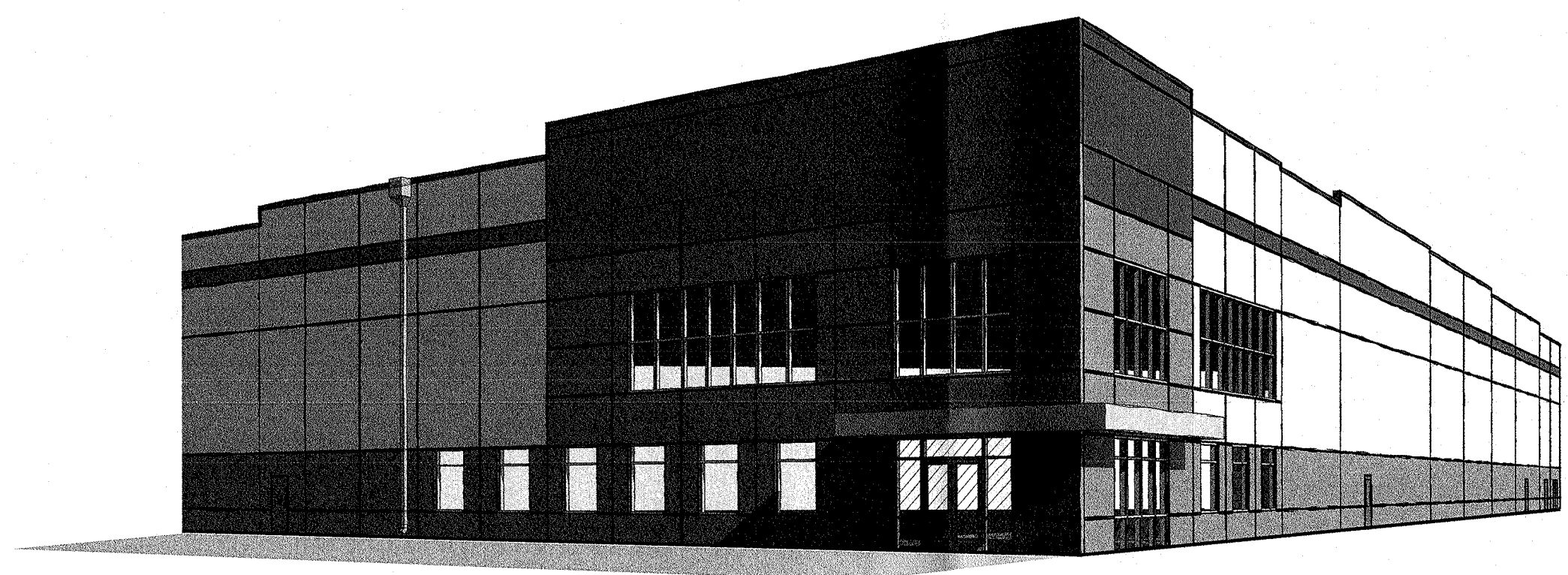
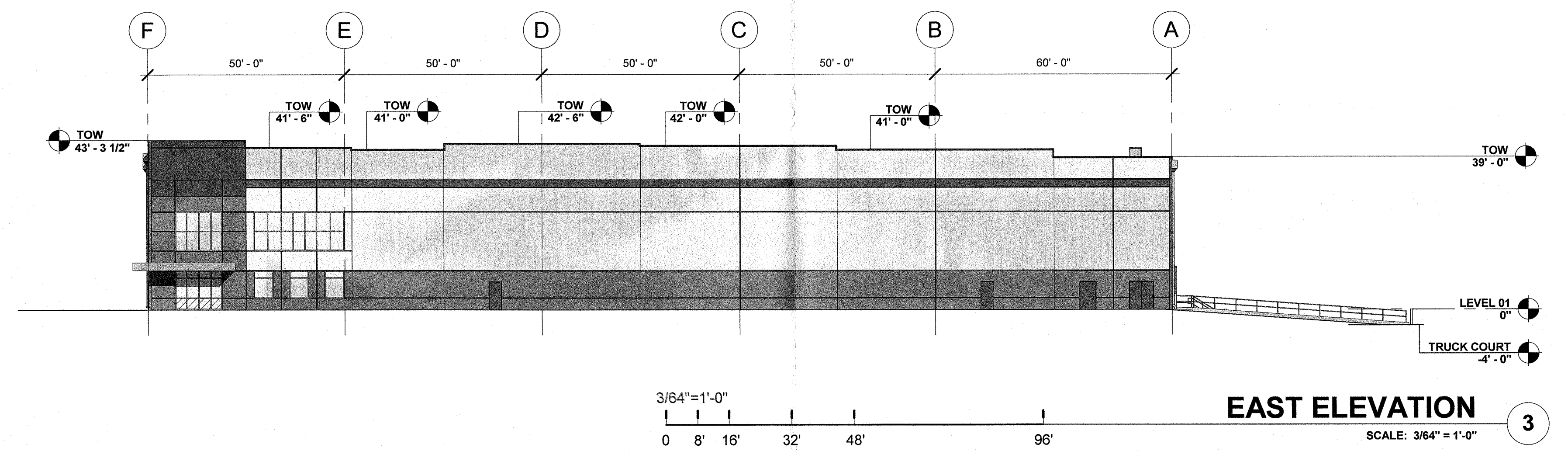
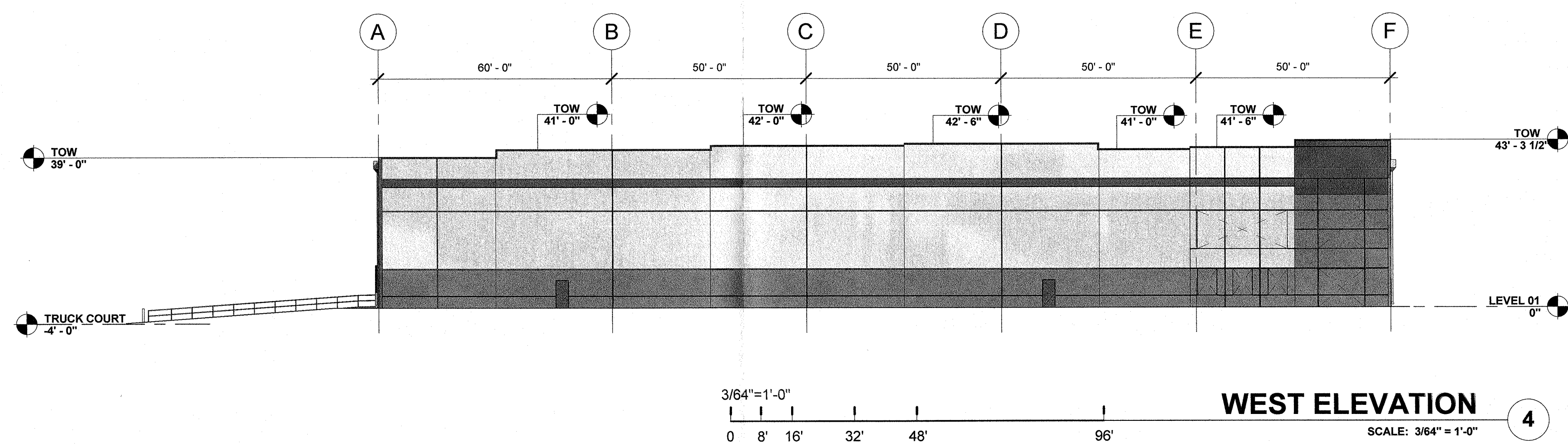
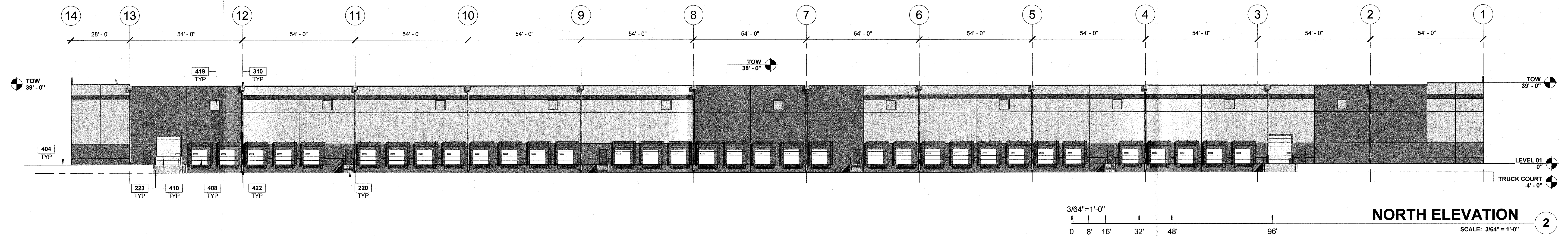
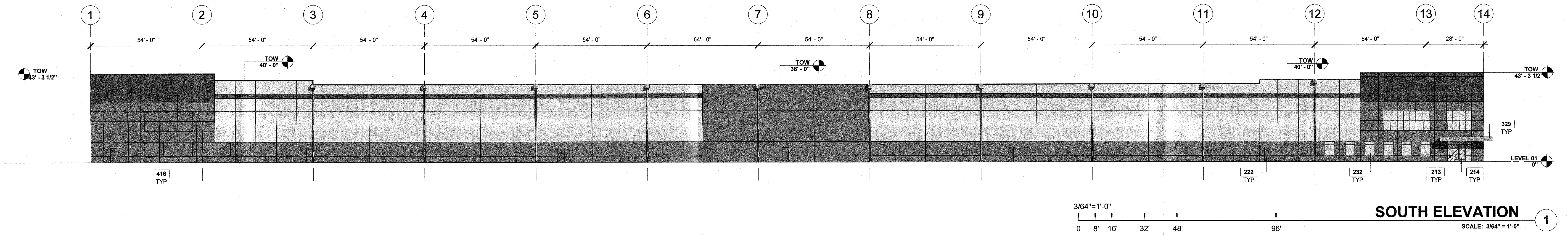


**PROPOSED BUILDING**  
**175,760 SF (676' X 260')**  
 36 FT CLEAR HEIGHT  
 (34) FULLY EQUIPPED DOCK DOORS  
 (2) DRIVE-IN DOORS

FIRE PUMP ROOM  
 201  
 300 SF  
 ELECTRICAL ROOM  
 202  
 300 SF

FUTURE MAIN OFFICE FIT-OUT


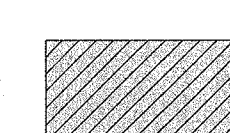
3/16" = 1'-0"  
 0 8' 16' 32' 48' 96'  
**OVERALL FLOOR PLAN - LEVEL 01**  
 SCALE: 3/16" = 1'-0"  
 PROJECT NORTH TRUE NORTH



**ENTRANCE VIEW**  
SCALE: 1/8" = 1'-0" 5


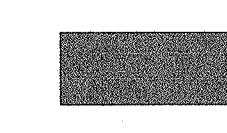

**GLAZING LEGEND**

**GLASS:**

-  GL-01 INSULATED GLAZING UNIT
-  GL-02 TEMPERED SAFETY GLASS

SEE GLAZING TYPES SHEET FOR GLAZING TYPES & SPECIFICATIONS

**PAINT SCHEME COLORS:**

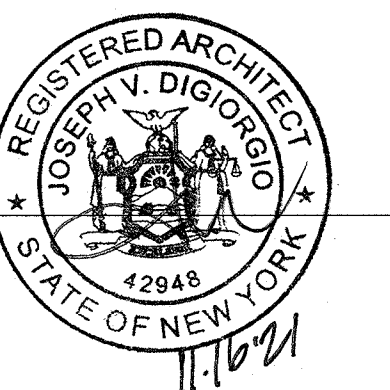
-  P1 - BASE COLOR (LIGHT): SW 7666- FLEUR DE SEL
-  P2 - ACCENT COLOR (DARK): SW 7669- SUMMIT GRAY
-  P3 - ACCENT COLOR: SW 6524- COMMODORE

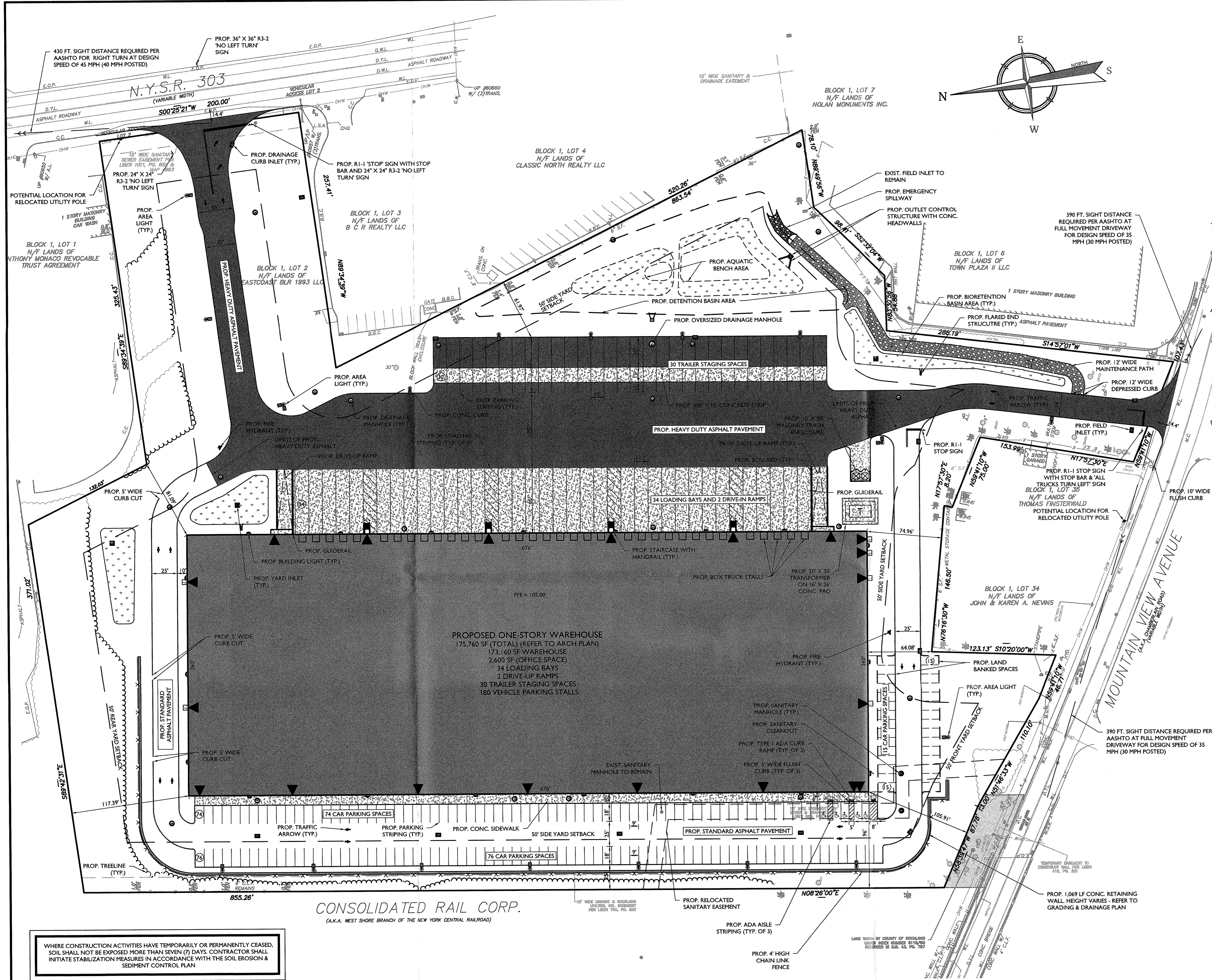
**MATERIALS:**

- DOWNSPOUT GUARDS - TO MATCH ADJACENT WALL COLOR
- DOWNSPOUT & SCUPPER BOXES - TO MATCH ADJACENT WALL COLOR
- METAL COPING - TO MATCH ADJACENT WALL COLOR

**NOTES**

- SEE SHEET G-0.02 FOR GENERAL NOTES.  
TOW = TOP OF CONCRETE + 1-1/2" BLOCKING
- 213 ALUMINUM STOREFRONT SYSTEM
  - 214 ALUMINUM STOREFRONT DOOR
  - 220 STEEL STAIR WITH GUARDRAIL AND HANDRAIL. ALL MATERIALS TO BE GALVANIZED.
  - 222 HOLLOW METAL DOOR AND FRAME. PAINTED.
  - 223 CONCRETE EXTERIOR DRIVE-IN RAMP.
  - 232 PUNCHED WINDOWS.
  - 310 EXTERIOR ROOF DRAIN, SCUPPER AND DOWNSPOUT.
  - 329 METAL CANOPY.
  - 404 FINISH GRADE VARIES.
  - 408 SECTIONAL OVERHEAD DOOR.
  - 410 DRIVE-IN DOOR.
  - 416 KNOCKOUT PANEL FOR FUTURE WINDOWS OR DOORS.
  - 419 CLERESTORY WINDOW.
  - 422 DOWNSPOUT GUARD.





ZONING TABLE

TABLE OF BULK REQUIREMENTS ZONE: LI (LIGHT INDUSTRIAL) DISTRICT				
ITEM	REQUIRED	EXISTING	PROVIDED	COMPLIES
MIN. LOT AREA	2 ACRES	\$601,333.76 SF (13.80 ACRES)	\$601,333.76 SF (13.80 ACRES)	YES
MAX. F.A.R.	0.5	0.17	0.29	YES
MAX. LOT COVERAGE	80%	\$45,776 (275,202.76 SF)	\$63,766 (\$383,328 SF)*	YES
MIN. LOT WIDTH	150'	522.6 SF	522.6 SF	YES
MIN. STREET FRONTAGE	150'	565.02'	565.02'	YES
REQUIRED FRONT YARD	50'	395.8'	105.91'	YES
REQUIRED SIDE YARD	50'	50.7'	96' - 81.09"	YES
TOTAL SIDE YARD	100'	> 100'	177.09'	YES
REQUIRED REAR YARD	50'	142.3'	117.39'	YES
MAX. BUILDING HEIGHT**	6' PER FOOT OF DISTANCE FROM LOT LINE** (\$2.94')	< 50'	\$43' - 3 1/2'	YES

\* LOT COVERAGE ASSUMING LAND BANKED SPACES ARE NEVER CONSTRUCTED = \$62.95% (\$378,425.88 SF)  
 \*\* BUILDING HEIGHT: THE VERTICAL DISTANCE MEASURED FROM THE AVERAGE ELEVATION OF THE PROPOSED FINISHED GRADE ALONG THE WALL OF A BUILDING, OR ADJACENT TO THE SIDE OF A NONBUILDING USE, TO THE HIGHEST POINT OF THE ROOF OR PARAPET FOR FLAT ROOFS OR SHED ROOFS, TO THE DECK LINE FOR MANSARD ROOFS, AND TO THE MEAN BETWEEN EAVES AND RIDGE FOR GABLE, HIP AND GAMBLE ROOFS OF SUCH BUILDING, OR NONBUILDING USE, EXCEPT AS SPECIFICALLY EXEMPTED IN §5.23  
 \*\*\* PER CHAPTER 43 ATTACHMENT 18, NOTE #7 STATES THAT REQUIRED FRONT YARD AND MAXIMUM BUILDING HEIGHT ARE SUBJECT TO §5.11 WHERE THE DESIGNATED STREET LINE CAN BE USED AS A LOT LINE IN THIS INSTANCE THE DESIGNATED STREET LINE IS THE LOT LINE BORDERING MOUNTAIN VIEW AVENUE (105.91' FROM PROPOSED BUILDING)

PARKING AND LOADING

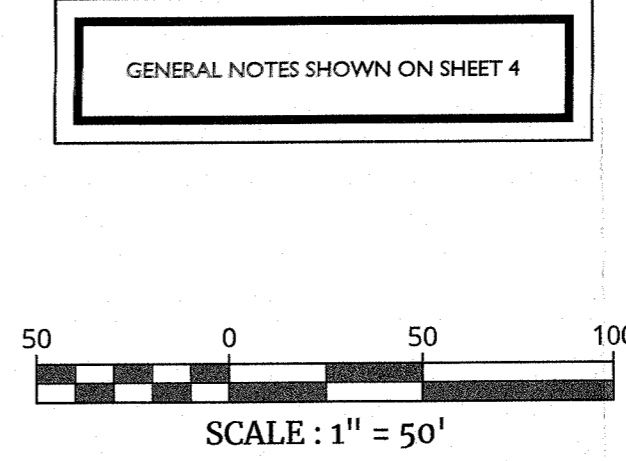
**PARKING:**  
 A. WAREHOUSE USES SHALL PROVIDE ONE (1) PARKING SPACE FOR EVERY TWO (2) EMPLOYEES, OR ONE (1) PARKING SPACE PER 300 SQUARE FEET OF GROSS FLOOR AREA (\$43-3.1)  
 REQUIRED : 1 EMPLOYEE PER 1500 SF = (175,760 SF) / (1,500 SF) = 117 EMPLOYEES = 117 EMPLOYEES / 2 = 58 SPACES REQUIRED  
 PROVIDED : 145 STANDARD SPACES  
 5 HANDICAP SPACES  
 30 LAND BANKED SPACES  
 180 TOTAL PARKING SPACES

**LOADING:**  
 A. LOADING BERTHS SHALL BE AT LEAST 12 FEET WIDE AND 45 FEET LONG, WITH A CLEAR HEIGHT OF 15 FEET (\$43-6.42)  
 B. FOR MANUFACTURING, WHOLESALE AND STORAGE USES AND FOR DRY-CLEANING AND RUG-CLEANING ESTABLISHMENTS AND LAUNDRIES, ONE LOADING BERTH SHALL BE PROVIDED FOR EACH 10,000 SQUARE FEET OF FLOOR AREA OR LESS AND ONE ADDITIONAL BERTH FOR EACH ADDITIONAL 20,000 SQUARE FEET OF FLOOR AREA, OR MAJOR FRACTION THEREOF, SO USED. (\$43-6.41.5)  
 1 + (165,760 SF) / (10,000 SF) = 17 SPACES REQUIRED  
 36 SPACES PROVIDED (INCLUDES 2 DRIVE-UP RAMPS, COMPLIES)

DISTRICTS

ZONE DISTRICT: LI ZONE  
 SCHOOL DISTRICT: SOUTH ORANGETOWN  
 CENTRAL SCHOOL DISTRICT  
 WATER DISTRICT: SUEZ WATER  
 SEWER DISTRICT: ORANGETOWN  
 FIRE DISTRICT: BLAUVLET

EXISTING	LEGEND	PROPOSED
12+00	TRaverse LINE, CENTER LINE OR BASELINE (LABEL AS SUCH)	12+00
13+00	RIGHT OF WAY LINE	13+00
---	PROPERTY LINE	---
---	EDGE OF PAVEMENT	---
---	CURB	---
---	DEPRESSED CURB	---
---	SIDEWALK	---
---	FENCES	---
---	TREELINE	---
---	ROADWAY SIGNS	---
---	STALL COUNT	---
---	ADA ACCESSIBLE STALL	---
---	DEPRESSED CURB AND ADA RAMP	---
---	DIRECTION OF TRAFFIC FLOW	---
---	DOOR LOCATION	---



- WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, SOIL SHALL NOT BE EXPOSED MORE THAN SEVEN (7) DAYS. CONTRACTOR SHALL INITIATE STABILIZATION MEASURES IN ACCORDANCE WITH THE SOIL EROSION & SEDIMENT CONTROL PLAN
- SIDEWALKS AND CURBS SHALL BE INSTALLED IN ACCORDANCE WITH THE HIGHWAY DEPARTMENT'S SPECIFICATIONS FOR SIDEWALKS AND CURBS
- ALL UTILITIES, INCLUDING ELECTRIC AND TELEPHONE SERVICE, SHALL BE INSTALLED UNDERGROUND
- THIS PLAN DOES NOT CONFLICT WITH THE COUNTY OFFICIAL MAP AND HAS BEEN APPROVED IN THE MANNER SPECIFIED BY SECTION 239.8M OF THE GENERAL MUNICIPAL LAW OF THE STATE OF NEW YORK

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DATE: \_\_\_\_\_  
 REV: \_\_\_\_\_  
 DESCRIPTION: \_\_\_\_\_

**Jesse Barrett Cokerley**  
 NEW YORK LICENSED PROFESSIONAL ENGINEER  
 LICENSE NUMBER: 090987-1  
 COLLIER ENGINEERING & DESIGN CT, P.C.  
 N.Y. C.O.A. #: 0017609

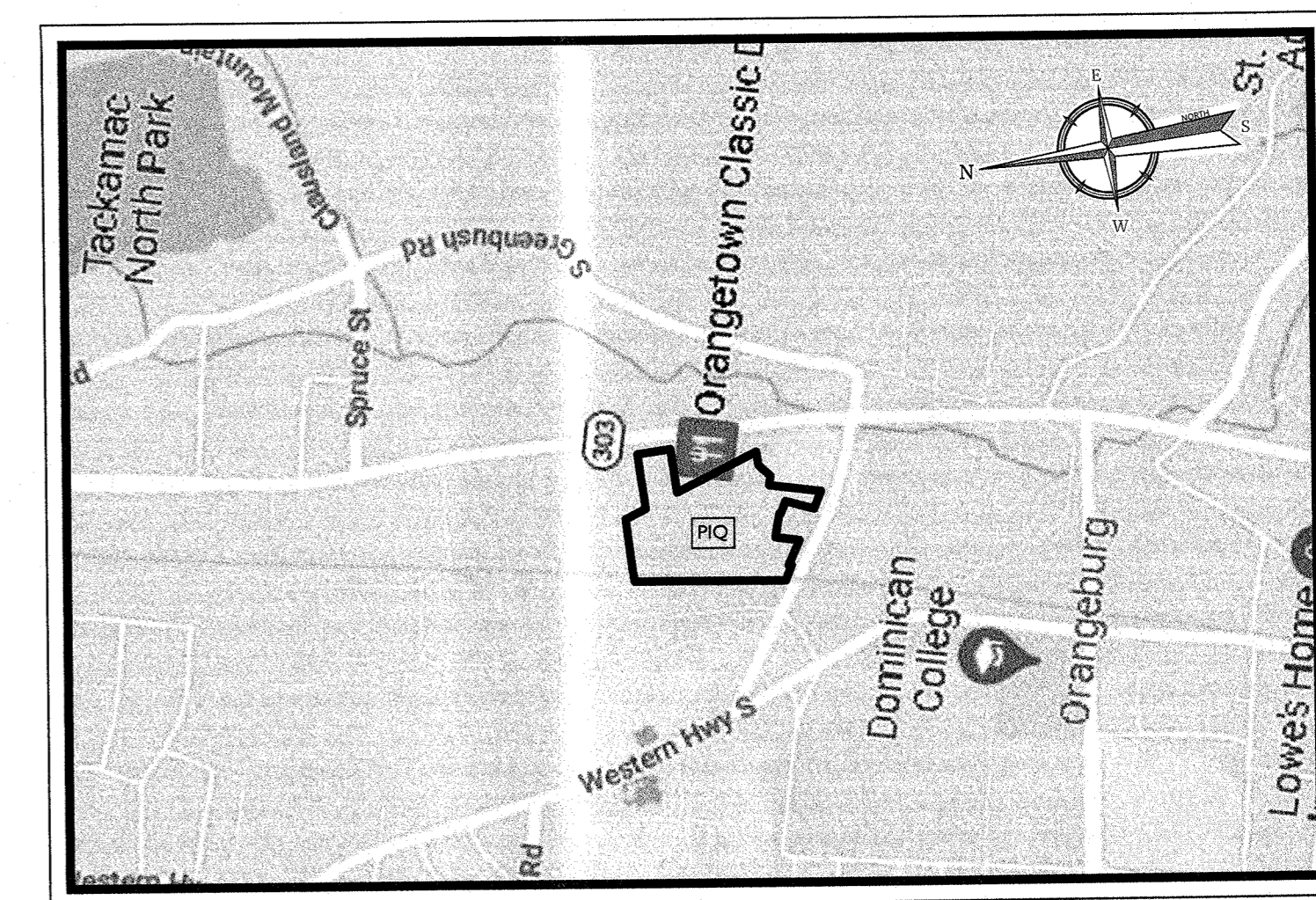
**PRELIMINARY SITE PLAN**  
 FOR  
**WPT ACQUISITIONS, LLC**  
 SECTION 74.07  
 BLOCK 1  
 LOTS 2, 33 & 36  
 518 NYSR 303 AND 13 & 21 MOUNTAINVIEW AVENUE  
 TOWN OF ORANGETOWN  
 ROCKLAND COUNTY  
 NEW YORK

**Colliers Engineering & Design**  
 MONTEVALE  
 50 Chestnut Bridge Road,  
 Suite 101  
 Montvale, NJ 07645  
 Phone: 845.352.0411  
 COLLIER ENGINEERING & DESIGN CT, P.C.  
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 ENGINEERING & LAND SURVEYING

SCALE: AS SHOWN DATE: 11/22/2021 DRAWN BY: DG/CMA CHECKED BY: JBC  
 PROJECT NUMBER: 21003528A DRAWING NAME: C-LAY  
 SHEET TITLE: **OVERALL LAYOUT PLAN**  
 SHEET NUMBER: 3 of 22

NOTE: DO NOT SCALE DRAWINGS FOR CONSTRUCTION.

