIST OF DRAWINGS

- A-0.1 GENERAL NOTES
- A-1.0 FIRST FLOOR WITH SITE
- A-1.1 FIRST FLOOR CONSTRUCTION PLAN
- A-1.2 FIRST FLOOR - POWER & LIGHTING
- A-2.1 SECOND FLOOR PLAN
- A-2.2 SECOND FLOOR - POWER & LIGHTING
- A-3.1 ROOF PLAN
- A-4.1 NORTH ELEVATION (FRONT)
- A-4.2 WEST ELEVATION (SIDE) & FTG DETAIL
- A-4.3 SOUTH ELEVATION (REAR)
- A-4.4 EAST ELEVATION (SIDE)
- A-5.1 SECTION @ 2-story ADDITION
- A-5.2 FRAMING DETAILS
- A-6.1 INTERIOR ELEVATIONS - FAMILY ROOM
- A-6.2 INTERIOR ELEVATIONS - MASTER BATH

ENERGY NOTES:

1. THIS BUILDING DESIGN IS BY ACCEPTABLE PRACTICE AND SHALL COMPLY WITH THE CURRENT NEW YORK STATE ENERGY CONSERVATION CONSTRUCTION CODE.
2. ALL INSTALLATIONS AND MATERIALS SHALL BE IN CONFORMANCE WITH THE NEW YORK STATE ENERGY CODE.
3. ALL NEW CONSTRUCTION TO ACHIEVE THE FOLLOWING MIN. INSULATION VALUES: HIGH DENSITY BATT IN WALLS = R-21 AND FLOORS = R-30; CLOSED CELL SPRAY FOAM IN ROOF FRAMING = R-49.
4. WHEREEVER EXISTING FRAMING IS EXPOSED, INSTALL HIGH-DENSITY BATT INSULATION OR SPRAYED IN FOAM TO ACHIEVE HIGHEST R-VALUE POSSIBLE WITHIN EXISTING SPACE. FULLY SEAL ALL AIR PENETRATIONS
5. ALL EXTERIOR OPENINGS SHALL BE PROPERLY FLASHED AND WEATHER-STRIPPED. ALL WINDOWS TO BE .32 U-VALUE OR LOWER WITH LOW E 2 ARGON INSULATED GLASS. ALL DOORS AND WINDOWS TO BE MARVIN, OR APPROVED EQUAL.
6. PROVIDE THERMAL ENVELOP WITH CONTINUOUS INSULATION AND AIR BARRIER AND SEAL ALL JOINTS, CORNERS, SILL PLATES, TOP PLATES AND PENETRATIONS PER SECTION R402 OF THE ENERGY CODE.

SMOKE DETECTOR NOTES:

1. PROVIDE SMOKE DETECTORS IN BEDROOMS AND HALLWAYS (TO EXTENT POSSIBLE WITHIN SCOPE OF CONSTRUCTION). SMOKE DETECTORS TO BE HARD-WIRED WITH BATTERY BACKUP, INTERCONNECTED AND INSTALLED PER MFR'S SPECIFICATIONS AND TO MEET ALL APPLICABLE CODES.
2. UNITS SHALL BE LOCATED ON OR NEAR THE CEILING. CEILING MOUNT - CLOSEST EDGE OF UNIT SHALL BE A MINIMUM OF 4" AWAY FROM ANY WALLS. WALL MOUNT - CLOSEST EDGE SHALL BE A MINIMUM OF 4" AWAY FROM THE CEILING.
3. PROVIDE (1) COMBINATION CARBON MONOXIDE & SMOKE DETECTOR PER DWELLING

**TABLE R301.2(1)
CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA**

GROUND SNOW LOAD ^a	WIND DESIGN				SEISMIC DESIGN CATEGORY ^f	SUBJECT TO DAMAGE FROM			WINTER DESIGN TEMP ^g	ICE BARRIER UNDERLAYMENT REQUIRED ^h	FLOOD HAZARDS ⁱ	AIR FREEZING INDEX ^j	MEAN ANNUAL TEMP ^k
	Speed ^d (mph)	Topographic effects ^k	Special wind region ^l	Windborne debris zone ^m		Weathering ^a	Frost line depth ^b	Termite ^c					
—	—	—	—	—	—	—	—	—	—	—	—	—	—

