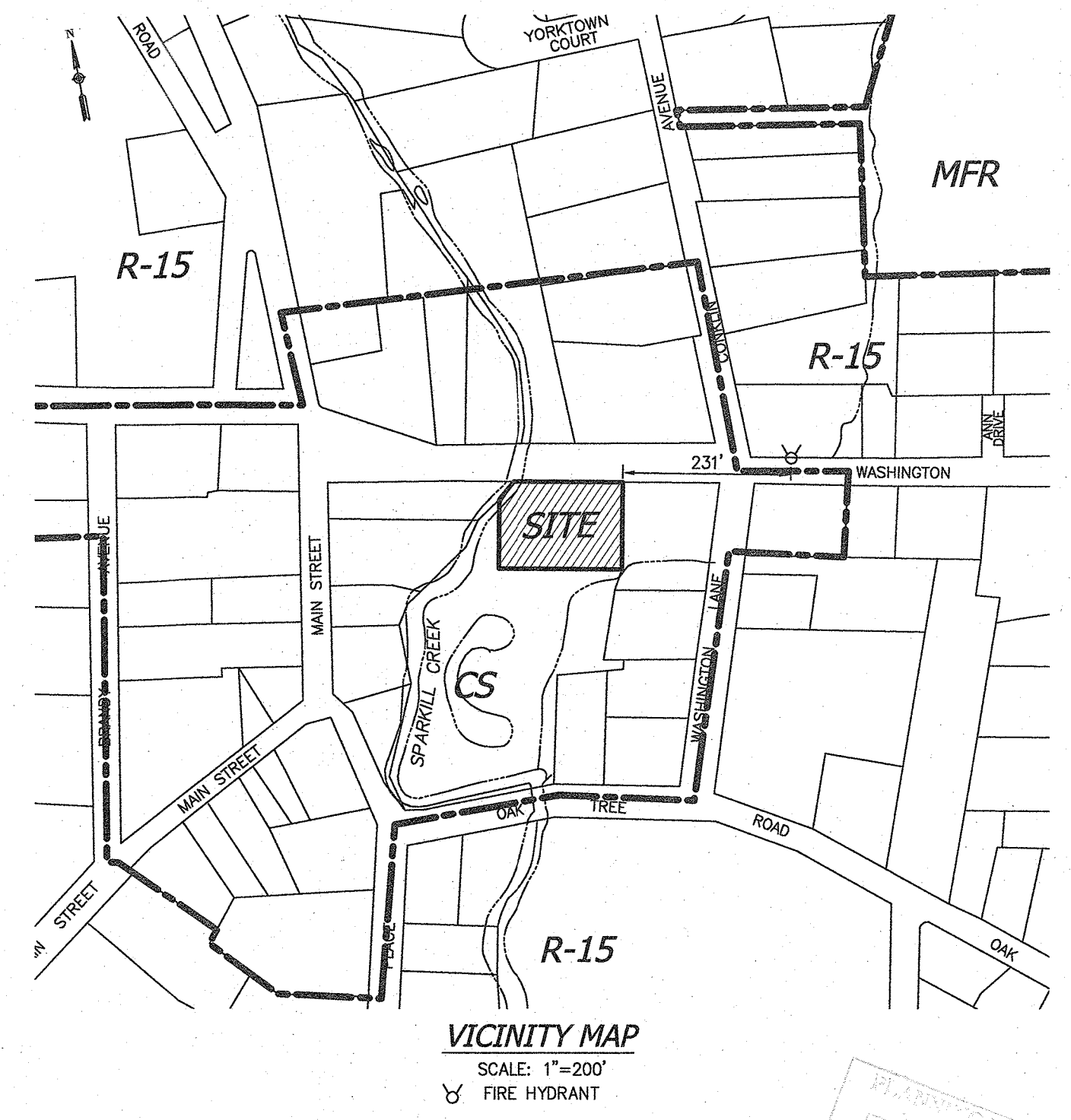


- NOTES:**
- ALL UTILITIES, INCLUDING ELECTRIC AND TELEPHONE SERVICE SHALL BE INSTALLED UNDERGROUND.
 - NO BUILDING PERMIT WILL BE ISSUED UNTIL SEWAGE DISPOSAL ARRANGEMENTS HAVE BEEN APPROVED BY THE ROCKLAND COUNTY HEALTH DEPARTMENT AND/OR THE TOWN OF ORANGETOWN.
 - LOT DRAINAGE ON THIS PLAN SHALL CONSTITUTE EASEMENTS RUNNING WITH THE LAND AND SHALL NOT BE DISTURBED.
 - ANY EXISTING UTILITIES (POLES, HYDRANTS, ETC.) AFFECTED BY CONSTRUCTION OF THIS SITE PLAN SHALL BE RELOCATED AT THE DEVELOPER'S EXPENSE PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY.
 - NO OPEN BURNING DURING CONSTRUCTION WITHOUT SPECIFIC PERMISSION FROM NEW YORK STATE DEPARTMENT OF HEALTH.
 - DATUM: NAVD 1988-BENCHMARK CATCHBASIN WASHINGTON STREET ELEV.=43.5
 - NO BUILDING PERMIT SHALL BE ISSUED UNTIL RESULTS OF TEST PITS HAVE BEEN SUBMITTED TO THE BUILDING DEPARTMENT.
 - DURING THE COURSE OF CONSTRUCTION, ALL STORM DRAIN INLETS SHALL BE PROTECTED WITH A HAY BALE FILTER (SEE DETAIL).
 - ALL AREAS DISTURBED BY ONSITE GRADING SHOULD BE LIMED AND FERTILIZED PRIOR TO SEEDING.
 - THE NEW CORNERS OF ALL LOTS SHALL BE MARKED WITH METAL RODS 3/4" IN DIAMETER, AND AT LEAST 30" IN LENGTH (TO BE INSTALLED AFTER FINAL GRADING). SAID PINS SHOWN THUS:
 - THIS SITE PLAN IS SUBJECT TO DETAILS OF GRADING, ROADS AND UTILITIES AS SHOWN ON CONSTRUCTION DRAWINGS APPROVED BY THE PLANNING BOARD AND FILED WITH THE TOWN CLERK.
 - SIDEWALKS AND CURBS SHALL BE INSTALLED IN ACCORDANCE WITH HIGHWAY DEPARTMENT SPECIFICATIONS.
 - TEMPORARY SEDIMENT ENTRAPMENT AREAS SHALL BE PROVIDED AS SHOWN TO INTERCEPT AND CLARIFY SILT LAID RUNOFF FROM THE SITE. THESE MAY BE CONCRETE OR MAY BE CREATED UTILIZING EARTHEN BERM, RIP-RAP OR CRUSHED STONE DAMS, HAY BALES, OR OTHER SUITABLE MATERIALS. DIVERSION SWALES, BERMS OR THE CHANNELIZATION SHALL BE CONSTRUCTED TO INSURE THAT SILT LAID WATERS ARE DIRECTED INTO THE ENTRAPMENT AREAS, WHICH SHALL NOT BE PERMITTED TO FILL IN, BUT SHALL BE CLEANED PERIODICALLY DURING THE COURSE OF CONSTRUCTION. THE COLLECTED SILT SHALL BE DEPOSITED IN AREAS SAFE FROM FURTHER EROSION.
 - ALL DISTURBED AREAS, EXCEPT ROADWAYS, WHICH WILL REMAIN UNFURNISHED FOR MORE THAN THIRTY (30) DAYS SHALL BE TEMPORARILY SEEDED WITH 1/2 LB. OF RYE GRASS OR MIXED WITH 100 LBS. OF STRAW OR HAY PER 1,000 SQUARE FEET. ROADWAYS SHALL BE STABILIZED AS RAPIDLY AS PRACTICABLE BY THE INSTALLATION OF THE BASE COURSE.
 - SILT THAT LEAVES THE SITE IN SPITE OF THE REQUIRED PRECAUTIONS SHALL BE COLLECTED AND REMOVED AS DIRECTED BY APPROPRIATE MUNICIPAL AUTHORITIES.
 - AT THE COMPLETION OF THE PROJECT ALL TEMPORARY SILTATION DEVICES SHALL BE REMOVED AND THE AFFECTED AREAS REGRADED, PLANTED, OR TREATED IN ACCORDANCE WITH THE APPROVED SITE PLANS.
 - PERMANENT VEGETATION COVER SPECIFICATIONS:
LAWN AREA - PER 1,000 S.F.
15 LBS. 10-6-4 50% SLOW RELEASE FERTILIZER
70 LBS. GRANULATE LIMESTONE
4 LBS. SEED MIXTURE
40% KENTUCKY BLUE
40% RED FESCUE
20% PERENNIAL RYEGRASS
 - THIS PLAN DOES NOT CONFLICT WITH THE COUNTY OFFICIAL MAP AND HAS BEEN APPROVED IN THE MANNER SPECIFIED BY SECTION 239 LAM OF THE GENERAL MUNICIPAL LAW.
 - CERTIFICATE OF OCCUPANCY SHALL NOT BE REQUESTED FROM THE TOWN OF ORANGETOWN BUILDING DEPARTMENT UNTIL RESULTS OF INFILTRATION AND EXFILTRATION TESTS FOR SANITARY SEWERS ARE CERTIFIED BY A NEW YORK STATE LICENSED PROFESSIONAL ENGINEER AND APPROVED BY THE DIRECTOR, DIVISION OF SEWERS.
 - AT LEAST ONE WEEK PRIOR TO THE COMMENCEMENT OF ANY WORK, INCLUDING THE INSTALLATION OF EROSION CONTROL DEVICES OR THE REMOVAL OF TREES AND VEGETATION, A PRECONSTRUCTION MEETING MUST BE HELD WITH THE DEMO, SUPERINTENDENT OF HIGHWAYS AND THE OFFICE OF BUILDING, ZONING AND PLANNING ADMINISTRATION AND ENFORCEMENT. IT IS THE RESPONSIBILITY OF THE PROPERTY OWNER TO ARRANGE SUCH A MEETING.
A) NO CONSTRUCTION EQUIPMENT SHALL BE PARKED UNDER THE TREE CANOPY.
B) THERE WILL BE NO EXCAVATION OR STOCKPILING OF EARTH UNDERNEATH THE TREES.
C) TREES TO BE PRESERVED SHALL BE MARKED CONSPICUOUSLY ON ALL SIDES.
D) TREES TO BE SAVED WILL BE FENCED AT THE OUTER DRIP LINE.
E) NO EARTH FILLS GREATER THAN 6" IN DEPTH WILL BE MADE BENEATH TREES TO BE PRESERVED.
F) IN FILL AREAS, TREES WILL BE PRESERVED IN TREE WELLS, OR THROUGH THE USE OF RETAINING WALLS.
G) IN CUT AREAS, TREES WILL BE PRESERVED WITH RETAINING WALLS.
 - ADDITIONAL CERTIFICATION, BY AN APPROPRIATE LICENSED OR CERTIFIED DESIGN PROFESSIONAL SHALL BE REQUIRED FOR ALL MATTERS BEFORE THE PLANNING BOARD INDICATING THAT THE DRAWINGS AND PROJECT ARE IN COMPLIANCE WITH THE STORMWATER MANAGEMENT PHASE TWO REGULATIONS.
 - A DRAINAGE PERMIT IS REQUIRED FROM THE ROCKLAND COUNTY DRAINAGE AGENCY PRIOR TO ISSUANCE OF A BUILDING PERMIT.
 - PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY, A FLOOD ELEVATION CERTIFICATE IS TO BE SUBMITTED TO THE TOWN OF ORANGETOWN BUILDING DEPT.



LOT AREA CALCULATION:

GROSS AREA	- 50% OF AREA WITHIN 100 FLOODPLAIN = NET AREA
20,150 SQ.FT.	- (4,888+2) SQ.FT. = 2,444 SQ.FT. = 17,706 SQ.FT.

BULK REQUIREMENTS

ZONE CS, GROUP GG	REQUIRED/ PERMITTED	EXISTING	PROPOSED
MAXIMUM FLOOR AREA RATIO	NONE	0.08	0.43
MINIMUM LOT AREA (SQ.FT.)	NONE	17,706 SQ.FT. (NET)	17,706 SQ.FT. (NET)
MINIMUM LOT WIDTH	NONE	170 FT.	170 FT.
MINIMUM STREET FRONTAGE	50 FT.	150 FT.	150 FT.
FRONT YARD	100 FT.	50.8 FT.	45 FT. *
SIDE YARD	100 FT.	28.3 FT.	12 FT. *
TOTAL SIDE YARD	200 FT.	12.8 FT.	79 FT. *
REAR YARD	100 FT.	42.1 FT.	5 FT. *
MAXIMUM BUILDING HEIGHT	NONE	15 FT.	32 FT.