# PRELIMINARY SITE PLAN FOR WPT ACQUISITIONS, LLC PROPOSED WAREHOUSE SECTION 74.07, BLOCK 1, LOTS 2, 33, & 36 TOWN OF ORANGETOWN ROCKLAND COUNTY NEW YORK

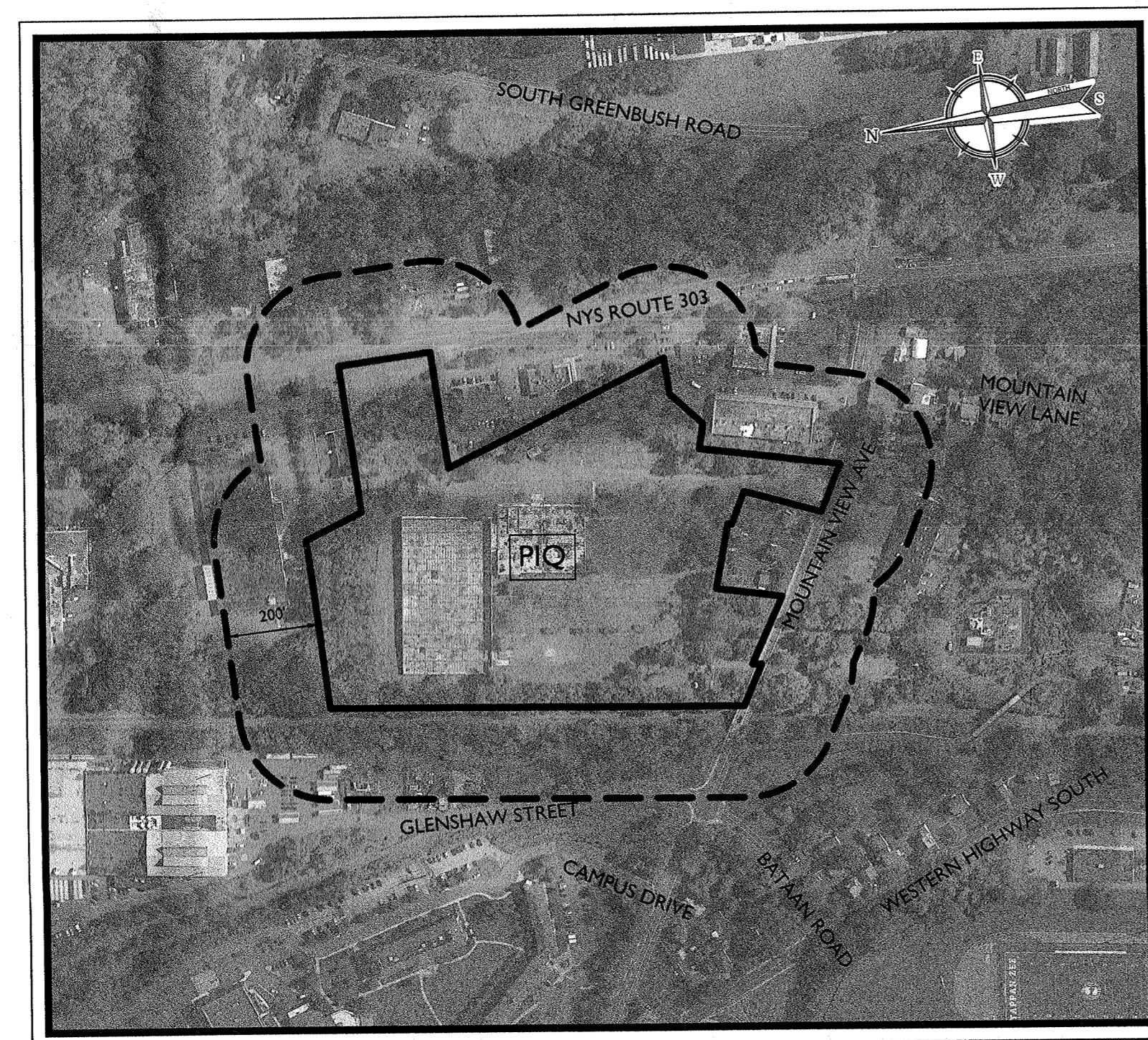


VICINITY MAP

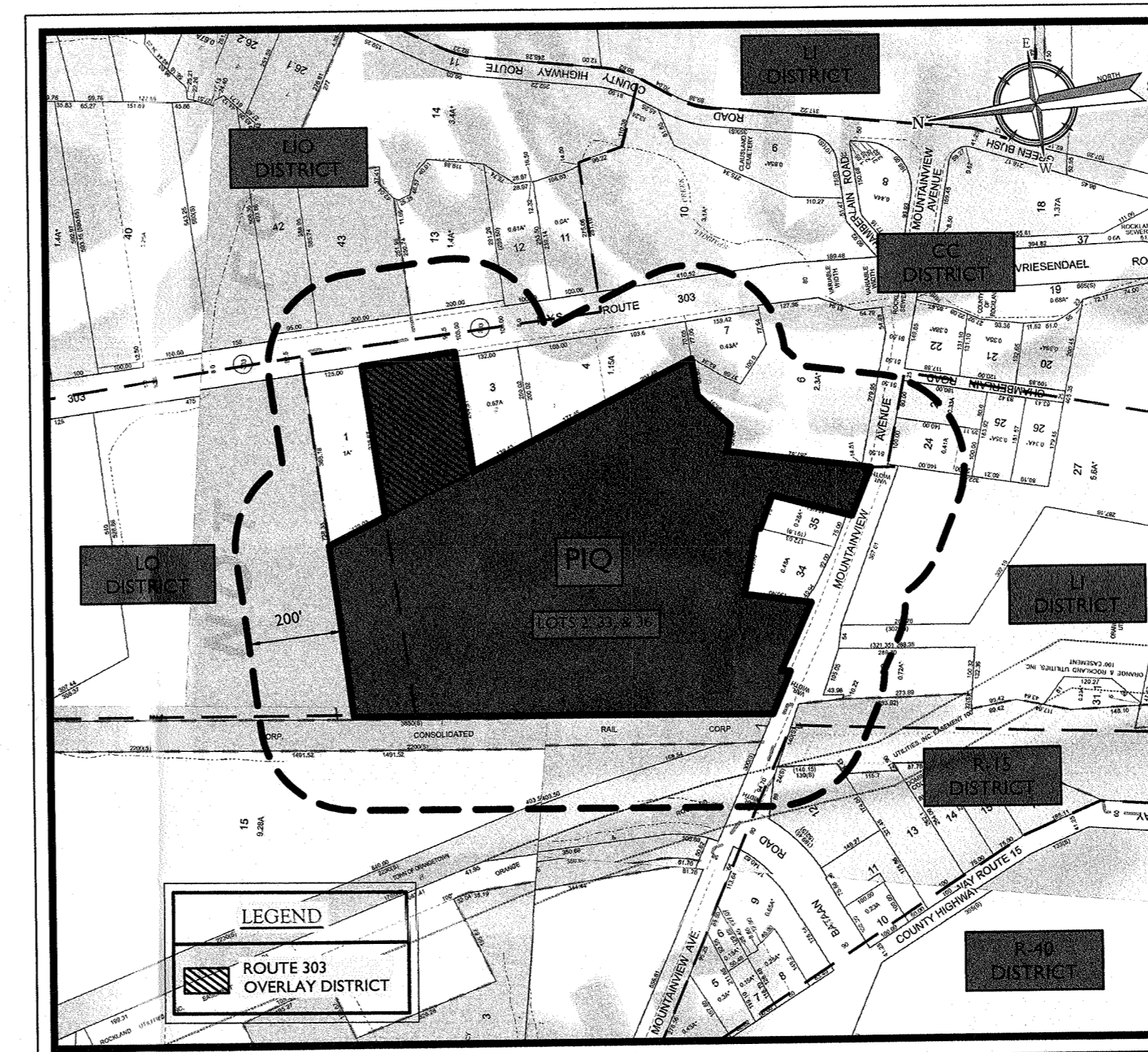
SOURCE: GOOGLE MAPS  
1000 0 1000  
SCALE: 1" = 1000'

**PROPERTY OWNERS WITHIN 200'**

PARCEL ID NO.	OWNER'S NAME/ADDRESS
70.19-1-41	Mark Derfuss 525 Rte 303, Orangetown, NY 10962
70.19-1-42	523 Route 303 Real Estate LLC, 523 Rte 303, Orangetown, NY 10962
70.19-1-43	Brian DiGirolamo, 70 S Greenbush Rd, Orangetown, NY 10962
70.19-1-44	300 North Main LLC, 3 South Post Ln, Airmont, NY 10952
74.06-3-9	Christopher M. Meyers, 30 Mountainview Ave, Orangetown, NY 10962
74.06-3-11	Neil D. Leibesberger, 469 Western Hwy, Orangetown, NY 10962
74.06-3-12	Addolorata Grillo, 21 Batsan Rd, Orangetown, NY 10962
74.06-3-13	James E. McCluskey, 467 Western Hwy, Orangetown, NY 10962
74.07-1-1	LMAM Properties LLC, 45 Wolfe Cir, W. Nyack, NY 10994
74.07-1-2	Eastcoast BLR 1993 LLC, 3 Reuten Dr, Closter, NJ 07624
74.07-1-3	BCR Realty LLC, Robert Sablic, 16 Lark St, Pearl River, NY 10965
74.07-1-4	Classic North Realty LLC, 512 Route 303, Orangetown, NY 10962
74.07-1-6	Town Plaza II LLC, The Azarim Group LLC, 6 Prospect St 2A, Midland Park, NJ 07432
74.07-1-7	Nobin Monuments Inc., 308 Route 303, Orangetown, NY 10962
74.07-1-10	125 Greenbush LLC, 16 Squadron Blvd Ste 106, New City, NY 10956
74.07-1-11	511 Route 303 LLC, 70 S Greenbush Rd, Orangetown, NY 10962
74.07-1-12	Cesare Tullo, 9 Ventnor Ct, Waretown, NJ 08758
74.07-1-13	515 Route 303 LLC, 70 S Greenbush Rd, Orangetown, NY 10962
74.07-1-14	1 S Realty LLC, 70 S Greenbush Rd, Orangetown, NY 10962
74.07-1-32	Mountainview Prop of Rockland LLC, 15 Inwood Dr, Bardonia, NY 10954
74.07-1-33	East Coast BLR 1993 LLC, 3 Reuten Dr, Closter, NJ 07624
74.07-1-34	John Nevins, 17 Mountainview Ave, Orangetown, NY 10962
74.07-1-35	Thomas Finsterwald, 15 Mountainview Ave, Orangetown, NY 10962
74.07-1-36	Eastcoast BLR 1993 LLC, 3 Reuten Dr, Closter, NJ 07624



**AERIAL MAP**  
SOURCE: GOOGLE EARTH  
300 0 300  
SCALE: 1" = 300'



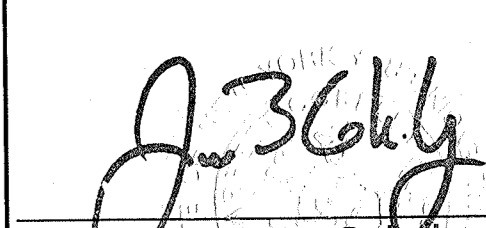
**TAX & ZONING MAP**  
SOURCE: ROCKLAND COUNTY GIS WEBSITE  
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SCALE: 1" = 300'

**INDEX OF SHEETS**

SHT. No.	DESCRIPTION	LATEST REVISION
1	COVER SHEET	
2	DEMOLITION & EXISTING CONDITIONS PLAN	
3	OVERALL LAYOUT PLAN	
4	LAYOUT PLAN - EAST	
5	LAYOUT PLAN - WEST	
6	GRADING & DRAINAGE PLAN - EAST	
7	GRADING & DRAINAGE PLAN - WEST	
8	UTILITIES PLAN - EAST	
9	UTILITIES PLAN - WEST	
10	LANDSCAPE PLAN - EAST	
11	LANDSCAPE PLAN - WEST	
12	LIGHTING PLAN - EAST	
13	LIGHTING PLAN - WEST	
14	PHASE I SOIL EROSION & SEDIMENT CONTROL PLAN	
15	PHASE II SOIL EROSION & SEDIMENT CONTROL PLAN	
16	PHASE III SOIL EROSION & SEDIMENT CONTROL PLAN	
17	CONSTRUCTION DETAILS	
18	CONSTRUCTION DETAILS	
19	CONSTRUCTION DETAILS	
20	CONSTRUCTION DETAILS	
21	CONSTRUCTION DETAILS	
22	CONSTRUCTION DETAILS	

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REV	DATE	DESCRIPTION

  
**Jesse Barrett Corkey**  
 NEW YORK LICENSED PROFESSIONAL ENGINEER  
 LICENSE NUMBER: 990987-1  
 COLLIERS ENGINEERING & DESIGN CT, P.C.  
 RECEIVED  
 NOV 23 2021  
 TOWN OF ORANGETOWN  
 LAND DEPARTMENT

**PRELIMINARY SITE PLAN  
FOR  
WPT ACQUISITIONS, LLC  
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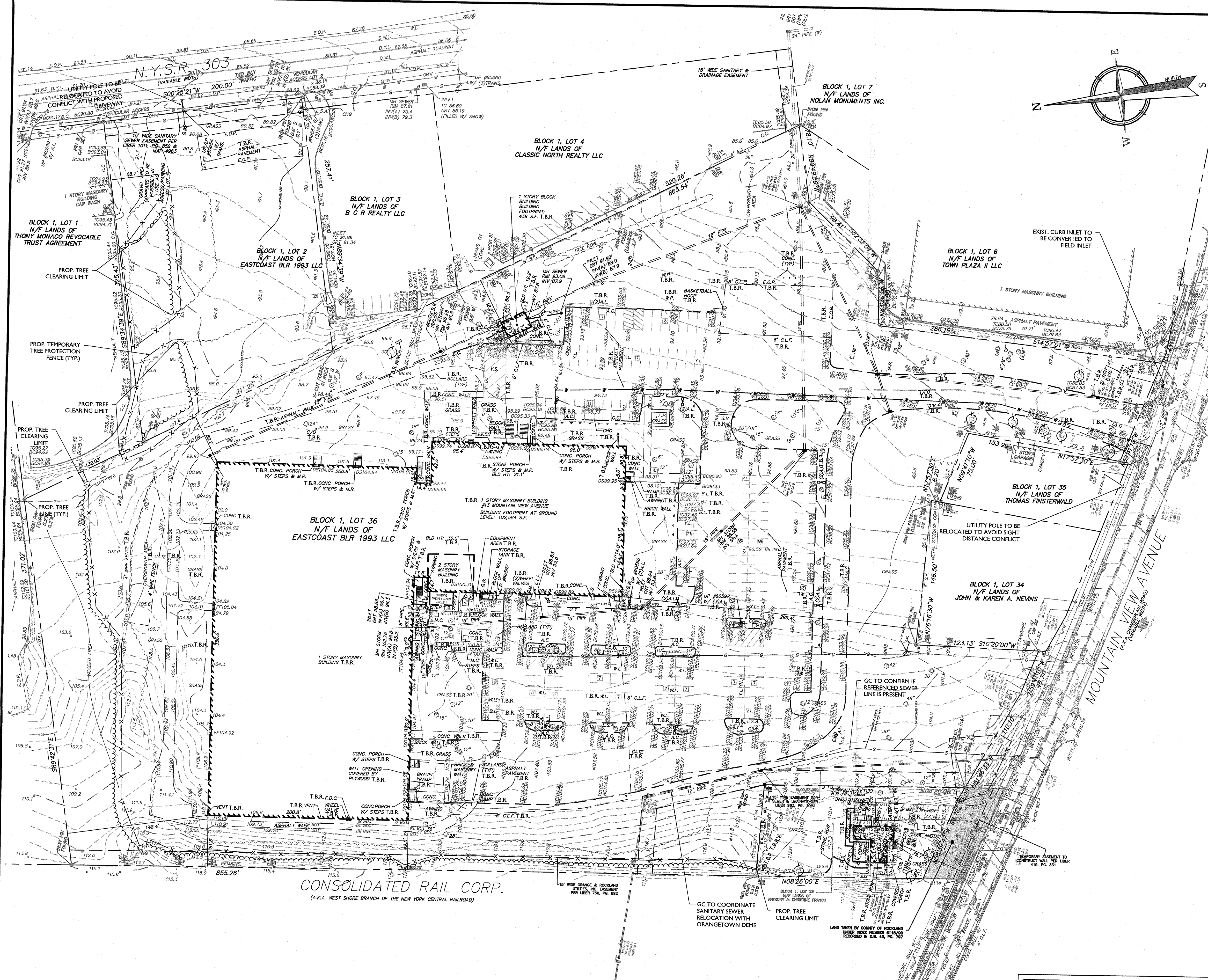
**Colliers**  
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Phone: 845.352.0411  
COLLIERS ENGINEERING & DESIGN CT, P.C.  
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SCALE: AS SHOWN	DATE: 11/22/2021	DRAWN BY: DGC/MMA	CHECKED BY: JBC
PROJECT NUMBER: 21003528A	DATE:	DRAWING NAME: C-COVER	
SHEET TITLE: <b>COVER SHEET</b>			
SHEET NUMBER: <b>1 of 22</b>			

**PREPARED BY:**  
**COLLIERS ENGINEERING & DESIGN, CT, P.C.**  
**50 CHESTNUT RIDGE ROAD, SUITE 101**  
**MONTVALE, NJ 07645**

I HEREBY CERTIFY THAT I AM THE OWNER OF RECORD OF THE SITE HEREIN DEPICTED AND THAT I CONCUR WITH THE SUBMISSION.	
OWNER: _____	DATE: _____
APPROVED BY THE PLANNING BOARD OF THE TOWN OF ORANGETOWN AT THE REGULAR MEETING OF _____ DATE: _____	
CHAIRMAN: _____	DATE: _____
SECRETARY: _____	DATE: _____
ENGINEER: _____	DATE: _____

NOTE: DO NOT SCALE DRAWINGS FOR CONSTRUCTION.



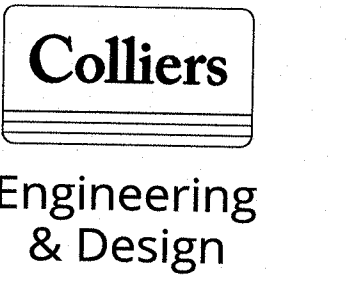
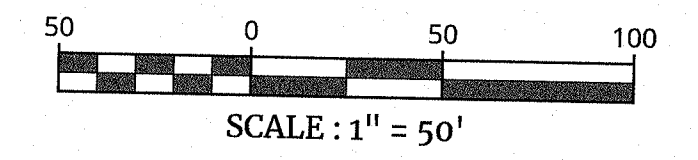
### DEMOLITION NOTES:

- THIS PLAN REFERENCES THE FOLLOWING DOCUMENTS AND INFORMATION:
  - BOUNDARY AND TOPOGRAPHIC SURVEY FOR LOTS 2, 3, & 36, BLOCK 1, SECTION 74.07, PREPARED BY GALLAS SURVEYING GROUP, DATED 12/28/20, LAST REVISED 1/20/21.
  - REPORT OF PRELIMINARY GEOTECHNICAL INVESTIGATION FOR PROPOSED WAREHOUSE DISTRIBUTION FACILITY, PREPARED BY DYNAMIC EARTH, DATED 11/19/20.
- CONTRACTOR SHALL PERFORM ALL WORK IN ACCORDANCE WITH THE REQUIREMENTS OF THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970, (29 U.S.C. 651 et seq.) AND THE NEW YORK PROTECTION OF UNDERGROUND FACILITIES ACT (DIG SAFE LAW, 16 NYCRR PART 753) AS AMENDED.
- THE DEMOLITION PLAN IS INTENDED TO PROVIDE GENERAL INFORMATION REGARDING ITEMS TO BE DEMOLISHED AND/OR REMOVED. THE CONTRACTOR SHALL ALSO REVIEW THE OTHER SITE PLAN DRAWINGS AND INCLUDE IN DEMOLITION ACTIVITIES ALL INCIDENTAL WORK NECESSARY FOR THE CONSTRUCTION OF THE NEW SITE IMPROVEMENTS.
- ALL DEMOLITION ACTIVITIES ARE TO BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THESE PLANS AND SPECIFICATIONS AND ALL APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS, ANY QUESTIONS CONCERNING THE ACCURACY OR INTENT OF THESE PLANS OR SPECIFICATIONS, CONCERNS REGARDING THE APPLICABLE SAFETY STANDARDS OR THE SAFETY OF THE CONTRACTOR OR THIRD PARTIES IN PERFORMING THE WORK OF THIS PROJECT SHALL BE RAISED WITH ENGINEER, IN WRITING AND RESPONDED TO BY ENGINEER, PRIOR TO THE INITIATION OF ANY SITE ACTIVITY.
  - PRIOR TO STARTING ANY DEMOLITION, CONTRACTOR IS RESPONSIBLE FOR TO:
    - OBTAINING ALL REQUIRED PERMITS AND MAINTAINING THE SAME ON SITE FOR REVIEW BY THE ENGINEER AND OTHER PUBLIC AGENCIES HAVING JURISDICTION.
    - NOTIFYING AT A MINIMUM, THE MUNICIPAL ENGINEER, DESIGN ENGINEER, AND LOCAL DEPARTMENT OF PUBLIC WORKS, 72 HOURS PRIOR TO START OF WORK.
    - INSTALLING THE REQUIRED SOIL EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO SITE DISTURBANCE.
    - IN ACCORDANCE WITH STATE LAW, THE CONTRACTOR SHALL BE REQUIRED TO CALL THE BOARD OF PUBLIC UTILITIES ONE CALL DAMAGE PROTECTION SYSTEM FOR UTILITY MARK OUT IN ADVANCE OF ANY EXCAVATION.
    - LOCATING AND PROTECTING ALL UTILITIES AND SERVICES, INCLUDING BUT NOT LIMITED TO GAS, WATER, ELECTRIC, SANITARY AND STORM SEWER, TELEPHONE, CABLE, FIBER OPTIC CABLE, ETC. WITHIN AND ADJACENT TO THE LIMITS OF NOTIFICATION SYSTEM TO LOCATE ALL THE UNDERGROUND UTILITIES.
    - PROTECTING AND MAINTAINING IN OPERATION, ALL ACTIVE UTILITIES AND SYSTEMS THAT ARE NOT BEING REMOVED DURING ALL DEMOLITION ACTIVITIES.
    - ARRANGING FOR AND COORDINATING WITH THE APPLICABLE UTILITY SERVICE PROVIDER(S) FOR THE TEMPORARY OR PERMANENT TERMINATION OF SERVICE REQUIRED BY THE PROJECT PLANS AND SPECIFICATIONS, THE CONTRACTOR SHALL PROVIDE THE UTILITY ENGINEER AND OWNER WRITTEN NOTIFICATION THAT THE EXISTING UTILITIES AND SERVICES HAVE BEEN TERMINATED AND ABANDONED IN ACCORDANCE WITH JURISDICTIONAL AND UTILITY COMPANY REQUIREMENTS.
    - COORDINATION WITH UTILITY COMPANIES REGARDING WORKING "OFF-PEAK" HOURS OR ON WEEKENDS AS MAY BE REQUIRED TO MINIMIZE THE IMPACT ON THE AFFECTED PARTIES. WORK REQUIRED TO BE DONE "OFF-PEAK" SHALL BE DONE AT NO ADDITIONAL COST TO THE OWNER.
  - IN THE EVENT THE CONTRACTOR DISCOVERS ANY HAZARDOUS MATERIAL, THE REMOVAL OF WHICH IS NOT ADDRESSED IN THE PROJECT PLANS AND SPECIFICATIONS, THE CONTRACTOR SHALL IMMEDIATELY CEASE ALL WORK AND NOTIFY THE OWNER AND ENGINEER OF THE DISCOVERY OF SUCH MATERIALS.
  - THE FIRM OR ENGINEER OF RECORD IS NOT RESPONSIBLE FOR JOB SITE SAFETY OR SUPERVISION. CONTRACTOR IS TO PROCEED WITH THE DEMOLITION IN A SYSTEMATIC AND SAFE MANNER, FOLLOWING ALL THE OSHA REQUIREMENTS TO ENSURE PUBLIC AND CONTRACTOR SAFETY.
  - THE CONTRACTOR SHALL PROVIDE ALL THE "MEANS AND METHODS" NECESSARY TO PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF EXISTING STRUCTURES, AND ANY OTHER IMPROVEMENTS THAT ARE REMAINING ON OR OFF SITE. THE CONTRACTOR IS RESPONSIBLE FOR ALL REPAIRS OF DAMAGE TO ALL ITEMS THAT ARE TO REMAIN. ALL REPAIRS SHALL BE PERFORMED AT THE CONTRACTOR'S SOLE EXPENSE.
  - THE CONTRACTOR SHALL NOT PERFORM ANY EARTH MOVEMENT ACTIVITIES, DEMOLITION OR REMOVAL OF FOUNDATION WALLS, FOOTINGS, OR OTHER MATERIALS WITHIN THE LIMITS OF DISTURBANCE UNLESS IT IS IN STRICT ACCORDANCE WITH THE PROJECT PLANS AND SPECIFICATIONS, AND/OR UNDER THE WRITTEN DIRECTION OF THE OWNER'S STRUCTURAL OR GEOTECHNICAL ENGINEER.
  - CONTRACTOR SHALL BACKFILL ALL EXCAVATION RESULTING FROM, OR INCIDENTAL TO, DEMOLITION ACTIVITIES. BACKFILL SHALL BE ACCOMPLISHED WITH APPROVED BACKFILL MATERIALS, AND SHALL BE SUFFICIENTLY COMPACTED TO SUPPORT NEW IMPROVEMENTS AND IN COMPLIANCE WITH THE RECOMMENDATIONS IN THE GEOTECHNICAL REPORT. BACKFILLING SHALL OCCUR IMMEDIATELY AFTER DEMOLITION ACTIVITIES, AND SHALL BE DONE SO AS TO PREVENT WATER ENTERING THE EXCAVATION. FINISHED SURFACES SHALL BE GRADED TO PROMOTE POSITIVE DRAINAGE.
  - EXPLOSIVES SHALL NOT BE USED WITHOUT PRIOR WRITTEN CONSENT OF BOTH THE OWNER AND ALL APPLICABLE GOVERNMENTAL AUTHORITIES. ALL THE REQUIRED PERMITS AND CONTROL MEASURES THAT ARE REQUIRED BY THE FEDERAL, STATE AND LOCAL GOVERNMENTS SHALL BE IN PLACE PRIOR TO STARTING AN EXPLOSIVE PROGRAM. THE CONTRACTOR IS ALSO RESPONSIBLE FOR ALL INSPECTION AND SEISMIC VIBRATION TESTING THAT IS REQUIRED TO MONITOR THE EFFECTS ON ALL LOCAL STRUCTURES.
  - CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL AND GENERALLY ACCEPTED SAFE PRACTICES IN CONFORMANCE WITH THE CURRENT FHWA "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), AS WELL AS FEDERAL, STATE AND LOCAL REGULATIONS WHEN DEMOLITION RELATED ACTIVITIES IMPACT ROADWAYS OR ROADWAY RIGHT-OF-WAY.
  - CONTRACTOR SHALL CONDUCT DEMOLITION ACTIVITIES IN SUCH A MANNER TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, SIDEWALKS, WALKWAYS, AND OTHER ADJACENT FACILITIES. ALL NECESSARY PERMITS MUST BE RECEIVED FROM THE APPROPRIATE GOVERNMENTAL AUTHORITY PRIOR TO THE COMMENCEMENT OF ANY ROAD OPENING OR DEMOLITION ACTIVITIES IN OR ADJACENT TO THE RIGHT-OF-WAY.
  - DEMOLITION ACTIVITIES AND EQUIPMENT SHALL NOT USE AREAS OUTSIDE THE DEFINED PROJECT LIMIT LINE, WITHOUT WRITTEN PERMISSION OF THE OWNER AND ALL GOVERNMENTAL AGENCIES HAVING JURISDICTION.
  - CONTRACTOR SHALL USE DUST CONTROL MEASURES TO LIMIT AIRBORNE DUST AND DIRT RISING AND SCATTERING IN THE AIR IN ACCORDANCE WITH FEDERAL, STATE, AND/OR LOCAL STANDARDS. AFTER THE DEMOLITION IS COMPLETE, ADJACENT STRUCTURES AND IMPROVEMENTS SHALL BE CLEANED OF ALL DUST AND DEBRIS CAUSED BY THE DEMOLITION OPERATIONS. THE CONTRACTOR IS RESPONSIBLE FOR RETURNING ALL ADJACENT AREAS TO THEIR "PRE-DEMOLITION" CONDITION.
  - CONTRACTOR IS RESPONSIBLE TO SAFEGUARD SITE AS NECESSARY TO PERFORM THE DEMOLITION IN SUCH A MANNER AS TO PREVENT THE ENTRY OF UNAUTHORIZED PERSONS AT ANY TIME.
  - CONTRACTOR IS RESPONSIBLE FOR SITE JOB SAFETY, WHICH SHALL INCLUDE BUT NOT LIMITED TO THE INSTALLATION AND MAINTENANCE OF BARRIERS, FENCING AND OTHER APPROPRIATE SAFETY ITEMS NECESSARY TO PROTECT THE PUBLIC FROM AREAS OF CONSTRUCTION AND CONSTRUCTION ACTIVITY.
  - THIS DEMOLITION PLAN IS INTENDED TO IDENTIFY THOSE EXISTING ITEMS/CONDITIONS WHICH ARE TO BE REMOVED. IT IS NOT INTENDED TO PROVIDE DIRECTION AS TO THE MEANS AND METHODS TO BE USED TO ACCOMPLISH THAT WORK. ALL MEANS AND METHODS UTILIZED ARE TO BE IN STRICT ACCORDANCE WITH ALL STATE, FEDERAL, LOCAL, AND JURISDICTIONAL REQUIREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH ALL OSHA AND OTHER SAFETY PRECAUTIONS NECESSARY TO PROVIDE A SAFE WORK SITE.
  - DEBRIS SHALL NOT BE BURIED ON THE SUBJECT SITE. ALL DEMOLITION WASTES AND DEBRIS (SOLID WASTE) SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL MUNICIPAL, COUNTY, STATE, AND FEDERAL LAWS AND APPLICABLE CODES. THE CONTRACTOR SHALL MAINTAIN RECORDS TO DEMONSTRATE PROPER DISPOSAL ACTIVITIES, TO BE PROVIDED TO THE OWNER UPON REQUEST.
  - CONTRACTOR SHALL MAINTAIN A RECORD SET OF PLANS UPON WHICH IS INDICATED THE LOCATION OF EXISTING UTILITIES THAT ARE CAPPED, ABANDONED IN PLACE, OR RELOCATED DUE TO DEMOLITION ACTIVITIES. THIS RECORD DOCUMENT SHALL BE PREPARED IN A NEAT AND WORKMAN-LIKE MANNER, AND TURNED OVER TO THE OWNER/DEVELOPER UPON COMPLETION OF THE WORK.
  - GC IS RESPONSIBLE FOR TAKING THE APPROPRIATE MEASURES TO ENSURE THE STRUCTURAL STABILITY OF SIDEWALKS, PAVEMENT, DRAINAGE STRUCTURES, ETC. WHICH ARE TO REMAIN. GC WILL BE RESPONSIBLE FOR REPAIRING DAMAGE DONE TO THE AFOREMENTIONED ITEMS. THE REPAIR SHALL RESTORE SUCH TO A CONDITION EQUIVALENT TO OR BETTER THAN THE EXISTING CONDITIONS AND IN ACCORDANCE WITH ALL APPLICABLE CODES.
  - ALL UTILITIES, INCLUDING ELECTRIC AND TELEPHONE SERVICE, SHALL BE INSTALLED UNDERGROUND.
  - THIS PLAN DOES NOT CONFLICT WITH THE COUNTY OFFICIAL MAP AND HAS BEEN APPROVED IN THE MANNER SPECIFIED BY SECTION 239.6AM OF THE GENERAL MUNICIPAL LAW OF THE STATE OF NEW YORK.