**Badillo
Residence**

**67 Chestnut Oval
Orangeburg, NY**

County of Rockland

architect

**Margaret Fowler Architect
LLC**

NYS license #024528-1

500 North Broadway

Upper Nyack, NY 10960

t: (845) 680-9475

megfowlerarchitect@gmail.com



previously issued

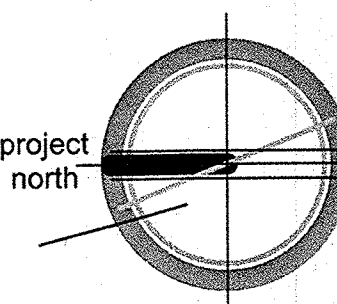
issue

date
11/12/2021

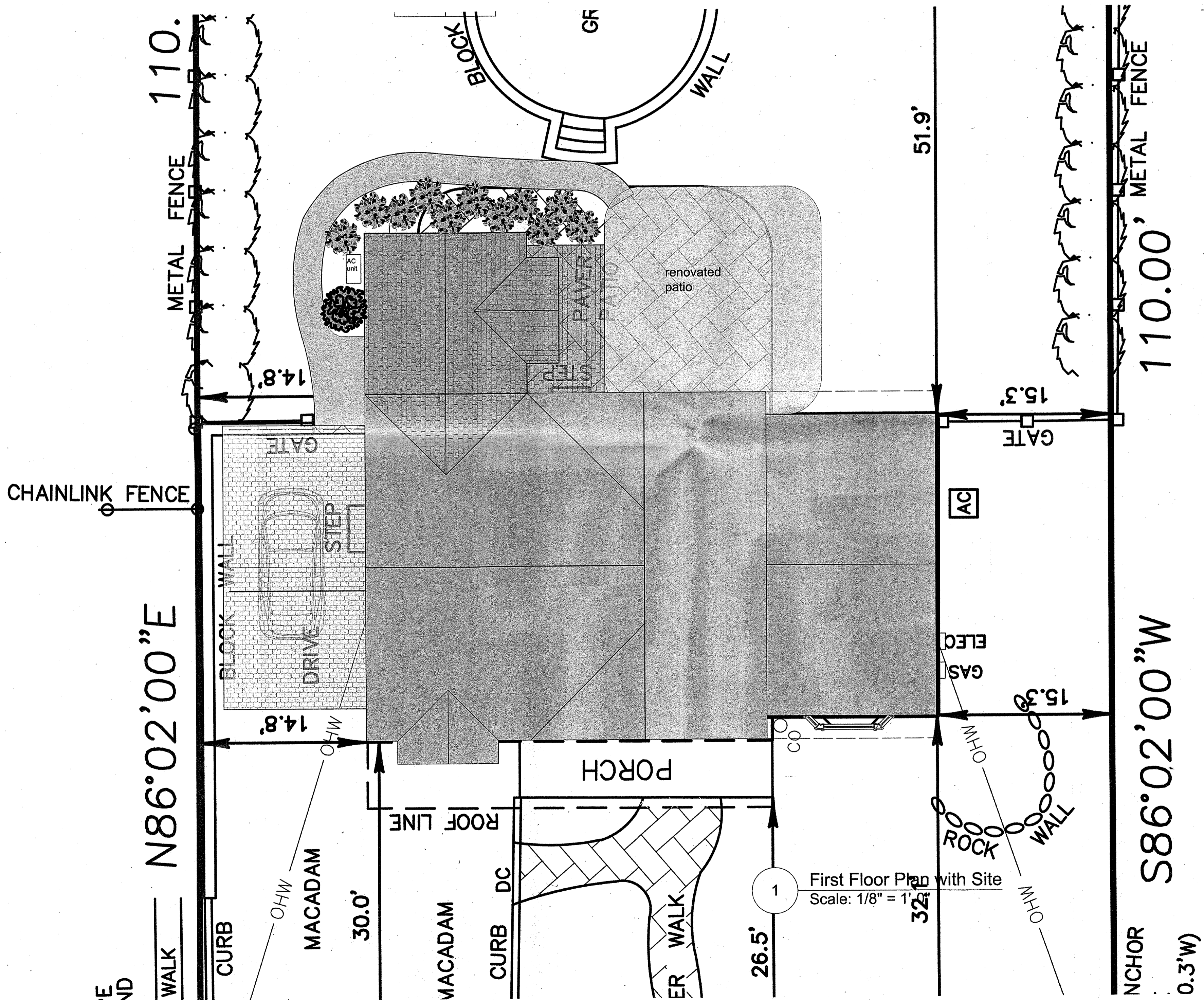
scale

drawing title

General Notes



BRODERICK



1 First Floor Plan with Site
 Scale: 1/8" = 1'

Badillo Residence

67 Chestnut Oval
 Orangeburg, NY

County of Rockland

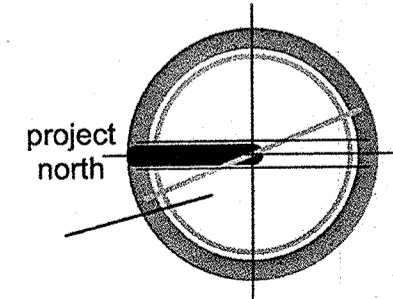
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 megfowlerarchitect@gmail.com



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issue	
date	11/12/2021
scale	



drawing title
 Plan with Site

A-1.0

Badillo
Residence

67 Chestnut Oval
Orangeburg, NY

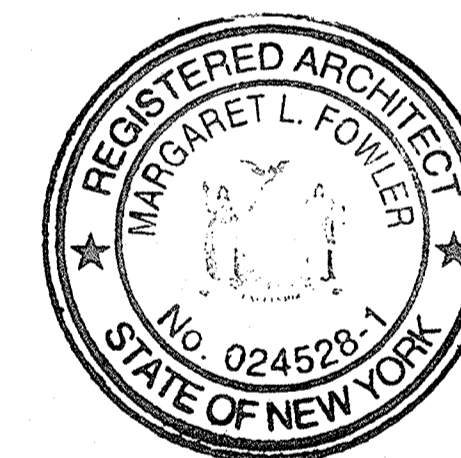
County of Rockland

architect

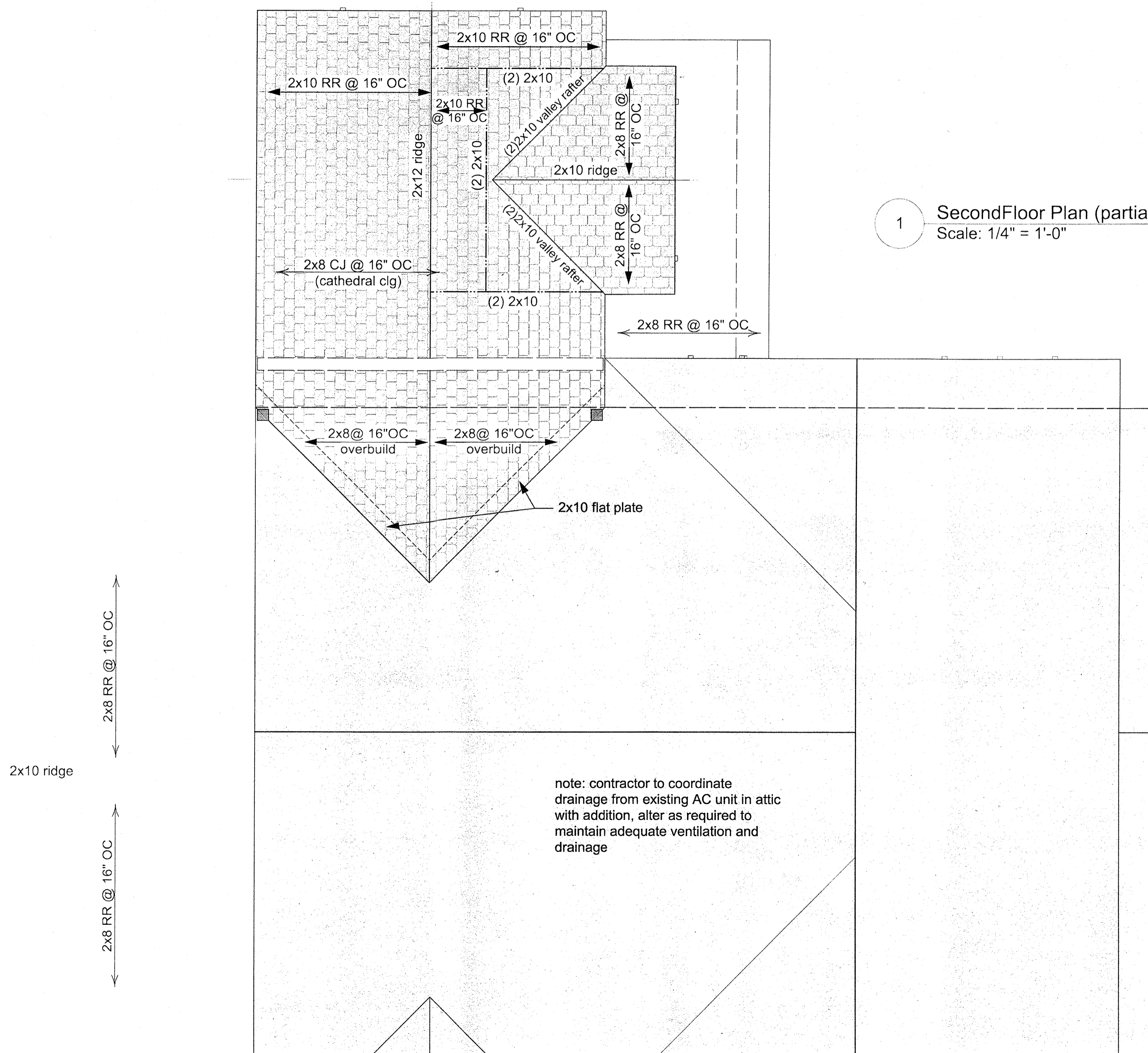
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1 SecondFloor Plan (partial)
Scale: 1/4" = 1'-0"