*-DENOTES VARIANCE REQUIRED

PARKING REQUIREMENTS:

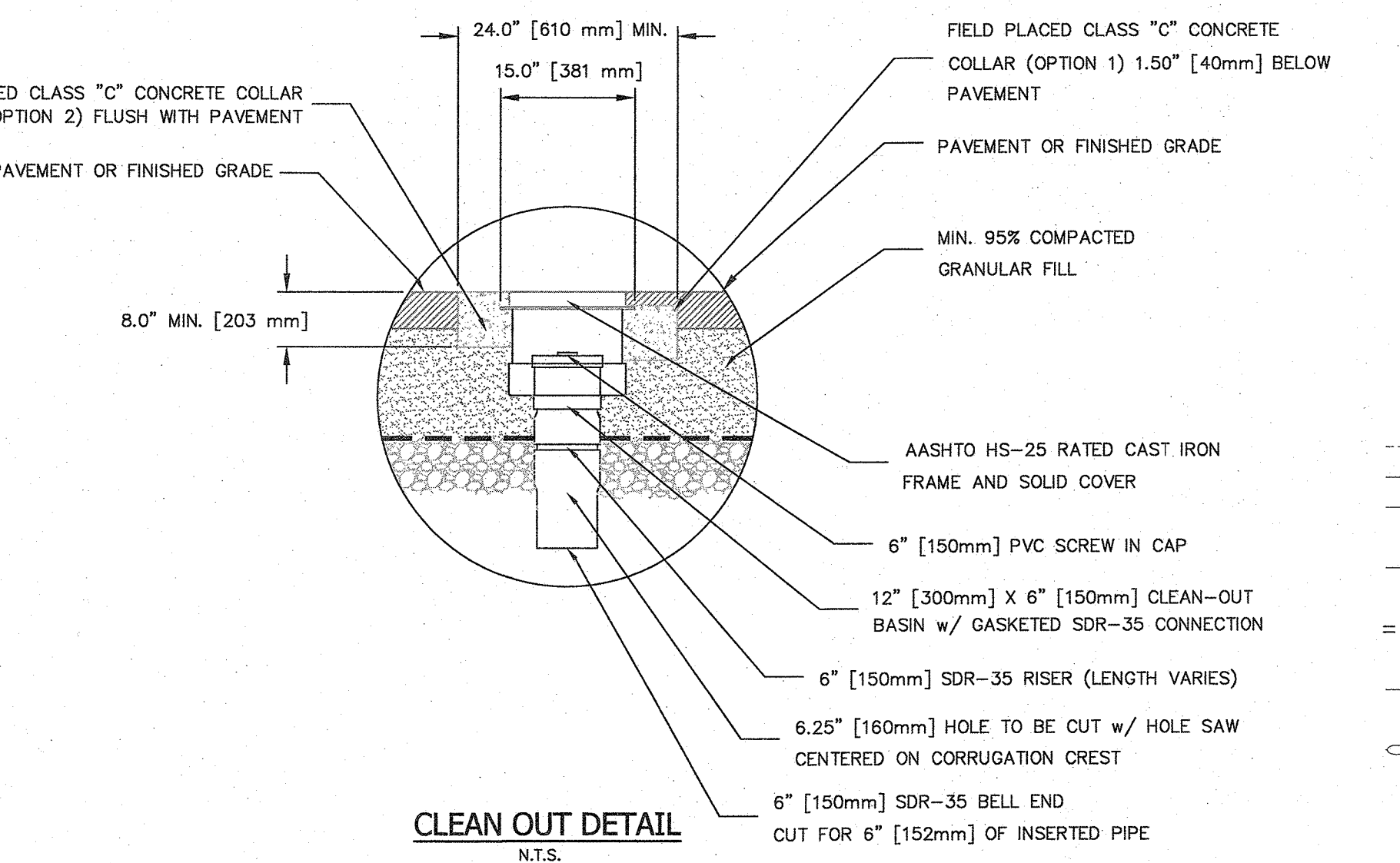
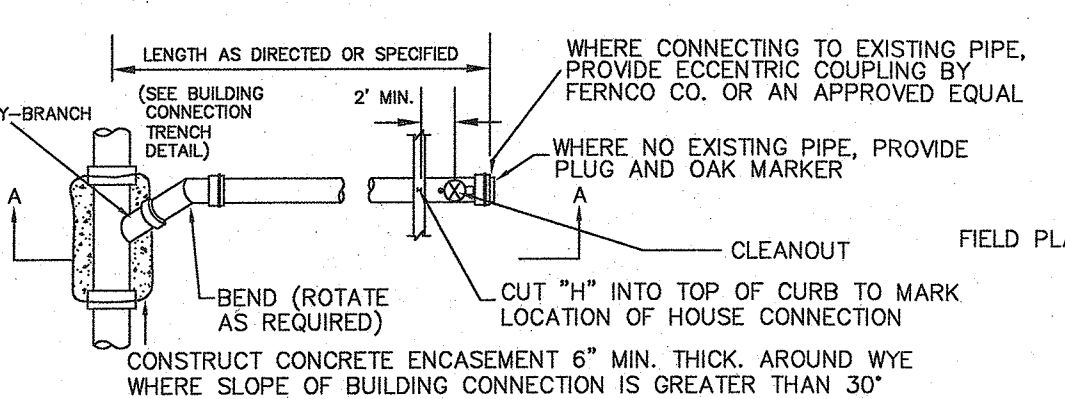
1 SPACE PER 200 SQ.FT. OF GROSS FLOOR AREA
7,477 SQ.FT. ± 1 SPACE/200 SQ.FT. = 37.4 OR 38 SPACES REQUIRED
13 SPACES PROVIDED*

EXISTING COVERAGE TABLE:

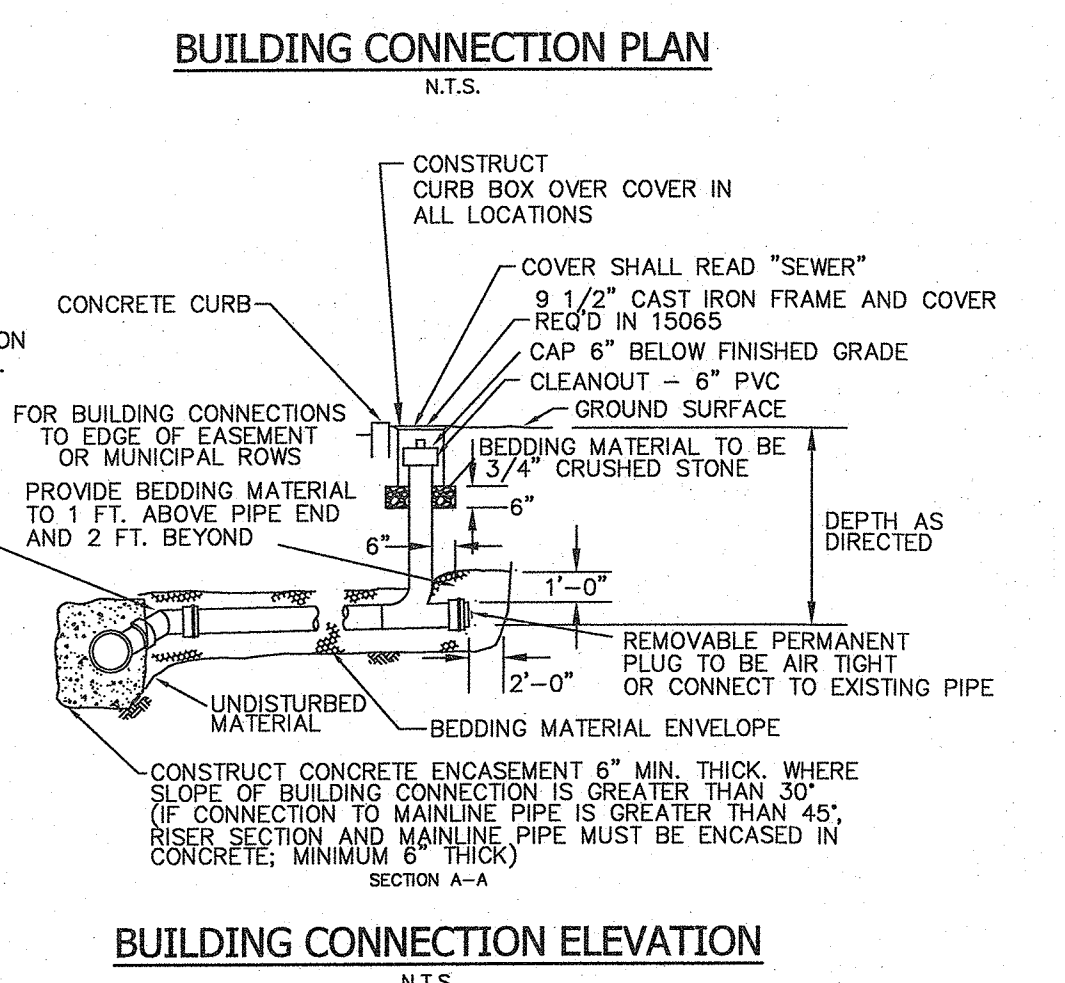
EXISTING BUILDING:	1,297 SQ. FT.
EXISTING WALL:	76 SQ. FT.
CONCRETE:	283 SQ. FT.
GRAVEL:	4,090 SQ. FT.
MACADAM PAVEMENT:	12,630 SQ. FT.
TOTAL COVERAGE:	18,378 SQ. FT. OR 0.422 ACS.

PROPOSED COVERAGE TABLE:

PROPOSED BUILDING:	5,256 SQ. FT.
EXISTING WALL:	76 SQ. FT.
CONC. WALK, RAMP, PILLAR:	1,039 SQ. FT.
TRUCK APRON:	2,299 SQ. FT.
MACADAM PAVEMENT:	9,640 SQ. FT.
TOTAL COVERAGE:	18,310 SQ. FT. OR 0.420 ACS.



- LEGEND**
- 300 --- EXISTING 2' CONTOUR
 - 30 --- EXISTING 10' CONTOUR
 - W --- EXISTING WATERLINE
 - G --- EXISTING GAS LINE
 - S --- EXISTING SEWER LINE
 - S --- EXISTING SEWER LINE
 - S --- EXISTING SPOT ELEVATION
 - S --- EXISTING SIGN
 - S --- EXISTING LIGHT POLE
 - S --- EXISTING UTILITY POLE
 - S --- LIMIT OF 100 YEAR FLOODPLAIN
 - S --- LIMIT OF 500 YEAR FLOODPLAIN



OWNER & APPLICANT:
TAPPAN FIRE DISTRICT
P.O. BOX 525
TAPPAN, NY 10983

TAX MAP REFERENCE:
TOWN OF ORANGETOWN
SECTION 77.11, BLOCK 3, LOTS 4

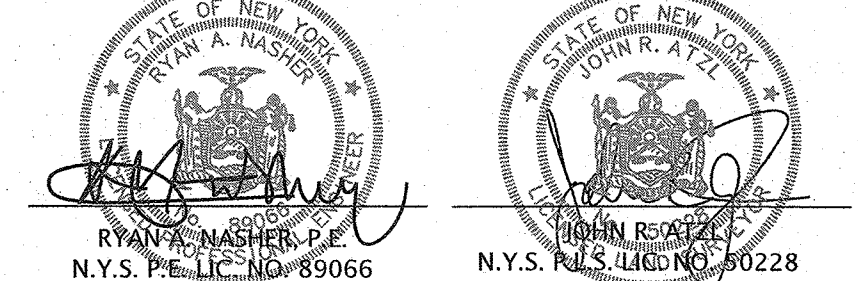
SITE ADDRESS:
135 WASHINGTON STREET
TAPPAN, NY 10983

AREA:
20,150 SQ.FT. OR 0.4626 ACS (GROSS)

- DISTRICTS:**
- SCHOOL DISTRICT - SOUTH ORANGETOWN CENTRAL SCHOOL DISTRICT NO. 1
 - FIRE DISTRICT - TAPPAN
 - SEWER DISTRICT - ORANGETOWN SEWER DISTRICT
 - LIGHTING DISTRICT - TOWN OF ORANGETOWN

- DRAWING LIST:**
- | DRAWING No. | TITLE |
|-------------|---------------------------------|
| 1 | SITE PLAN |
| 2 | EXISTING CONDITION |
| 3 | GRADING PLAN |
| 4 | EROSION & SEDIMENT CONTROL PLAN |
| 5 | LANDSCAPE & LIGHTING PLAN |

UNAUTHORIZED ALTERATIONS OR ADDITIONS TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S EMBOSSED SEAL IS A VIOLATION OF SECTION 7209, SUBDIVISION OF THE NEW YORK STATE EDUCATION LAW.
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"CERTIFICATION INDICATED HERE ON SHOWS THAT THIS SURVEY WAS PREPARED IN ACCORDANCE WITH THE EXISTING CODE OF PRACTICE FOR LAND SURVEYORS ADOPTED BY THE DELAWARE - HUDSON LAND SURVEYORS ASSOCIATION, SAID PROFESSIONAL ENGINEER, WHERE SUCH ALTERATIONS ARE MADE, THE PROFESSIONAL ENGINEER MUST SIGN, SEAL, DATE AND DESCRIBE THE FULL EXTENT OF THE ALTERATION ON THE DRAWINGS AND/OR IN THE SPECIFICATIONS. (NYS EDUCATION LAW SECTION 7209-2)"