### LEGEND

- = ITEMS TO BE REMOVED
- X- = TEMPORARY TREE PROTECTION FENCE
- ~~~~~ = PROPOSED TREE LINE
- - - = ITEMS TO REMAIN
- T.B.R. = TO BE REMOVED
- A.C. = ASPHALT CURB
- D.W.L. = DASHED WHITE LINE
- Y.W.L. = DASHED YELLOW LINE
- L.S.A. = LANDSCAPED AREA
- B.L. = BLUE LINE
- A.L. = AREA LIGHT
- E.O.P. = EDGE OF PAVEMENT

WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, SOIL SHALL NOT BE EXPOSED MORE THAN SEVEN (7) DAYS. CONTRACTOR SHALL INITIATE STABILIZATION MEASURES IN ACCORDANCE WITH THE SOIL EROSION & SEDIMENT CONTROL PLAN



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NO.	DATE	REV.	DESCRIPTION

*Jesse Barrett*  
**Jesse Barrett Cokerley**  
 NEW YORK LICENSED PROFESSIONAL ENGINEER  
 LICENSE NUMBER: 090987-2  
 COLLIERS ENGINEERING & DESIGN CT, P.C.  
 N.Y. C.O.A.#: 0017609

### PRELIMINARY SITE PLAN

FOR  
**WPT ACQUISITIONS, LLC**  
 SECTION 74.07  
 BLOCK 1  
 LOTS 2, 33 & 36

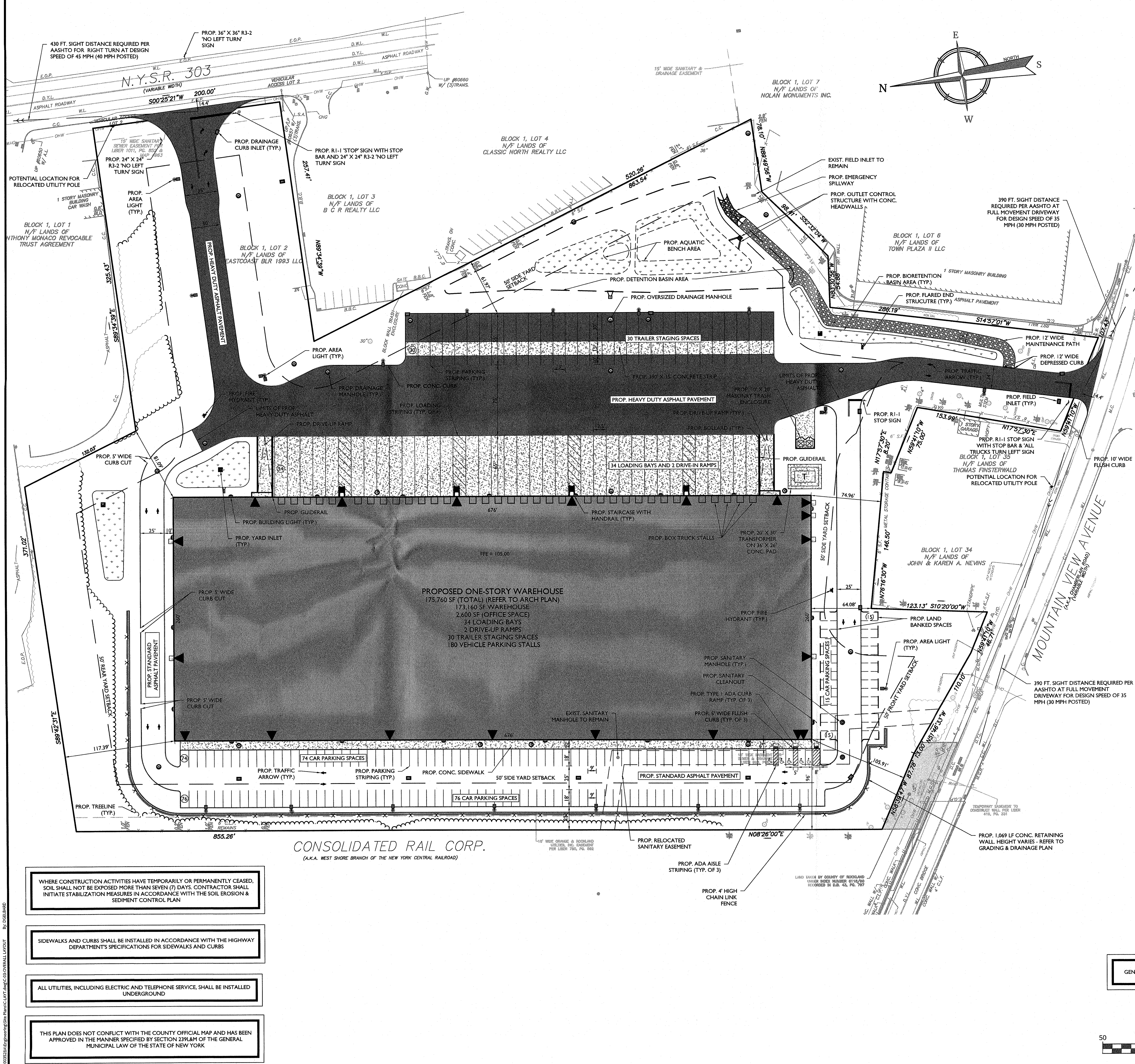
518 NYSR 303 AND 13 & 21  
 MOUNTAINVIEW AVENUE

TOWN OF ORANGETOWN  
 ROCKLAND COUNTY  
 NEW YORK

Colliers Engineering & Design  
 MONTVALE  
 50 Chestnut Ridge Road,  
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 Phone: 845.352.0411  
COLLIERS ENGINEERING & DESIGN CT, P.C. DOING BUSINESS AS MASER CONSULTING ENGINEERING & LAND SURVEYING

SCALE:	DATE:	DRAWN BY:	CHECKED BY:
AS SHOWN	11/22/2021	DG/CMA	JBC
PROJECT NUMBER:	21003528A	DRAWINGS NAME:	C-DEMO

### DEMOLITION & EXISTING CONDITIONS PLAN



**ZONING TABLE**

**TABLE OF BULK REQUIREMENTS  
ZONE: LI (LIGHT INDUSTRIAL) DISTRICT**

ITEM	REQUIRED	EXISTING	PROVIDED	COMPLIES
MIN. LOT AREA	2 ACRES	4601,333.76 SF (13.80 ACRES)	4601,333.76 SF (13.80 ACRES)	YES
MAX. F.A.R.	0.5	0.17	0.29	YES
MAX. LOT COVERAGE	80%	445,77% (275,202.76 SF)	463,76% (4383,328 SF)*	YES
MIN. LOT WIDTH	150'	522.6 SF	522.6 SF	YES
MIN. STREET FRONTAGE	150'	565.02'	565.02'	YES
REQUIRED FRONT YARD	50'	395.8'	105.91'	YES
REQUIRED SIDE YARD	50'	50.7'	64.08'	YES
TOTAL SIDE YARD	100'	> 100'	145.17'	YES
REQUIRED REAR YARD	50'	142.3'	117.39'	YES
MAX. BUILDING HEIGHT**	4' PER FOOT OF DISTANCE FROM LOT LINE*** (52.96')	< 50'	43' - 3 3/4'	YES

\* LOT COVERAGE ASSUMING LAND BANKED SPACES ARE NEVER CONSTRUCTED = 462,95% (4378,425.88 SF)  
 \*\* BUILDING HEIGHT: THE VERTICAL DISTANCE MEASURED FROM THE AVERAGE ELEVATION OF THE PROPOSED FINISHED GRADE ALONG THE WALL OF A BUILDING, OR ADJACENT TO THE SIDE OF A NONBUILDING USE, TO THE HIGHEST POINT OF THE ROOF OR PARAPET FOR FLAT ROOFS OR SHED ROOFS, TO THE DECK LINE FOR MANSARD ROOFS, AND TO THE MEAN BETWEEN EAVES AND RIDGE FOR GABLE, HIP AND GAMBREL ROOFS OF SUCH BUILDING, OR NONBUILDING USE, EXCEPT AS SPECIFICALLY EXEMPTED IN § 5.23  
 \*\*\* PER CHAPTER 43 ATTACHMENT 18, NOTE #7 STATES THAT REQUIRED FRONT YARD AND MAXIMUM BUILDING HEIGHT ARE SUBJECT TO § 5.11 WHERE THE DESIGNATED STREET LINE CAN BE USED AS A LOT LINE. IN THIS INSTANCE THE DESIGNATED STREET LINE IS THE LOT LINE BORDERING MOUNTAIN VIEW AVENUE (105.91' FROM PROPOSED BUILDING)

**PARKING AND LOADING**

**PARKING:**  
 A. WAREHOUSE USES SHALL PROVIDE ONE (1) PARKING SPACE FOR EVERY TWO (2) EMPLOYEES, OR ONE (1) PARKING SPACE PER 300 SQUARE FEET OF GROSS FLOOR AREA (\$43-3.1)  
 REQUIRED: 1 EMPLOYEE PER 1,500 SF = (175,760 SF) / (1,500 SF) = 117 EMPLOYEES = 117 EMPLOYEES / 2 = 58 SPACES REQUIRED  
 PROVIDED: 145 STANDARD SPACES  
 5 HANDICAP SPACES  
 30 LAND BANKED SPACES  
 180 TOTAL PARKING SPACES

**LOADING:**  
 A. LOADING BERTHS SHALL BE AT LEAST 12 FEET WIDE AND 45 FEET LONG, WITH A CLEAR HEIGHT OF 15 FEET (\$43-6.42)  
 B. FOR MANUFACTURING, WHOLESALE AND STORAGE USES AND FOR DRY-CLEANING AND RUG-CLEANING ESTABLISHMENTS AND LAUNDRIES ONE LOADING BERTH SHALL BE PROVIDED FOR EACH 10,000 SQUARE FEET OF FLOOR AREA OR LESS AND ONE ADDITIONAL BERTH FOR EACH ADDITIONAL 20,000 SQUARE FEET OF FLOOR AREA, OR MAJOR FRACTION THEREOF, SO USED. (\$43-6.41.f)  
 1 + (165,760 SF) / (10,000 SF) = 10 SPACES REQUIRED  
 36 SPACES PROVIDED (INCLUDES 2 DRIVE-UP RAMPS, COMPLIES)

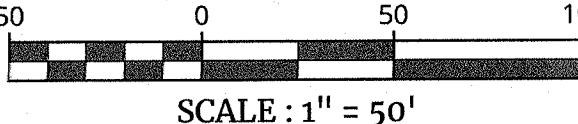
**DISTRICTS**

ZONE DISTRICT: LI ZONE  
 SCHOOL DISTRICT: SOUTH ORANGETOWN  
 CENTRAL SCHOOL DISTRICT  
 WATER DISTRICT: SUEZ WATER  
 SEWER DISTRICT: ORANGETOWN  
 FIRE DISTRICT: BLAUVLET

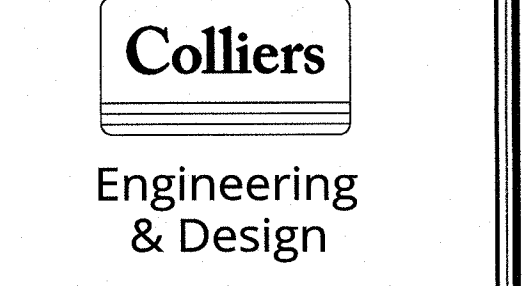
**LEGEND**

<b>EXISTING</b>	<b>PROPOSED</b>
- - - - -	TRaverse LINE, CENTER LINE OR BASELINE (Labeled AS SUCH)
- - - - -	RIGHT OF WAY LINE
- - - - -	PROPERTY LINE
- - - - -	EDGE OF PAVEMENT
FACE	FACE
BACK	BACK
- - - - -	DEPRESSED CURB
- - - - -	SIDEWALK
- - - - -	FENCES
- - - - -	TREELINE
- - - - -	ROADWAY SIGNS
- - - - -	STALL COUNT
- - - - -	ADA ACCESSIBLE STALL
- - - - -	DEPRESSED CURB AND ADA RAMP
- - - - -	DIRECTION OF TRAFFIC FLOW
- - - - -	DOOR LOCATION

GENERAL NOTES SHOWN ON SHEET 4



- WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, SOIL SHALL NOT BE EXPOSED MORE THAN SEVEN (7) DAYS. CONTRACTOR SHALL INITIATE STABILIZATION MEASURES IN ACCORDANCE WITH THE SOIL EROSION & SEDIMENT CONTROL PLAN
- SIDEWALKS AND CURBS SHALL BE INSTALLED IN ACCORDANCE WITH THE HIGHWAY DEPARTMENT'S SPECIFICATIONS FOR SIDEWALKS AND CURBS
- ALL UTILITIES, INCLUDING ELECTRIC AND TELEPHONE SERVICE, SHALL BE INSTALLED UNDERGROUND
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REV	DATE	DESCRIPTION

Jesse Barrett Coleley  
 NEW YORK LICENSED PROFESSIONAL ENGINEER  
 LICENSE NUMBER: 090987-1  
 COLLIER'S ENGINEERING & DESIGN CT, P.C.  
 N.Y. C.O.A.#: 0017609

**PRELIMINARY SITE PLAN**  
 FOR  
**WPT ACQUISITIONS, LLC**  
 SECTION 74.07  
 BLOCK 1  
 LOTS 2, 33 & 36  
 518 NYSR 303 AND 13 & 21 MOUNTAINVIEW AVENUE  
 TOWN OF ORANGETOWN  
 ROCKLAND COUNTY  
 NEW YORK  
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 SCALE DATE DRAWN BY CHECKED BY  
 AS SHOWN 11/22/2021 DGC/MA JBC  
 PROJECT NUMBER: 21005528A DRAWING NAME: C-LAY17  
 SHEET TITLE:  
**OVERALL LAYOUT PLAN**  
 SHEET NUMBER:  
 3 of 22  
 NOTE: DO NOT SCALE DRAWINGS FOR CONSTRUCTION



REV	DATE	DESCRIPTION

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Jesse Barrett Cokerley  
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N.Y. C.O.A.#: 0017609

PRELIMINARY SITE PLAN  
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LLC  
SECTION 74.07  
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LOTS 2, 33 & 36  
518 NYSR 303 AND 13 & 21  
MOUNTAINVIEW AVENUE  
TOWN OF ORANGETOWN  
ROCKLAND COUNTY  
NEW YORK

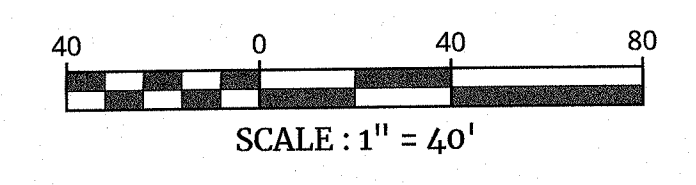
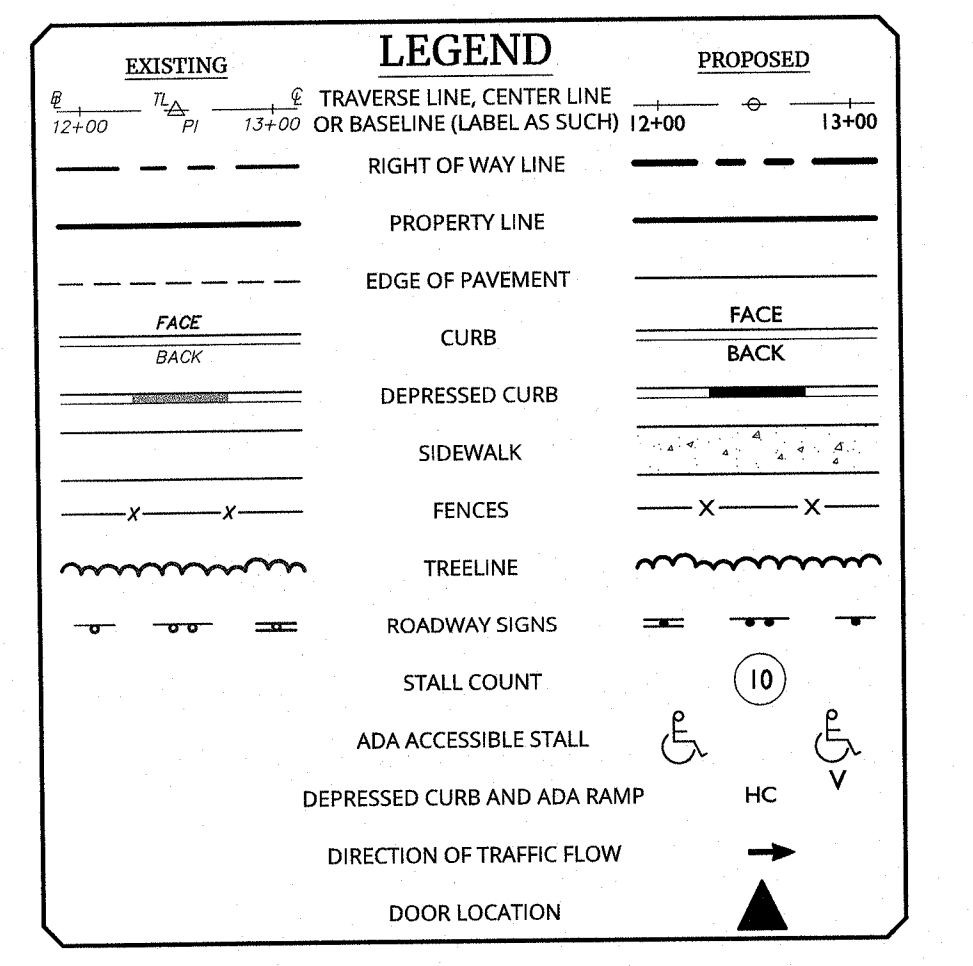
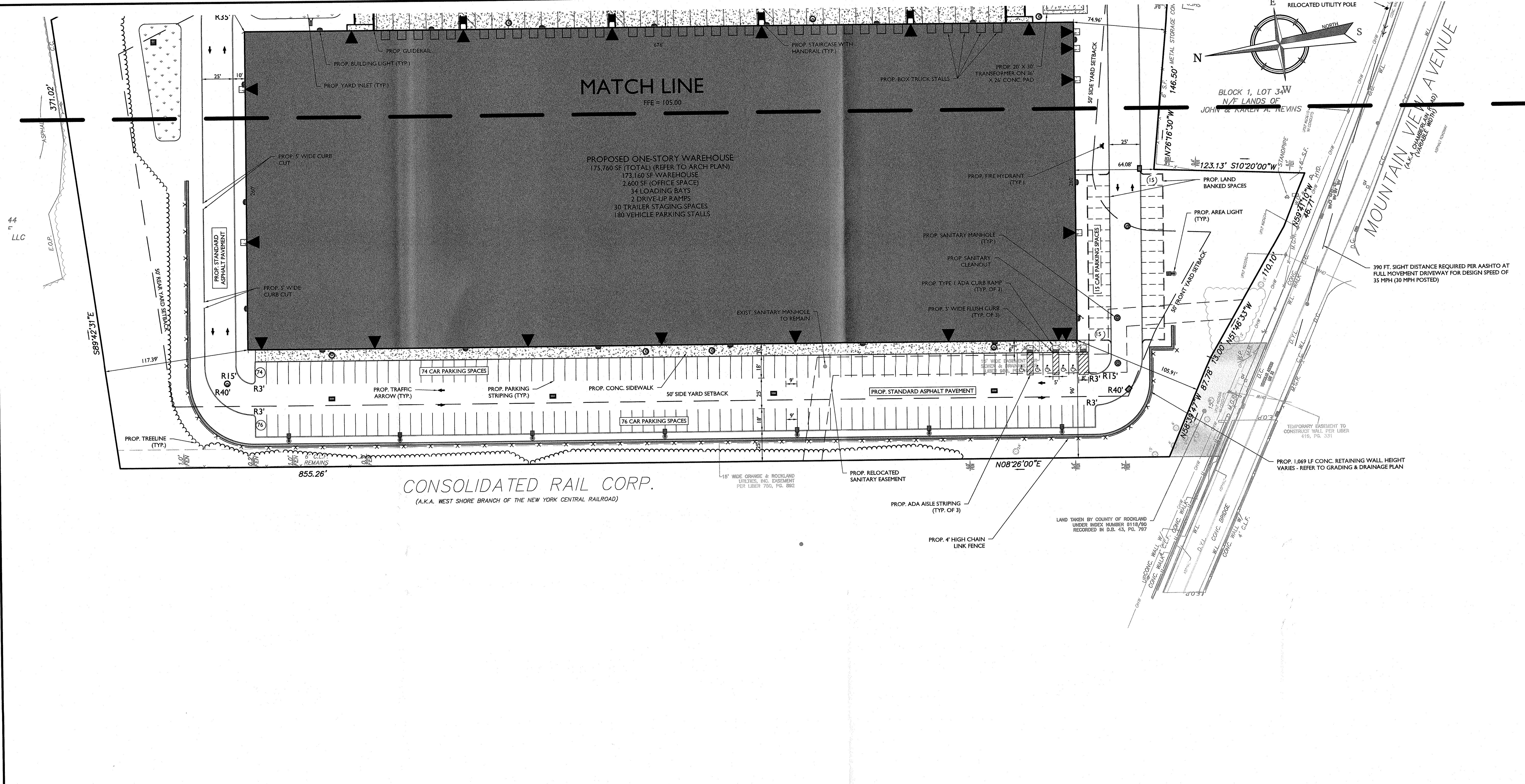
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SCALE: AS SHOWN	DATE: 11/22/2021	DRAWN BY: DGC/MA	CHECKED BY: JBC
PROJECT NUMBER: 21003528A	DRAWING NAME: C-LAY1		

SHEET TITLE:  
LAYOUT PLAN - WEST

SHEET NUMBER:  
5 of 22

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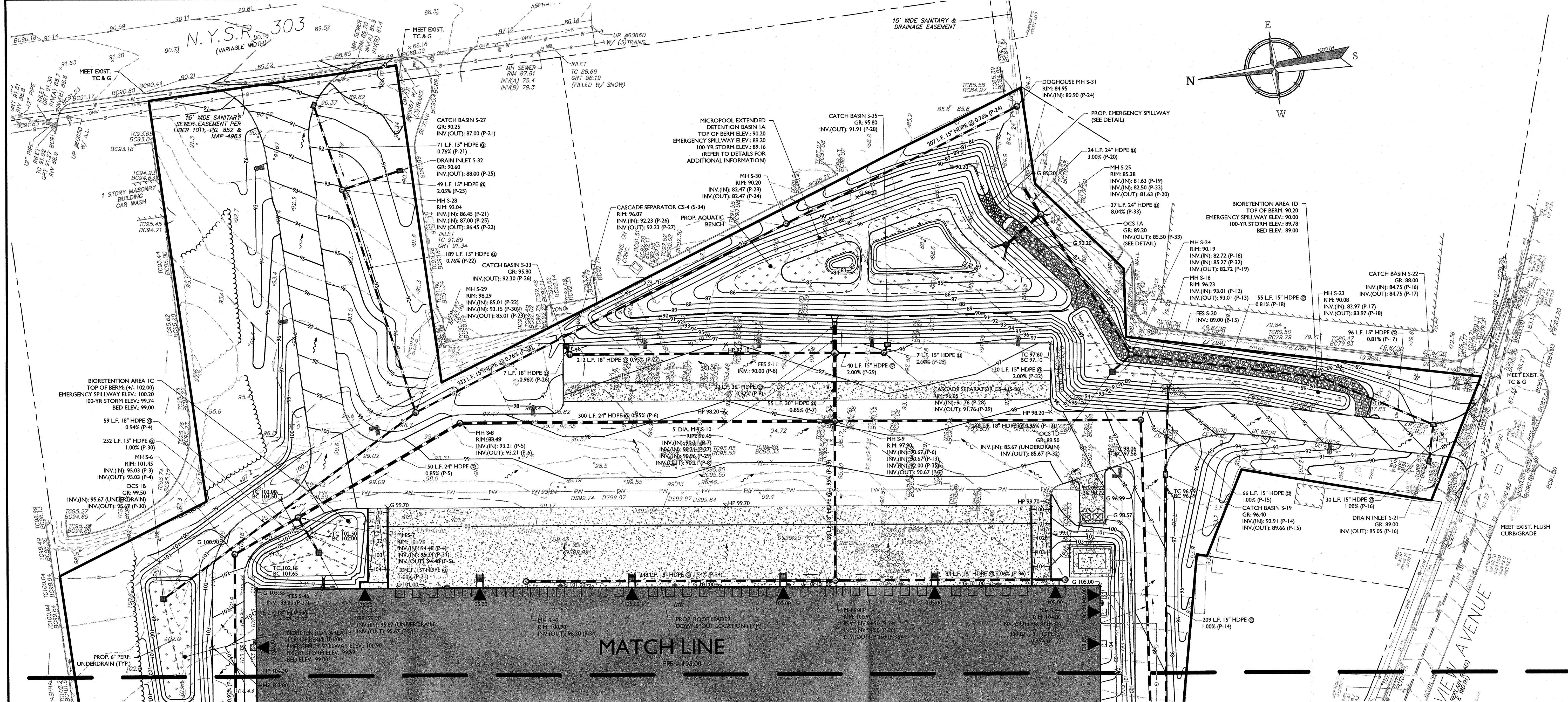
SIDEWALKS AND CURBS SHALL BE INSTALLED IN ACCORDANCE WITH THE HIGHWAY DEPARTMENT'S SPECIFICATIONS FOR SIDEWALKS AND CURBS

WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, SOIL SHALL NOT BE EXPOSED MORE THAN SEVEN (7) DAYS. CONTRACTOR SHALL INITIATE STABILIZATION MEASURES IN ACCORDANCE WITH THE SOIL EROSION & SEDIMENT CONTROL PLAN

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REV	DATE	DESCRIPTION

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Jesse Barrett Cokeley  
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N.Y. C.O.# 0017609

**ADA NOTES TO CONTRACTOR**

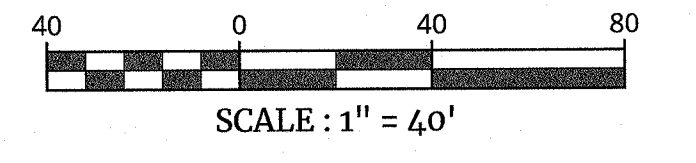
- NOTES:**
- CONTRACTOR MUST EXERCISE APPROPRIATE CARE AND PRECISION IN CONSTRUCTION OF ADA (HANDICAPPED) ACCESSIBLE COMPONENTS FOR THE SITE/PROJECT. THESE COMPONENTS, AS CONSTRUCTED, MUST COMPLY WITH THE LATEST FEDERAL ADA STANDARDS FOR ACCESSIBLE DESIGN, AND CONSTRUCTION WITHIN THE PUBLIC RIGHT-OF-WAY MUST COMPLY WITH THE LATEST FEDERAL PROPOSED "ACCESSIBILITY GUIDELINES FOR PEDESTRIAN FACILITIES IN THE PUBLIC RIGHT-OF-WAY" (PROWAG).
  - FINISHED SURFACES ALONG THE ACCESSIBLE ROUTE OF TRAVEL FROM PARKING SPACE, PUBLIC TRANSPORTATION, PEDESTRIAN ACCESS, INTER-BUILDING ACCESS, TO POINTS OF ACCESSIBLE BUILDING ENTRANCE/EGRESS, MUST COMPLY WITH THESE ADA CODE REQUIREMENTS AND ANY SUPPLEMENTAL STATE REQUIREMENTS. THESE INCLUDE, BUT ARE NOT LIMITED TO THE FOLLOWING: (NOTE: THIS LIST IS NOT INTENDED TO CAPTURE EVERY APPLICABLE FEDERAL, STATE AND LOCAL RULE AND REGULATION. THE CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH THE LAW, WHETHER OR NOT STATED SPECIFICALLY HEREIN):
    - PARKING SPACES AND PARKING AISLES - SLOPE MUST NOT EXCEED 1:48 (1/4" PER FOOT OR NORMALLY 2.0%) IN ANY DIRECTION.
    - CURB RAMPS - SLOPES MUST NOT EXCEED 1:12 (8.3%).
    - LANDINGS
      - LANDINGS AT CURB RAMPS - MUST BE 4 FT. MIN., X 4 FT. MIN. AND ARE TO BE INCREASED TO 5 FEET WHERE THE LANDING SPACE (TURNING SPACE) IS CONSTRAINED AT THE BACK OF THE SIDEWALK.