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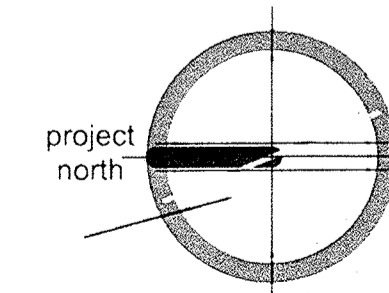
issue

date
11/12/2021

scale

drawing title

Roof Plan



A-3.1

Badillo Residence

**67 Chestnut Oval
Orangeburg, NY**

County of Rockland

architect

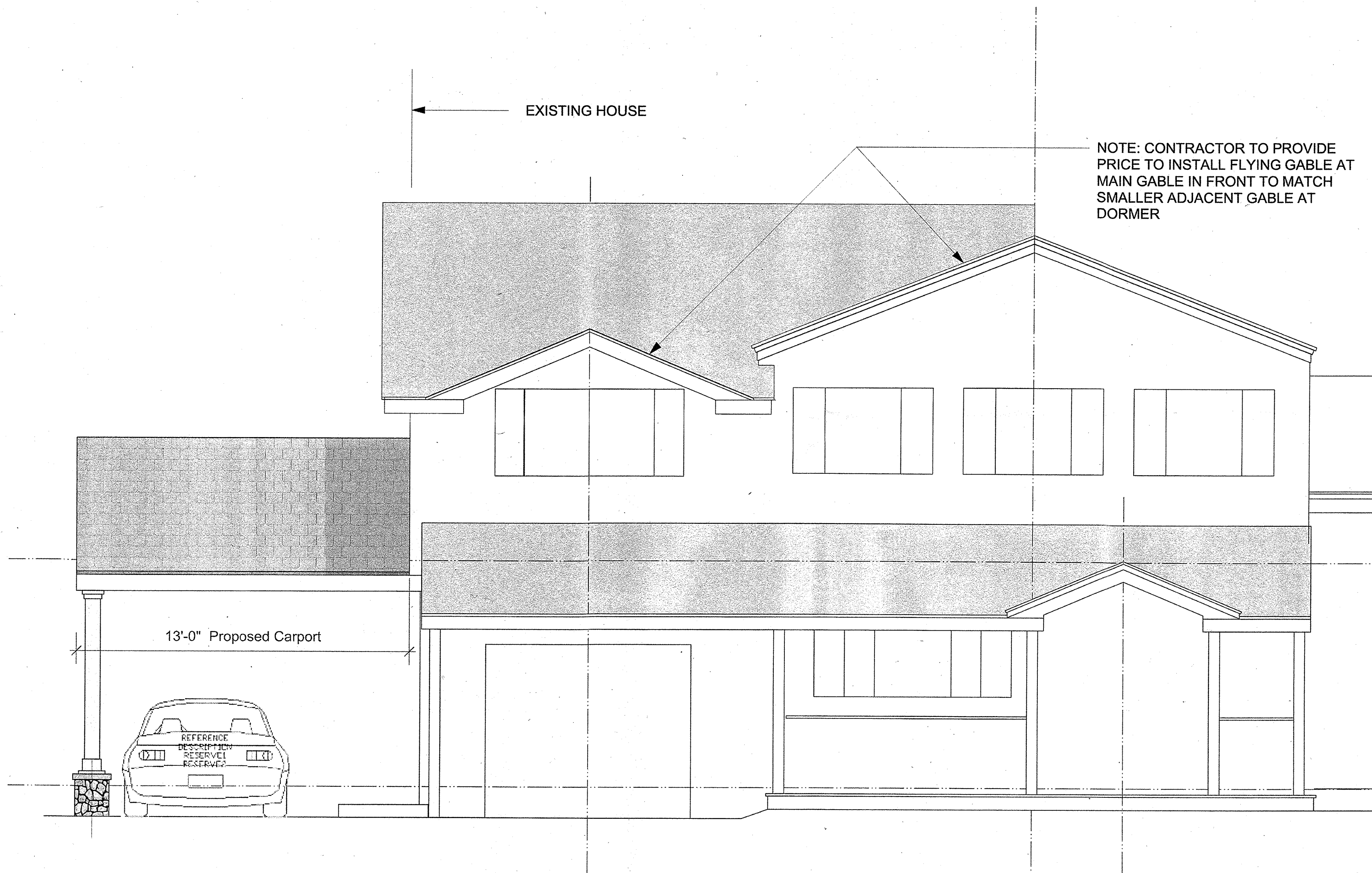
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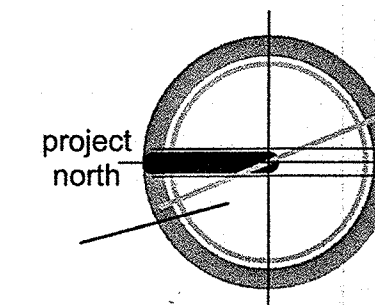
1 Front Elevation
Scale: 1/4" = 1'-0"