2	3-28-22	PER OBZPAE COMMENTS 3-16-22
1	2-28-22	PER ARCHITECT
REVISION	DATE	DESCRIPTION

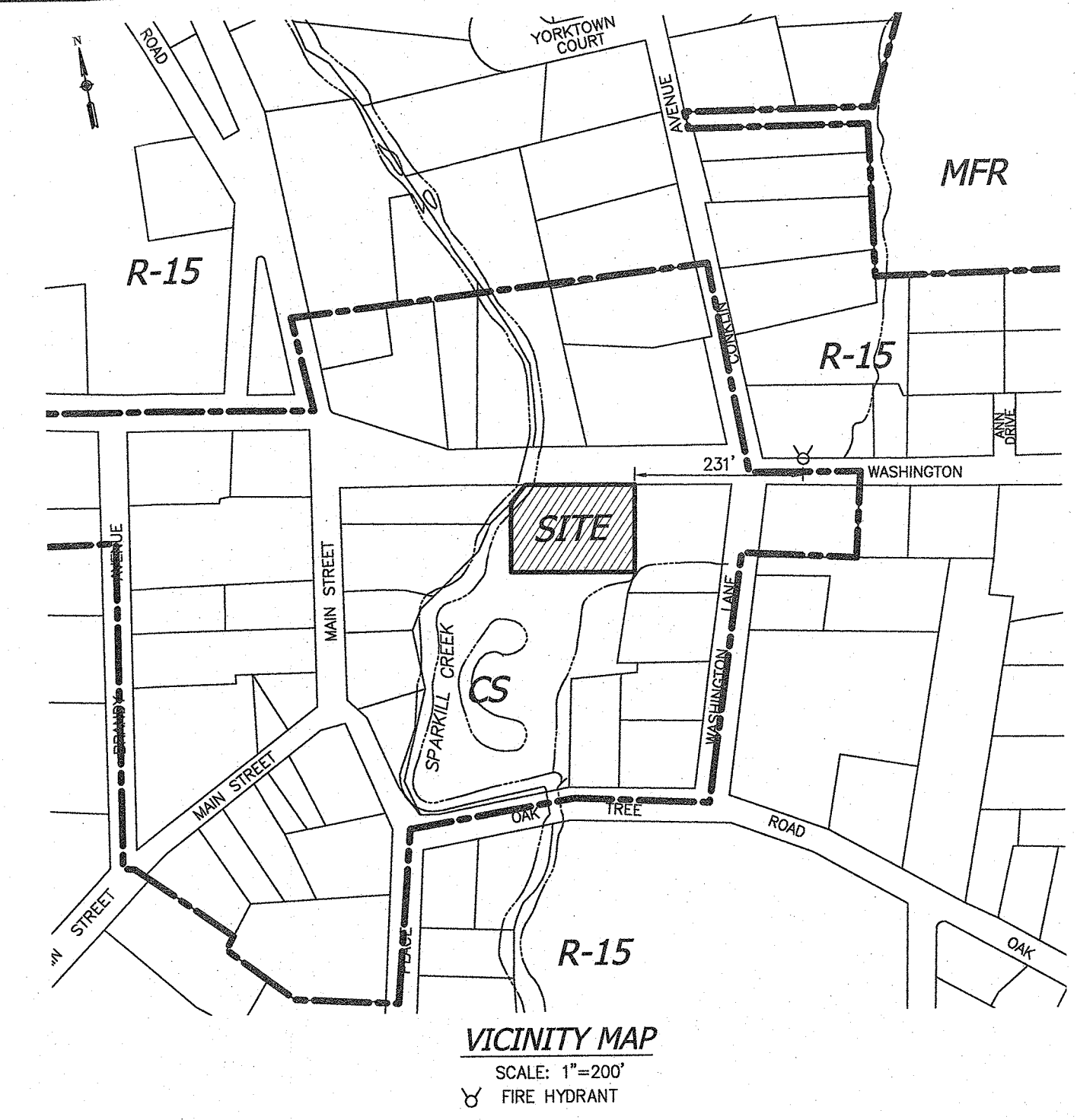
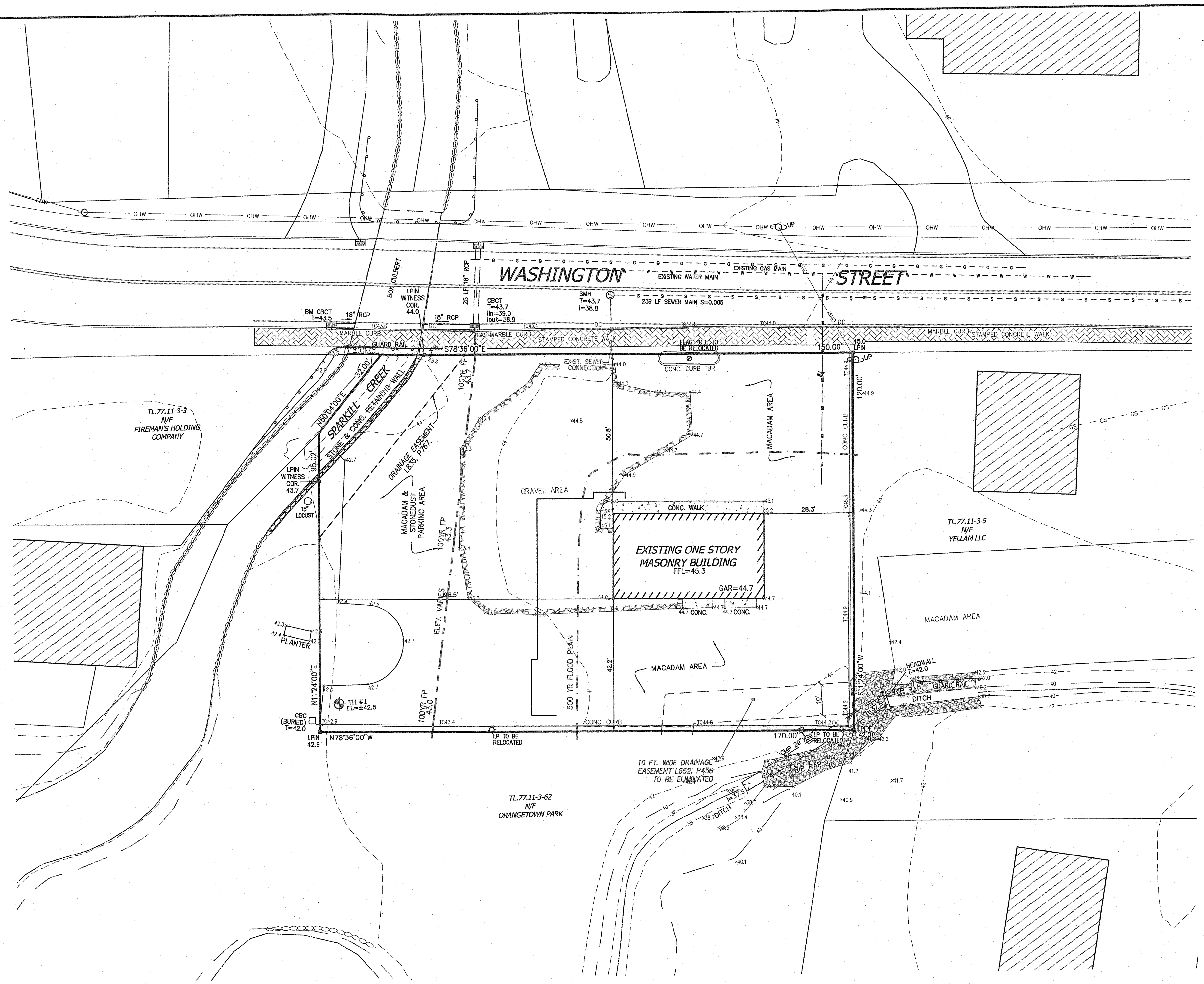
ATZL, NASHER & ZIGLER P.C.
ENGINEERS-SURVEYORS-PLANNERS
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Tel: (845) 634-4694
Fax: (845) 634-5543
E-mail: info@anzny.com
Web: www.ANZNY.com

TAPPAN FIRE DISTRICT

**TOWN OF ORANGETOWN
ROCKLAND COUNTY, NEW YORK**

SITE PLAN

DRAWN BY: LF	CHECKED BY: JRA
DATE: JANUARY 12, 2022	SCALE: 1 IN. = 20 FT.
PROJECT NO: 4785	DRAWING NO: 1



BULK REQUIREMENTS

ZONE CS, GROUP CG	REQUIRED/ PERMITTED	EXISTING
MAXIMUM FLOOR AREA RATIO	NONE	0.16
MINIMUM LOT AREA (SQ.FT.)	NONE	17,706 SQ.FT. (NET)
MINIMUM LOT WIDTH	NONE	170 FT.
MINIMUM STREET FRONTAGE	50 FT.	150 FT.
FRONT YARD	100 FT.	50.8 FT.
SIDE YARD	100 FT.	28.3 FT.
TOTAL SIDE YARD	200 FT.	12.8 FT.
REAR YARD	100 FT.	42.1 FT.
MAXIMUM BUILDING HEIGHT	NONE	15 FT.

EXISTING COVERAGE TABLE:

EXISTING BUILDING:	1,297 SQ. FT.
EXISTING WALL:	76 SQ. FT.
CONCRETE:	283 SQ. FT.
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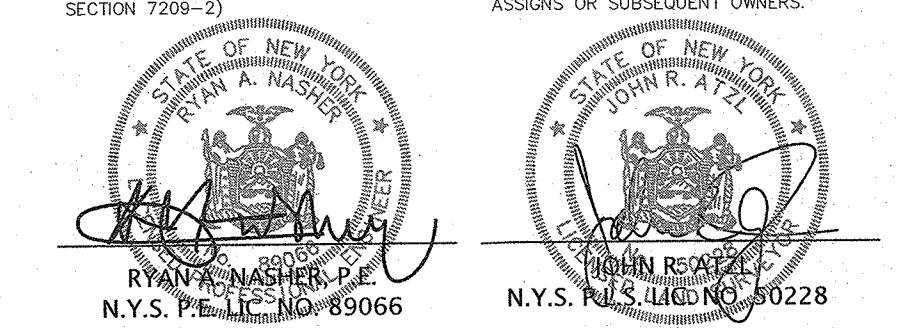
LEGEND

- 2' --- EXISTING 2' CONTOUR
- 10' --- EXISTING 10' CONTOUR
- W --- EXISTING WATERLINE
- --- EXISTING GAS LINE
- CB --- EXISTING CATCH BASIN
- --- EXISTING STORM DRAIN LINE
- SMH --- EXISTING SEWER MANHOLE
- S --- EXISTING SEWER LINE
- + 360.0 --- EXISTING SPOT ELEVATION
- --- EXISTING STONEWALL
- --- EXISTING SIGN
- LP --- EXISTING LIGHT POLE
- UP --- EXISTING UTILITY POLE
- --- LIMIT OF 100 YEAR FLOODPLAIN
- --- LIMIT OF 500 YEAR FLOODPLAIN

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CERTIFICATION INDICATED HERE ON SIGNIFY THAT THIS SURVEY WAS PREPARED IN ACCORDANCE WITH THE EXISTING CODE OF PRACTICES FOR LAND SURVEYORS ADOPTED BY THE DELAWARE - HUDSON LAND SURVEYORS ASSOCIATION, SAID PROFESSIONAL ENGINEER, WHERE SUCH ALTERATIONS ARE MADE, THE PROFESSIONAL ENGINEER MUST SIGN, SEAL, DATE AND DESCRIBE THE FULL EXTENT OF ANY ALTERATION ON THE DRAWINGS AND/OR IN THE SPECIFICATIONS. (NYS EDUCATION LAW SECTION 7209-2)



2	3-28-22	PER OBZPAE COMMENTS 3-16-22
1	2-28-22	PER ARCHITECT
REVISION	DATE	DESCRIPTION

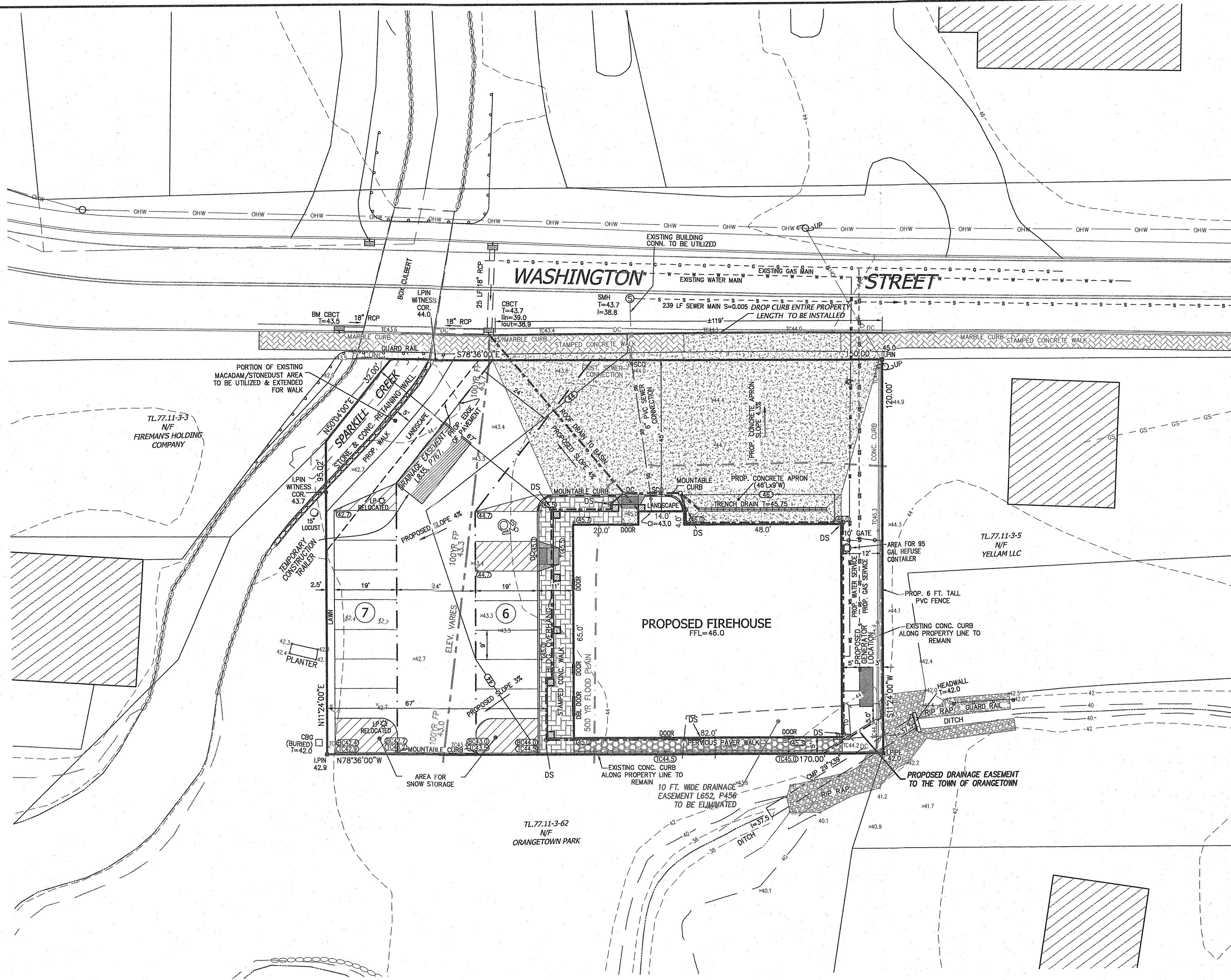
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PROJECT: **TAPPAN FIRE DISTRICT**