      - LANDINGS AT RAMPS - MUST BE 5 FT. MIN. IN THE DIRECTION OF TRAVEL AND BE PROVIDED AT EACH END OF THE RAMP, MUST PROVIDE POSITIVE DRAINAGE (1% MIN.), AND MUST NOT EXCEED 1:48 (1/4" PER FOOT OR NORMALLY 2.0%) IN ANY DIRECTION. WHEN LANDING IS ALSO A TURNING SPACE, IT MUST BE A MINIMUM 5 FT X 5 FT.
      - LANDINGS AT DOORWAYS - SEE NOTE F BELOW.
    - PATH OF TRAVEL ALONG ON-SITE ACCESSIBLE ROUTE - MUST PROVIDE A 36 INCH (EXCLUDING THE CURB) OR GREATER UNOBSTRUCTED WIDTH OF TRAVEL, (CAR OVERHANGS MUST NOT REDUCE THIS MINIMUM WIDTH), IN A PUBLIC RIGHT-OF-WAY, THE MINIMUM WIDTH EXCLUDING THE CURB IS 4 FT. THE SLOPE MUST BE NO GREATER THAN 1:20 (5.0%) IN THE DIRECTION OF TRAVEL AND MUST NOT EXCEED 1:48 (1/4" PER FOOT OR NORMALLY 2.0%) IN CROSS-SLOPE.
    - WHERE PATH OF TRAVEL WILL BE GREATER THAN 1:20 (5.0%), AN ADA RAMP, WITH A MAXIMUM SLOPE OF 1:12 (8.3%), FOR A MAXIMUM RISE OF 30 INCHES, MUST BE PROVIDED. THE RAMP MUST HAVE A MINIMUM CLEAR WIDTH OF 36 INCHES, HAVE ADA HAND RAILS AND LANDINGS (MIN. 5 FT. LONG IN THE DIRECTION OF TRAVEL) ON EACH END THAT ARE SLOPED A MIN. 1% AND NO MORE THAN 1:48 (1/4" PER FOOT OR NOMINALLY 2.0%) FOR POSITIVE DRAINAGE.
    - EXTERIOR DOORWAYS - MUST HAVE A "LEVEL" LANDING AREA ON THE EXTERIOR SIDE OF THE DOOR THAT IS SLOPED NO MORE THAN 1:48 (1/4" PER FOOT OR NORMALLY 2.0%) FOR POSITIVE DRAINAGE. THIS LANDING AREA IS GENERALLY 5 FT X 5 FT, EXCEPT WHERE OTHERWISE PERMITTED BY ADA STANDARDS. (SEE APPLICABLE CODE SECTIONS).
  - IT IS RECOMMENDED THAT THE CONTRACTOR REVIEW THE INTENDED CONSTRUCTION WITH THE LOCAL BUILDING CODE OFFICIAL, INCLUDING WHETHER OR NOT FALL PROTECTION IS REQUIRED.
  - IT IS RECOMMENDED THAT THE CONTRACTOR CHECK THE SLOPE OF FORMWORK FOR COMPLIANCE WITH ADA STANDARDS PRIOR TO POURING CONCRETE.

WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, SOIL SHALL NOT BE EXPOSED MORE THAN SEVEN (7) DAYS. CONTRACTOR SHALL INITIATE STABILIZATION MEASURES IN ACCORDANCE WITH THE SOIL EROSION & SEDIMENT CONTROL PLAN

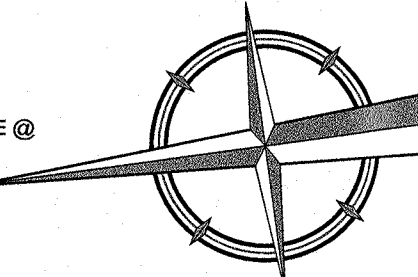
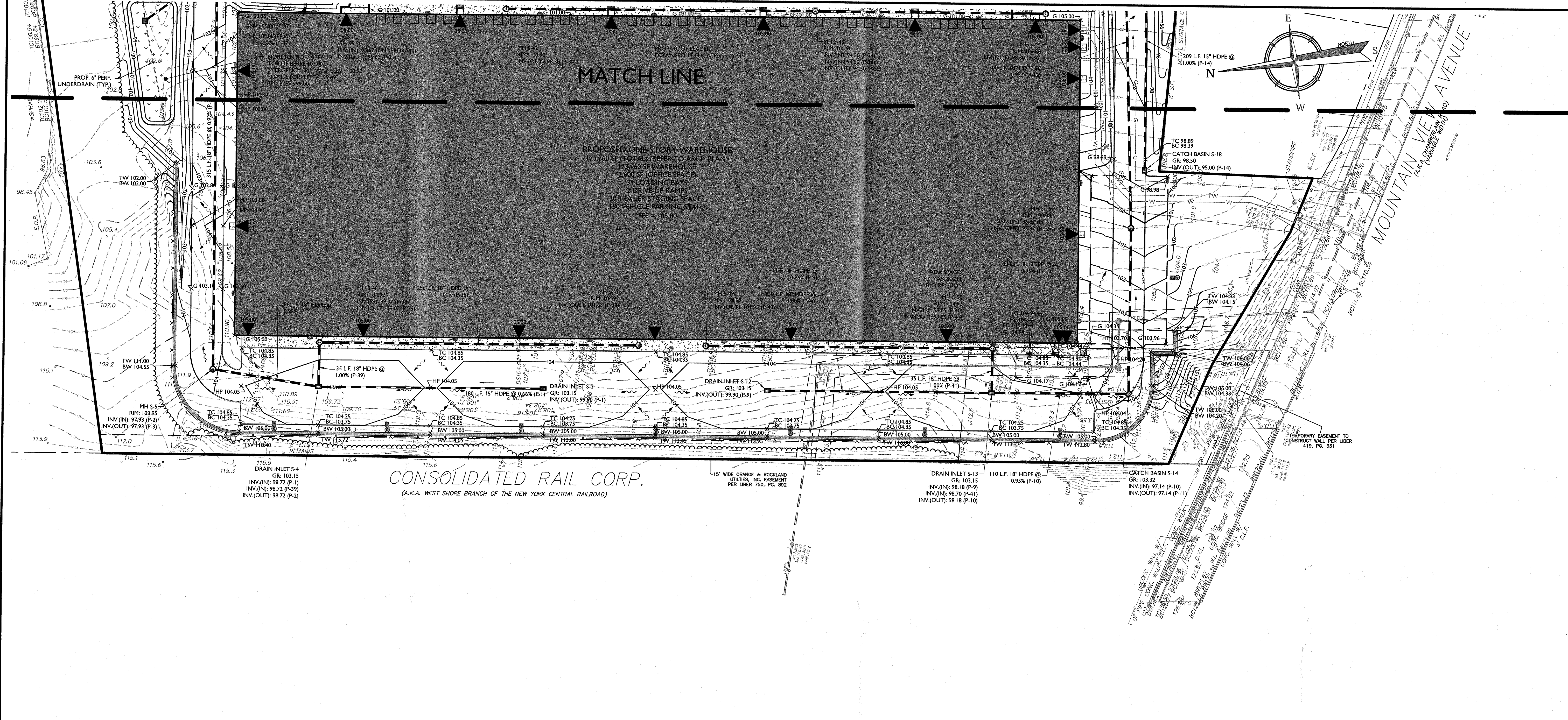
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EXISTING	LEGEND	PROPOSED
72+00	RIGHT OF WAY LINE	12+00
72+00	PROPERTY LINE	12+00
72+00	EDGE OF PAVEMENT	12+00
FACE	CURB	FACE
BACK	DEPRESSED CURB	BACK
72+00	SIDEWALK	72+00
72+00	FENCES	72+00
72+00	TREELINE	72+00
72+00	ROADWAY SIGNS	72+00
72+00	'B' INLET	72+00
72+00	'E' INLET	72+00
72+00	STORM MANHOLE	72+00
72+00	SANITARY MANHOLE	72+00
72+00	FLARED END SECTION	72+00
72+00	HEADWALL	72+00
72+00	HYDRANT	72+00
72+00	POLE MOUNTED LIGHT	72+00
72+00	CONTOURS	72+00
72+00	SPOT ELEVATION	72+00
72+00	DIRECTION OF OVERLAND FLOW	72+00
72+00	TOP OF CURB ELEVATION	72+00
72+00	BOTTOM OF CURB ELEVATION	72+00
72+00	TOP OF DEPRESSED CURB ELEVATION	72+00



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SCALE: AS SHOWN  
DATE: 11/22/2021  
DRAWN BY: DG/CMA  
CHECKED BY: JBC  
PROJECT NUMBER: 21003528A  
DRAWING NAME: C-GRAD  
SHEET TITLE: GRADING & DRAINAGE PLAN - EAST  
SHEET NUMBER: 6 of 22  
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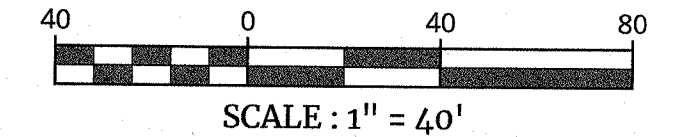
*J. Barrett Coleley*  
**Jesse Barrett Coleley**  
 NEW YORK LICENSED PROFESSIONAL ENGINEER  
 LICENSE NUMBER: 090987-1  
 COLLIERS ENGINEERING & DESIGN CT, P.C.  
 N.Y. C.O.A.#. 0017609

EXISTING	LEGEND	PROPOSED
	TRAVERSE LINE, CENTER LINE	
	PROPERTY LINE	
	EDGE OF PAVEMENT	
	CURB	
	DEPRESSED CURB	
	SIDEWALK	
	FENCES	
	TREELINE	
	ROADWAY SIGNS	
	'B' INLET	
	'E' INLET	
	STORM MANHOLE	
	SANITARY MANHOLE	
	FLARED END SECTION	
	HEADWALL	
	HYDRANT	
	POLE MOUNTED LIGHT	
	CONTOURS	
	SPOT ELEVATION	
	DIRECTION OF OVERLAND FLOW	
	TOP OF CURB ELEVATION	
	BOTTOM OF CURB ELEVATION	
	TOP OF DEPRESSED CURB ELEVATION	

WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, SOIL SHALL NOT BE EXPOSED MORE THAN SEVEN (7) DAYS. CONTRACTOR SHALL INITIATE STABILIZATION MEASURES IN ACCORDANCE WITH THE SOIL EROSION & SEDIMENT CONTROL PLAN

ALL UTILITIES, INCLUDING ELECTRIC AND TELEPHONE SERVICE, SHALL BE INSTALLED UNDERGROUND

THIS PLAN DOES NOT CONFLICT WITH THE COUNTY OFFICIAL MAP AND HAS BEEN APPROVED IN THE MANNER SPECIFIED BY SECTION 239L&M OF THE GENERAL MUNICIPAL LAW OF THE STATE OF NEW YORK



**PRELIMINARY SITE PLAN**

**FOR WPT ACQUISITIONS, LLC**  
 SECTION 74.07  
 BLOCK 1  
 LOTS 2, 33 & 36

**518 NYSR 303 AND 13 & 21 MOUNTAINVIEW AVENUE**

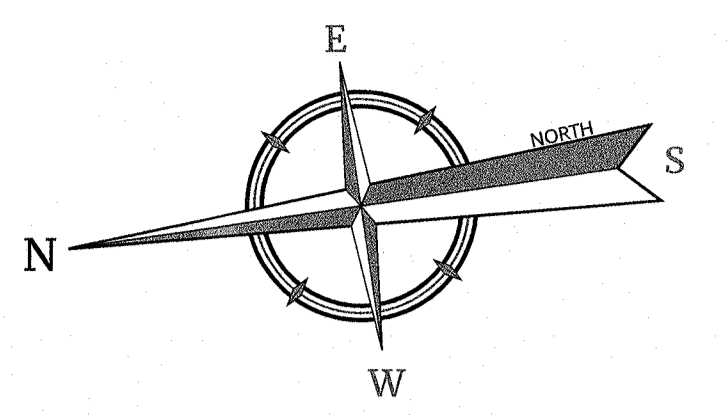
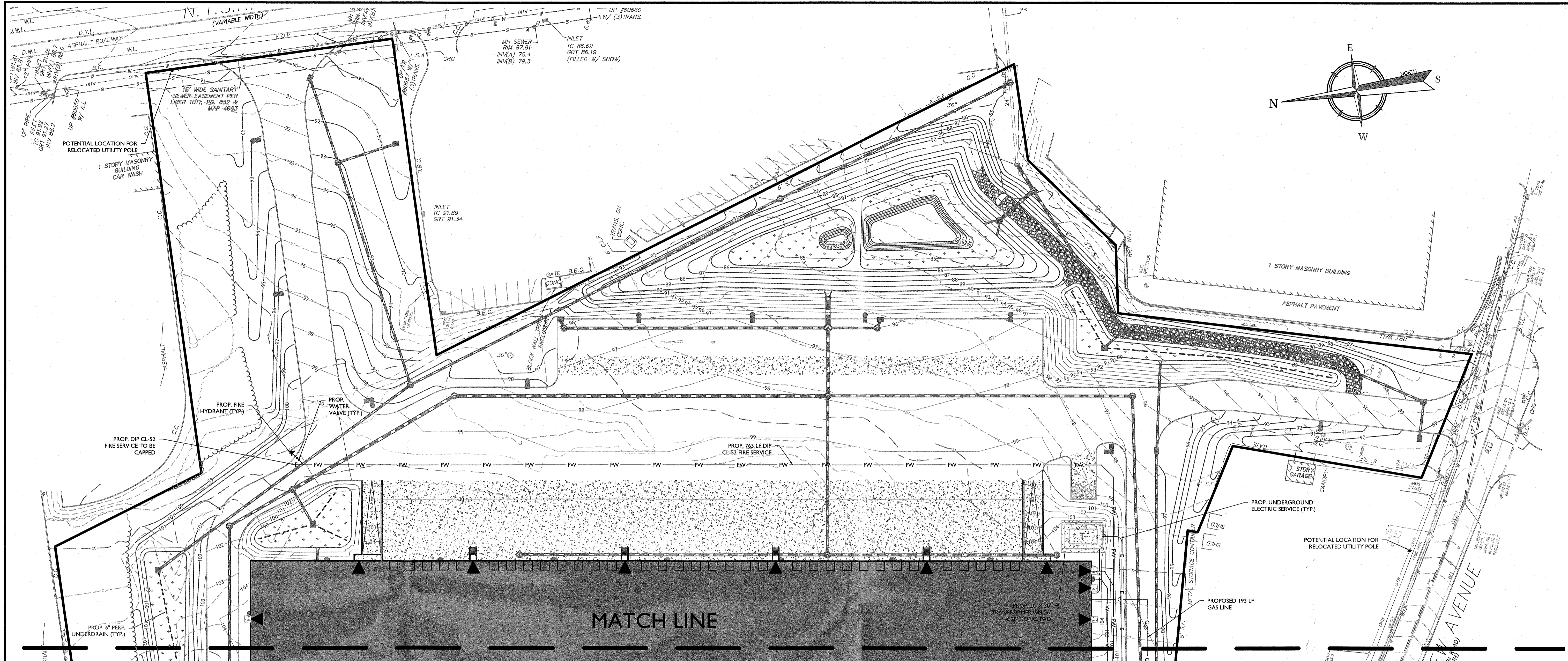
**TOWN OF ORANGETOWN ROCKLAND COUNTY NEW YORK**

**Colliers**  
 Engineering & Design  
 50 Chestnut Ridge Road, Suite 101  
 Montvale, NJ 07645  
 Phone: 845.352.0411

SCALE: AS SHOWN | DATE: 11/22/2021 | DRAWN BY: DG/CMA | CHECKED BY: JBC  
 PROJECT NUMBER: 21003528A | DRAWING NAME: C-GRAD

**GRADING & DRAINAGE PLAN - WEST**

SHEET NUMBER: 7 of 22



**UTILITY NOTES**

1. LOCATION OF ALL EXISTING AND PROPOSED UTILITIES ARE APPROXIMATE AND MUST BE CONFIRMED INDEPENDENTLY WITH LOCAL UTILITY COMPANIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION. ALL CONNECTION POINTS SHALL BE VERIFIED IN FIELD BY GC AND ENGINEER. THE CONTRACTOR SHALL BE NOTIFIED IMMEDIATELY REGARDING ANY DISCREPANCIES. CONSTRUCTION SHALL COMMENCE BEGINNING AT LOWEST INVERT AND PROGRESS UP GRADIENT. PROPOSED CROSSING OF EXISTING UNDERGROUND UTILITIES SHALL BE FIELD VERIFIED BY TEST PIT PRIOR TO CONSTRUCTION.
2. THE CONTRACTOR SHALL DEFINE AND LOCATE VERTICALLY AND HORIZONTALLY ALL ACTIVE AND/OR SERVICES THAT ARE TO BE REMOVED. THE CONTRACTOR IS RESPONSIBLE TO PROTECT AND MAINTAIN ALL ACTIVE SYSTEMS THAT ARE TO REMAIN DURING SITE CONSTRUCTION.
3. THE CONTRACTOR TO INSTALL ALL STORM/SANITARY SEWERS WHICH FUNCTION BY GRAVITY PRIOR TO THE INSTALLATION OF ALL OTHER UTILITIES.
4. ALL NEW UTILITIES/SERVICES, INCLUDING ELECTRIC AND TELEPHONE SERVICE, SHALL BE INSTALLED UNDERGROUND. ALL TO BE INSTALLED IN ACCORDANCE WITH THE LOCAL UTILITY/SERVICE PROVIDER SPECIFICATIONS AND STANDARDS.
5. WATER SERVICE TO BE PROVIDED FROM THE EXISTING WATER MAIN LINE ON MOUNTAIN VIEW AVENUE, OWNED AND OPERATED BY SUJZ WATER. PROPOSED WATER MAIN EXTENSIONS AND FIRE HYDRANT LOCATIONS ARE SUBJECT TO MUNICIPAL REVIEW AND APPROVAL, ACCORDING TO THE AMERICAN WATERWORKS ASSOCIATION STANDARDS. PIPE MATERIALS SHALL BE CEMENT LINED DUCTILE IRON PIPE, CLASS 52, WITH ASPHALTIC EPOXY TYPE COATING. ALL WATER SERVICE PIPES TO BE 1" DIAMETER TYPE K SEAMLESS COPPER. WATER MAINS SHALL BE INSTALLED TO PROVIDE A MINIMUM 4 FEET OF COVER FROM THE TOP OF PIPE TO THE PROPOSED GRADE.
6. SANITARY SEWER SERVICE SHALL BE PROVIDED BY GRAVITY CONNECTION TO EXISTING SEWER MAIN ON MOUNTAIN VIEW AVENUE, OWNED AND OPERATED BY ORANGETOWN SEWER DISTRICT. PROPOSED SEWER MAIN EXTENSIONS AND MANHOLE LOCATIONS ARE SUBJECT TO MUNICIPAL REVIEW AND APPROVAL. PIPE MATERIALS SHALL BE PVC SDR-35, EXCEPT AS NOTED OTHERWISE ON THE PLANS. EXCEPT WHERE SHALLOWER DEPTHS ARE PERMITTED BY THE MUNICIPALITY OR UTILITY AUTHORITY, SEWER LINES, INCLUDING FORCE MAINS AND LATERALS, SHALL BE INSTALLED TO PROVIDE A MINIMUM 4 FEET OF COVER FROM THE TOP OF PIPE TO PROPOSED GRADE.
7. ALL MATERIALS USED FOR SANITARY SEWER SYSTEMS SHALL BE MANUFACTURED IN THE UNITED STATES, WHEREVER AVAILABLE, AS GOVERNED BY P.L. 1982, c. 107, EFFECTIVE DATE OCTOBER 3, 1982.
8. SANITARY SEWERS SHALL BE SEPARATED FROM WATER MAINS BY AT LEAST 10 FEET HORIZONTALLY. IF SUCH SEPARATION IS NOT POSSIBLE, THE PIPES SHALL BE IN SEPARATE TRENCHES WITH THE SANITARY SEWER AT LEAST 18 INCHES BELOW THE BOTTOM OF THE WATER MAIN. ANY WATER SERVICE LOCATED IN THE SAME TRENCH AS A SEWER LINE MUST BE LOCATED ABOVE AND TO ONE SIDE OF THE SEWER LINE AT LEAST ONE FOOT AWAY FROM THE SEWER LINE. IN ADDITION, ONE FULL LENGTH OF SEWER PIPE SHOULD BE LOCATED SO BOTH JOINTS ARE AS FAR AWAY AS POSSIBLE FROM THE WATER LINE.
9. GAS, ELECTRIC, LIGHTING, CABLE TELEVISION, AND ELECTRICAL SERVICE PLANS, IF REQUIRED, SHALL BE PREPARED BY THE RESPECTIVE UTILITY COMPANIES THAT SERVICE THE AREA PRIOR TO SITE CONSTRUCTION AND SHALL BE INSTALLED PER ORDINANCE REQUIREMENTS.
10. TELEPHONE, ELECTRIC, AND GAS LINES WILL BE INSTALLED UNDERGROUND. CROSSINGS OF PROPOSED PAVEMENTS WILL BE INSTALLED PRIOR TO THE CONSTRUCTION OF PAVEMENT BASE COURSE.
11. UTILITY RELOCATIONS SHOWN HEREON, IF ANY, ARE FOR INFORMATIONAL PURPOSES ONLY AND MAY NOT REPRESENT ALL REQUIRED UTILITY RELOCATIONS. THE CONTRACTOR IS RESPONSIBLE FOR PERFORMING AND/OR COORDINATING ALL REQUIRED UTILITY RELOCATIONS IN COOPERATION WITH THE RESPECTIVE UTILITY COMPANY/AUTHORITIES.
12. STORM SEWERS SHALL BE CLASS III (OR HIGHER IF NOTED) REINFORCED CONCRETE PIPE (RCP) WITH "O" RING GASKETS OR INTERNALLY PRELUBRICATED GASKET (TYLOX SUPERSEAL OR EQUIVALENT), ADS N-12 HIGH DENSITY POLYETHYLENE PIPE (HDPEP), HANCOR SURE-LOK HIGH DENSITY POLYETHYLENE PIPE (HDPEP) OR APPROVED EQUAL. PROPER PIPE COVERAGE SHALL BE MAINTAINED DURING ALL PHASES OF CONSTRUCTION. PIPE LENGTHS SHOWN HEREON ARE FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE.