previously issued

issue

date
11/12/2021

scale



drawing title

Front Elevation

A-4.1

Badillo Residence

**67 Chestnut Oval
Orangeburg, NY**

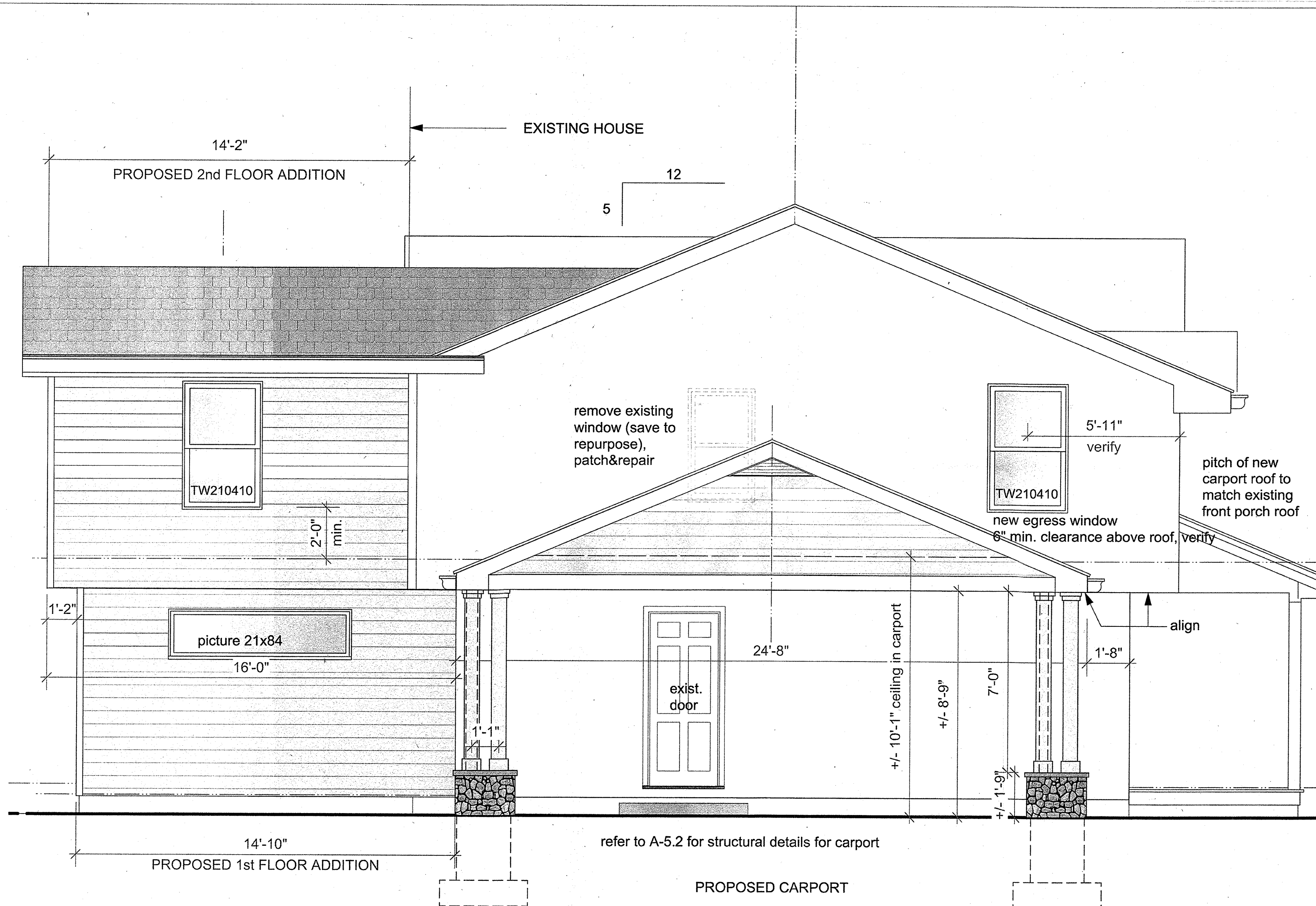
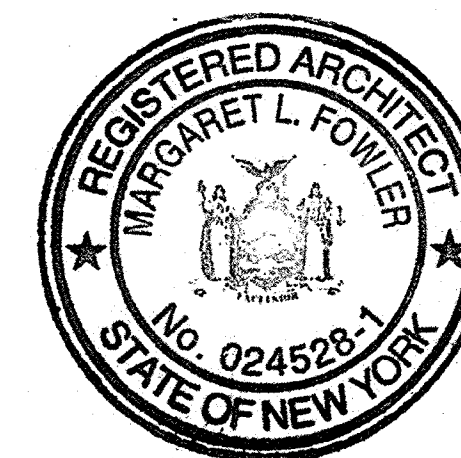
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1 Side Elevation
Scale: 1/4" = 1'-0"

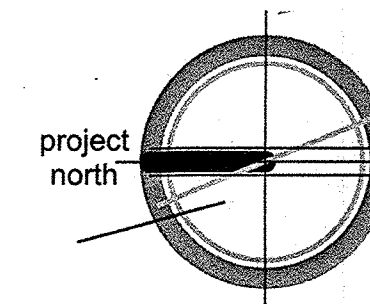
previously issued

issue

date
11/12/2021
scale

drawing title

Side Elevation



A-4.2

Badillo Residence

67 Chestnut Oval
Orangeburg, NY

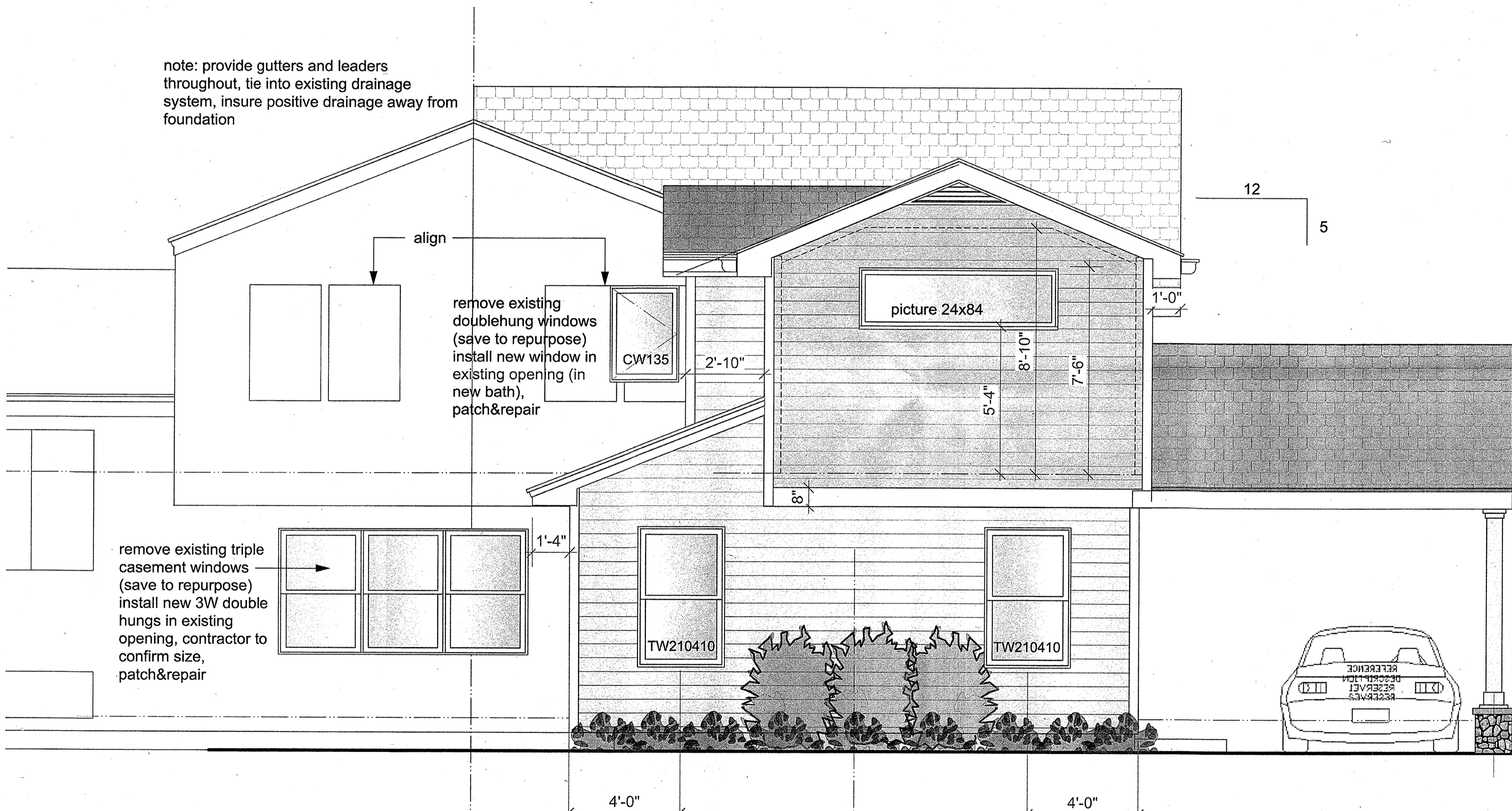
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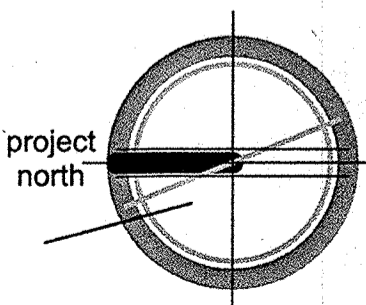
1 BackElevation
Scale: 1/4" = 1'-0"