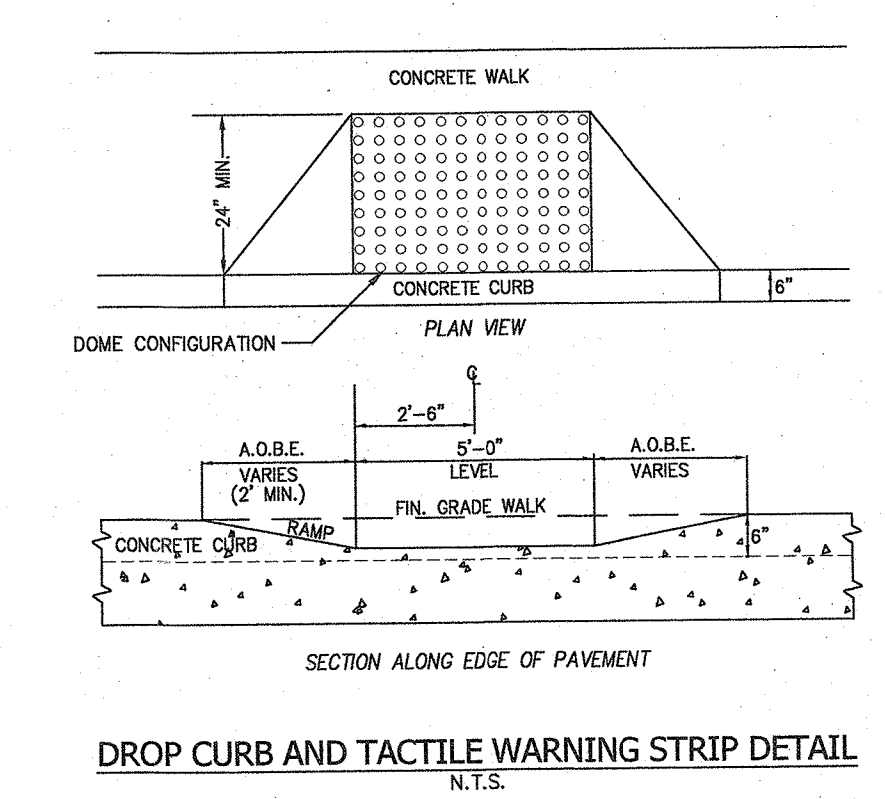
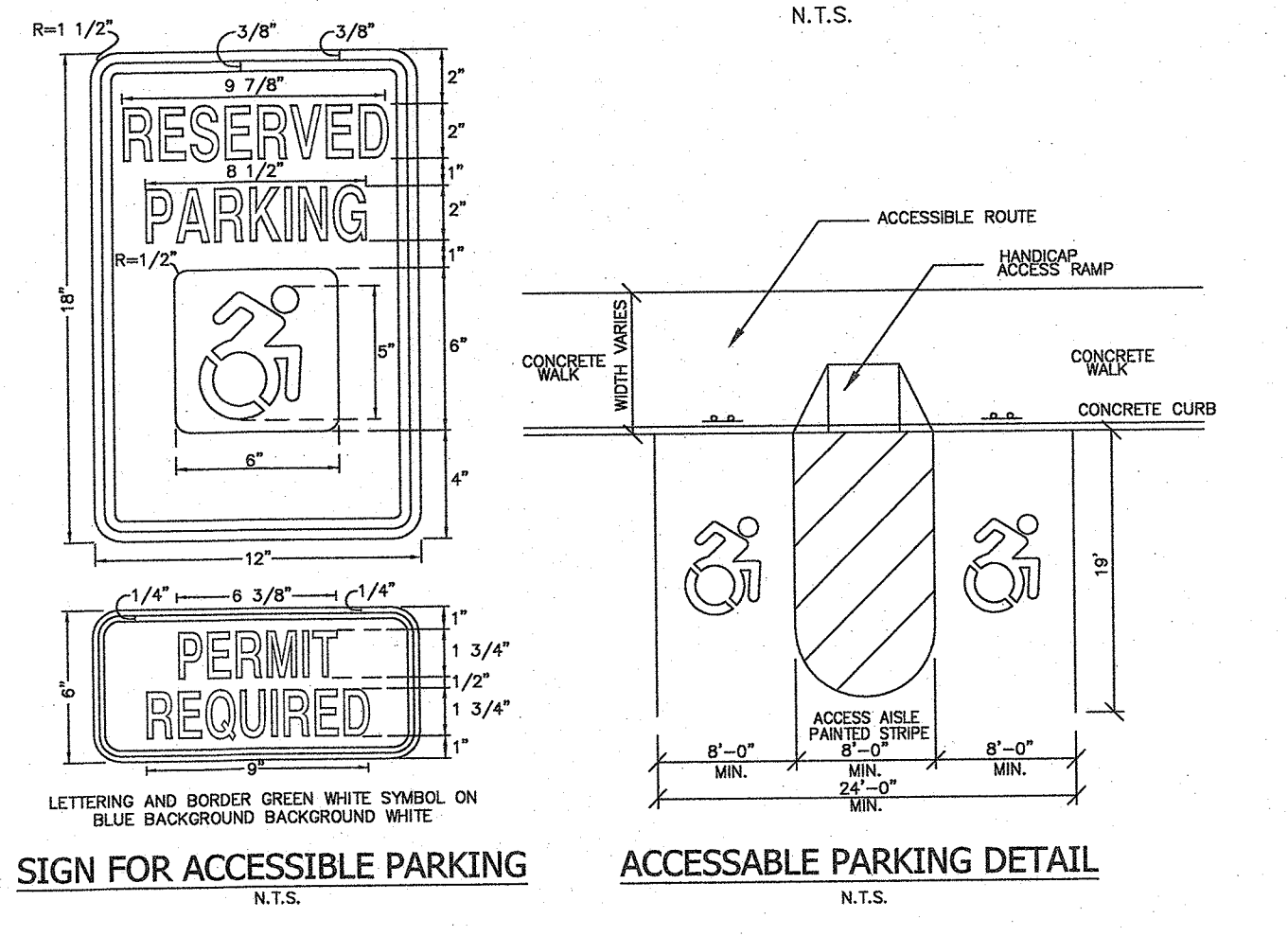
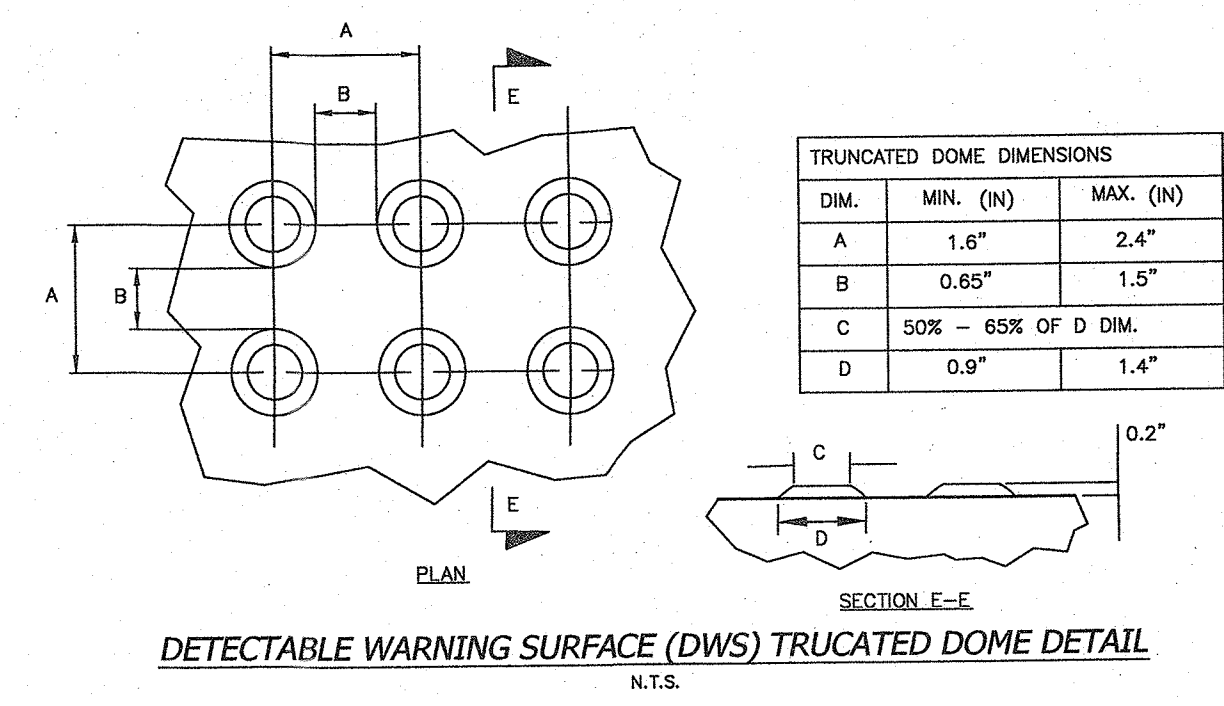
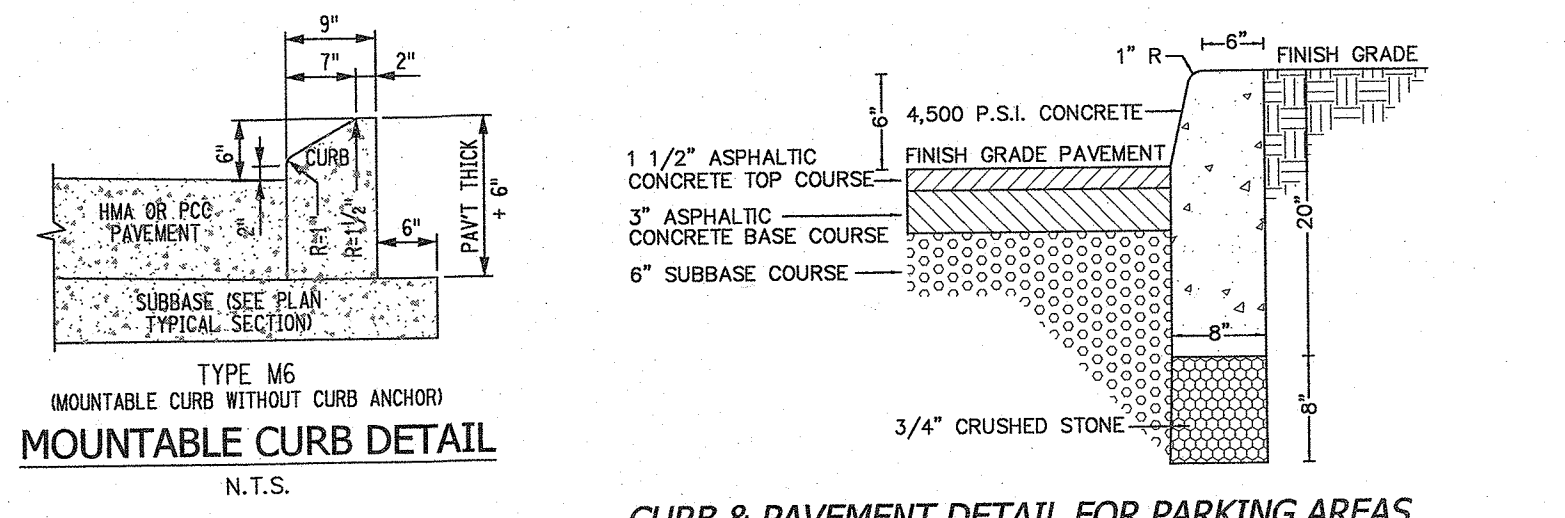
TOWN OF ORANGETOWN
 ROCKLAND COUNTY, NEW YORK