13. A COPY OF THE ENGINEER'S CERTIFICATION, SANITARY SEWER TEST RESULTS AND AS-BUILTS ARE TO BE SENT TO THE ROCKLAND COUNTY HEALTH DEPARTMENT.
14. THE TOWN OF ORANGETOWN WILL NOT RELEASE CERTIFICATES OF OCCUPANCY UNTIL A CERTIFICATE OF APPROVAL HAS BEEN RELEASED BY THE ROCKLAND COUNTY HEALTH DEPARTMENT.

**BUREAU OF FIRE PREVENTION NOTES**

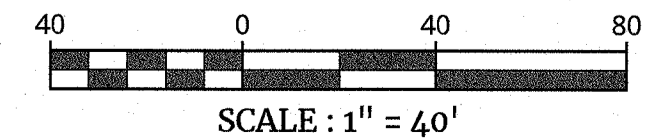
1. INSTALL AN NFPA 13 COMPLIANT FIRE SPRINKLER SYSTEM, ENGINEERED FOR THE ENTIRE PURPOSED SQUARE FOOTAGE AND COMMODITY IT IS PROTECTING WITH PLANS AND DESIGN SUBMITTED FOR APPROVAL FROM THE BUREAU BEFORE SPRINKLER WORK BEGIN. MAINTAINED AS PER NFPA 25.
2. INSTALL AN NFPA 72 COMPLIANT FIRE ALARM SYSTEM CONNECTED TO ROCKLAND COUNTY 44 CONTROL. WITH PLANS, CALCULATIONS, AND CUT SHEETS SUBMITTED TO THE BUREAU FOR APPROVAL. BEFORE FIRE ALARM WORK BEGINS. WITH RED AND AMBER STROBES AS PER ORANGETOWN CODE.
3. PROVIDE PORTABLE FIRE EXTINGUISHERS AS PER NFPA 10.
4. EMERGENCY LIGHTING AND EXIT LIGHTING AS PER NEC.
5. CARBON MONOXIDE DETECTORS AS PER NFPA 720.
6. APPLY FOR AND MAINTAIN A CERTIFICATE OF COMPLIANCE FIRE SAFETY WITH THE BUREAU, PAY FOR A HAZARDOUS MATERIALS PERMIT, IF APPLICABLE.
7. KEY BOX LOCATION TO BE DETERMINED BY BUREAU OF FIRE PREVENTION.

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EXISTING	LEGEND	PROPOSED
12+00	TRAVERSE LINE, CENTER LINE OR BASELINE (LABEL AS SUCH)	12+00 13+00
---	RIGHT OF WAY LINE	---
---	PROPERTY LINE	---
--- FACE --- --- BACK ---	EDGE OF PAVEMENT	--- FACE --- --- BACK ---
---	CURB	---
---	DEPRESSED CURB	---
---	SIDEWALK	---
---	FENCES	---
---	TREELINE	---
---	ROADWAY SIGNS	---
---	WETLAND LINE	---
---	MUNICIPAL BOUNDARY LINE	---
---	"B" INLET	---
---	"E" INLET	---
---	STORM MANHOLE	---
---	SANITARY MANHOLE	---
---	FLARED END SECTION	---
---	HEADWALL	---
---	HYDRANT	---
---	POLE MOUNTED LIGHT	---
---	CABLE TV CONDUIT	---
---	WATER MAIN	---
---	GAS MAIN	---
---	TELEPHONE CONDUIT	---
---	ELECTRIC CONDUIT	---
---	SANITARY PIPE	---
---	STORM PIPE	---



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REV	DATE	DESCRIPTION

*James Barrett Cokley*  
**James Barrett Cokley**  
NEW YORK LICENSED PROFESSIONAL ENGINEER  
LICENSE NUMBER: 090967-1  
COLLIERS ENGINEERING & DESIGN CT, P.C.  
N.Y. C.O.A. #: 0017609

**PRELIMINARY SITE PLAN**  
  
FOR  
**WPT ACQUISITIONS,  
LLC**  
SECTION 74.07  
BLOCK 1  
LOTS 2, 33 & 36

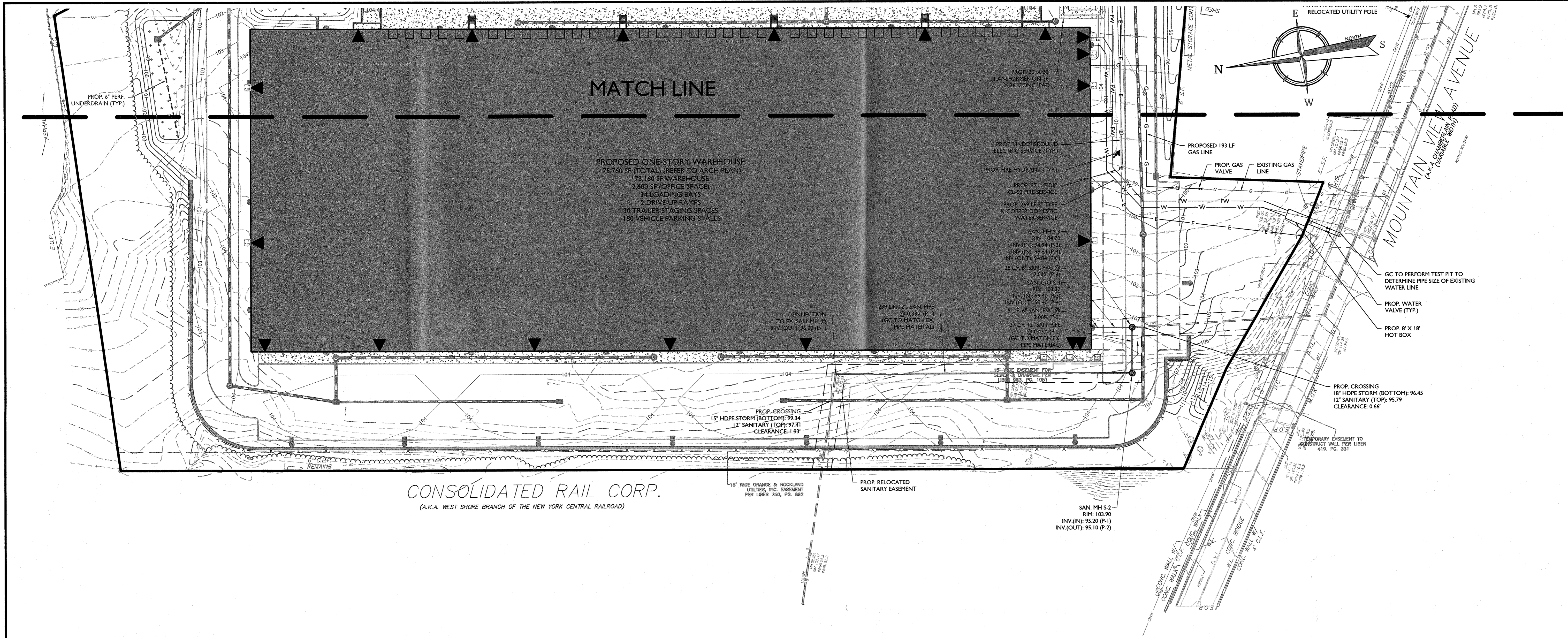
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SCALE: AS SHOWN 11/22/2021 DATE: 11/22/2021 DRAWN BY: JBC CHECKED BY: JBC  
PROJECT NUMBER: 21003528A DRAWING NAME: C-UTIL

**UTILITIES PLAN - EAST**  
  
SHEET NUMBER:  
8 of 22

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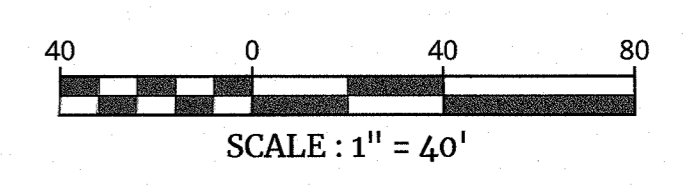
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*J. Barrett Cokley*

**Jesse Barrett Cokley**  
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N.Y. C.O.A. # 0017609

**PRELIMINARY SITE PLAN**

FOR  
**WPT ACQUISITIONS, LLC**  
SECTION 74.07  
BLOCK 1  
LOTS 2, 33 & 36

518 NYSR 303 AND 13 & 21  
MOUNTAINVIEW AVENUE

TOWN OF ORANGETOWN  
ROCKLAND COUNTY  
NEW YORK

**Colliers** 50 Chestnut Ridge Road, Suite 101  
Montville, NJ 07645  
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COLLIERS ENGINEERING & DESIGN CT, P.C.  
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AS SHOWN:	11/22/2021	DG/CMA	JBC
PROJECT NUMBER:	DRAWING NAME:		
21003528A	C-UTIL		
SHEET TITLE:			
<b>UTILITIES PLAN - WEST</b>			
SHEET NUMBER:			
9 of 22			

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**Justin Eric Dates**  
NEW YORK REGISTERED LANDSCAPE ARCHITECT  
LICENSE NUMBER: 001984-01  
COLLIERS ENGINEERING & DESIGN CT, P.C.

**PRELIMINARY SITE PLAN**

FOR  
**WPT ACQUISITIONS, LLC**  
SECTION 74.07  
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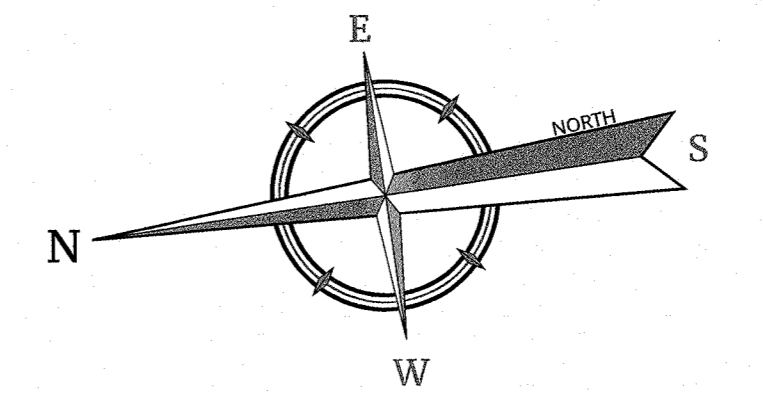
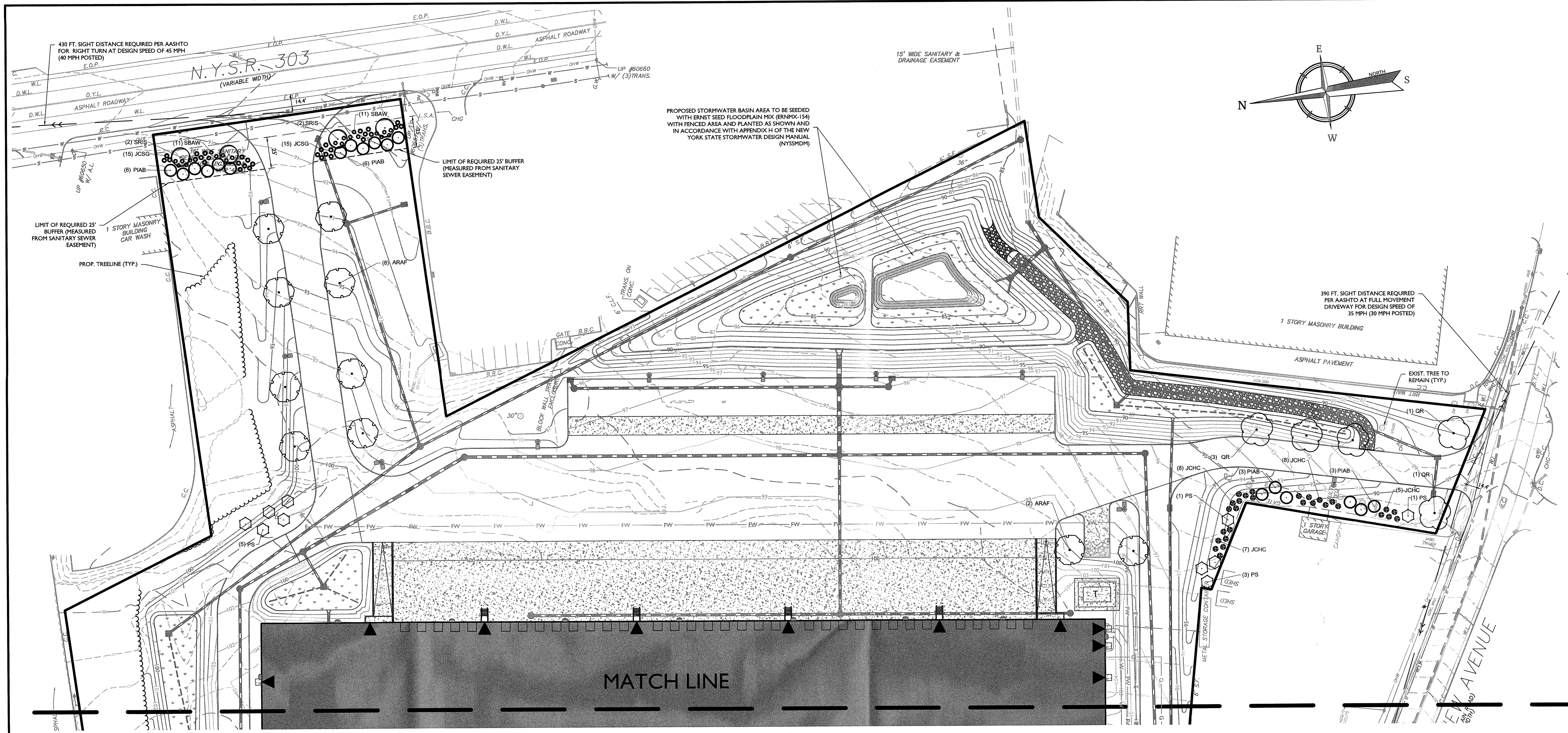
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SCALE: AS SHOWN DATE: 11/22/2021 DRAWN BY: DG/CMA CHECKED BY: JBC  
PROJECT NUMBER: 21003528A DRAWING NAME: C-LAND

SHEET TITLE:  
**LANDSCAPE PLAN - EAST**

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**GENERAL PLANTING NOTES**

- A. GENERAL**
- THIS PLAN SHALL BE USED FOR LANDSCAPE PLANTING PURPOSES ONLY. EXAMINE ALL ENGINEERING DRAWINGS AND FIELD CONDITIONS FOR SPECIFIC LOCATIONS OF UTILITIES AND STRUCTURES. NOTIFY THE LANDSCAPE ARCHITECT OF ANY DISCREPANCIES OR LOCATION CONFLICTS PRIOR TO PLANTING INSTALLATION.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL UTILITIES MARKOUTS AND COMPLIANCE WITH ALL FEDERAL, STATE, OR LOCAL CODES, LAWFUL ORDERS OR REGULATIONS GOVERNING UPON THIS WORK.
  - OWNER OR HIS/HER REPRESENTATIVE SHALL BE NOTIFIED PRIOR TO BEGINNING PLANTING OPERATIONS.
- B. PLANT MATERIAL**
- PLANT MATERIAL:**
    - PLANT MATERIAL SHALL CONFORM WITH THE ANSI Z60.1-2004 'AMERICAN STANDARD FOR NURSERY STOCK' AS PUBLISHED BY THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION (ANLA) IN REGARD TO QUALITY, SIZE OF PLANTING, SPREAD OF ROOTS, SIZE OF ROOTBALL, AND BRANCHING PATTERN.
    - PLANTS SHALL BE TYPICAL OF THEIR SPECIES AND VARIETY, HAVE NORMAL GROWTH HABITS, WELL DEVELOPED BRANCHES, DENSELY FOLIATED, VIGOROUS ROOT SYSTEMS, AND FREE FROM DEFECTS, INJURY, DISEASE, AND/OR INFESTATION, WITH ROOT BALLS INTACT.
    - ALL PLANT MATERIAL SHALL BE PLANTED AT THE SAME LEVEL WHEN PLANTED.
    - PLANT MATERIAL SHALL BE PLANTED ON THE DAY OF DELIVERY TO THE SITE. IN THE EVENT THIS IS NOT POSSIBLE, THE CONTRACTOR SHALL TAKE APPROPRIATE STEPS TO PROTECT THE PLANT MATERIAL FROM DAMAGE PRIOR TO INSTALLATION.
    - THE LANDSCAPE ARCHITECT OR OWNER SHALL HAVE THE RIGHT, AT ANY STAGE OF THE OPERATION, TO REJECT ANY AND ALL PLANT MATERIAL WHICH IN HIS/HER OPINION DOES NOT MEET THE REQUIREMENTS OF THESE PLANS.
  - PLANT QUANTITIES:** THE LANDSCAPE PLAN SHOULD TAKE PRECEDENCE OVER THE PLANT SCHEDULE IF ANY PLANT DISCREPANCIES OCCUR.
  - PLANT SIZE:** THE CONTRACTOR SHALL FURNISH PLANT MATERIAL IN THE CALIPER, HEIGHT, SIZE OR SPREAD INDICATED IN THE PLANT SCHEDULE.
  - SUBSTITUTIONS:** NO PLANT SUBSTITUTIONS SHALL BE PERMITTED WITH REGARD TO SIZE, SPECIES, OR VARIETY WITHOUT WRITTEN PERMISSIONS OF THE MUNICIPALITY, LANDSCAPE ARCHITECT, OR OWNER. WRITTEN PROOF OF THE PLANT MATERIAL UNAVAILABILITY MUST BE DOCUMENTED BY THE CONTRACTOR.
  - GUARANTEED:** PLANT MATERIAL SHALL BE GUARANTEED FOR ONE (1) YEAR FROM THE DATE OF FINAL ACCEPTANCE. ANY PLANT MATERIAL THAT IS WITHIN THAT TIME PERIOD SHALL BE REMOVED, INCLUDING STUMP, AND REPLACED WITH A SIMILAR SIZE AND SPECIES AT THE EXPENSE OF THE CONTRACTOR WITHIN ONE YEAR OF ONE GROWING SEASON. TREE STAKES, WRAPPING, AND PLASTIC CHAINS SHALL BE REMOVED AT THE END OF THE GUARANTEE PERIOD.
- C. PLANTING PROCEDURES**
- PLANTING BEDS:**
    - PROVIDE PLANTING PITS AS INDICATED ON PLANTING DETAILS. BACKFILL PLANTING PITS WITH WELL DRAINING AND FERTILE SOILS. SOILS SHALL BE SANDY LOAM, FREE FROM DEBRIS, ROCKS, ETC. SOIL TO BE ONE PART EACH OF TOPSOIL, MOISTENED PEAT MOSS, AND PARENT MATERIAL.
    - PLANTING BEDS SHALL RECEIVE FOUR (4) TO SIX (6) INCHES OF DOUBLE SHREDDED HARDWOOD MULCH AND TREATED WITH A PRE-EMERGENT HERBICIDE. NO MULCH SHALL COME IN DIRECT CONTACT WITH ROOT FLARE/COLLAR. UNDER NO CIRCUMSTANCES SHALL THE ROOT CROWN BE BURIED.
    - SHRUB MASSES SHALL BE PLANTED IN CONTINUOUS MULCHED BEDS.
  - PLANT LOCATIONS:** THE LOCATION OF ALL PLANT MATERIAL INDICATED ON THE LANDSCAPE PLANS ARE APPROXIMATE. THE FINAL LOCATION OF ALL PLANT MATERIAL AND PLANTING BEDLINES SHALL BE DETERMINED IN THE FIELD AT THE TIME OF INSTALLATION FOLLOWING THE BASIC INTENT OF THE APPROVED PLANS, UNLESS THERE IS A SPECIFIC DIMENSION OR LOCATION SHOWN.
  - PLANTING DATES:** PLANTING OPERATIONS SHALL BE PERFORMED DURING PERIODS WITHIN THE PLANTING SEASON WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE AND IN ACCORDANCE WITH ACCEPTED LOCAL PRACTICES. PLANTING SEASONS ARE DEFINED AS MARCH 15 THROUGH MAY 15 AND SEPT 15 THROUGH NOV 15. PLANTING IS ACCEPTABLE DURING THE WINTER MONTHS IF WEATHER PERMITS AND THE GROUND IS NOT FROZEN, AND IN THE SUMMER IF SUPPLEMENTAL WATERING IS PROVIDED. SOIL MUST BE FROST FREE, FRIABLE, AND NOT MUDDY AT TIME OF PLANTING.
  - PLANTING METHODS:**
    - TREES SHALL BE SUPPORTED IMMEDIATELY AFTER PLANTING. PLANT MATERIAL SHALL BE PROPERLY GUYED, STAKED, AND PLANTED IN CONFORMANCE WITH THE TYPICAL PLANTING DETAILS. (1) STAKES SHALL BE EIGHT TO TEN FEET LONG, OF SOUND, DURABLE UNFINISHED LUMBER CAPABLE OF WITHSTANDING ABOVEGROUND AND UNDERGROUND CONDITIONS DURING THE PERIOD OF GUARANTEE WITH TOP AND BOTTOM DIMENSIONS OF TWO INCHES BY TWO INCHES IN DIAMETER. (2) THREE STAKES SHALL BE EQUALLY SPACED ABOUT THE TREE IN A TRIANGULAR FASHION AND SHALL BE DRIVEN VERTICALLY INTO THE GROUND 2 1/2 TO 3 FEET IN A MANNER THAT DOES NOT INJURE THE ROOT BALL. (3) TREES SHALL BE FASTENED TO EACH STAKE AT A HEIGHT OF FIVE FEET BY MEANS OF PLASTIC CHAIN LINK TREE TIE (1/2" WIDE RECOMMENDED FOR TREES UP TO 2 1/2" IN CALIPER).