previously issued

issue

date
11/12/2021

scale



drawing title

Back Elevation

A-4.3

Badillo Residence

**67 Chestnut Oval
Orangeburg, NY**

County of Rockland

architect

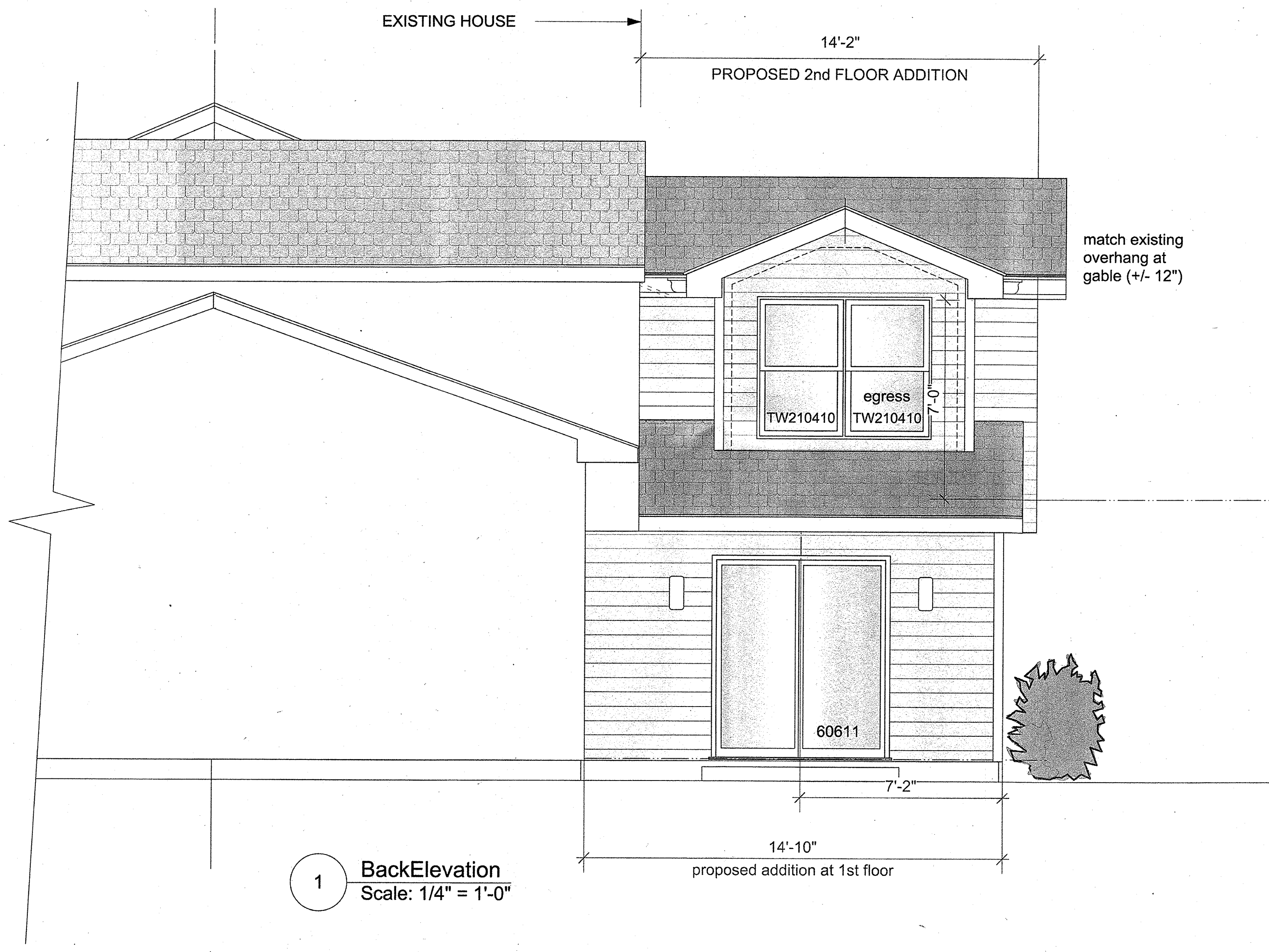
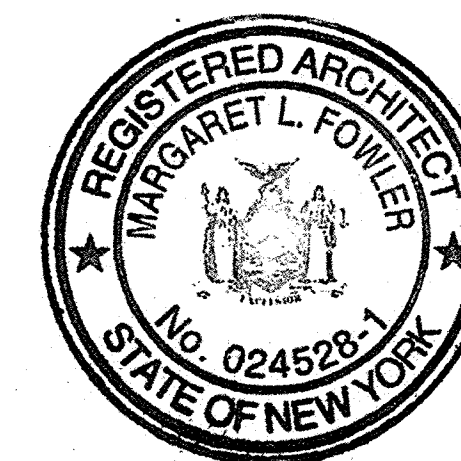
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1 **BackElevation**
Scale: 1/4" = 1'-0"

previously issued

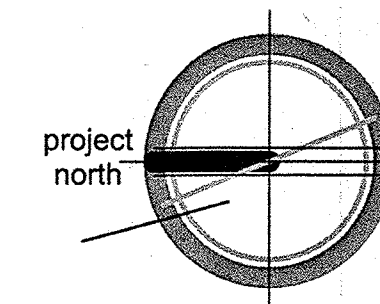
issue

date
11/12/2021

scale

drawing title

Side Elevation



A-4.4

roof rafters @ 16" oc with Simpson ties to code w/closed cell foam insulation to achieve required R-38 in roof space, completely cover plate.

roofing to be timberline lifetime asphalt shingles (color to match existing house) over ZipSystem 5/8" roof sheathing - install/tape/seal as per mfr's specifications.