TITLE: **EXISTING CONDITION**

DRAWN BY: LF	CHECKED BY: JRA
DATE: JANUARY 12, 2022	SCALE: 1 IN. = 20 FT.
PROJECT NO: 4785	DRAWING NO: 2

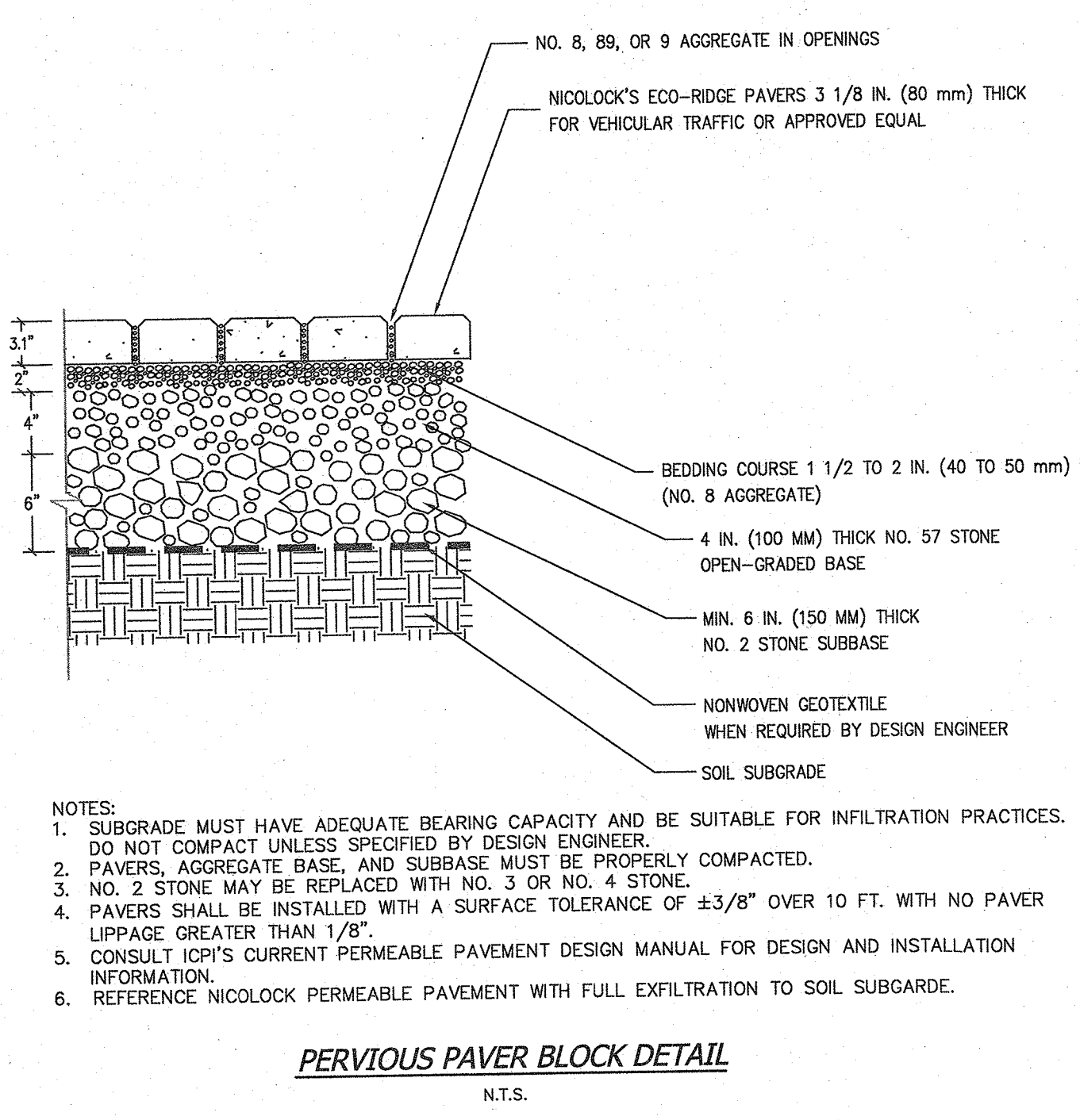
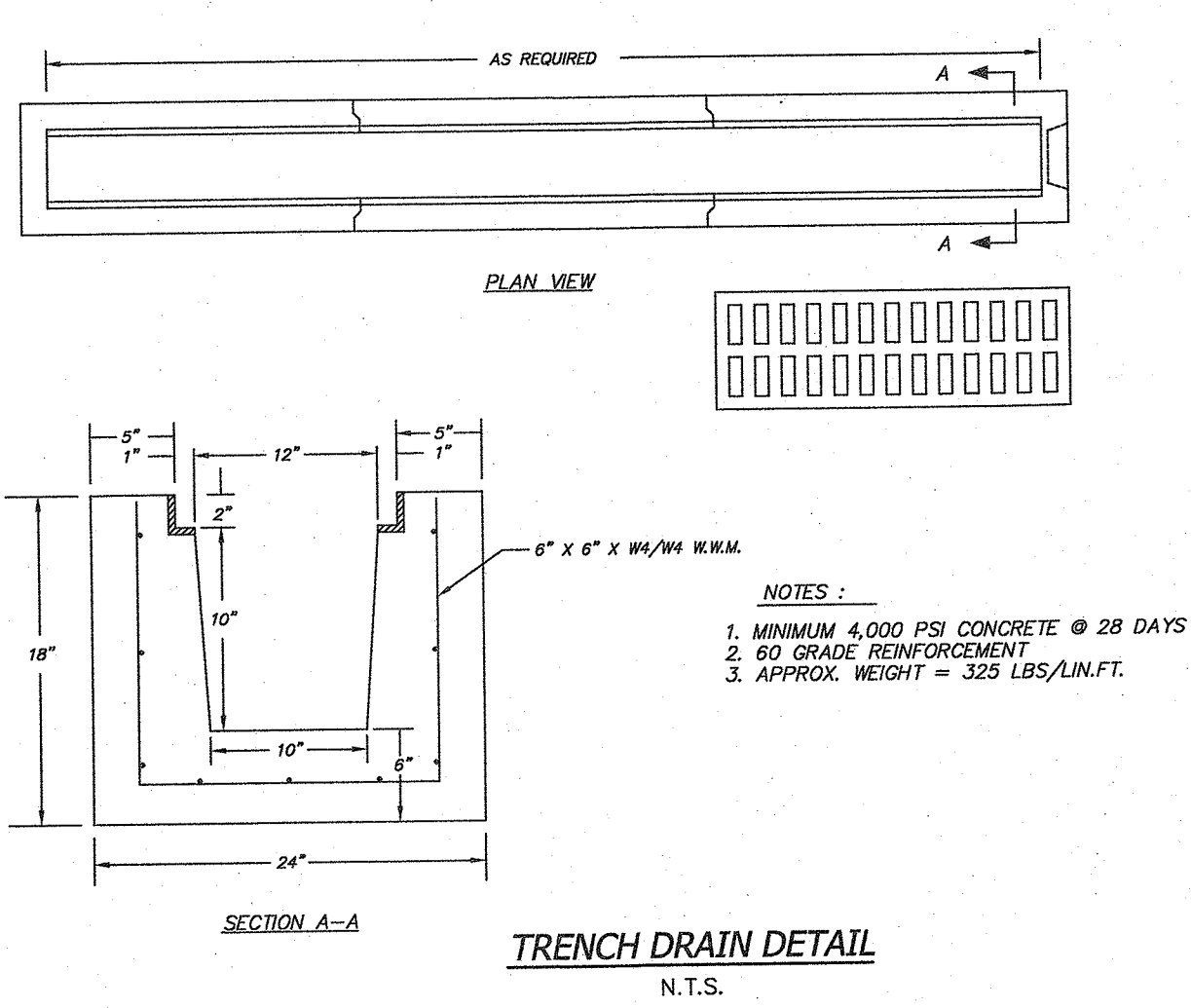
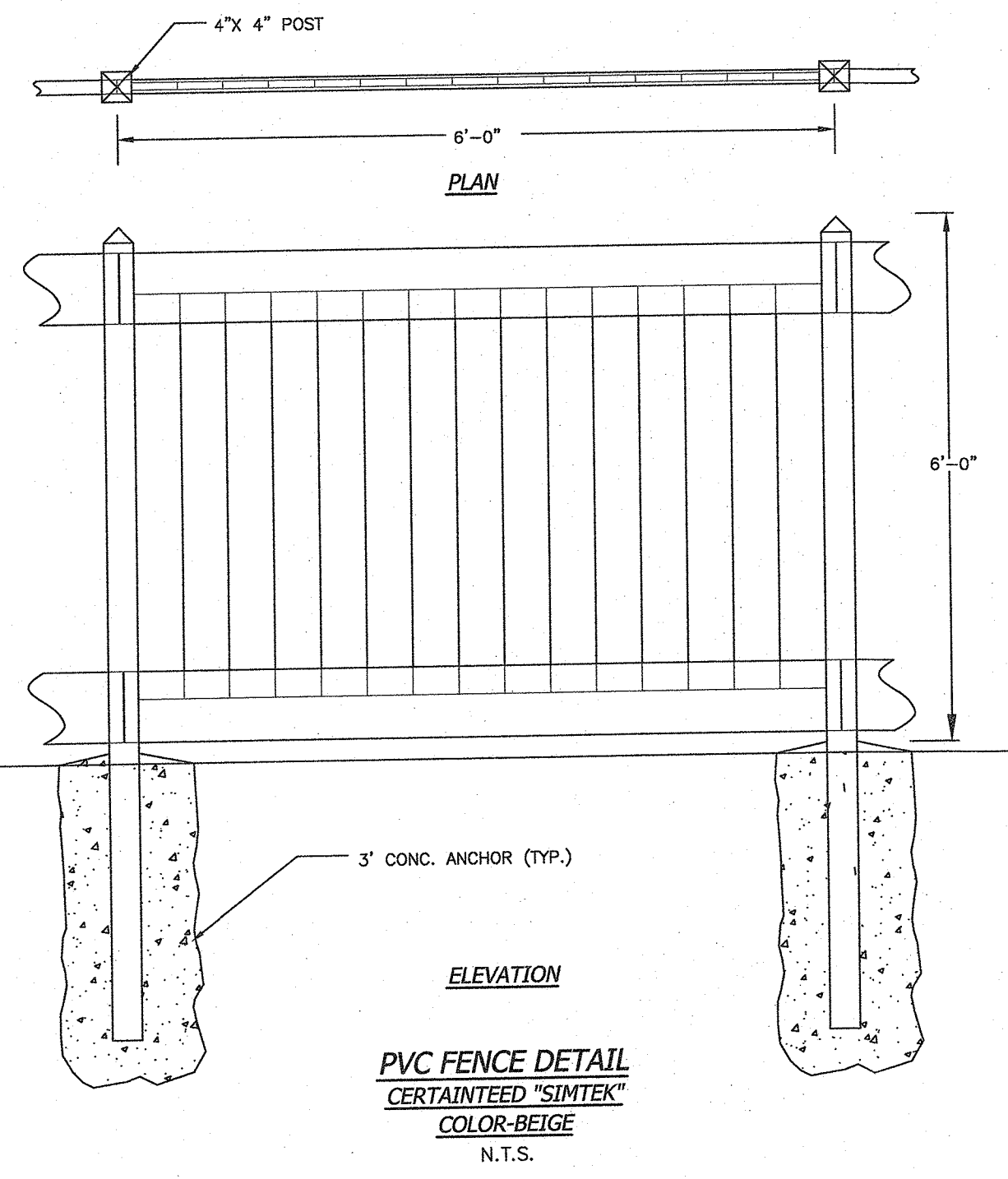


- DETECTABLE WARNING NOTES:**
- DETECTABLE WARNING SURFACES (DWS) SHALL BE PROVIDED AT THE FOLLOWING LOCATIONS ON PEDESTRIAN ACCESS ROUTES:
 - CURB RAMP AND BLENDED TRANSITIONS AT PEDESTRIAN STREET CROSSINGS.
 - PEDESTRIAN REFUGE ISLANDS (WHERE THE LENGTH OF THE PEDESTRIAN ACCESS ROUTE ACROSS THE REFUGE ISLAND IS GREATER THAN OR EQUAL TO 6')
 - PEDESTRIAN AT-GRADE RAIL CROSSINGS NOT LOCATED WITHIN A STREET OR HIGHWAY.
 - DETECTABLE WARNING SURFACES SHALL BE PROVIDED WHERE THE PEDESTRIAN ACCESS ROUTE CROSSES DRIVEWAYS WITH SIGNAL, YIELD OR STOP CONTROL. DETECTABLE WARNING SURFACES SHALL NOT BE PROVIDED AT CROSSINGS OF UNCONTROLLED DRIVEWAYS.
 - WITH THE EXCEPTION OF THE DETECTABLE WARNING SURFACE TRUNCATED DOME DETAILS ON SHEETS 2 OF 12, DETECTABLE WARNING DOMES ARE NOT DEPICTED TO SCALE ON THESE SHEETS.
 - DETECTABLE WARNING FIELDS SHALL EXTEND 24" MINIMUM IN THE DIRECTION OF PEDESTRIAN TRAVEL ACROSS THE FULL WIDTH OF CURB RAMP OR FLUSH SURFACE, EXCLUDING ANY FLARED SIDES.
 - SOME DETECTABLE WARNING PRODUCTS REQUIRE A CONCRETE BORDER FOR PROPER INSTALLATION. IF REQUIRED, THE BORDER SHALL NOT EXCEED 2" WHERE THE BACK OF THE CURB EDGE IS TOoled TO PROVIDE A RADIUS, THE BORDER DIMENSION SHALL BE MEASURED FROM THE INSIDE EDGER OF THE CURB RADIUS. BORDERS CANNOT BE INCLUDED AS PART OF THE 24" MINIMUM DIMENSION DESCRIBED IN NOTE 33.
 - WHERE CURB IS NOT USED, THE EDGE OF PAVEMENT SHALL BE SUBSTITUTED FOR BACK OF CURB FOR PLACEMENT OF DETECTABLE WARNINGS.
 - ON SLOPES OF 5% OR GREATER, THE ROWS OF DOMES SHALL BE ALIGNED TO BE PERPENDICULAR OR RADIAL TO THE LOWER GRADE BREAK ON THE RAMP RUN. WHERE DOMES ARE ARRANGED RADICALLY, THEY MAY DIFFER IN DIAMETER AND CENTER-TO-CENTER SPACING WITHIN THE RANGES SPECIFIED ON SHEET 2 OF 12. BREAK ALIGNMENT THAT IS PERPENDICULAR OR RADIAL TO THE LOWER GRADE BREAK IS NOT REQUIRED ON SLOPES OF LESS THAN 5%.
 - THE DETECTABLE WARNING FIELD SHALL BE THE COLOR SPECIFIED IN THE CONTRACT DOCUMENTS OR MEET THE REQUIREMENTS OF THE STANDARD SPECIFICATIONS. DETECTABLE WARNING SURFACES SHALL CONTRAST VISUALLY WITH ADJACENT GUTTER, STREET OR HIGHWAY, OR PEDESTRIAN ACCESS ROUTE SURFACE, EITHER LIGHT-ON-DARK OR DARK-ON-LIGHT.