    - SET PLANTS PLUMB AND STRAIGHT. SET AT SUCH LEVEL THAT AFTER SETTLEMENT A NORMAL OR NATURAL RELATIONSHIP TO THE CROWN OF THE PLANT WITH THE GROUND SURFACE WILL BE ESTABLISHED. LOCATE PLANTS IN CENTER OF PIT.
    - AT TIME OF INSTALLATION, THE CONTRACTOR SHALL WATER NEWLY INSTALLED PLANT MATERIAL. THE CONTRACTOR SHALL PROVIDE REGULAR WATERING TO ENSURE THE ESTABLISHMENT, GROWTH, AND SURVIVAL OF ALL PLANTS.
    - 8&8 PLANTS SHALL BE HANDLED FROM THE BOTTOM OF THE ROOTBALL ONLY. PLANTS WITH BROKEN, SPLIT, OR DAMAGED ROOTBALLS SHALL BE REJECTED.
    - CORD BINDING OF ALL 8&8 PLANTS SHALL BE CUT AND REMOVED, ALONG WITH THE BURLAP OF THE UPPER 1/3 OF THE ROOT BALL. ALL WIRE BASKETS ARE TO BE REMOVED PRIOR TO BACKFILLING PLANTING PIT.
- D. MAINTENANCE**
- PRUNING:**
    - EACH TREE AND SHRUB SHALL BE PRUNED IN ACCORDANCE WITH THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION TO PRESERVE THE NATURAL CHARACTER OF THE PLANT. ALL DEAD WOOD OR SUCKERS AND ALL BROKEN OR BADLY BRUISED BRANCHES SHALL BE REMOVED. PRUNING SHALL BE DONE WITH CLEAN, SHARP TOOLS.
    - SHADE TREES PLANTED NEAR PEDESTRIAN OR VEHICULAR ACCESS SHOULD NOT BE BRANCHED LOWER THAN 7'-0" ABOVE GRADE. PLANT MATERIAL LOCATED WITHIN SIGHT TRIANGLE EASEMENTS SHALL NOT EXCEED A MATURE HEIGHT OF 30" ABOVE THE ELEVATION OF THE ADJACENT CURB. STREET TREES PLANTED IN SIGHT TRIANGLE EASEMENTS SHALL BE PRUNED TO NOT TO HAVE BRANCHES BELOW 7'-0".
    - THE CENTRAL LEADER SHALL NOT BE CUT OR DAMAGED.
  - LAWN AREAS:**
    - THE LANDSCAPE CONTRACTOR SHALL TEST THE SOIL TO CONFIRM SUITABILITY FOR THE PROPOSED SEED MIX AND SUPPLEMENT AS REQUIRED TO MEET THE REQUIRED PH & NUTRIENT LEVELS.
    - ALL DISTURBED AREAS SHALL BE STABILIZED WITH SEED UNLESS OTHERWISE INDICATED ON THE LANDSCAPE PLANS. SEED SHALL BE IN ACCORDANCE WITH THE SEED SPECIFICATIONS AS NOTED ON THE PHASE II SOIL EROSION AND SEDIMENT CONTROL SHEET.
    - SOD, IF SPECIFIED, SHALL CONSIST OF A NEW YORK CERTIFIED MIXTURE. ALL DISTURBED AREAS INDICATED AS LAWN OR SOD SHALL BE TOPSOILED, LIMED, AND FERTILIZED & FINE GRADED PRIOR TO LAWN INSTALLATION.
  - EXISTING VEGETATION:** EXISTING TREES AND SHRUBS TO BE PRESERVED ON SITE SHALL BE PROTECTED AGAINST CONSTRUCTION DAMAGE BY SNOW FENCING. FENCING SHALL BE PLACED OUTSIDE THE INDIVIDUAL TREE CANOPY. TREES TO REMAIN SHALL BE IDENTIFIED IN THE FIELD PRIOR TO COMMENCEMENT OF CONSTRUCTION. TREE PROTECTION FENCING SHALL BE INSTALLED PRIOR TO COMMENCEMENT OF CONSTRUCTION, GRADING, OR CLEARING. EXISTING VEGETATION BEING PRESERVED AND LOCATED AT THE EDGE OF THE NEW TREELINE SHALL BE PRUNED AND TRIMMED TO REMOVE ALL DEAD, DAMAGED, OR DISEASED BRANCHES.
  - SITE CLEANUP:** PLANTING DEBRIS (WIRE, TWINE, RUBBERHOSE, BACKFILL, ETC.) SHALL BE REMOVED FROM THE SITE AFTER PLANTING IS COMPLETE. THE PROPERTY IS TO BE LEFT IN A NEAT, CLEANED-UP CONDITION IN ACCORDANCE WITH ACCEPTED PLANTING PRACTICES.
  - VEGETATION THAT DIES DURING ANY SEASON SHALL BE REPLACED AT THE START OF THE NEXT GROWING SEASON.**

EVERGREEN TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT.	SIZE
PIAB	23	Picea abies	Norway Spruce	B & B	6' - 7' HT.
PS	10	Pinus strobus	Eastern White Pine	B & B	6' - 7' HT.
ORNAMENTAL TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT.	SIZE
SRS	4	Syringa reticulata 'Ivory Silk'	Ivory Silk Japanese Tree Lilac	B & B	7' - 8' HT.
SHADE TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT.	SIZE
ARAF	10	Acer rubrum 'Autumn Flame'	Autumn Flame Red Maple	B & B	2 1/2 - 3" CAL.
QP	9	Quercus palustris	Pin Oak	B & B	2 1/2 - 3" CAL.
QR	5	Quercus rubra	Red Oak	B & B	2 1/2 - 3" CAL.
DECIDUOUS SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	CONT.	SIZE
SBAW	22	Spiraea x bumalda 'Anthony Waterer'	Anthony Waterer Spiraea	R3 CAN	18" - 24" HT.
EVERGREEN SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	CONT.	SIZE
JCHC	28	Juniperus chinensis 'Hetzl Columnaris'	Columnar Heez Juniper	B & B	6' - 8' HT.
JCSG	30	Juniperus chinensis 'Sea Green'	Sea Green Juniper	B & B	24" - 30" SPRD.

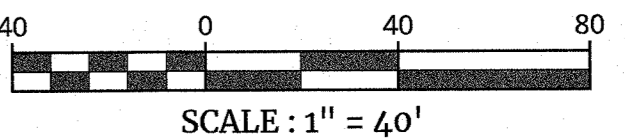
ALL UTILITIES, INCLUDING ELECTRIC AND TELEPHONE SERVICE, SHALL BE INSTALLED UNDERGROUND

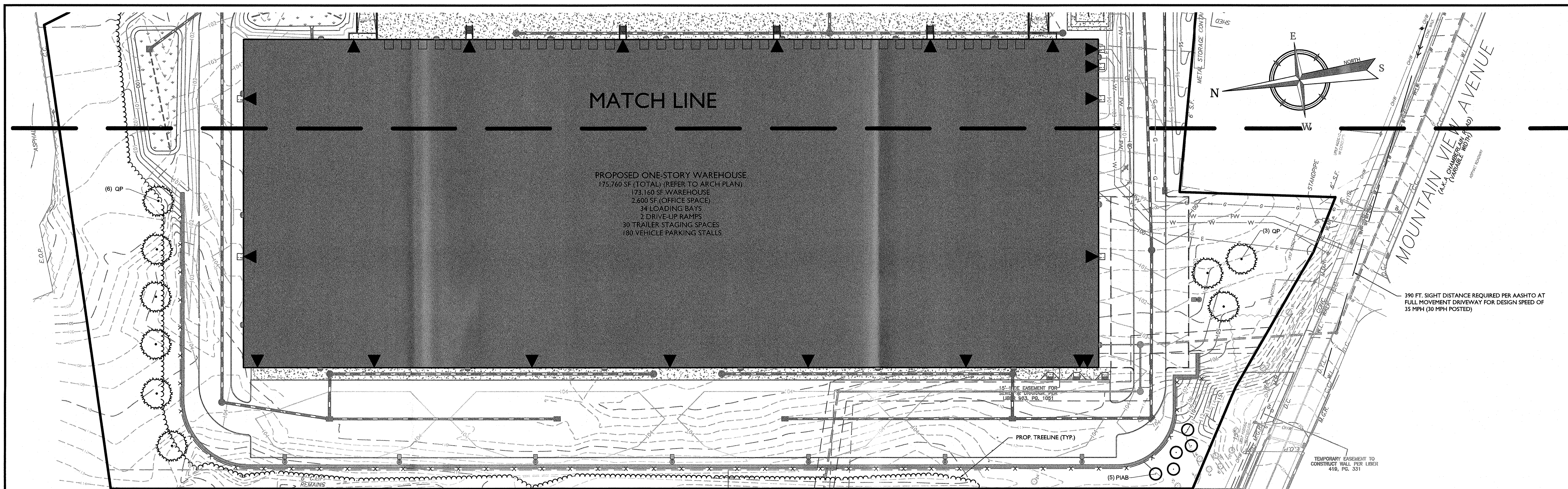
SEE SHEET 11 FOR LANDSCAPE DETAILS

THIS PLAN TO BE UTILIZED FOR LANDSCAPE PURPOSES ONLY

THIS PLAN DOES NOT CONFLICT WITH THE COUNTY OFFICIAL MAP AND HAS BEEN APPROVED IN THE MANNER SPECIFIED BY SECTION 239L&M OF THE GENERAL MUNICIPAL LAW OF THE STATE OF NEW YORK

WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, SOIL SHALL NOT BE EXPOSED MORE THAN SEVEN (7) DAYS. CONTRACTOR SHALL INITIATE STABILIZATION MEASURES IN ACCORDANCE WITH THE SOIL EROSION & SEDIMENT CONTROL PLAN





**Colliers**  
 Engineering & Design

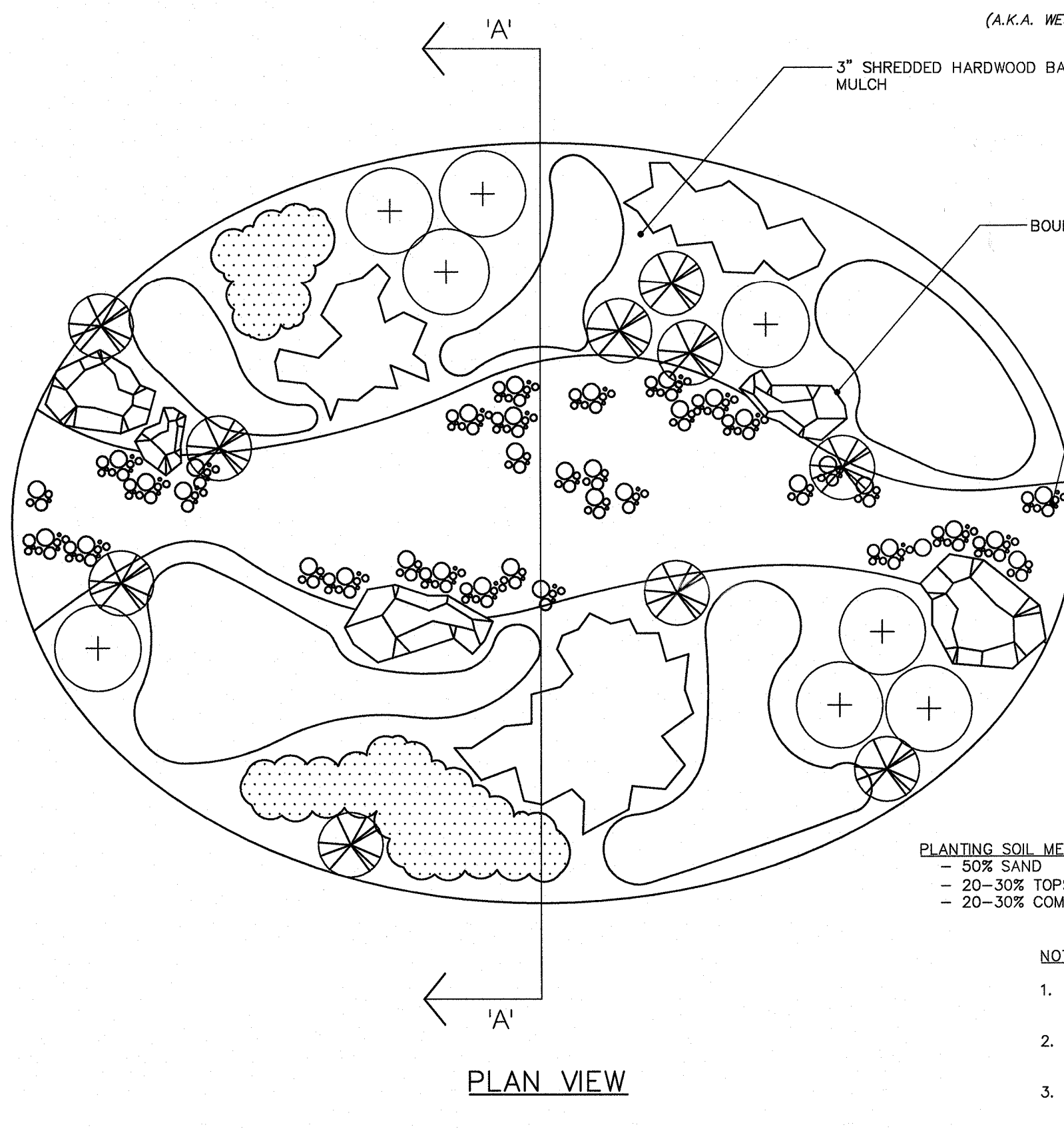
[www.colliersengineering.com](http://www.colliersengineering.com)

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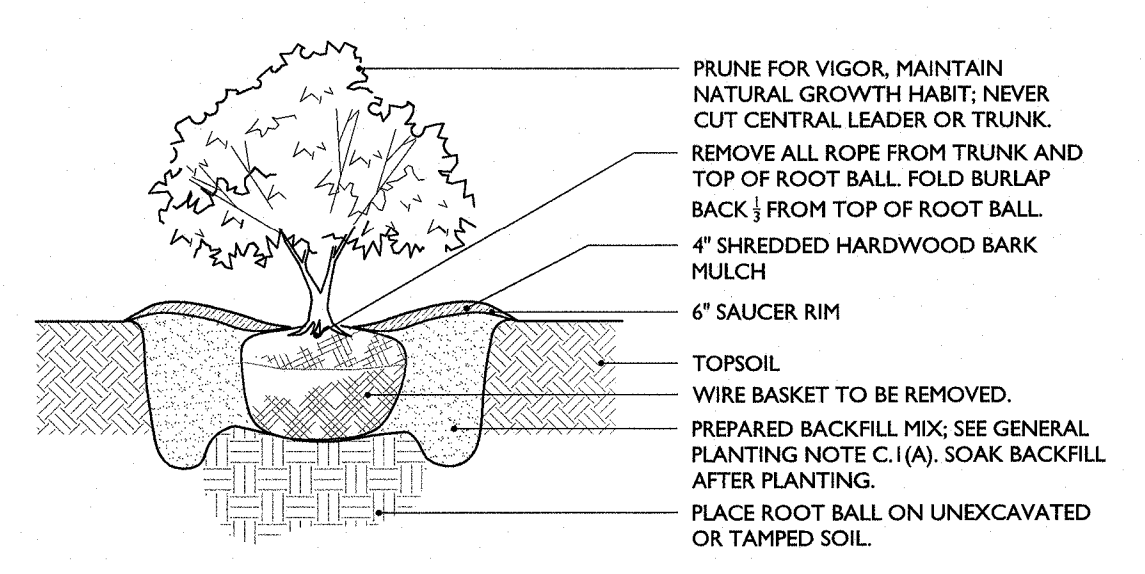
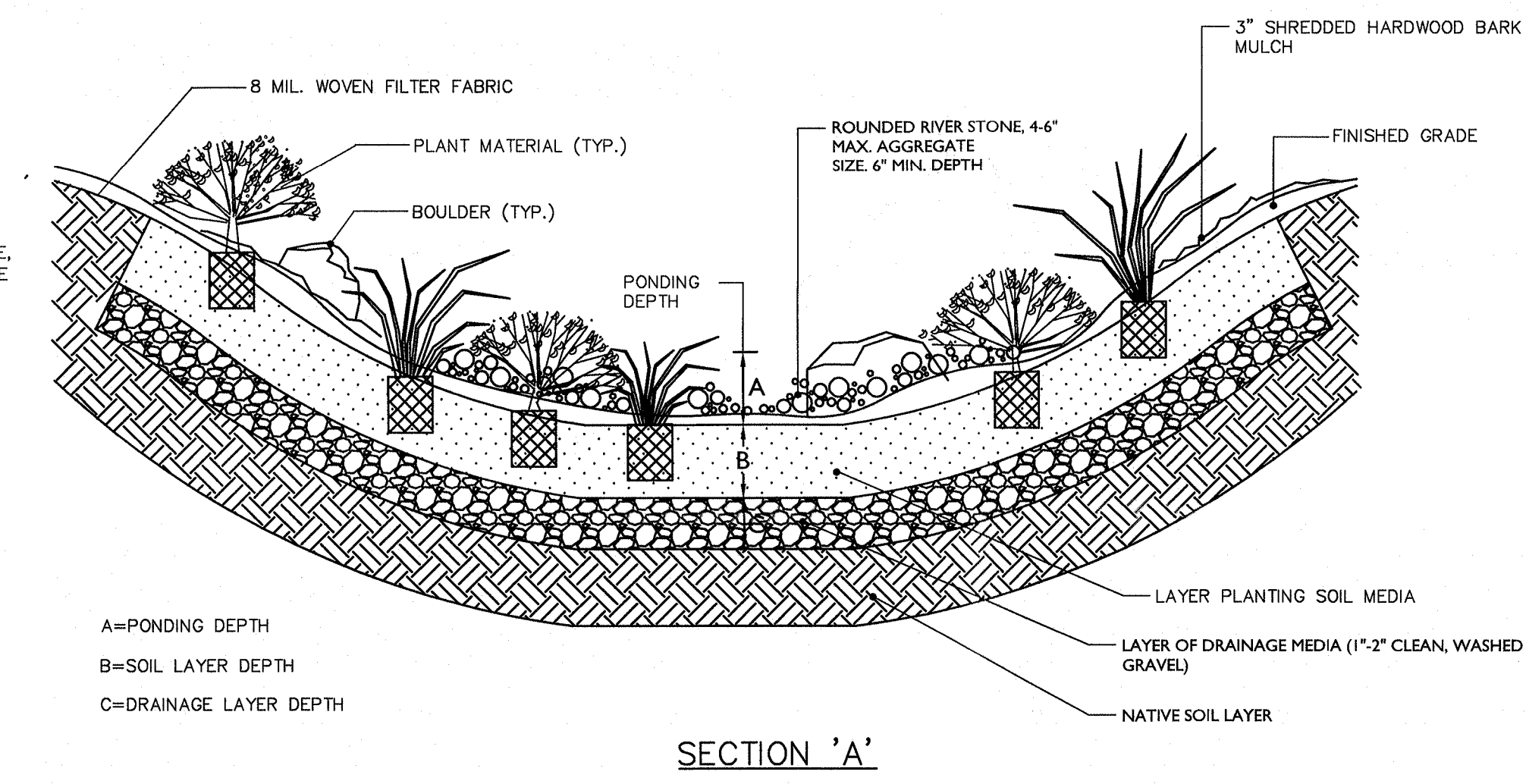
NO.	DATE	DESCRIPTION



**PLANTING SOIL MEDIA COMPOSITION**  
 - 50% SAND  
 - 20-30% TOPSOIL (LESS THAN 5% CLAY CONTENT)  
 - 20-30% COMPOST

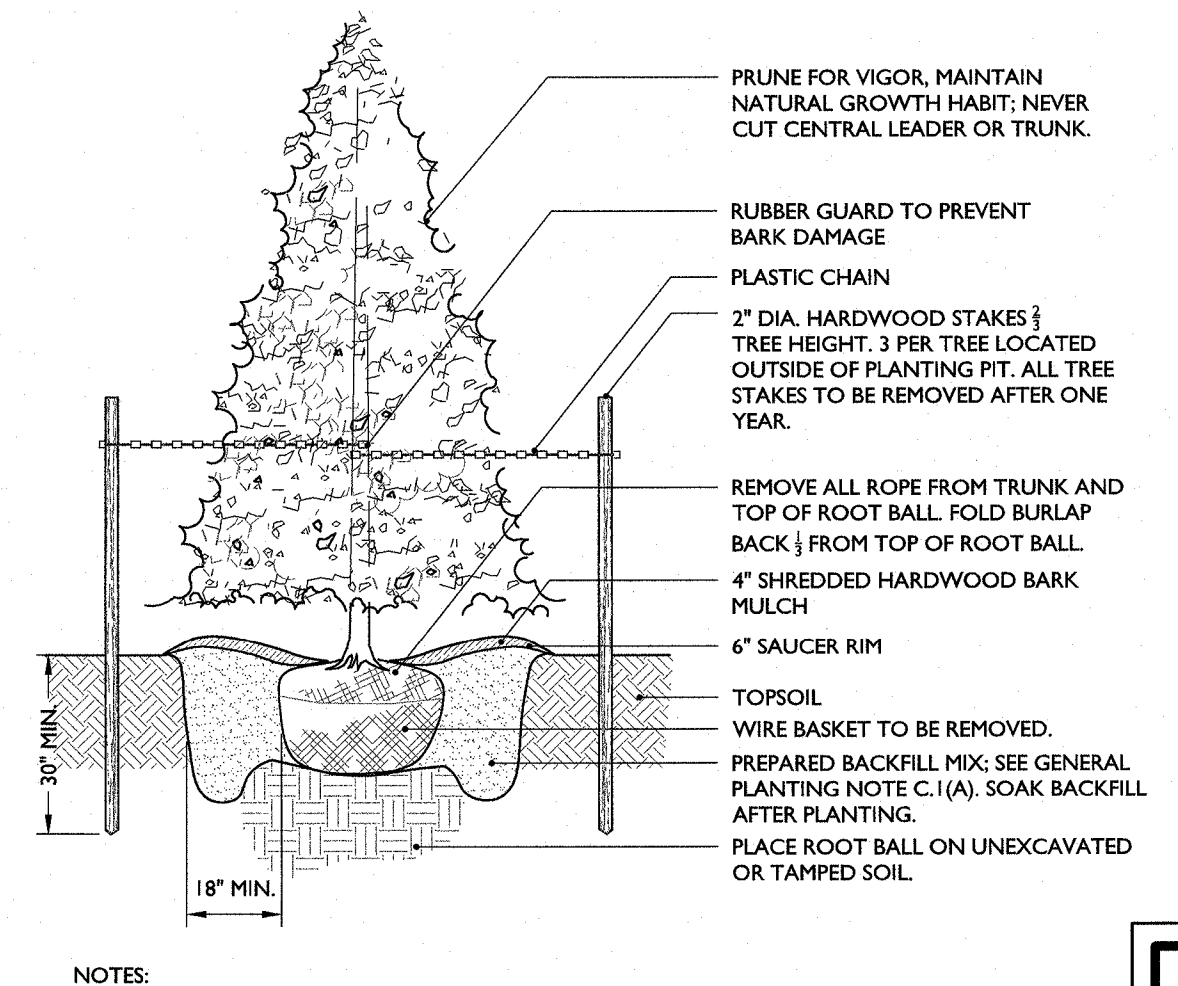
- NOTES**
1. NO SOIL OR MULCH SHALL BE PLACED AGAINST ROOT COLLAR OF PLANT.
  2. PLANTING DEPTH SHALL BE THE SAME OR HIGHER AS GROWN IN NURSERY.
  3. WIRE BASKETS AND NON-JUTE BURLAP MUST BE ENTIRELY REMOVED FROM THE ROOT BALL - JUTE BURLAP MUST BE REMOVED FROM THE TOP 1/3 OF THE ROOT BALL.

**CONCEPTUAL BIORETENTION PLANTING DETAIL**  
 N.T.S.



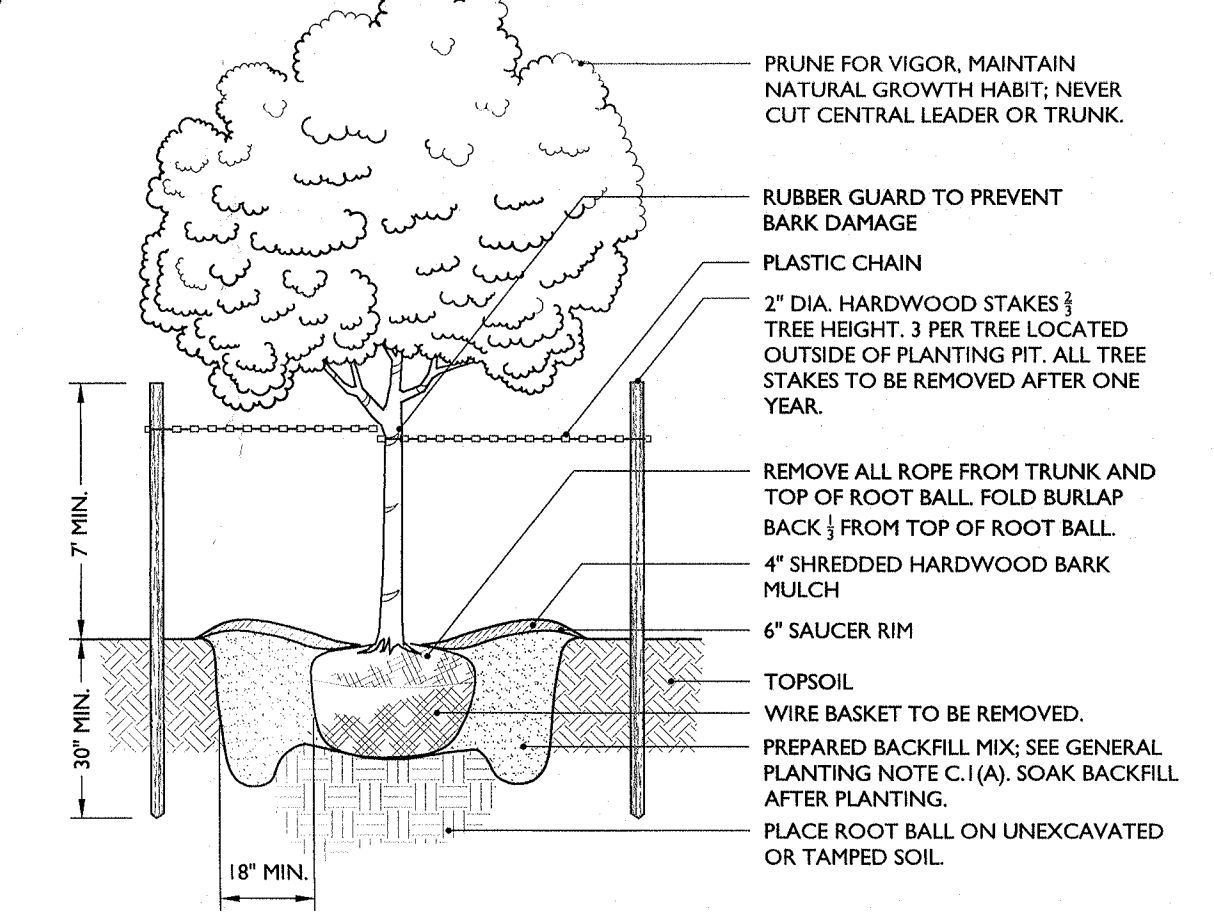
- NOTES**
1. NO SOIL OR MULCH SHALL BE PLACED AGAINST ROOT COLLAR OF PLANT.
  2. PLANTING DEPTH SHALL BE THE SAME OR HIGHER AS GROWN IN NURSERY.

**SHRUB PLANTING DETAIL**  
 N.T.S.



- NOTES**
1. NO SOIL OR MULCH SHALL BE PLACED AGAINST ROOT COLLAR OF PLANT.
  2. PLANTING DEPTH SHALL BE THE SAME OR HIGHER AS GROWN IN NURSERY.

**EVERGREEN TREE PLANTING DETAIL**  
 N.T.S.



- NOTES**
1. NO SOIL OR MULCH SHALL BE PLACED AGAINST ROOT COLLAR OF PLANT.
  2. PLANTING DEPTH SHALL BE THE SAME OR HIGHER AS GROWN IN NURSERY.

**DECIDUOUS TREE PLANTING DETAIL**  
 N.T.S.

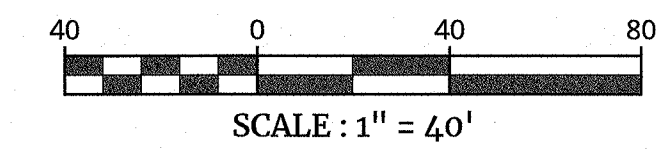
ALL UTILITIES, INCLUDING ELECTRIC AND TELEPHONE SERVICE, SHALL BE INSTALLED UNDERGROUND

SEE SHEET 10 FOR LANDSCAPE NOTES

THIS PLAN TO BE UTILIZED FOR LANDSCAPE PURPOSES ONLY

THIS PLAN DOES NOT CONFLICT WITH THE COUNTY OFFICIAL MAP AND HAS BEEN APPROVED IN THE MANNER SPECIFIED BY SECTION 239.14M OF THE GENERAL MUNICIPAL LAW OF THE STATE OF NEW YORK

WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, SOIL SHALL NOT BE EXPOSED MORE THAN SEVEN (7) DAYS. CONTRACTOR SHALL INITIATE STABILIZATION MEASURES IN ACCORDANCE WITH THE SOIL EROSION & SEDIMENT CONTROL PLAN



**REGISTERED LANDSCAPE ARCHITECT**

**Justin Eric Dates**  
 NEW YORK REGISTERED LANDSCAPE ARCHITECT  
 LICENSE NUMBER: 001964-01  
 COLLIER'S ENGINEERING & DESIGN CT, P.C.

**PRELIMINARY SITE PLAN**  
 FOR  
**WPT ACQUISITIONS, LLC**  
 SECTION 74.07  
 BLOCK 1  
 LOTS 2, 33 & 36

518 NYSR 303 AND 13 & 21 MOUNTAINVIEW AVENUE  
 TOWN OF ORANGETOWN  
 ROCKLAND COUNTY  
 NEW YORK

**Colliers**  
 Engineering & Design

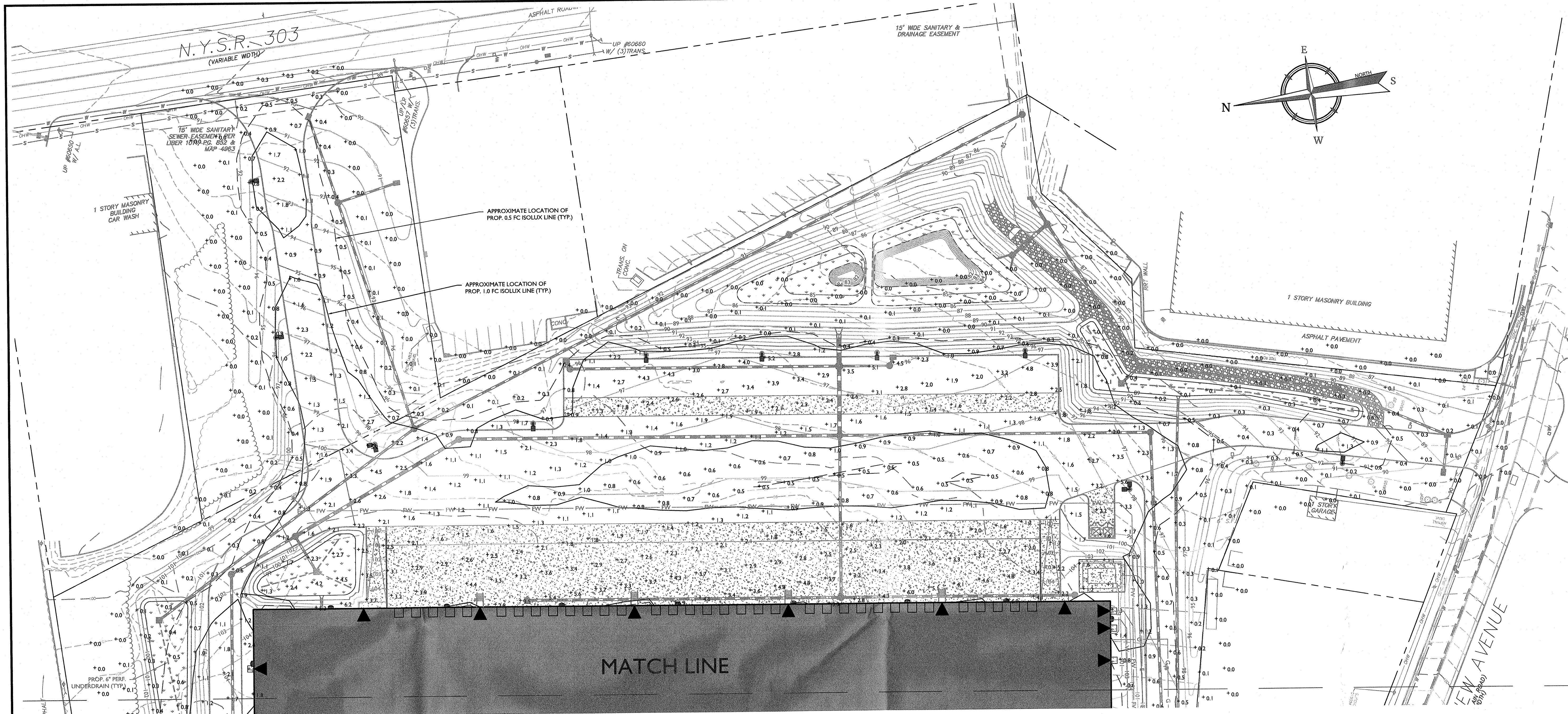
50 Chestnut Ridge Road,  
 Suite 101  
 Montvale, NJ 07645  
 Phone: 845.352.0411

**Montvale**  
 50 Chestnut Ridge Road,  
 Suite 101  
 Montvale, NJ 07645  
 Phone: 845.352.0411

SCALE: AS SHOWN DATE: 11/22/2021 DRAWN BY: DG/CMA CHECKED BY: JBC  
 PROJECT NUMBER: 21003528A DRAWING NAME: CLAND

SHEET TITLE: **LANDSCAPE PLAN - WEST**

SHEET NUMBER: 11 of 22



**LIGHTING PLAN NOTES**

- REFER TO THIS SHEET AND SHEET 13 FOR LIGHTING DETAILS AND ORDERING INFORMATION.
- LIGHT LEVELS ON PLAN REPRESENT AVERAGE MAINTAINED FOOTCANDLE LEVELS AT FINISHED EXTERIOR GRADE.
- ALL MOUNTING HEIGHTS ARE MEASURED FROM FINISHED EXTERIOR GRADE TO LIGHT SOURCE. POLE MOUNTED FIXTURES SHALL BE PLACED A MINIMUM OF THREE (3) FEET BEHIND CURBS.
- POLE LOCATIONS MAY VARY DUE TO SITE CONDITIONS. CONTRACTOR TO FIELD VERIFY POLE LOCATIONS PRIOR TO INSTALLATION TO ACCOMMODATE UTILITIES, PAVEMENTS, FENCES, ETC.
- UNDERGROUND CONDUIT LOCATIONS SHALL BE COORDINATED WITH THE PROPOSED TREE LOCATIONS.
- CONCRETE FOOTING FOR POLE MOUNTED LIGHTS TO BE DESIGNED BY OTHERS. FOOTING DETAIL TO BE SUBMITTED FOR APPROVAL PRIOR TO CONSTRUCTION.
- ELECTRICAL WIRING DESIGN FOR SITE LIGHTING TO BE DESIGNED BY OTHERS.
- SITE LIGHTING SUBSTITUTIONS WILL NOT BE PERMITTED UNLESS SUBSTITUTIONS ARE SUBMITTED AND APPROVED.
- LUMINAIRES TO BE MANUFACTURED BY GARDCO OR APPROVED EQUAL.
- LUMINAIRES AND POLE FINISHES TO BE BLACK.
- THESE PLANS ARE TO BE USED FOR LIGHTING PURPOSES ONLY.