fascia & eaves to match existing house with gutters & leaders to provide positive drainage away from foundation

cantilever floor joists as shown (see detail), provide continuous insulation and weather-tight seal

2x4 wd studs @ 16"OC w/ R-15 high density batt insulation within bays and continuous ZipSystem R-6 sheathing (1.5") to achieve R-21. Install construction adhesive under rim joist and install/tape/seal panels as per mfr's specifications

siding to match existing house

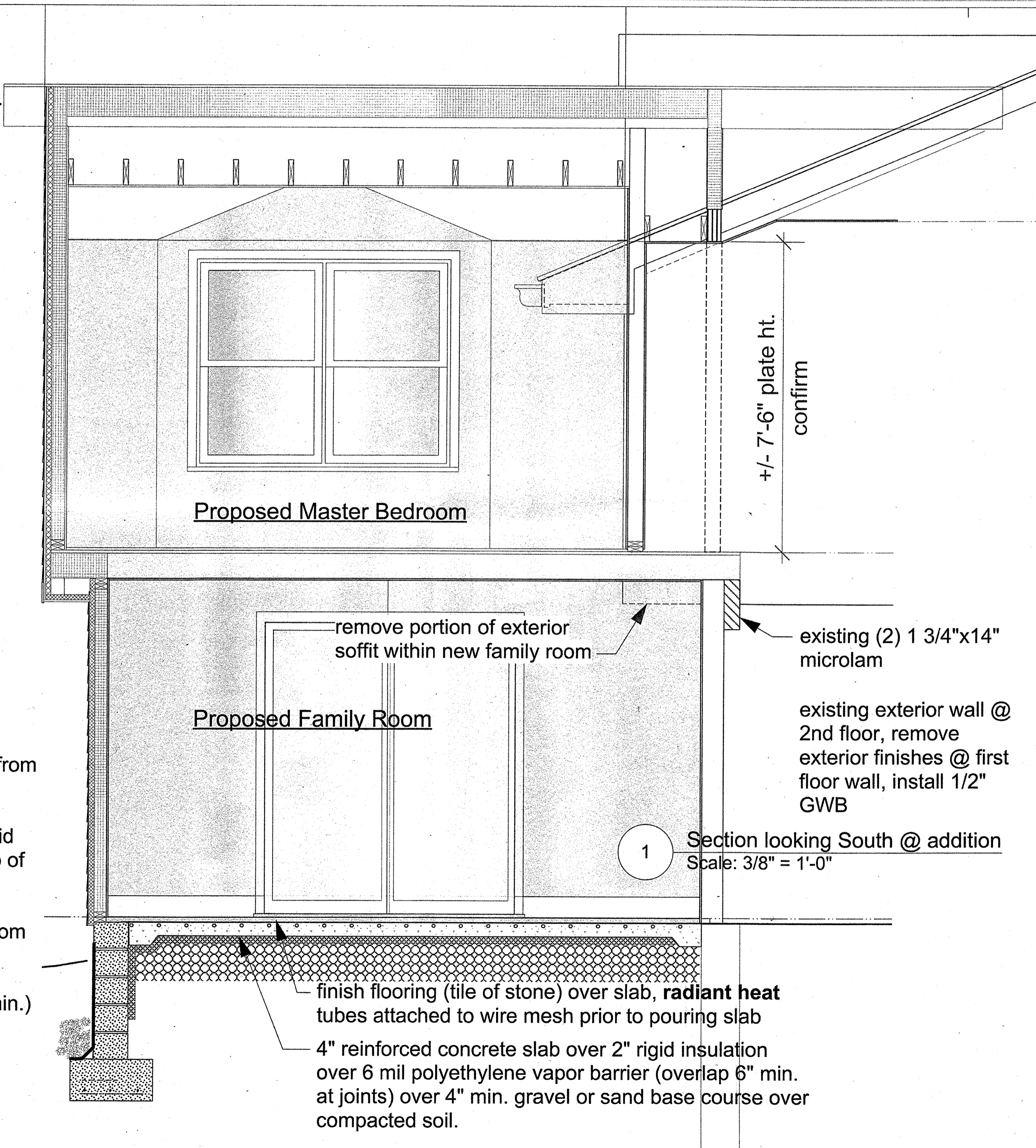
all detailing, windows and trim to match existing

waterproofing membrane at conc block walls from top of footing to level of finished grade

8" cmu w/#5s @ 32" OC foundation grout solid w/2" rigid insulation and damproofing from top of footing to underside of slab, stucco finish

no footing drain required, slope grade away from foundation

12" x 24" continuous concrete ftg. (3000 psi min.) at 3'-6" below grade min.



Badillo Residence

67 Chestnut Oval
Orangeburg, NY

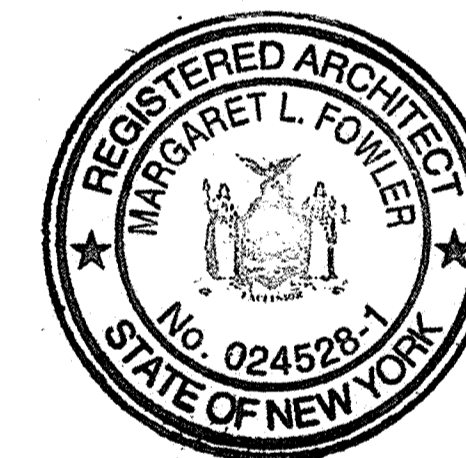
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existing (2) 1 3/4"x14" microlam

existing exterior wall @ 2nd floor, remove exterior finishes @ first floor wall, install 1/2" GWB

Section looking South @ addition
Scale: 3/8" = 1'-0"

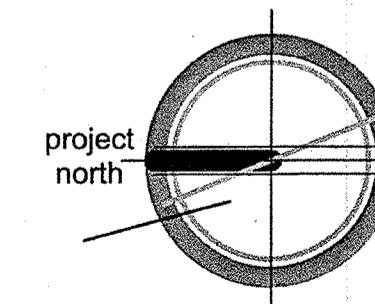
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issue

date
11/12/2021
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drawing title