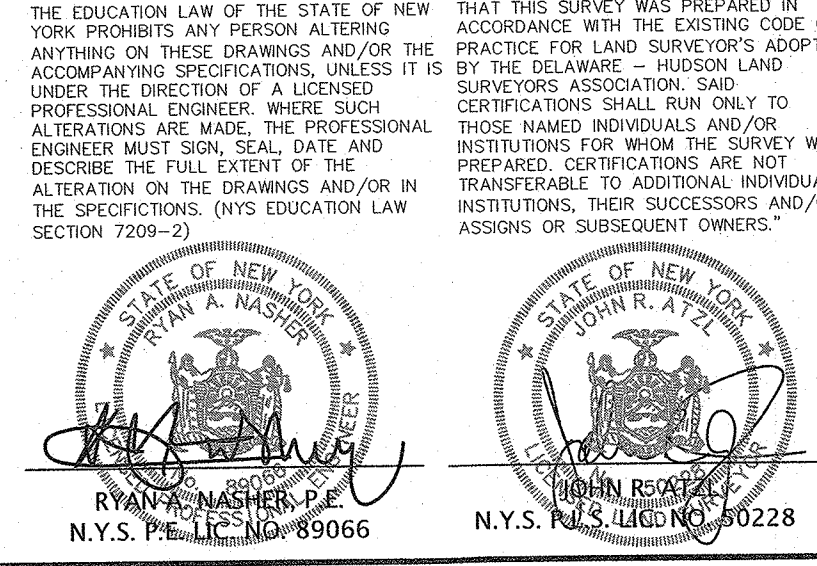
LEGEND

---	EXISTING 2' CONTOUR	---	PROPOSED 2' CONTOUR
---	EXISTING 10' CONTOUR	---	PROPOSED 10' CONTOUR
---	EXISTING WATERLINE	---	PROPOSED WATER SERVICE
---	EXISTING FIRE HYDRANT	---	PROPOSED WATER VALVE
---	EXISTING GAS LINE	---	PROPOSED FIRE HYDRANT
---	EXISTING CATCH BASIN	---	PROPOSED GAS SERVICE
---	EXISTING STORM DRAIN LINE	---	PROPOSED STORM DRAIN LINE
---	EXISTING SEWER MANHOLE	---	PROPOSED CATCH BASIN
---	EXISTING SEWER LINE	---	PROPOSED STORM DRAIN LINE
---	EXISTING SPOT ELEVATION	---	PROPOSED SEWER CLEANOUT
---	EXISTING STONEWALL	---	PROPOSED SEWER HOUSE CONNECTION
---	EXISTING SIGN	---	PROPOSED SPOT ELEVATION
---	EXISTING LIGHT POLE	---	PROPOSED SILT FENCE
---	EXISTING UTILITY POLE	---	LIMIT OF 100 YEAR FLOODPLAIN
---		---	LIMIT OF 500 YEAR FLOODPLAIN
---		---	PROPOSED ROOF DOWNSPOUT
---		---	PROPOSED ROOF DRAIN



- COARSE AGGREGATE / STONE SIZE AND SPECIFICATION**
- #1A Crushed Gravel (NYS DOT 703.02):
Fine stone, primarily 1/8" to 5/16" in size. Often used in asphalt mixes. Also works well for a gravel walkway or very fine driveway topping.
- #1ST Crushed Gravel:
5/16" to 1/2"
- #1 Crushed Gravel (NYS DOT 703.02):
Clean, crushed stone, 5/16" to 9/16" in size. Great for driveway topping and drainage applications.
- #2 Crushed (NYS DOT 703.02):
9/16" to 1 1/8" size stone. Used for driveway, septic systems and drainage.
- #3 Crushed:
Washed gravel, primarily 1 1/8" to 2" in size.
- Item #4 (NYS DOT 304.14):
Bankrun gravel screened over a 2" screen. Will not compact as well as crusher run.
- AASHTO #8:
#1A & #1ST mix
- AASHTO #57:
#1 & #2 mix

- NOTES:**
- SUBGRADE MUST HAVE ADEQUATE BEARING CAPACITY AND BE SUITABLE FOR INFILTRATION PRACTICES. DO NOT COMPACT UNLESS SPECIFIED BY DESIGN ENGINEER.
 - PAVERS, AGGREGATE BASE, AND SUBBASE MUST BE PROPERLY COMPACTED.
 - NO. 2 STONE MAY BE REPLACED WITH NO. 3 OR NO. 4 STONE.
 - PAVERS SHALL BE INSTALLED WITH A SURFACE TOLERANCE OF ±3/8" OVER 10 FT. WITH NO PAVEMENT LIFTAGE GREATER THAN 1/8".
 - CONSULT ICPI'S CURRENT PERMEABLE PAVEMENT DESIGN MANUAL FOR DESIGN AND INSTALLATION INFORMATION.
 - REFERENCE NICOLOCK PERMEABLE PAVEMENT WITH FULL EXFILTRATION TO SOIL SUBGRADE.



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TAPPAN FIRE DISTRICT

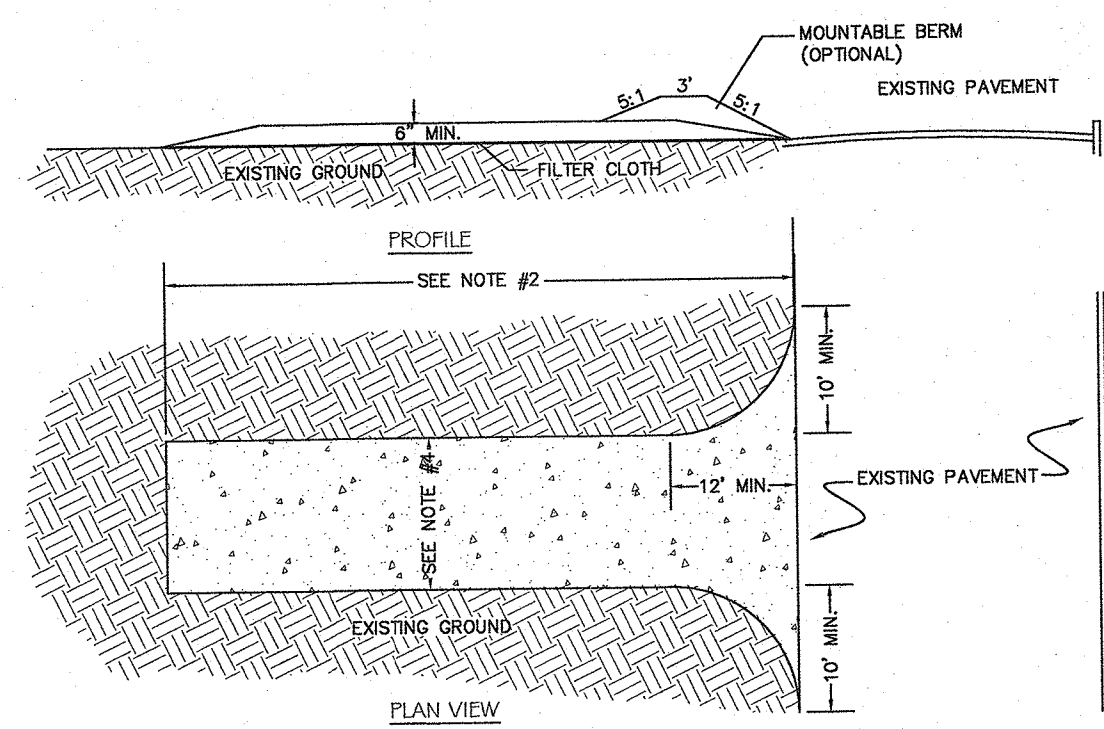
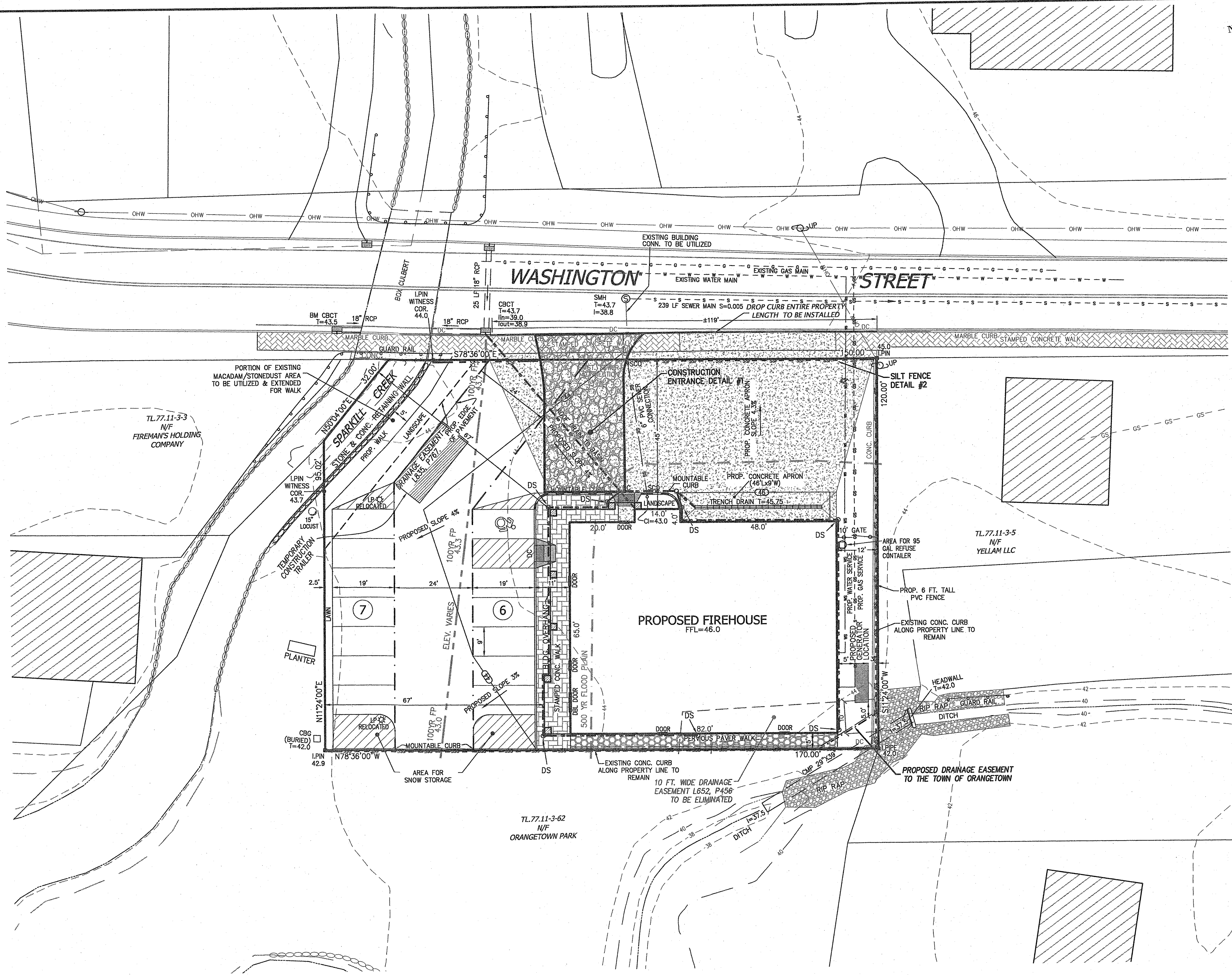
**TOWN OF ORANGETOWN
ROCKLAND COUNTY, NEW YORK**

GRADING PLAN

REVISION	DATE	DESCRIPTION
2	3-28-22	PER OBZPAE COMMENTS 3-16-22
1	2-28-22	PER ARCHITECT

DRAWN BY: LF
DATE: JANUARY 12, 2022
PROJECT NO: 4785

CHECKED BY: JRA
SCALE: 1 IN. = 20 FT.
DRAWING NO: 3



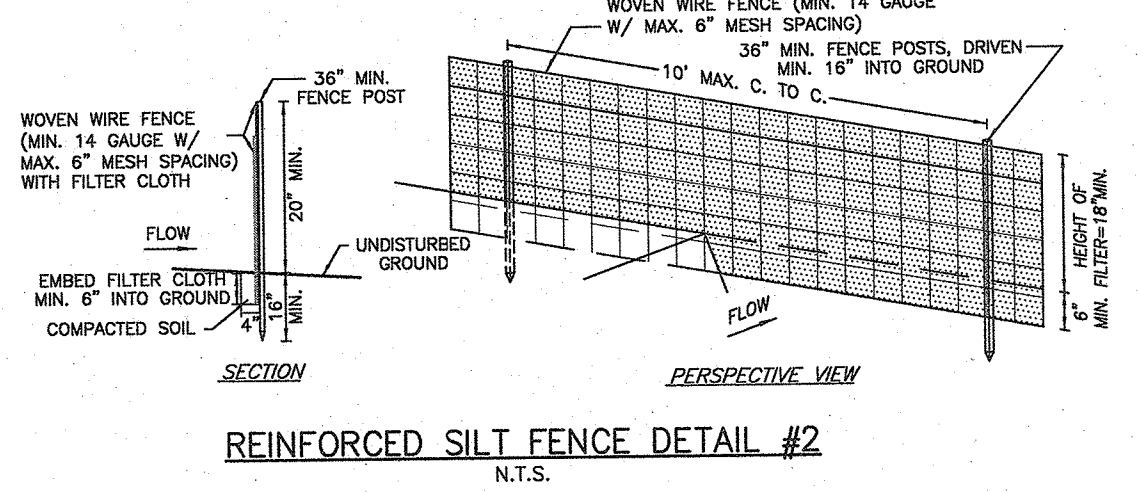
SPECIFICATIONS FOR CONSTRUCTION ENTRANCE

1. STONE SIZE - USE 2" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
2. LENGTH - NOT LESS THAN 50 FT. (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FT. MINIMUM LENGTH WOULD APPLY).
3. THICKNESS - NOT LESS THAN 6 IN.
4. WIDTH - 12 FT. MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS AND EGRESS OCCUR. 24 FT. IF SINGLE ENTRANCE TO SITE.
5. FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO THE PLACEMENT OF STONE.
6. SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
7. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAYS. ALL SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO PUBLIC RIGHT-OF-WAYS MUST BE REMOVED IMMEDIATELY.
8. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS TO AN APPROVED SEDIMENT TRAPPING DEVICE.
9. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

CONSTRUCTION ENTRANCE DETAIL #1
N.T.S.