**LEGEND**

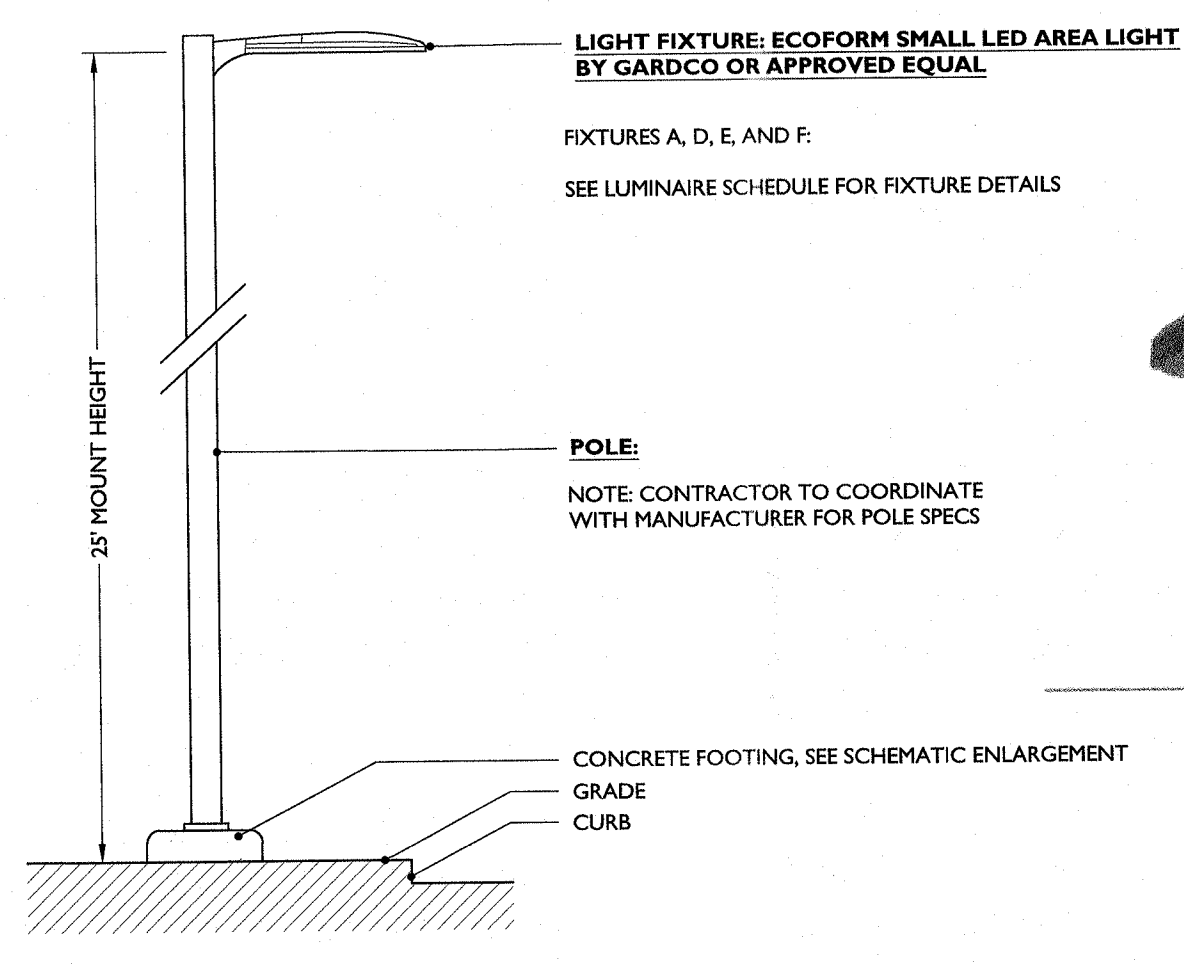
= PROPOSED AREA LIGHT  
 = PROPOSED AREA LIGHT  
 = PROPOSED WALL MOUNTED LIGHT

SEE SHEET 13 FOR CONCRETE FOOTING SCHEMATIC DETAIL

ALL UTILITIES, INCLUDING ELECTRIC AND TELEPHONE SERVICE SHALL BE INSTALLED UNDERGROUND.

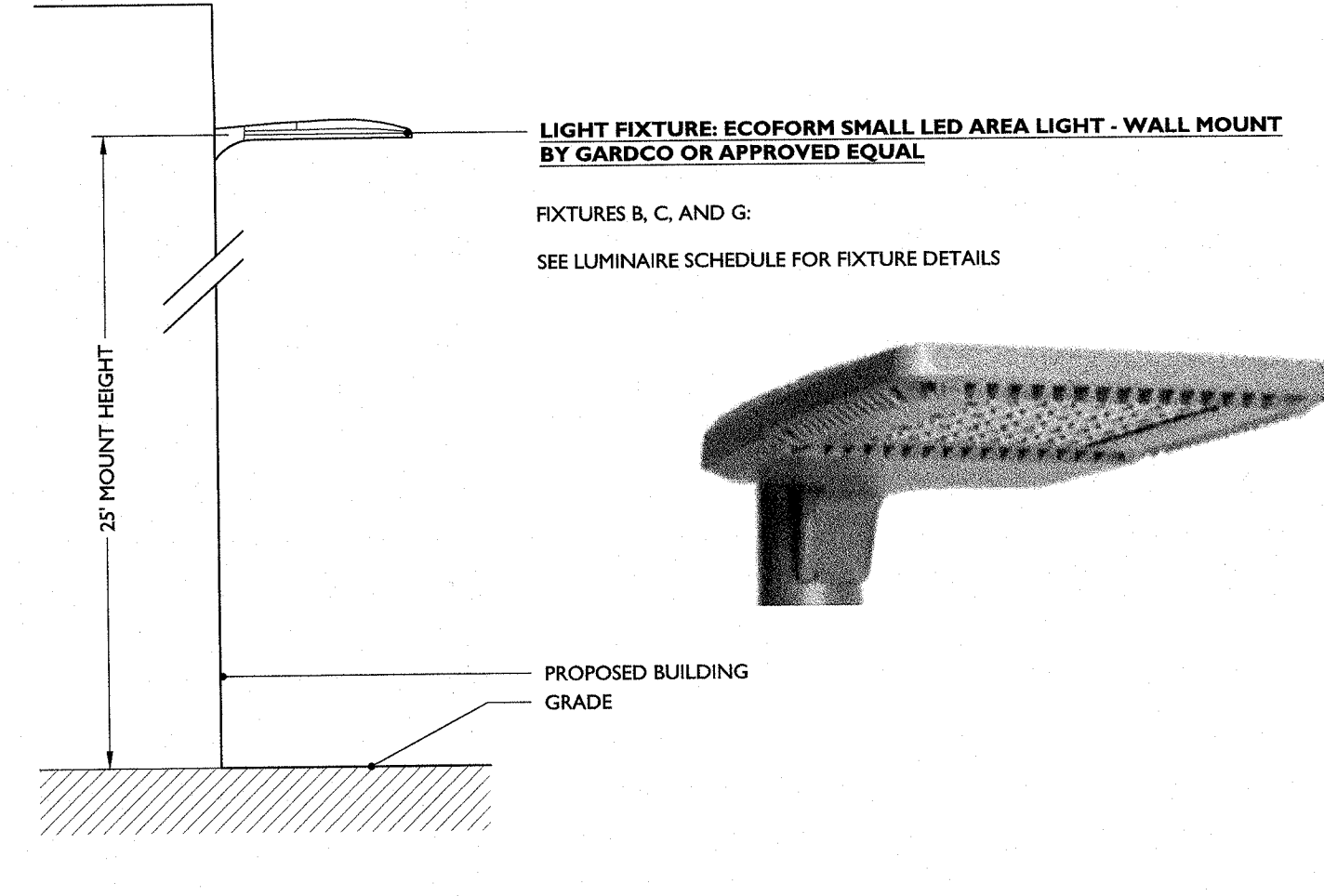
WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, SOIL SHALL NOT BE EXPOSED MORE THAN SEVEN (7) DAYS. CONTRACTOR SHALL INITIATE STABILIZATION MEASURES IN ACCORDANCE WITH THE SOIL EROSION & SEDIMENT CONTROL PLAN.

THIS PLAN TO BE UTILIZED FOR LIGHTING PURPOSES ONLY



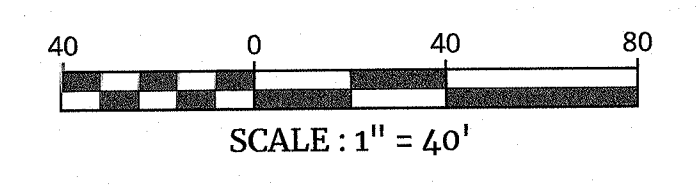
- NOTES:**
- LIGHT AND POLE TO BE MANUFACTURED BY GARDCO OR APPROVED EQUAL.
  - LIGHT AND POLE FINISH TO BE BLACK.
  - MOUNTING HEIGHT TO BE MEASURED FROM EXTERIOR FINISHED GRADE TO LIGHT SOURCE.
  - CONTRACTOR TO PROVIDE SHOP DRAWINGS OF LIGHT FIXTURES FOR REVIEW AND APPROVAL BY THE PROJECT LANDSCAPE ARCHITECT.

POLE MOUNTED LUMINAIRE DETAIL



- NOTES:**
- LIGHT TO BE MANUFACTURED BY GARDCO OR APPROVED EQUAL.
  - LIGHT FINISH TO BE BLACK.
  - MOUNTING HEIGHT TO BE MEASURED FROM FINISHED EXTERIOR GRADE TO LIGHT SOURCE.
  - MOUNTING LOCATIONS TO BE COORDINATED WITH ARCHITECTURAL PLANS.

WALL MOUNTED LUMINAIRE DETAIL



LUMINAIRE SCHEDULE (APPLIES TO FULL SITE - BOTH SHEETS 12 AND 13)									
KEY	QTY.	DESCRIPTION	ARRANGEMENT	MTG. HT.	LUMENS	LLF	WATTAGE (W)	IES FILE NAME	CATALOG #
A	9	GARDCO ECOFORM SMALL LED AREA LIGHT - HOUSE SIDE SHIELD	SINGLE	25'	5,873	.9	55.7	ECF-S-32L-S30-NW-G2-3-HIS	ECF-S-32L-S30-NW-G2-3-HIS
B	9	GARDCO ECOFORM SMALL LED AREA LIGHT - WALL MOUNT	WALL MOUNTED	25'	7,426	.9	55.7	ECF-S-32L-S30-NW-G2-3	ECF-S-32L-S30-NW-G2-3
C	3	GARDCO ECOFORM SMALL LED AREA LIGHT - WALL MOUNT	WALL MOUNTED	25'	14,005	.9	105.6	ECF-S-32L-1A-NW-G2-4	ECF-S-32L-1A-NW-G2-4
D	2	GARDCO ECOFORM SMALL LED AREA LIGHT	2 @ 90°	25'	13,388	.9	211.2	ECF-S-32L-1A-NW-G2-3	ECF-S-32L-1A-NW-G2-3
E	3	GARDCO ECOFORM SMALL LED AREA LIGHT - HOUSE SIDE SHIELD	SINGLE	25'	10,665	.9	105.6	ECF-S-32L-1A-NW-G2-3-HIS	ECF-S-32L-1A-NW-G2-3-HIS
F	4	GARDCO ECOFORM SMALL LED AREA LIGHT - HOUSE SIDE SHIELD	SINGLE	25'	21,559	.9	205.9	ECF-S-64L-1A-NW-G2-4-HIS	ECF-S-64L-1A-NW-G2-4-HIS
G	7	GARDCO ECOFORM SMALL LED AREA LIGHT - WALL MOUNT	WALL MOUNTED	25'	27,494	.9	205.9	ECF-S-64L-1A-NW-G2-4	ECF-S-64L-1A-NW-G2-4

**PRELIMINARY SITE PLAN**

FOR  
**WPT ACQUISITIONS, LLC**  
SECTION 74.07  
BLOCK 1  
LOTS 2, 33 & 36

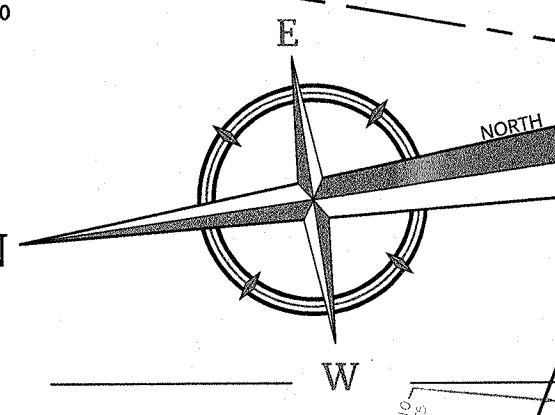
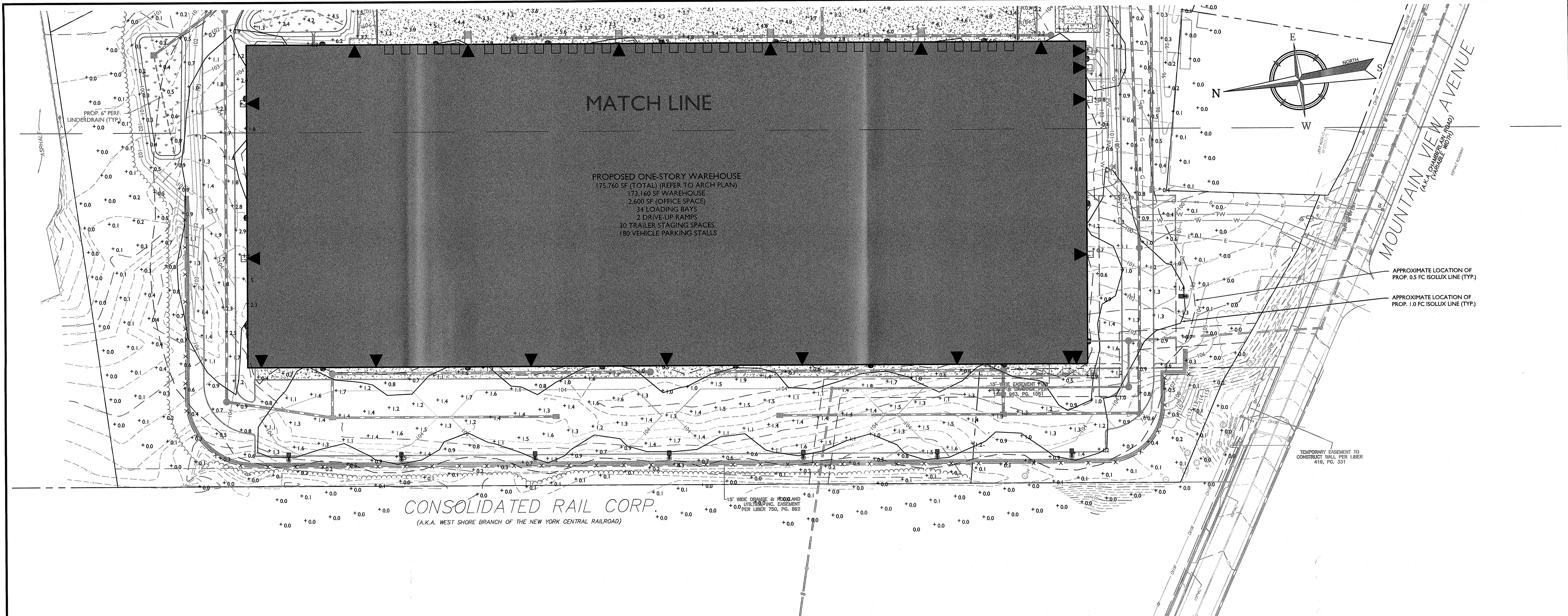
518 NYSR 303 AND 13 & 21  
MOUNTAINVIEW AVENUE

TOWN OF ORANGETOWN  
ROCKLAND COUNTY  
NEW YORK

Colliers Engineering & Design  
MONTVALE  
50 Chestnut Ridge Road, Suite 101  
Montvale, NJ 07645  
Phone: 845.352.0411

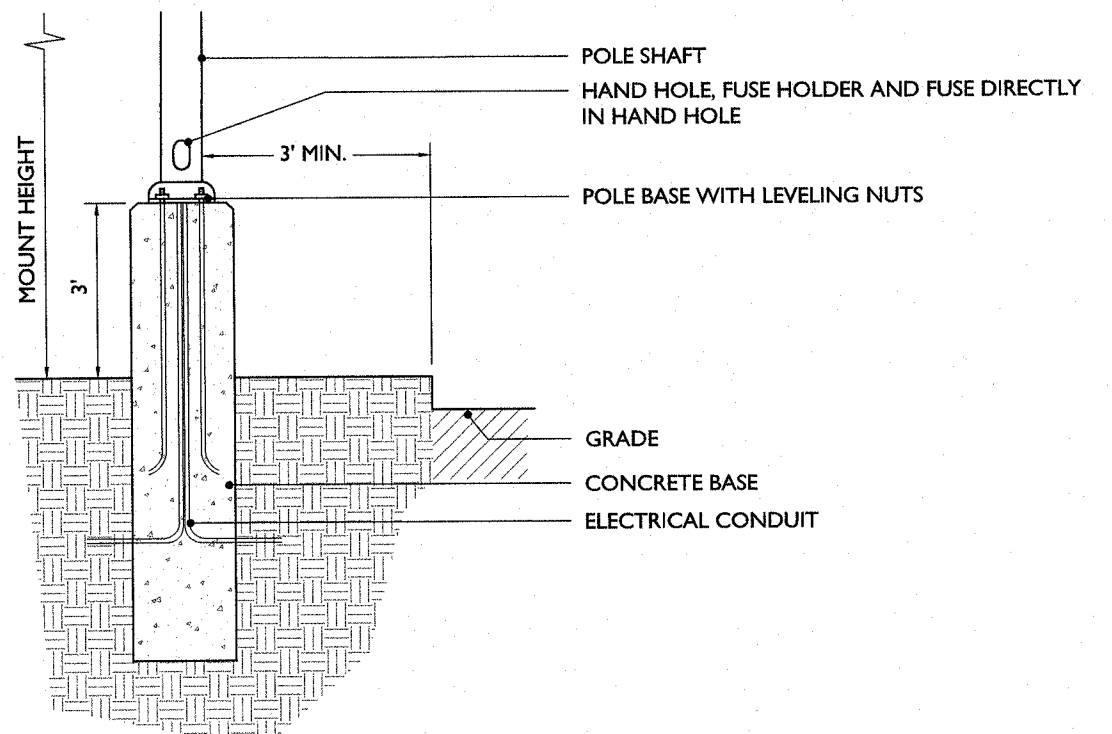
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PROJECT NUMBER: 21003528A	DRAWING NAME: C-LIGHT	SHEET TITLE: LIGHTING PLAN - EAST	

SHEET NUMBER: 12 OF 22



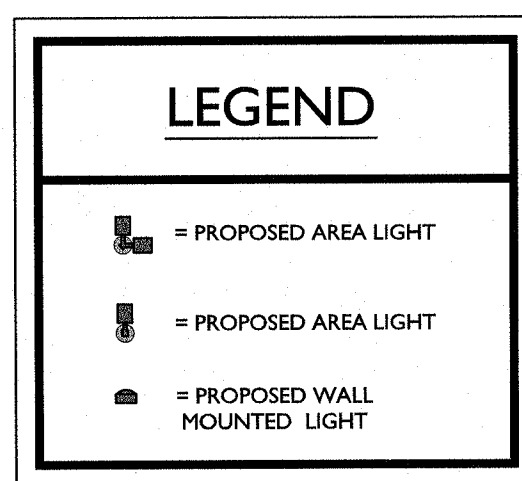
APPROXIMATE LOCATION OF  
 PROP. 0.5 FC ISOLUX LINE (TYP.)

APPROXIMATE LOCATION OF  
 PROP. 1.0 FC ISOLUX LINE (TYP.)



- NOTES:**
1. FOOTING SHOWN IS SCHEMATIC ONLY.
  2. SHOP DRAWINGS AND CALCULATIONS FOR THE DESIGN AND SIZING OF THE CONCRETE FOOTING SHALL BE PREPARED BY A NY STATE LICENSED PROFESSIONAL ENGINEER, AND SHALL BE PROVIDED BY THE CONTRACTOR FOR APPROVAL PRIOR TO CONSTRUCTION.
  3. SITE ELECTRICAL CONTRACTOR TO COORDINATE LOCATED OF EASEMENTS, UNDERGROUND UTILITIES, AND DRAINAGE AREAS BEFORE DRILLING POLE BASES.

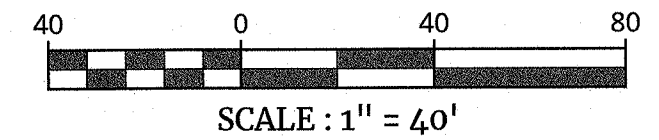
**CONCRETE FOOTING SCHEMATIC DETAIL**



THIS PLAN TO BE UTILIZED FOR LIGHTING PURPOSES ONLY

ALL UTILITIES, INCLUDING ELECTRIC AND TELEPHONE SERVICE, SHALL BE INSTALLED UNDERGROUND.

WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, SOIL SHALL NOT BE EXPOSED MORE THAN SEVEN (7) DAYS. CONTRACTOR SHALL INITIATE STABILIZATION MEASURES IN ACCORDANCE WITH THE SOIL EROSION & SEDIMENT CONTROL PLAN.



REV	DATE	DESCRIPTION

*Joe Barrett Cokeley*  
**Joe Barrett Cokeley**  
 NEW YORK LICENSED PROFESSIONAL ENGINEER  
 LICENSE NUMBER: 090987-1  
 COLLIER ENGINEERING & DESIGN CT, P.C.  
 N.Y. C.O.A # 0017609

PRELIMINARY SITE PLAN  
 FOR  
**WPT ACQUISITIONS, LLC**  
 SECTION 74.07  
 BLOCK 1  
 LOTS 2, 33 & 36

518 NYSR 303 AND 13 & 21  
 MOUNTAINVIEW AVENUE

TOWN OF ORANGETOWN  
 ROCKLAND COUNTY  
 NEW YORK

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MONTVALE  
 50 Chestnut Ridge Road,  
 Suite 101  
 Montvale, NJ 07645  
 Phone: 845.352.0411  
 COLLIER ENGINEERING & DESIGN CT, P.C.  
 DOING BUSINESS AS MASER CONSULTING  
 ENGINEERING & LAND SURVEYING

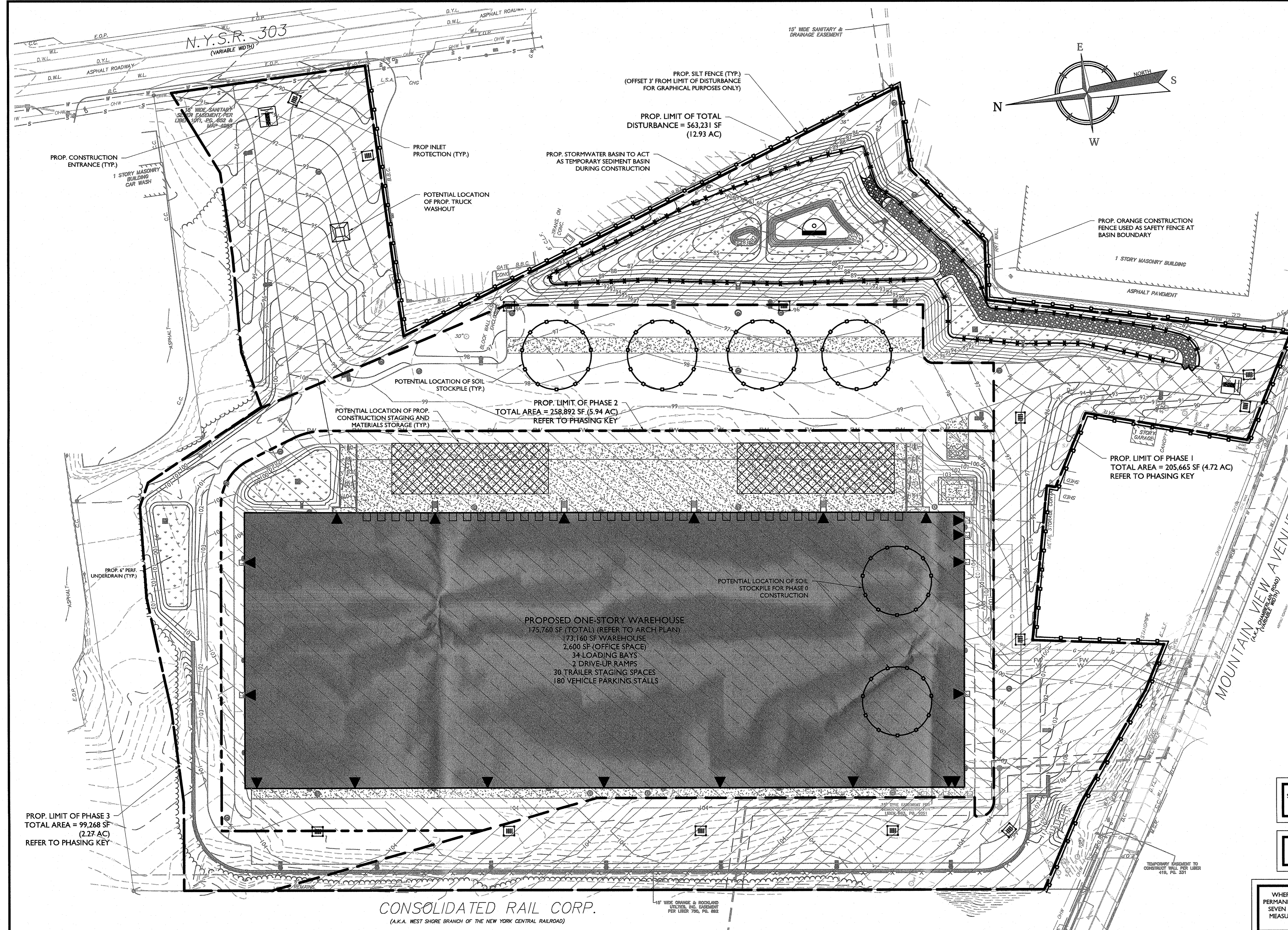
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AS SHOWN	11/22/2021	DG/CM	JBC

LIGHTING PLAN - WEST









CONSOLIDATED RAIL CORP.  
 (A.K.A. WEST SHORE BRANCH OF THE NEW YORK CENTRAL RAILROAD)

### SOIL EROSION AND SEDIMENT CONTROL NOTES

- CONTRACTOR SHALL CALL FOR A CODE 53 MARK-OUT OF EXISTING UTILITIES PRIOR TO BEGINNING WORK.
- PRE-CONSTRUCTION MEETING SHALL BE HELD BETWEEN CONTRACTOR, DESIGN ENGINEER, AND TOWN OF ORANGETOWN.
- CONTRACTOR SHALL INSTALL ALL EROSION CONTROL DEVICES SHOWN AND DESCRIBED IN CURRENT PHASE (STABILIZED CONSTRUCTION ENTRANCE, SILT FENCE, INLET FILTERS, TEMPORARY DIVERSION SWALES & BERMS, TEMPORARY SEDIMENT BASIN, ETC.) PRIOR TO ANY MAJOR SOIL DISTURBANCE, OR IN THEIR PROPER SEQUENCE, AND MAINTAINED UNTIL STABILIZATION IS ESTABLISHED OR OTHERWISE DIRECTED.
- ADDITIONAL EROSION CONTROL MEASURES SHALL BE INSTALLED, AS MAY BE REQUIRED AND REQUESTED BY AUTHORITIES OR INSPECTORS, TO PREVENT THE INCIDENTAL DISCHARGE OF SILT LADEN RUNOFF FROM ENTERING A WATER COURSE OR DRAINAGE SYSTEM.
- ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL CONFORM TO THE LATEST VERSION OF THE NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL, PROVIDED BY NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION (NYSDEC).
- WHEN EROSION CONTROL MEASURES, INCLUDING TEMPORARY SEDIMENT BASINS, HAVE REACHED 25% CAPACITY, CONTRACTOR SHALL REMOVE SEDIMENT TO ENSURE PROPER FUNCTIONALITY. SEDIMENT BASINS SHALL BE CLEANED UPON STABILIZATION AT THE END OF CONSTRUCTION.
- CONTRACTOR SHALL INITIATE STABILIZATION MEASURES AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN SEVEN (7) DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED. STABILIZATION MEANS COVERING OR MAINTAINING AN EXISTING COVER OVER SOIL. COVER CAN BE VEGETATIVE (E.G. GRASS, TREES, SEED AND MULCH, SHRUBS, SOD OR TURF) OR NONVEGETATIVE (E.G. GEOTEXTILES, RIP RAP, HARDSCAPES OR BAGIONS) PER SPDES GENERAL PERMIT FOR STORMWATER DISCHARGE FROM CONSTRUCTION ACTIVITY, GP-0-20-001.
- ANY DISTURBED AREAS THAT WILL BE LEFT EXPOSED MORE THAN SEVEN (7) DAYS AND NOT SUBJECT TO CONSTRUCTION TRAFFIC, WILL IMMEDIATELY RECEIVE TEMPORARY STABILIZATION.
- PERMANENT VEGETATION TO BE SEEDED OR SODDED ON ALL EXPOSED AREAS WITHIN SEVEN (7) DAYS OF FINAL GRADING. MULCHING IS REQUIRED ON ALL SEEDING. WHEN HYDROSEEDING, MULCH SHALL NOT BE INCLUDED IN THE TANK WITH THE SEED.
- A SUBBASE COURSE WILL BE APPLIED IMMEDIATELY FOLLOWING ROUGH GRADING AND INSTALLATION OF IMPROVEMENTS FOR DRIVE AISLES AND PARKING AREAS. IN AREAS WHERE NO UTILITIES ARE PRESENT, THE SUBBASE SHALL BE INSTALLED WITHIN SEVEN (7) DAYS OF THE PRELIMINARY GRADING.
- IMMEDIATELY FOLLOWING INITIAL DISTURBANCE OR ROUGH GRADING, ALL CRITICAL AREAS SUBJECT TO EROSION (E.G. STEEP SLOPES) WILL RECEIVE TEMPORARY STABILIZATION. ANY STEEP SLOPES RECEIVING UTILITY INSTALLATION WILL BE BACKFILLED AND STABILIZED DAILY, AS THE INSTALLATION CONTINUES (I.E. SLOPES GREATER THAN 3:1).
- UNFILTERED DEWATERING IS NOT PERMITTED. CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS DURING ALL DEWATERING OPERATIONS TO MINIMIZE SEDIMENT TRANSFER. ANY DEWATERING METHODS USED MUST BE IN ACCORDANCE WITH STATE STANDARDS.
- SHOULD THE CONTROL OF DUST AT THE SITE BE NECESSARY, THE SITE WILL BE SPRINKLED UNTIL THE SURFACE IS WET, TEMPORARY VEGETATIVE COVER SHALL BE ESTABLISHED OR MULCH SHALL BE APPLIED IN ACCORDANCE WITH STATE STANDARDS.
- ALL SOIL WASHED, DROPPED, SPILLED OR TRACKED OUTSIDE THE LIMIT OF EACH PHASE OR ONTO PUBLIC RIGHTS-OF-WAY SHALL BE SWEEP, CLEANED OR REMOVED IMMEDIATELY.
- ALL SOIL STOCKPILES ARE TO BE TEMPORARILY STABILIZED IN ACCORDANCE WITH STATE STANDARDS.
- ACTIVE PHASE TO BE COMPLETELY STABILIZED PRIOR TO PROCEEDING TO SUBSEQUENT PHASES.
- THE GENERAL PERMIT FOR STORMWATER DISCHARGE FROM CONSTRUCTION ACTIVITY STATES THAT IT IS UNLAWFUL FOR ANY PERSON TO CAUSE OR CONTRIBUTE TO A VIOLATION OF WATER QUALITY STANDARDS.

### GENERAL SEEDING NOTES

- TEMPORARY SEEDING SHALL CONSIST OF PERENNIAL RYEGRASS APPLIED AT A RATE OF 1.0 LBS. PER 1000 SF OR SPRING OATS APPLIED AT A RATE OF 2.0 LBS. PER 1000 SF. TEMPORARY SEEDING SHALL BE MULCHED AND MAINTAINED UNTIL DISTURBED AREAS ARE PERMANENTLY STABILIZED WITH PERMANENT SEEDING.