Section



A-5.1

Badillo Residence

67 Chestnut Oval
Orangeburg, NY

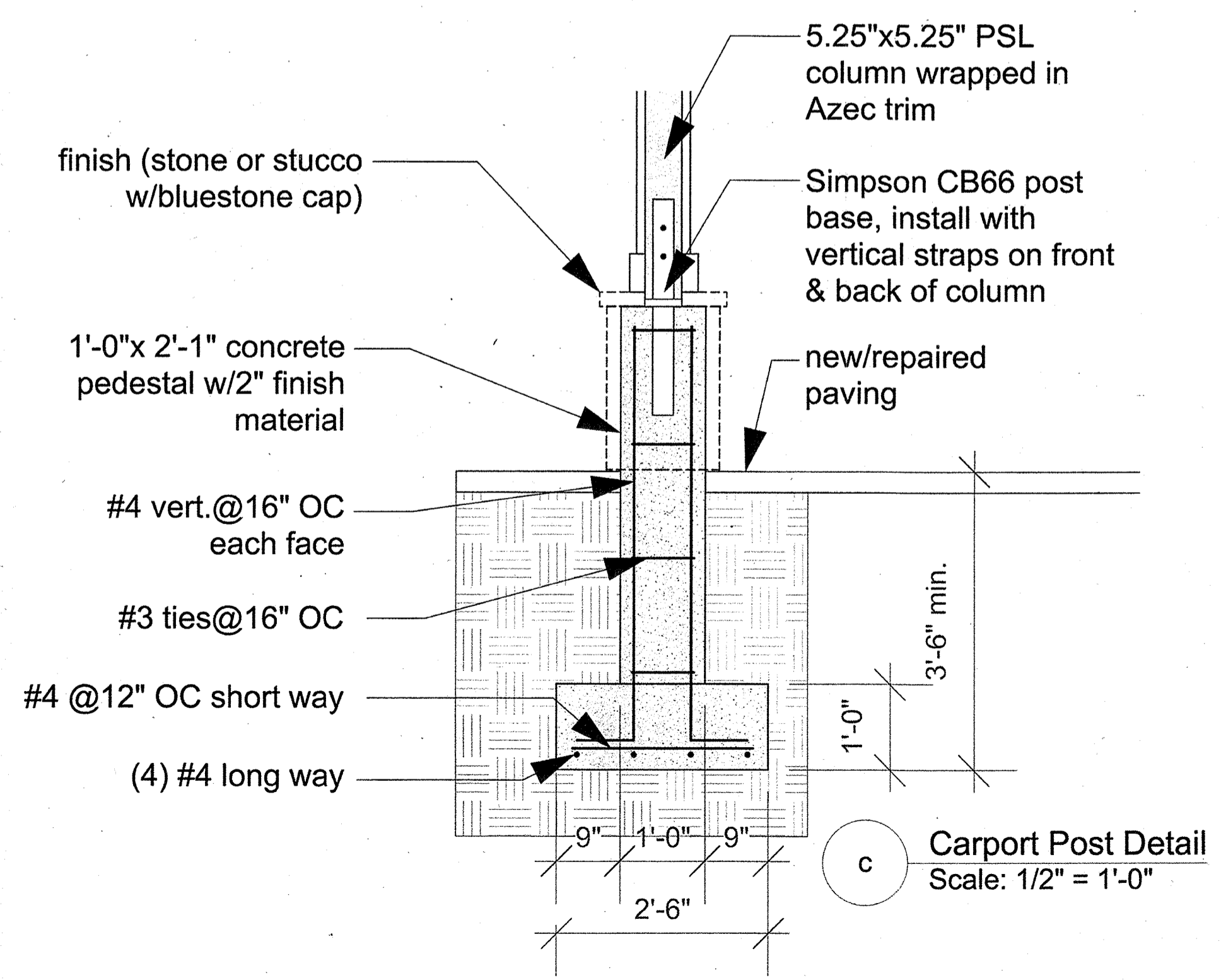
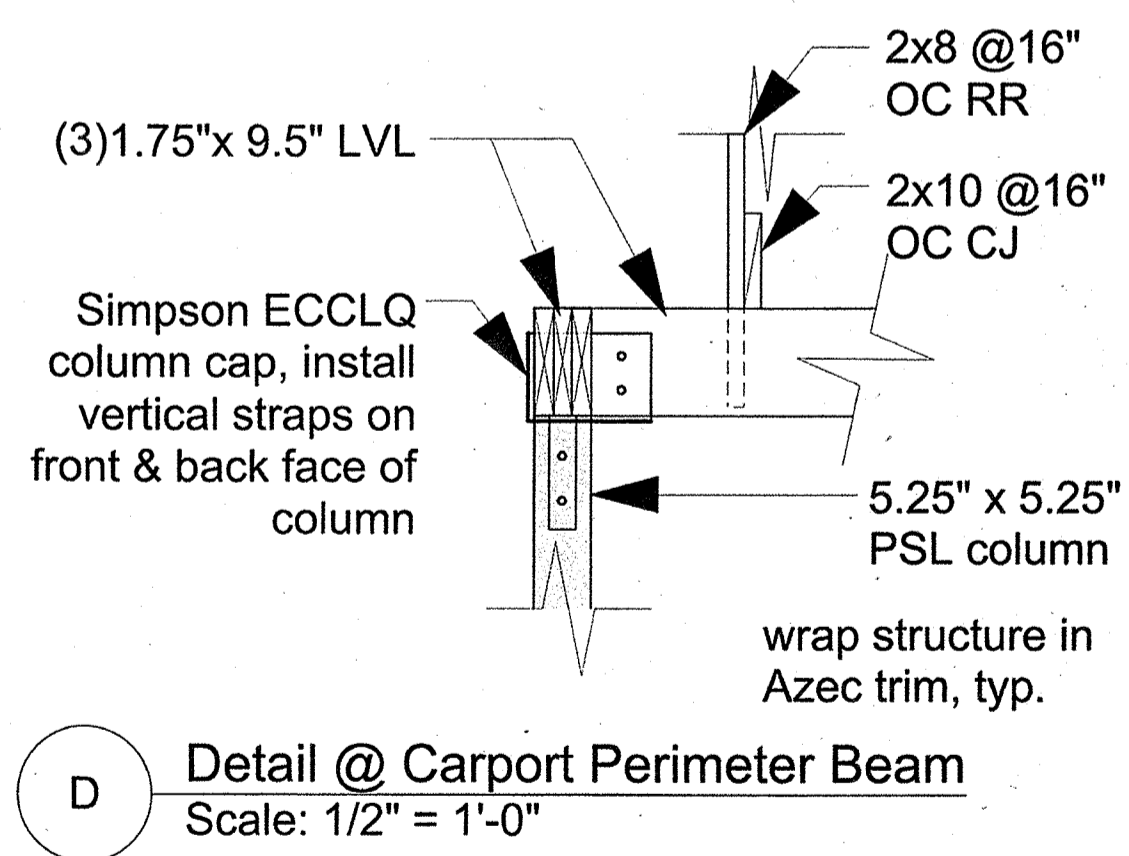
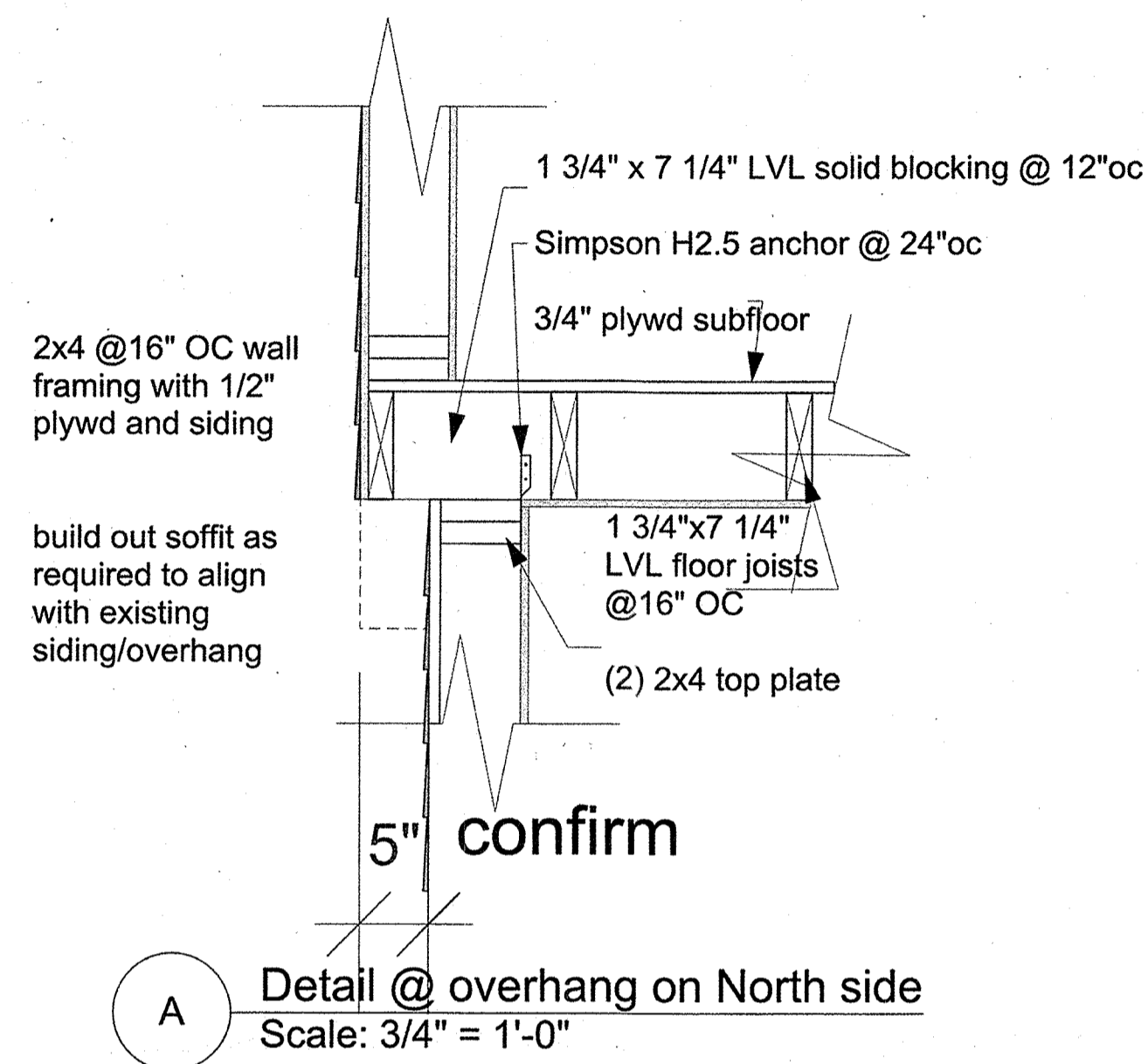