CONSTRUCTION NOTES FOR REINFORCED SILT FENCE

1. WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL EITHER "T" OR "U" TYPE OR HARDWOOD.
2. FILTER CLOTH TO BE TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION. FENCE SHALL BE WOVEN WIRE, 12 1/2 GAUGE, 6" MAXIMUM MESH OPENING.
3. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVER-LAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRA1 100X, STABILINA T140N, OR APPROVED EQUIVALENT.
4. PREFABRICATED UNITS SHALL MEET THE MINIMUM REQUIREMENTS SHOWN.
5. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

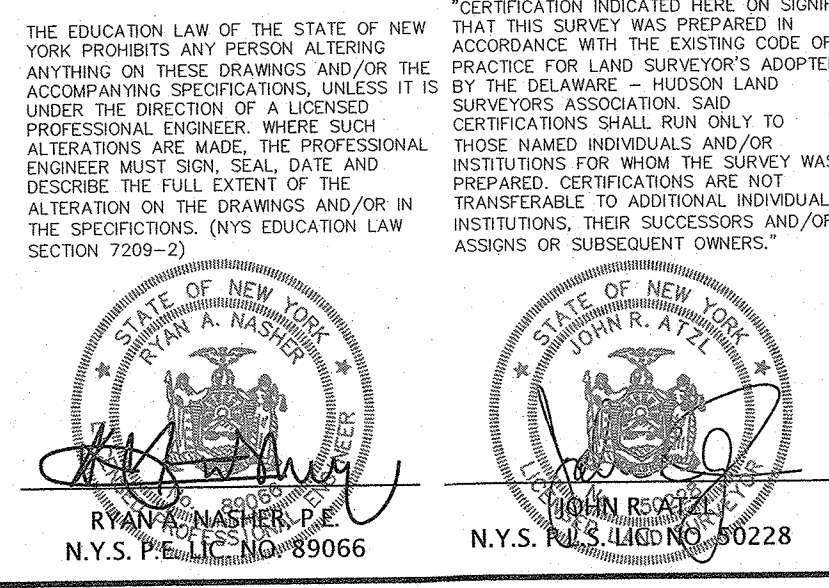


REINFORCED SILT FENCE DETAIL #2
N.T.S.

LEGEND

- | | | | |
|-------------|---------------------------|--|---------------------------------|
| --- 302 --- | EXISTING 2' CONTOUR | --- 302 --- | PROPOSED 2' CONTOUR |
| --- 300 --- | EXISTING 10' CONTOUR | --- 300 --- | PROPOSED 10' CONTOUR |
| W | EXISTING WATERLINE | WS | PROPOSED WATER SERVICE |
| ⊕ | EXISTING FIRE HYDRANT | ⊕ | PROPOSED WATER VALVE |
| --- | EXISTING GAS LINE | ⊕ | PROPOSED FIRE HYDRANT |
| CB | EXISTING CATCH BASIN | --- | PROPOSED GAS SERVICE |
| --- | EXISTING STORM DRAIN LINE | --- | PROPOSED GAS VALVE |
| SMH | EXISTING SEWER MANHOLE | CB | PROPOSED CATCH BASIN |
| S | EXISTING SEWER LINE | --- | PROPOSED STORM DRAIN LINE |
| + 360.0 | EXISTING SPOT ELEVATION | OC | PROPOSED SEWER CLEANOUT |
| --- | EXISTING STONEWALL | SS | PROPOSED SEWER HOUSE CONNECTION |
| --- | EXISTING SIGN | --- | PROPOSED SPOT ELEVATION |
| LP | EXISTING LIGHT POLE | --- | PROPOSED SILT FENCE |
| UP | EXISTING UTILITY POLE | --- </td <td>LIMIT OF 100 YEAR FLOODPLAIN</td> | LIMIT OF 100 YEAR FLOODPLAIN |
| | | --- </td <td>LIMIT OF 500 YEAR FLOODPLAIN</td> | LIMIT OF 500 YEAR FLOODPLAIN |
| | | OS | PROPOSED ROOF DOWNSPOUT |
| | | RD | PROPOSED ROOF DRAIN |

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"ONLY COPIES FROM THE ORIGINAL TRACING OF THIS SURVEY MAP MARKED WITH THE LAND SURVEYOR'S EMBOSSED SEAL SHALL BE CONSIDERED TO BE VALID TRUE COPIES."
"CERTIFICATION INDICATED HERE ON SIGNIFY THAT THIS SURVEY WAS PREPARED IN ACCORDANCE WITH THE EXISTING CODE OF PRACTICE FOR LAND SURVEYORS ADOPTED BY THE DELAWARE - HUDSON LAND SURVEYORS ASSOCIATION. SAID CERTIFICATIONS SHALL RUN ONLY TO THOSE NAMED INDIVIDUALS AND/OR INSTITUTIONS FOR WHOM THE SURVEY WAS PREPARED. CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INDIVIDUALS, INSTITUTIONS, THEIR SUCCESSORS AND/OR ASSIGNS OR SUBSEQUENT OWNERS."



2	3-28-22	PER OBZPAE COMMENTS 3-16-22
1	2-28-22	PER ARCHITECT
REVISION	DATE	DESCRIPTION

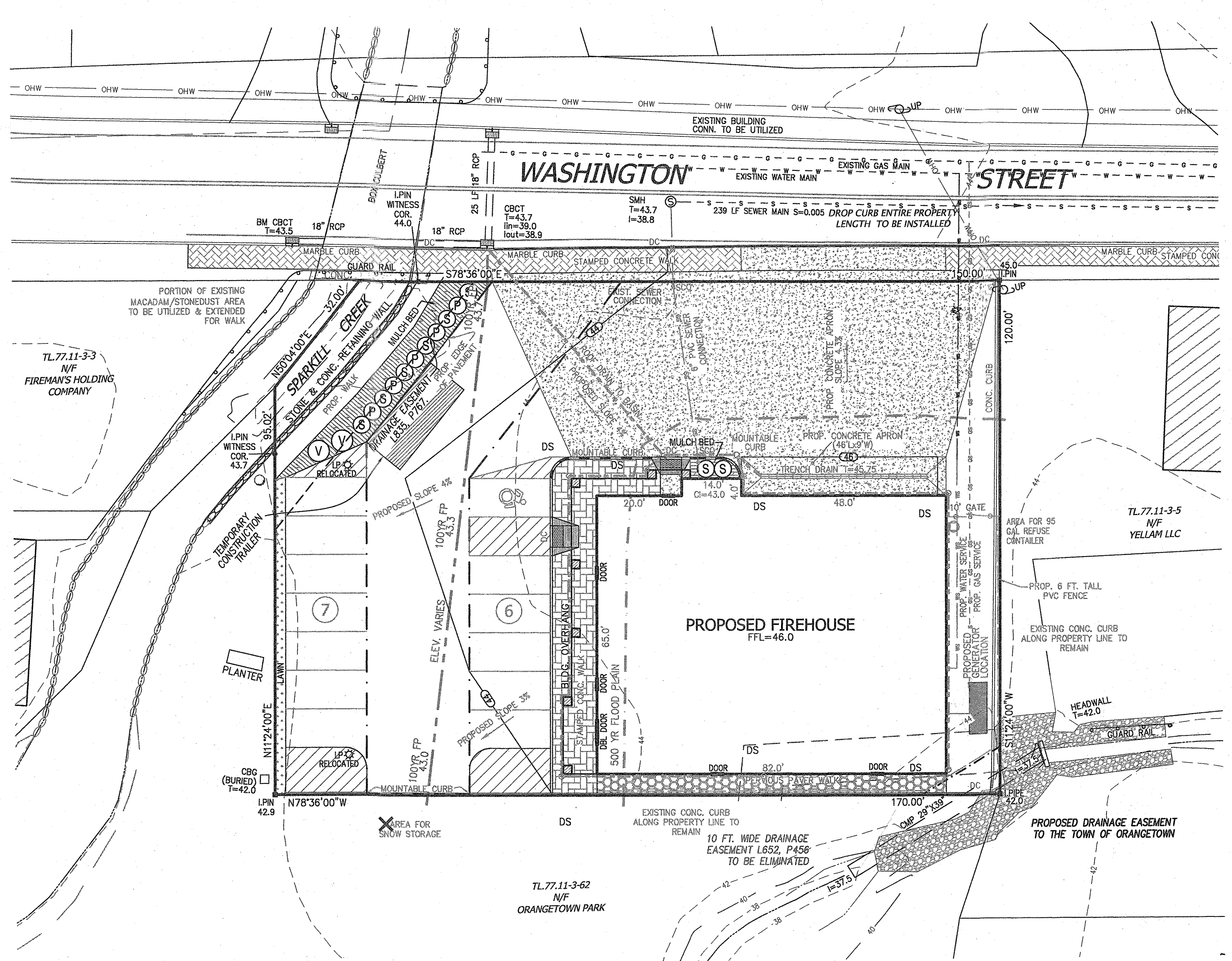
ATZL, NASHER & ZIGLER P.C.
ENGINEERS-SURVEYORS-PLANNERS
232 North Main Street
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PROJECT:
TAPPAN FIRE DISTRICT

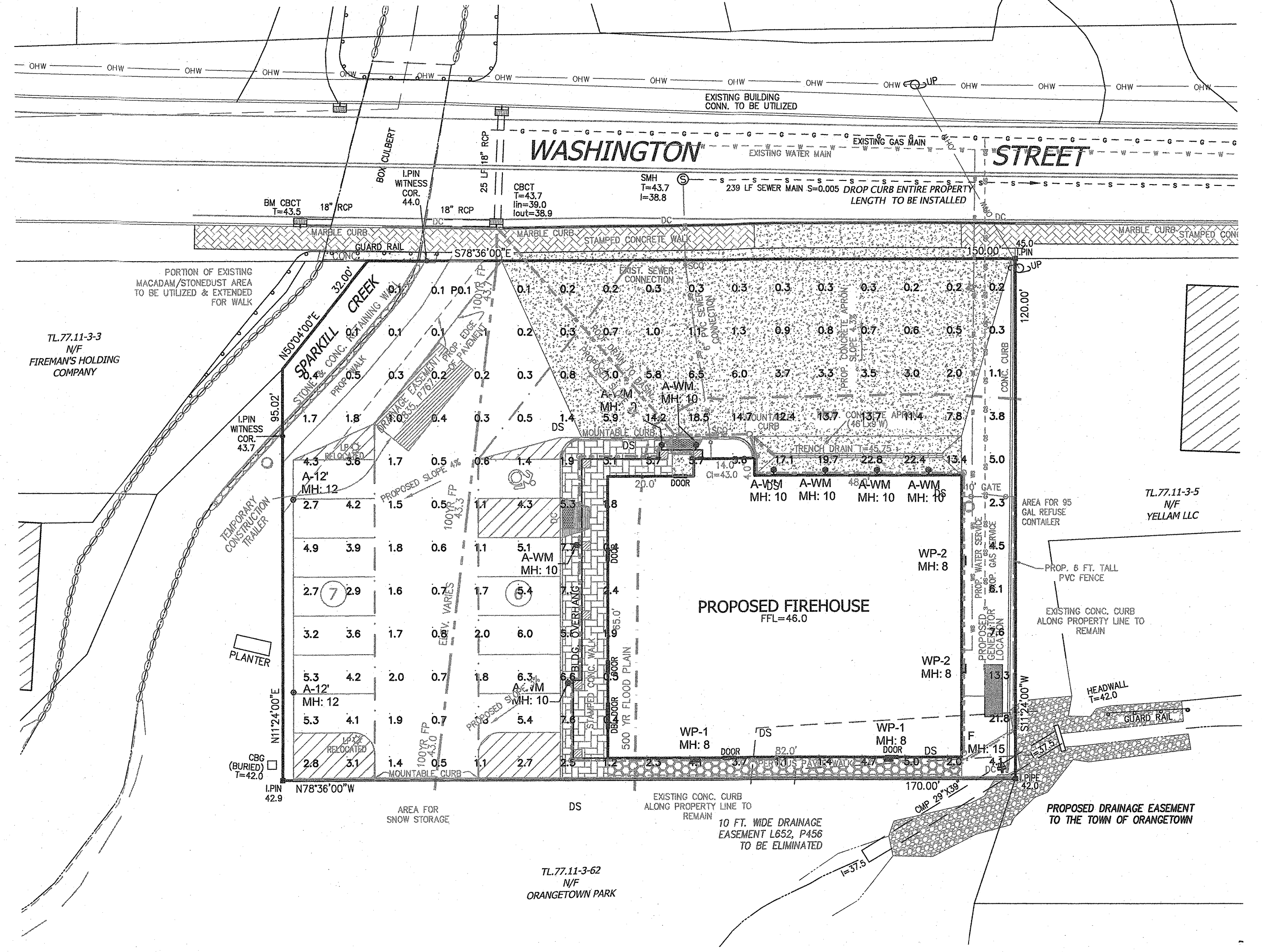
TOWN OF ORANGETOWN
ROCKLAND COUNTY, NEW YORK

TITLE:
EROSION SEDIMENT & CONTROL PLAN

DRAWN BY: LF	CHECKED BY: JRA
DATE: JANUARY 12, 2022	SCALE: 1 IN. = 20 FT.
PROJECT NO: 4785	DRAWING NO: 4



LANDSCAPING PLAN
SCALE: 1" = 20'



LIGHTING PLAN
SCALE: 1" = 20'

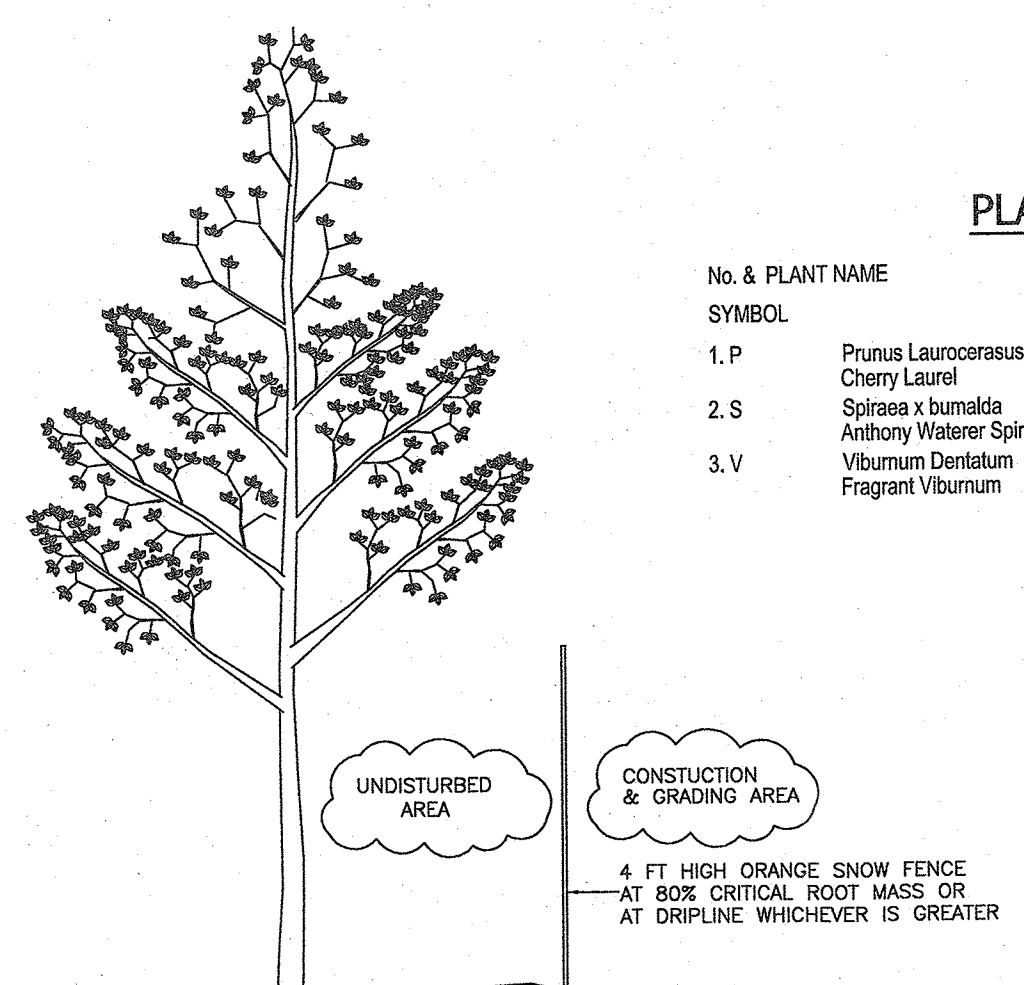
Symbol	Qty	Label	Arrangement	LLF	Description
○	2	A-12	SINGLE	0.950	VISIONAIRE SRL-1 T4 48LC 5 3K VOLT SINGLE @ 12' MTG. HT (N)
○	8	A-WM	SINGLE	0.950	VISIONAIRE SRL-1 T4 48LC 5 3K VOLT WM @ 10' MTG. HT VAL15-WM ARM
○	2	WP-2	SINGLE	0.950	VISIONAIRE PGRS-1 T3 16LC 7 3K VOLT WM @ 8' MTG. HT
○	2	WP-1	SINGLE	0.950	VISIONAIRE PGRS-1 T2 16LC 3 3K VOLT WM @ 8' MTG. HT
○	1	F	SINGLE	0.950	VISIONAIRE BSX-II-2-FM-32LC-3-3K VOLT SINGLE @ 15' MTG. HT

PLANTING NOTES

- All plants shall be nursery grown and plants and workmanship shall conform to the American Association of Nurserymen Standards and shall be subject to the approval of the Landscape Architect before and after planting.
- All planting shall be placed under the direction of the Landscape Architect. Give 48 hours notice before planting.
- Guarantee all plants and workmanship for a period of two planting seasons (One full year).
- Place 4" of topsoil on all lawn areas and 12" top soil in all planting beds.
- Plant pits shall be 36" wider for trees (minimum of two times root ball diameter) and 24" wider for shrubs and 6" deeper than the root ball. Set plants at same level as originally grown on base of undisturbed soil. Remove all existing soil from plant pit and backfill with a mixture of one part peat humus, one part dehydrated cow manure, and four parts topsoil. Fertilize all plants with 2 to 3 oz per foot of shrub height and 2 to 3 lbs. per inch of tree trunk of 5-10-5 fertilizer. For evergreen planting, add 1 lb. per 100 square feet of plant bed each of ammonium sulfate and superphosphates.
- Stake all trees with two cedar stakes; cover twisted 10 gauge galvanized wire with rubber hose and fasten around tree at 5 foot height minimum. Wrap trunk with kraft paper to first branch. Remove wires and stakes after the one year.
- Mulch all plants and planted areas with a 4" depth of shredded pine, oak bark.
- Fertilize areas before seeding or sodding with 15 lbs. per 1000 square feet of 10-20-10 fertilizer or approved equivalent. Repeat after 8 weeks.
- Lawn areas shall be seeded at 5 lbs. per 1000 square feet with the following seed mix: 40% Jamestown Chewing Fescue, 40% Baron Kentucky Bluegrass, and 20% Yorktown Perennial Rye. Mow newly seeded lawn at 50 lbs. per 1000 square feet with hay or straw mulch.
- The contractor is responsible to plant the total quantities of all plants shown on the planting plan. The quantities of planting shown graphically on the plan shall govern.
- Existing trees shown on this plan are to remain undisturbed. All existing trees shown to remain are to be protected with a 4 foot high snow fence placed at the drip line of the branches or at 8 feet minimum from the tree trunk.

PLANT LIST

SYMBOL	No. & PLANT NAME	QUANTITY	SIZE & REMARKS
1.P	Prunus Laurocarpa "Otto Luyken"	5	18"-24" Spread B&B Plant 4' o.c.
2.S	Cherry Laurel Spiraea x bumalda Anthony Waterer Spiraea	8	18"-24" ht. #3 cont. Plant 4' o.c.
3.V	Viburnum Dentatum Fragrant Viburnum	2	3'-4' ht. B&B Plant 6' o.c.

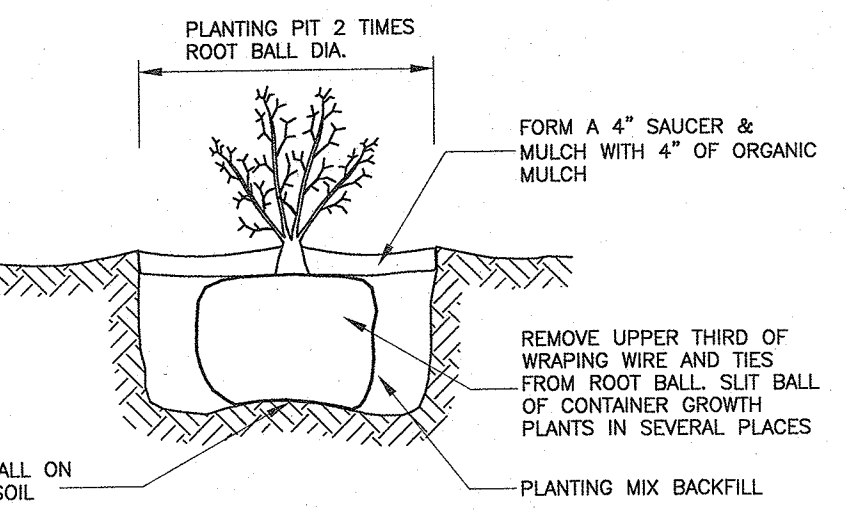


A TREE PROTECTION PROGRAM WILL BE IMPLEMENTED IN ORDER TO PROTECT AND PRESERVE BOTH INDIVIDUAL SPECIMEN TREES AND BUFFER AREAS WITH MANY TREES. STEPS WHICH WILL BE TAKEN TO PRESERVE AND PROTECT EXISTING TREES, ARE AS FOLLOWS:

- NO CONSTRUCTION EQUIPMENT SHALL BE PARKED UNDER THE TREE CANOPY.
- THERE WILL BE NO EXCAVATION OR STOCKPILING OF EARTH UNDERNEATH THE TREES.
- TREES TO BE PRESERVED SHALL BE MARKED CONSPICUOUSLY ON ALL SIDES.
- TREES TO BE SAVED ARE TO BE PROTECTED WITH A 4 FOOT HIGH ORANGE SNOW FENCE PLACED AT THE DRIP LINE OR AT 80% CRITICAL ROOT MASS WHICHEVER IS GREATER.
- NO EARTH FILLS GREATER THAN 6" IN DEPTH WILL BE MADE BENEATH TREES TO BE PRESERVED.
- IN FILL AREAS, TREES WILL BE PRESERVED IN TREE WELLS OR THROUGH THE USE OF RETAINING WALLS PLACED AT THE DRIP LINE OR AT 80% CRITICAL ROOT MASS WHICHEVER IS GREATER.
- IN CUT AREAS, TREES WILL BE PRESERVED WITH RETAINING WALLS AT THE DRIP LINE OR AT 80% CRITICAL ROOT MASS WHICHEVER IS GREATER.

○ - DENOTES TREE PROTECTION

TREE PROTECTION DETAIL
N.T.S.



SHRUB PLANTING DETAIL
N.T.S.

LEGEND

---	EXISTING 2' CONTOUR	---	PROPOSED 2' CONTOUR
---	EXISTING 10' CONTOUR	---	PROPOSED 10' CONTOUR
---	EXISTING WATERLINE	---	PROPOSED WATER SERVICE
---	EXISTING FIRE HYDRANT	---	PROPOSED WATER VALVE
---	EXISTING GAS LINE	---	PROPOSED FIRE HYDRANT
---	EXISTING CATCH BASIN	---	PROPOSED GAS SERVICE
---	EXISTING STORM DRAIN LINE	---	PROPOSED GAS VALVE
---	EXISTING SEWER MANHOLE	---	PROPOSED CATCH BASIN
---	EXISTING SEWER LINE	---	PROPOSED STORM DRAIN LINE
---	EXISTING SPOT ELEVATION	---	PROPOSED SEWER CLEANOUT
---	EXISTING STONEWALL	---	PROPOSED SEWER HOUSE CONNECTION
---	EXISTING SIGN	---	PROPOSED SPOT ELEVATION
---	EXISTING LIGHT POLE	---	PROPOSED SILT FENCE
---	EXISTING UTILITY POLE	---	LIMIT OF 100 YEAR FLOODPLAIN
---	TREE TO BE REMOVED	---	LIMIT OF 500 YEAR FLOODPLAIN
---		---	PROPOSED ROOF DOWNSPOUT
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THE EDUCATION LAW OF THE STATE OF NEW YORK PROHIBITS ANY PERSON ALTERING ANYTHING ON THESE DRAWINGS AND/OR THE ACCOMPANYING SPECIFICATIONS, UNLESS IT IS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER. WHERE SUCH ALTERATIONS ARE MADE, THE PROFESSIONAL ENGINEER MUST SIGN, SEAL, DATE AND DESCRIBE THE FULL EXTENT OF THE ALTERATION ON THE DRAWINGS AND/OR IN THE SPECIFICATIONS. (NYS EDUCATION LAW SECTION 2209-2)

STATE OF NEW YORK
RYAN N. NASHER, P.E.
N.Y.S. P.E. LIC. NO. 89066

STATE OF NEW YORK
ROBIN R. ZIGLER, P.E.
N.Y.S. P.E. LIC. NO. 80228

REVISION	DATE	DESCRIPTION
1	3-28-22	PER OBZPAE COMMENTS 3-16-22
2	2-28-22	PER ARCHITECT

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TAPPAN FIRE DISTRICT

**TOWN OF ORANGETOWN
ROCKLAND COUNTY, NEW YORK**

LANDSCAPE & LIGHTING PLAN

DRAWN BY: LF	CHECKED BY: JRA
DATE: JANUARY 12, 2022	SCALE: 1 IN. = 20 FT.
PROJECT NO: 4785	DRAWING NO: 5