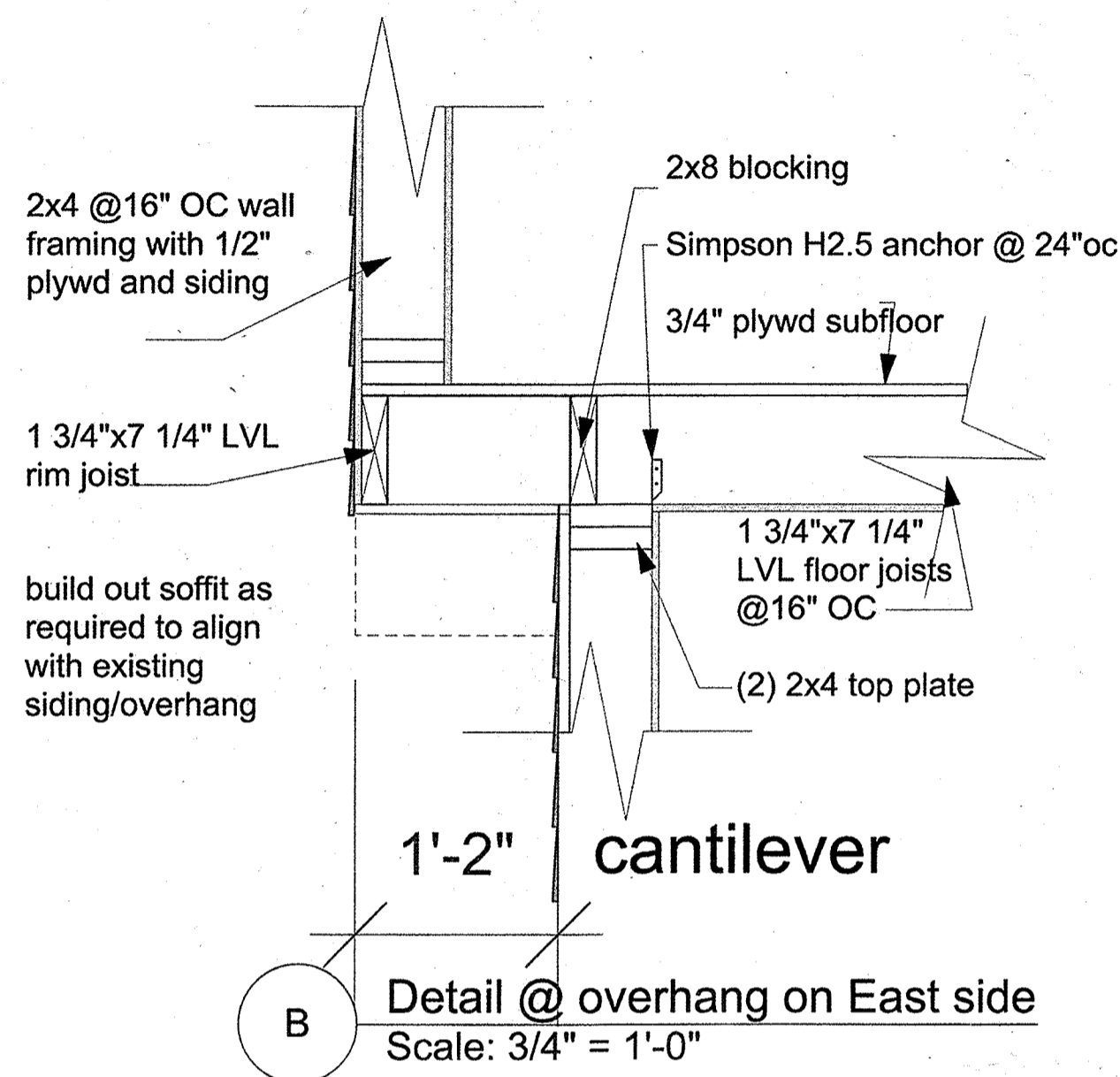
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issue

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drawing title

Framing Details