- PERMANENT LAWN SEEDING SHALL CONSIST OF THE FOLLOWING MIXTURE OR APPROVED EQUAL - OPTIMUM SEEDING DATES ARE BETWEEN APRIL 1 AND MAY 31 AND AUGUST 16 AND OCTOBER 15.
 

MIX #15 -	HARD FESCUE	120 LBS/ACRE
	PERENNIAL RYE GRASS	30 LBS/ACRE
	KENTUCKY BLUE GRASS (BLEND)	40 LBS/ACRE
OR		
MIX #16 -	TALL FESCUE	160 LBS/ACRE
	PERENNIAL RYE GRASS (BLEND)	20 LBS/ACRE
	KENTUCKY BLUE GRASS (BLEND)	20 LBS/ACRE
- DETENTION BASIN TO BE SEEDED WITH ERNST SEED MIX 127 OR APPROVED EQUIVALENT.
- PERMANENT SEEDING TO BE APPLIED BY RAKING OR DRILLING INTO THE SOILS AT A RATE OF 150# PER ACRE, SLOPED AREA TO BE COVERED WITH MULCH AS INDICATED IN NOTE 6.
- FERTILIZER FOR THE ESTABLISHMENT OF TEMPORARY AND PERMANENT VEGETATIVE COVER SHALL BE 10-20-20 APPLIED AT A RATE OF 14# PER 1000 SF OR AS DETERMINED BY SOIL TESTS. LIMESTONE FOR TEMPORARY SEEDING SHALL BE APPLIED AT A RATE OF 90# PER 1000 SF. LIMESTONE FOR PERMANENT SEEDING SHALL BE APPLIED AT RATE OF 135# PER 1000 SF.
- IF SEASON PREVENTS THE ESTABLISHMENT OF TEMPORARY OR PERMANENT SEEDING, EXPOSED AREA TO BE STABILIZED WITH MULCH AS INDICATED IN NOTE 7.
- MULCH TO CONSIST OF SMALL GRAIN STRAW OR SALT HAY ANCHORED WITH A WOOD AND FIBER MULCH BINDER OR AN APPROVED EQUAL. MULCH WILL BE SPREAD AT RATES OF 90 TO 115 LBS. PER 1000 SF AND ANCHORED WITH A MULCH ANCHORING TOOL OR LIQUID MULCH BINDER, AND SHALL BE PROVIDED ON ALL SEEDINGS. HYDROMULCH SHALL ONLY BE USED DURING OPTIMUM GROWING SEASONS.
- WORK LIME AND FERTILIZER INTO SOIL AS NEARLY AS PRACTICAL TO A DEPTH OF 4 INCHES WITH A DISC, SPRINGTOOTH HARROW, OR OTHER SUITABLE EQUIPMENT. THE FINAL HARROWING OR DISCING OPERATION SHOULD BE ON ON THE GENERAL CONTOUR. CONTINUE TILLAGE UNTIL A REASONABLY UNIFORM, FINE SEEDBED IS PREPARED. ALL BAY CLAY OR SILTY SOILS AND COARSE SANDS SHOULD BE ROLLED TO FIRM THE SEEDBED WHEREVER FEASIBLE.
- REMOVE FROM THE SURFACE ALL STONES TWO INCHES OR LARGER IN ANY DIMENSION. REMOVE ALL OTHER DEBRIS, SUCH AS WIRE, CABLE, TREE ROOTS, PIECES OF CONCRETE, CLODS, LUMPS, OR OTHER UNSUITABLE MATERIAL.
- INSPECT SEEDBED JUST BEFORE SEEDING. IF TRAFFIC HAS LEFT THE SOIL COMPACTED, THE AREA MUST BE RETILLED AND FIRMED AS ABOVE.

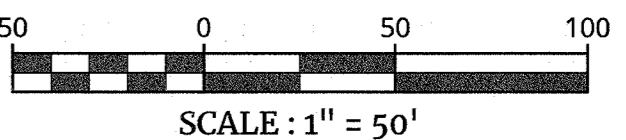
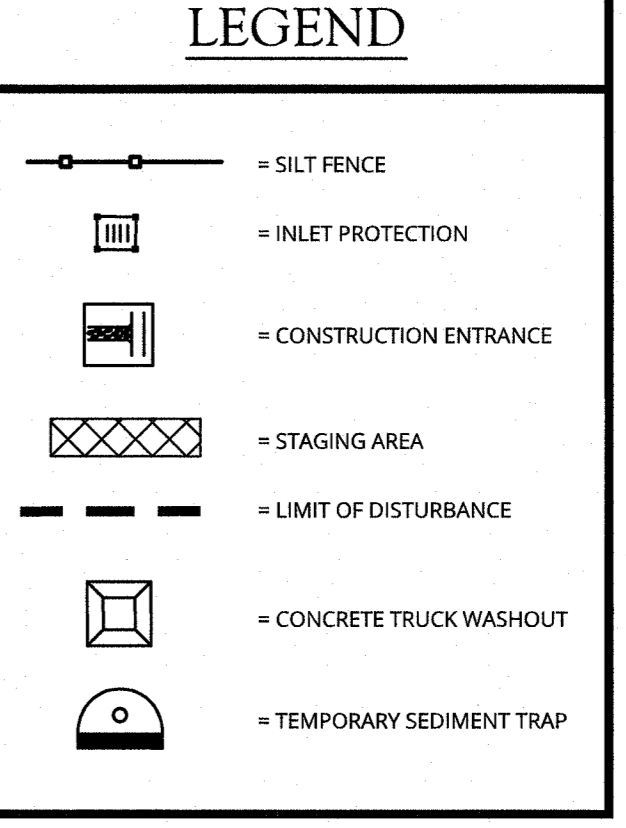
SEE CONSTRUCTION DETAILS FOR SOIL EROSION AND SEDIMENT CONTROL DETAILS

ALL UTILITIES, INCLUDING ELECTRIC AND TELEPHONE SERVICE, SHALL BE INSTALLED UNDERGROUND

TOTAL LIMIT OF DISTURBANCE FOR ENTIRE PROJECT = 12.93 ACRES

THIS PLAN TO BE UTILIZED FOR EROSION CONTROL PURPOSES ONLY

WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, SOIL SHALL NOT BE EXPOSED MORE THAN SEVEN (7) DAYS. CONTRACTOR SHALL INITIATE STABILIZATION MEASURES IN ACCORDANCE WITH SOIL EROSION & SEDIMENT CONTROL NOTE #7 ON THIS PLAN.



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DATE	DESCRIPTION

*A. 36th*  
**Jesse Barrett Cokley**  
 NEW YORK LICENSED PROFESSIONAL ENGINEER  
 LICENSE NUMBER: 00987-1  
 COLLIER'S ENGINEERING & DESIGN CT, P.C.  
 N.Y. C.O.A.#: 9017609

PRELIMINARY SITE PLAN  
 FOR  
**WPT ACQUISITIONS, LLC**  
 SECTION 74.07  
 BLOCK 1  
 LOTS 2, 33 & 36

518 NYSR 303 AND 13 & 21 MOUNTAINVIEW AVENUE  
 TOWN OF ORANGETOWN  
 ROCKLAND COUNTY  
 NEW YORK

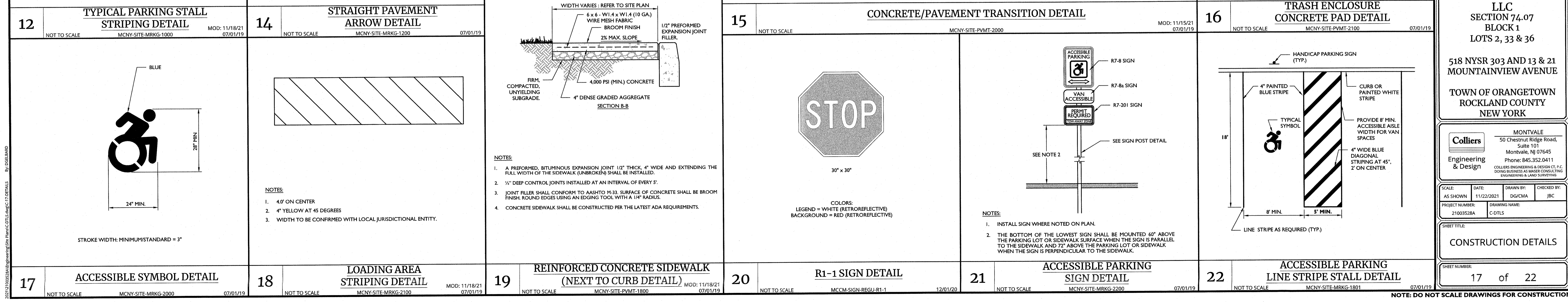
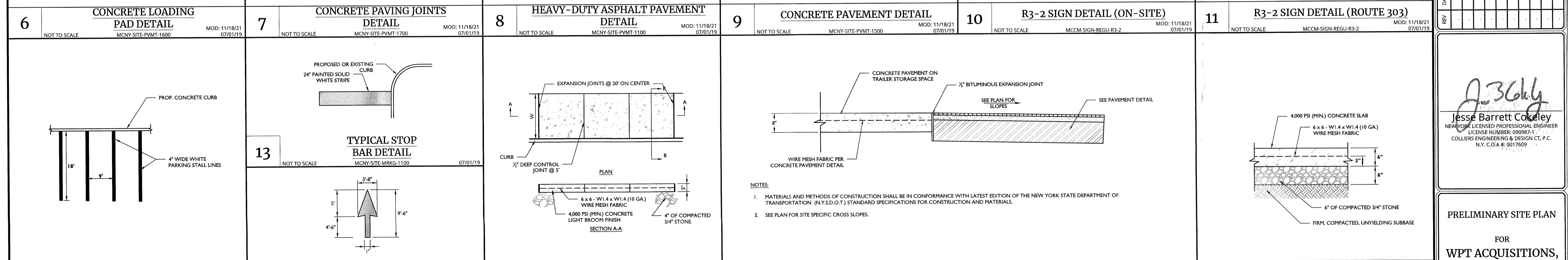
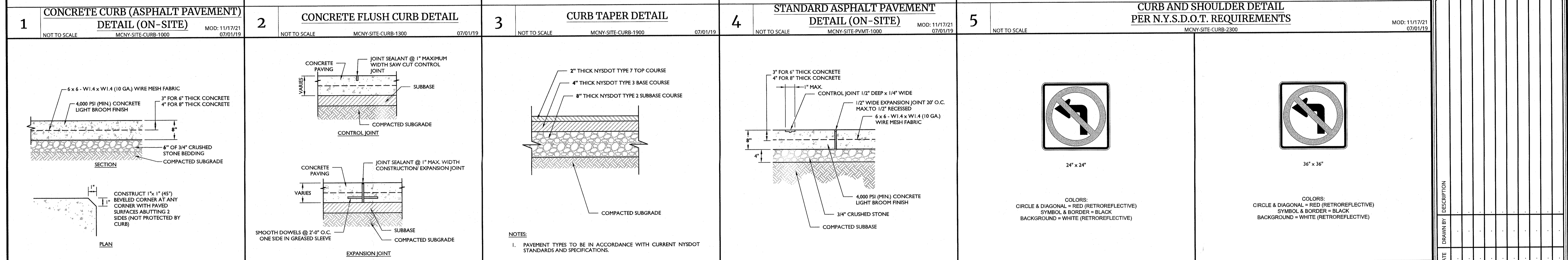
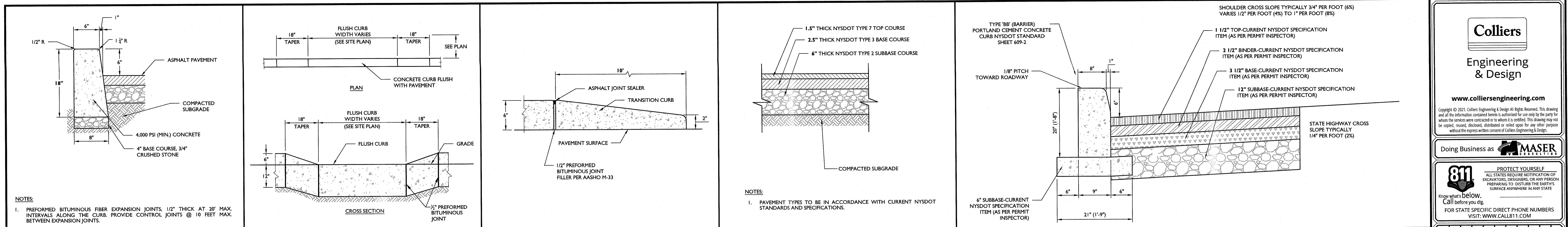
**Colliers** Montvale  
 50 Chestnut Ridge Road, Suite 101  
 Montvale, NJ 07645  
 Phone: 845.352.0411  
 COLLIER'S ENGINEERING & DESIGN CT, P.C.  
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SCALE:	DATE:	DRAWN BY:	CHECKED BY:
AS SHOWN	11/22/2021	DIG/CMA	JBC
PROJECT NUMBER:	DRAWING NAME:		
21003528A	C-SESC		

SHEET TITLE:  
**PHASE III SOIL EROSION & SEDIMENT CONTROL PLAN**

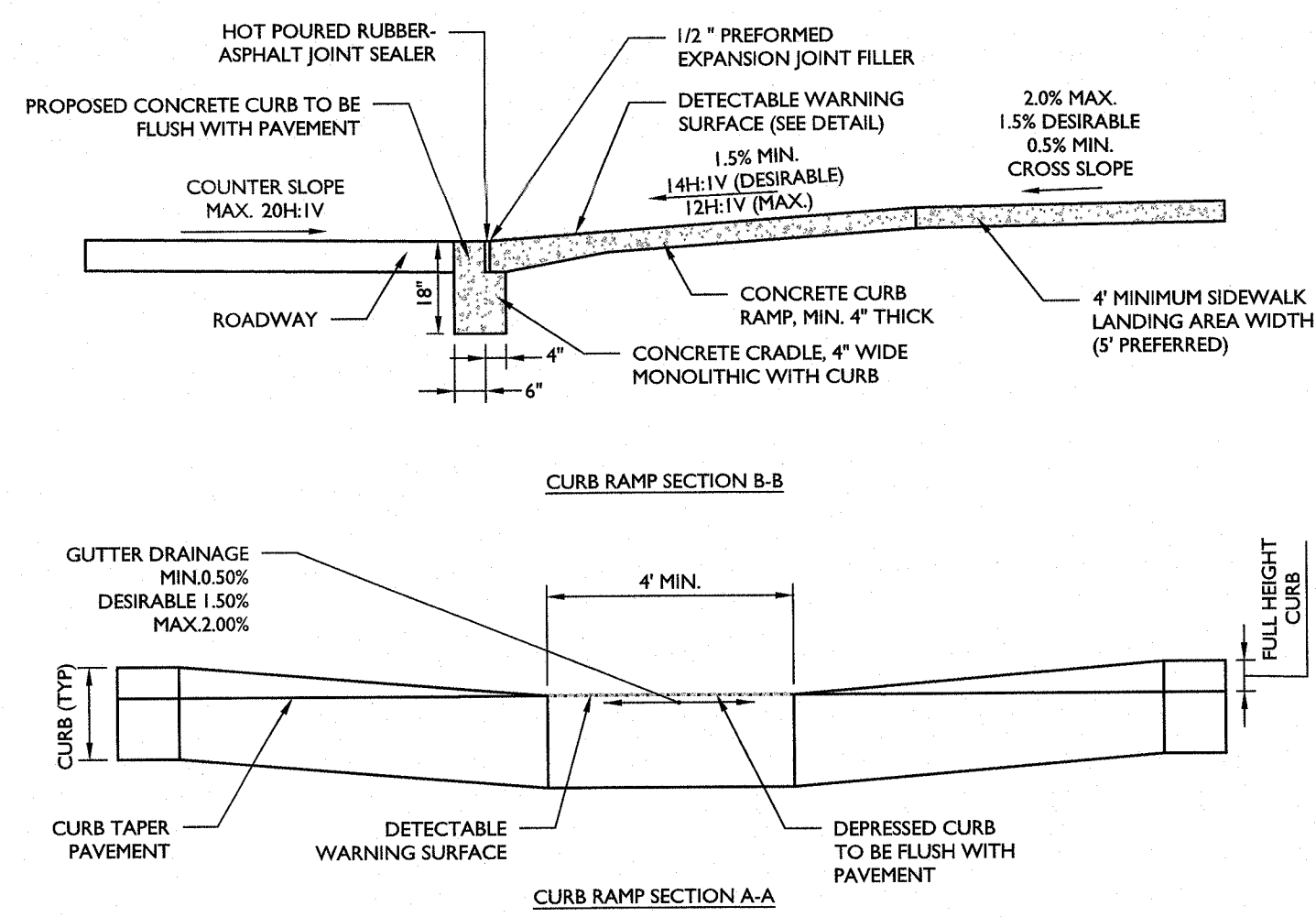
SHEET NUMBER:  
 16 of 22

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 DRAWN BY: DESCRIPTION: DATE: REV: JBC  
 J. Barrett Coker  
 Jesse Barrett Coker  
 NEW YORK LICENSED PROFESSIONAL ENGINEER  
 LICENSE NUMBER: 090987-1  
 COLLIERS ENGINEERING & DESIGN CT, P.C.  
 N.Y. C.O.A.#: 0017609  
**PRELIMINARY SITE PLAN FOR WPT ACQUISITIONS, LLC SECTION 74.07 BLOCK 1 LOTS 2, 33 & 36**  
 518 NYSR 303 AND 13 & 21 MOUNTAINVIEW AVENUE  
 TOWN OF ORANGETOWN ROCKLAND COUNTY NEW YORK  
**Colliers Engineering & Design**  
 MONTVALE 50 Chestnut Ridge Road, Suite 101 Montvale, NJ 07645 Phone: 845.352.0411  
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 SCALE: AS SHOWN DATE: 11/22/2021 DRAWN BY: JBC CHECKED BY: JBC  
 PROJECT NUMBER: 21003528A DRAWING NAME: C-DTLS  
 SHEET TITLE: CONSTRUCTION DETAILS  
 SHEET NUMBER: 17 of 22  
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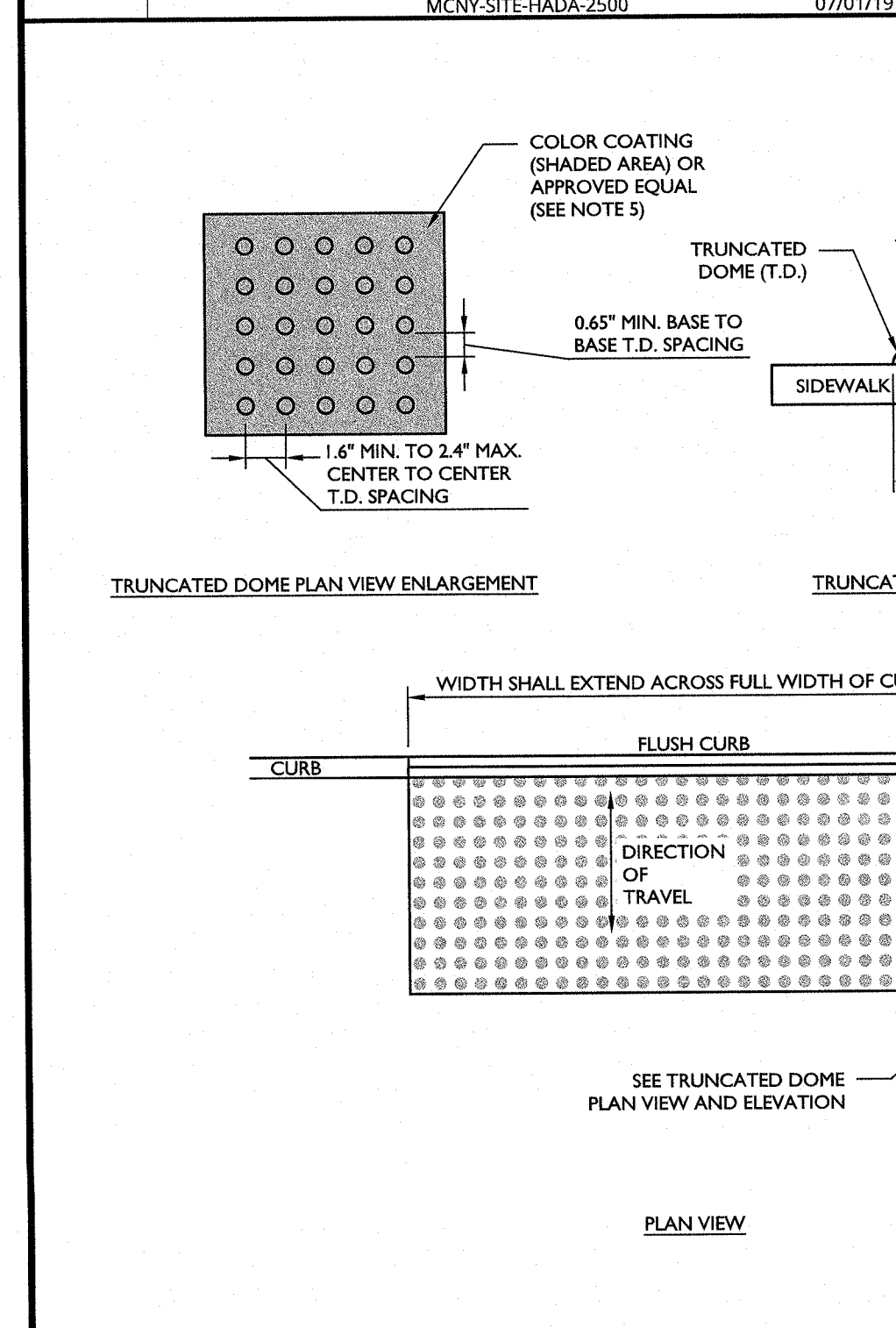
- NOTES:
- CONTRACTOR SHALL PREPARE SHOP DRAWINGS OF EACH CURB RAMP FOR SUBMISSION AND APPROVAL OF THE UNDERSIGNED PROFESSIONAL AND THE MUNICIPAL, COUNTY, STATE OR OTHER AGENCY'S ENGINEER HAVING JURISDICTION.
  - LANDING AREA, APPROACH SIDEWALK TRANSITIONS AND CURB RAMP SHALL BE KEPT CLEAR OF OBSTRUCTIONS.
  - CURB AT RAMP OPENING (FLUSH CURB) TO BE FLUSH WITH ROADWAY PAVEMENT.
  - CROSSWALKS AND PAVEMENT MARKINGS TO BE INSTALLED AS DENOTED ON SITE PLAN.
  - MAXIMUM RAMP SLOPE MAY BE 12:1 UPON APPROVAL OF ENGINEER. RAMP SLOPES SHOWN ARE THE PREFERRED SLOPE. SIDE FLARE SLOPES MAY BE 10:1 UPON APPROVAL OF THE ENGINEER.
  - MINIMUM RAMP CROSS-SLOPE SHALL BE 0.50%. THE MAXIMUM RAMP CROSS-SLOPE MAY BE 2.00% UPON APPROVAL OF THE ENGINEER. CROSS-SLOPES SHOWN IN THE DETAILS ARE THE PREFERRED SLOPES TO MAINTAIN A LEVEL OF CONSTRUCTION TOLERANCE.
  - ACCESSIBLE RAMPS SHALL BE INSTALLED PURSUANT WITH THE CURRENT UNITED STATES ACCESS BOARD ACCESSIBILITY GUIDELINES FOR PEDESTRIAN FACILITIES AND THE ADA STANDARDS FOR ACCESSIBLE DESIGN AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE AND OTHER APPLICABLE LOCAL AND STATE STANDARDS IN EFFECT AT THE DATE OF CONSTRUCTION.
  - DEVIATIONS FROM THE CURB RAMP DETAILS REQUIRE WRITTEN APPROVAL OF THE UNDERSIGNED PROFESSIONAL AND THE MUNICIPAL, COUNTY, STATE OR OTHER AGENCY'S ENGINEER HAVING JURISDICTION.
  - THE RAMP SURFACE SHALL HAVE A NON-SLIP, HAND BROOMED FINISH.
  - CONCRETE EXPANSION JOINTS SHALL HAVE A FIRM SURFACE WITH 1/4" BEVELED CONCRETE EDGES. THE JOINT SURFACE SHALL NOT BE MORE THAN 1/4" BELOW THE ADJOINING CONCRETE SURFACE.
  - CURB RAMP MUST BE WHOLLY CONTAINED WITHIN THE CROSSWALK CROSSING.
  - THE CLEAR SPACE SHALL BE INCREASED TO 5 FEET WHERE THE TURNING SPACE IS CONSTRAINED AT THE BACK OF THE SIDEWALK.
  - THE MAXIMUM SEPARATION BETWEEN THE BACK OF CURB AND DETECTABLE WARNING SURFACE SHALL NOT EXCEED 5 FEET. THE MAXIMUM SEPARATION AREA MAY BE WITHIN THE 4' X 4' CLEAR SPACE.
  - SEE SEPARATE DETAILS FOR "DETECTABLE WARNING SURFACE" AND "CURB RAMP SECTIONS".
  - WHERE SIDE FLARES ARE NOT REQUIRED, PROVIDE AN 18" CURB TAPER TO THE FLUSH CURB.
  - ALL CURB RAMP FLUSH CURB SHALL BE MADE WITH CONCRETE CURB CRADLE, REGARDLESS OF THE CURB MATERIAL USED THROUGHOUT THE SITE.



- NOTES:
- DEPRESSED CURB AT DETECTABLE WARNING SHALL BE A SMOOTH LEVEL SURFACE THAT IS FLUSH WITH THE ADJOINING PAVEMENT. NO BUMPS OR ROUGH SURFACES ARE ALLOWED. SUCH UNEVENNESS SHALL BE MILLED OR GRIINDED SMOOTH.
  - POSITIVE DRAINAGE SHALL BE MAINTAINED AT RAMP. RAMP SHALL SLOPE TOWARDS PAVEMENT NO PONDING OF WATER IS PERMITTED AT CURB RAMP. PAVEMENT GRADES TO BE ADJUSTED AS NECESSARY TO PROVIDE POSITIVE GUTTER DRAINAGE.
  - CURB (DROPPED CURB) GUTTER-LINE TO BE FLUSH WITH ROADWAY PAVEMENT.
  - MAXIMUM GUTTER DRAINAGE GRADE MAY BE INCREASED TO 2.00% UPON THE WRITTEN APPROVAL OF THE UNDERSIGNED PROFESSIONAL.
  - DEVIATION FROM THIS DETAIL REQUIRES THE WRITTEN APPROVAL OF THE UNDERSIGNED PROFESSIONAL.

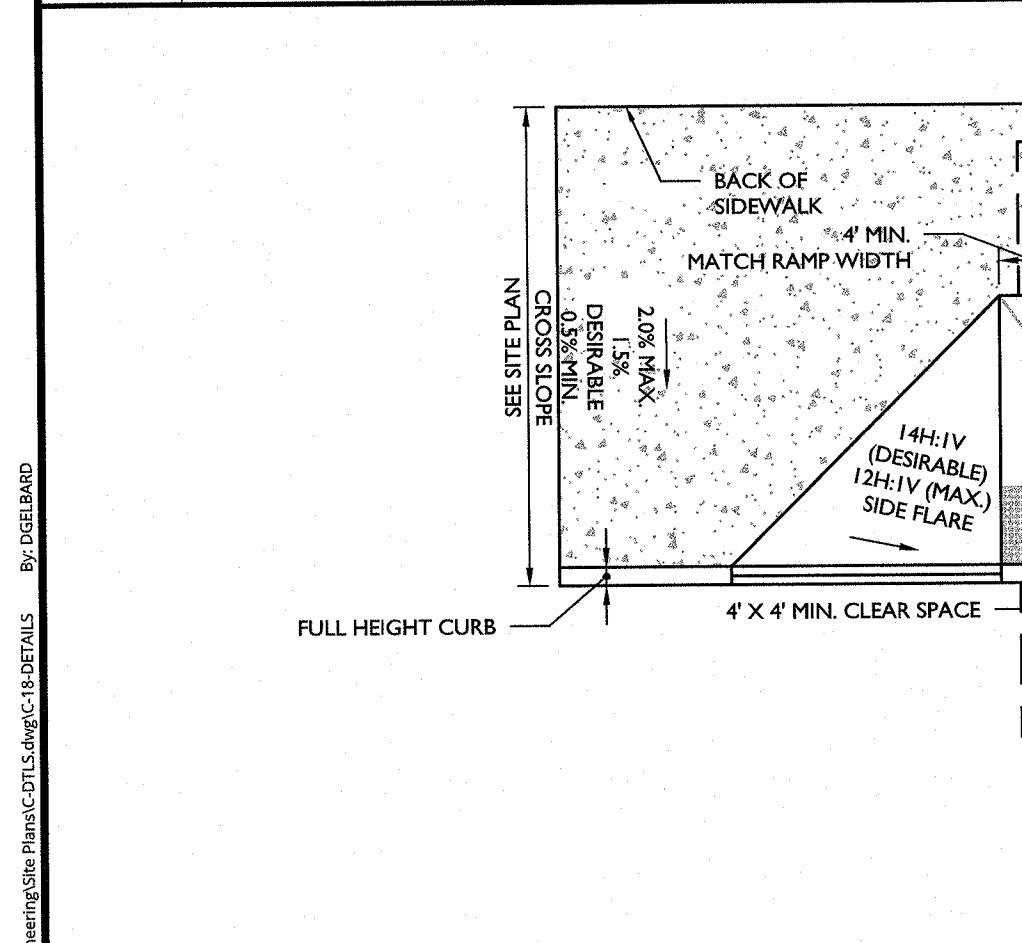
**1 CURB RAMP NOTES**  
MCNY-SITE-HADA-2500 07/01/19

**2 CURB RAMP SECTIONS DETAIL**  
MCNY-SITE-HADA-2000 07/01/19

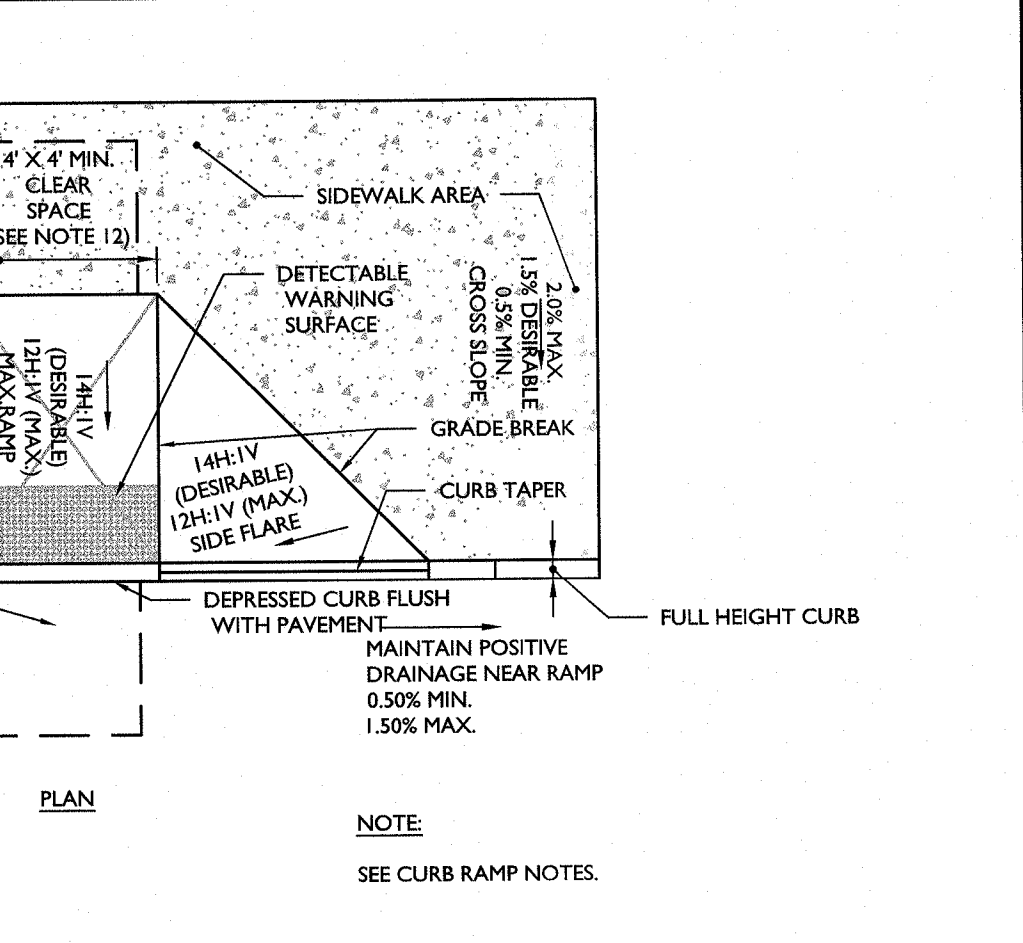


**5 DETECTABLE WARNING SURFACE DETAIL**  
NOT TO SCALE MCNY-SITE-HADA-2100 07/01/19

**9 CURB RAMP CURB TAPER DETAIL**  
NOT TO SCALE MCNY-SITE-HADA-2301 07/01/19

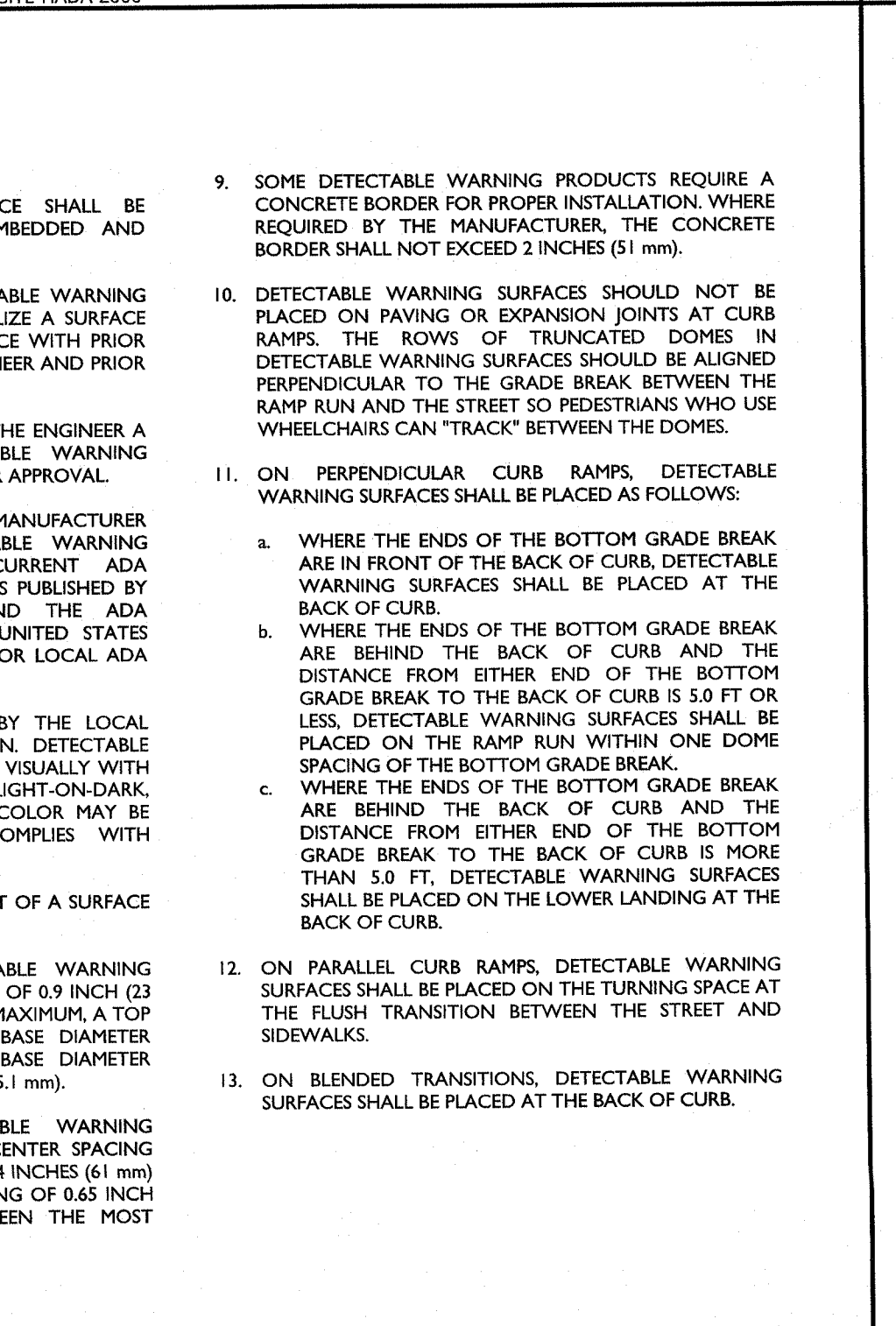


**8 CURB RAMP TYPE 1 DETAIL**  
NOT TO SCALE MCNY-SITE-HADA-1000 11/19/21

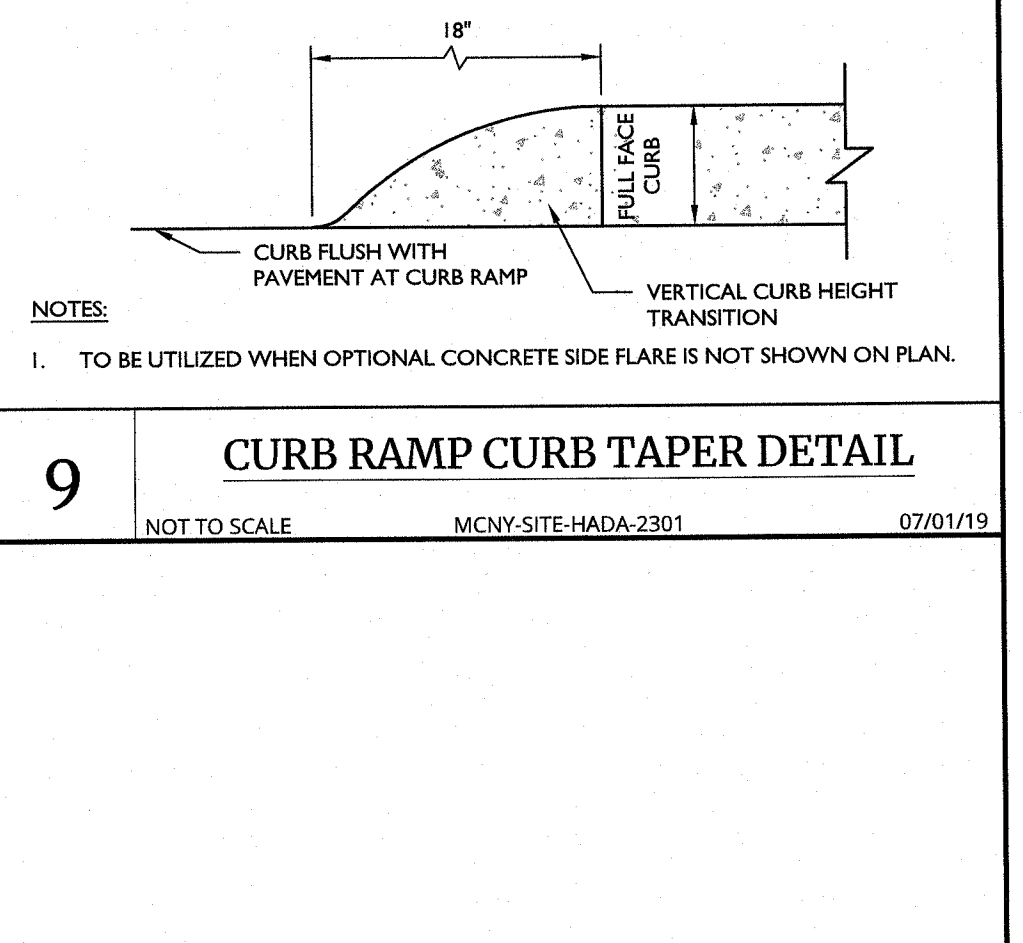


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NOT TO SCALE GNRL-DTLS-STND-GRID 11/19/21

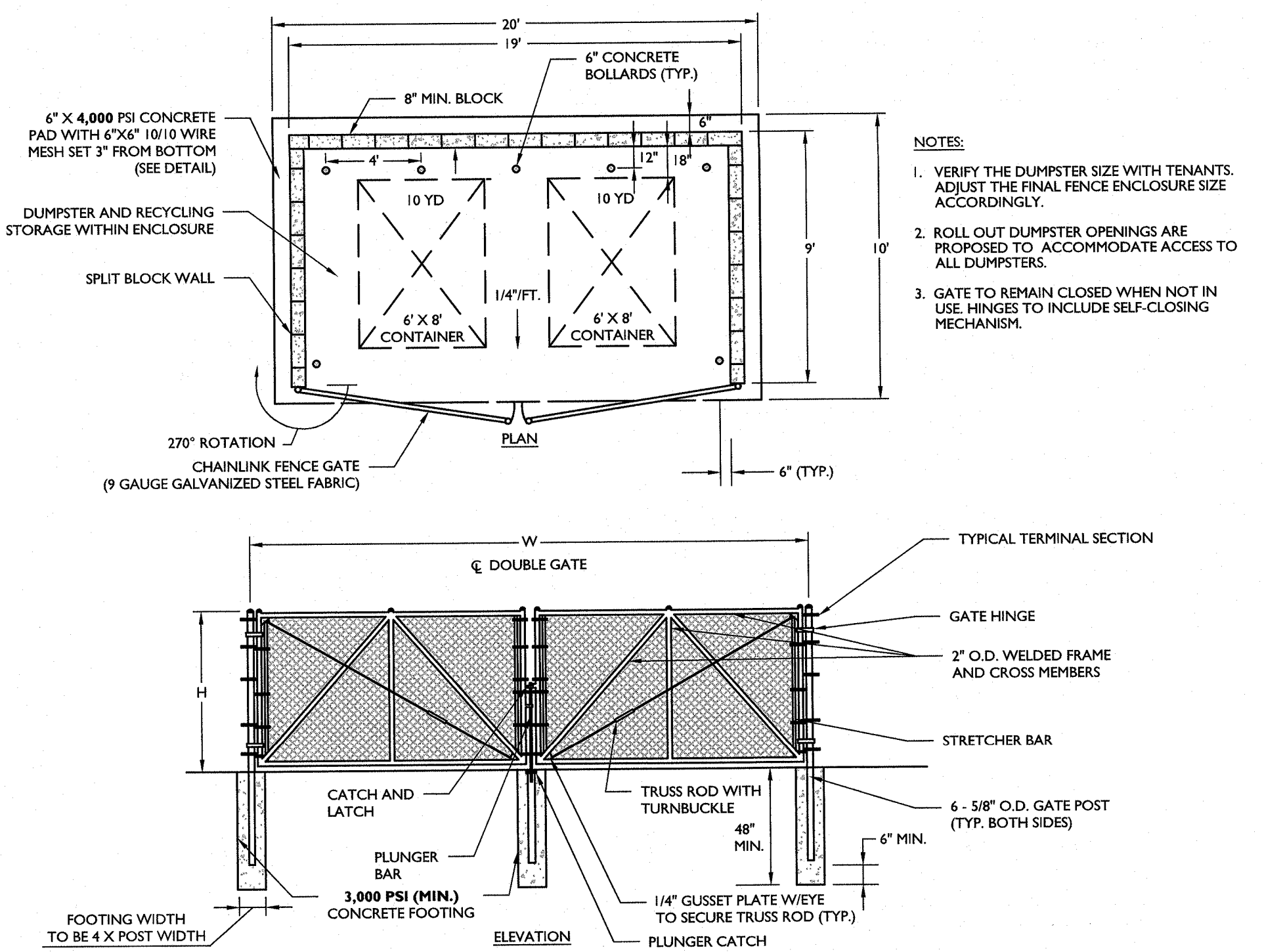
**3 REFUSE/RECYCLING ENCLOSURE (WITH DOUBLE CHAIN LINK GATE) DETAIL**  
NOT TO SCALE MCCM-SITE-FNCE-2201 11/17/21



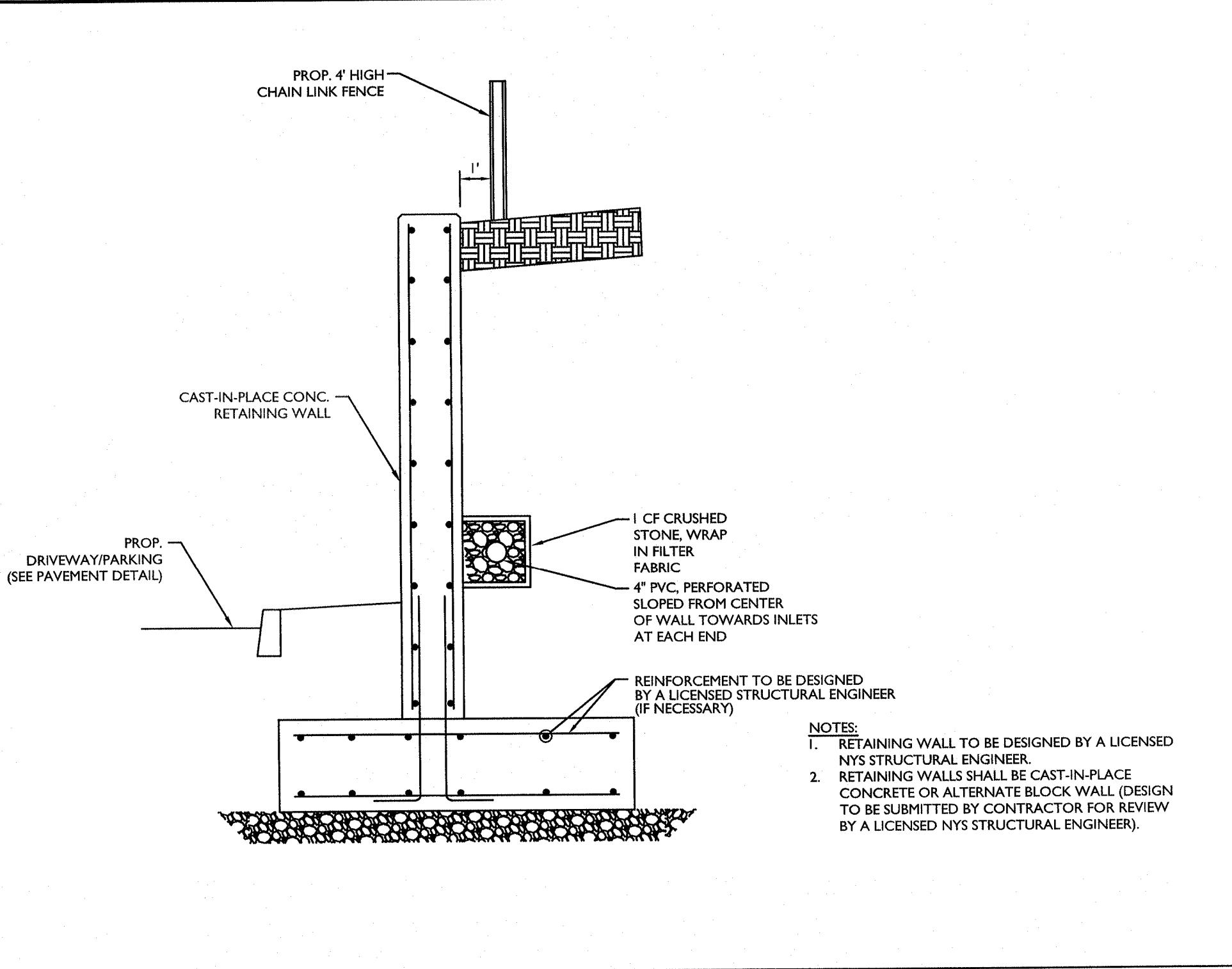
**6 CAST-IN-PLACE CONCRETE RETAINING WALL**  
NOT TO SCALE GNRL-DTLS-STND-GRID 11/19/21



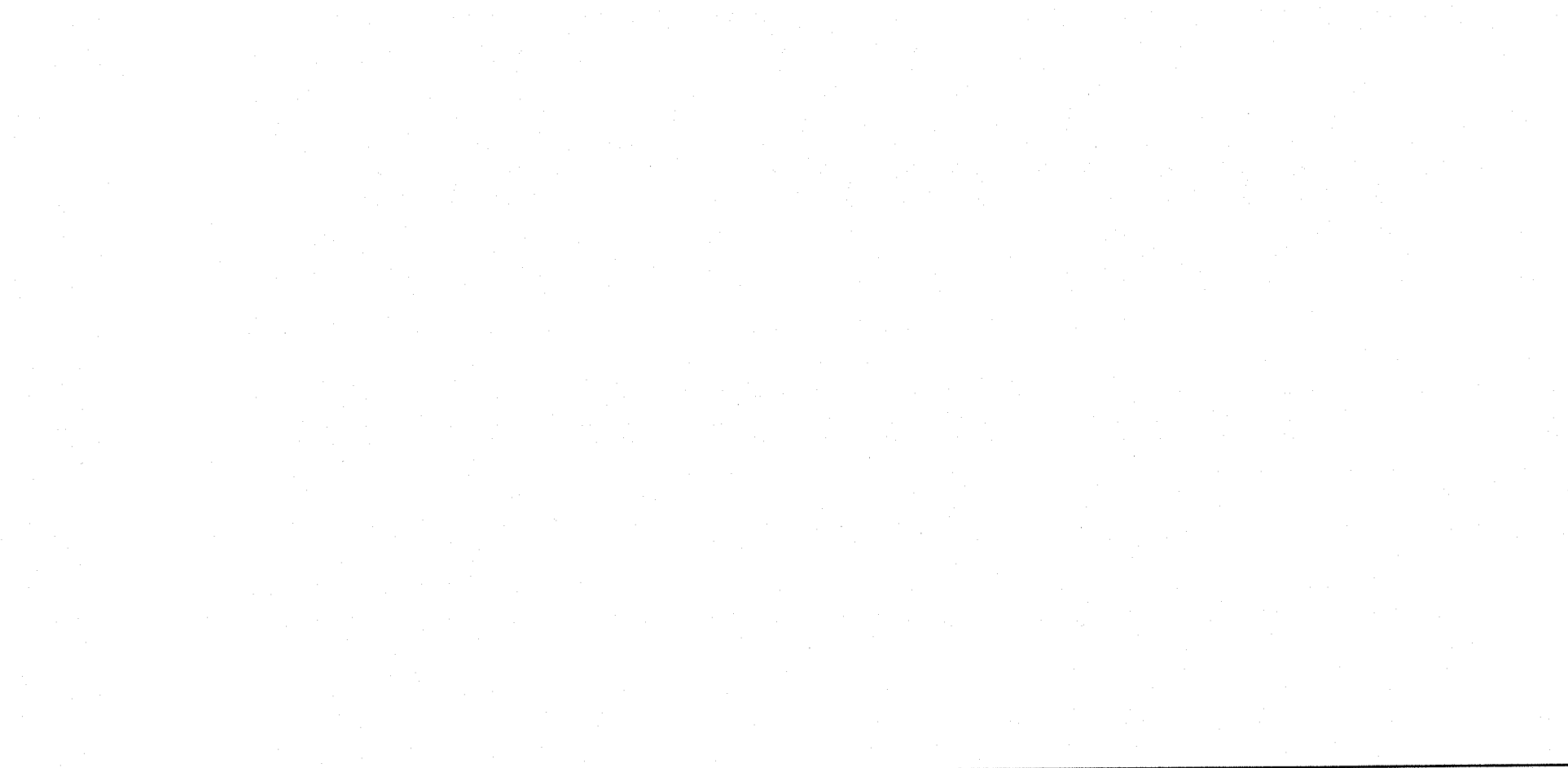
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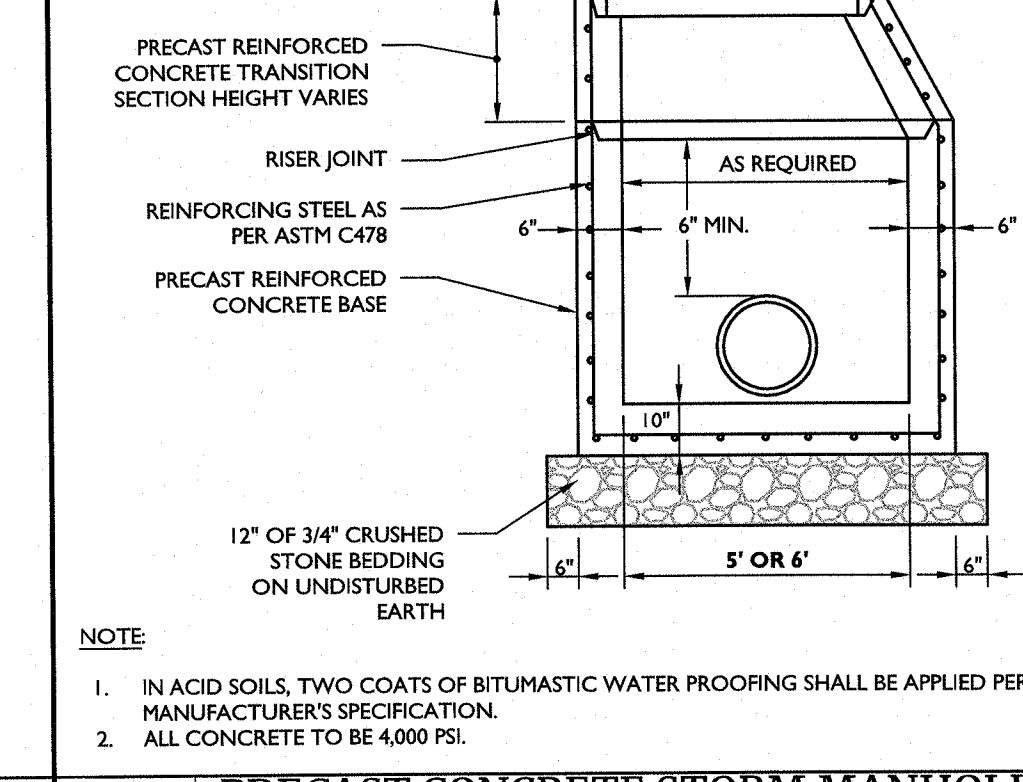
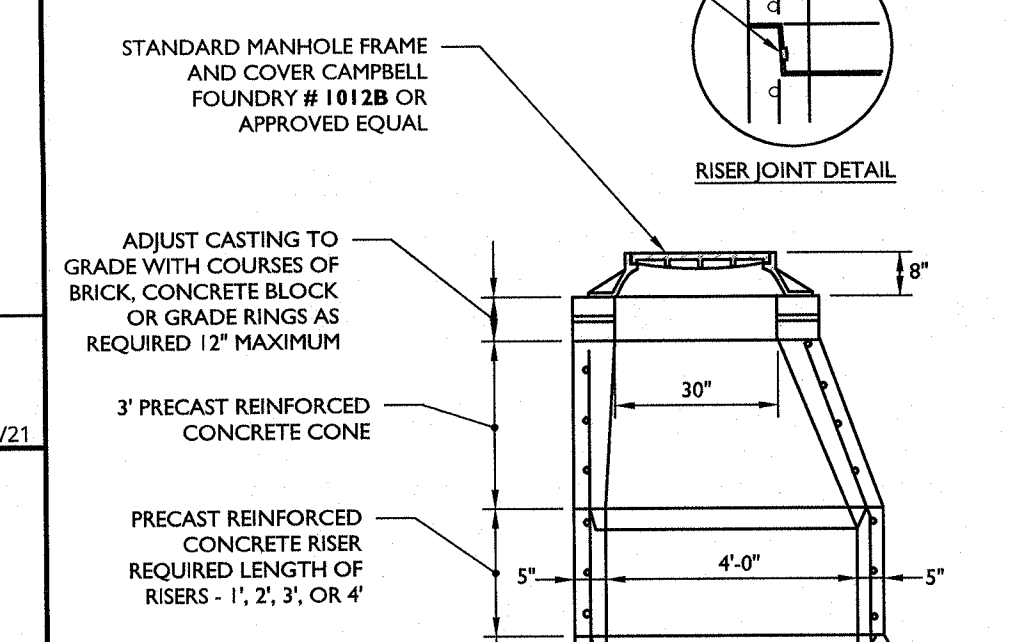
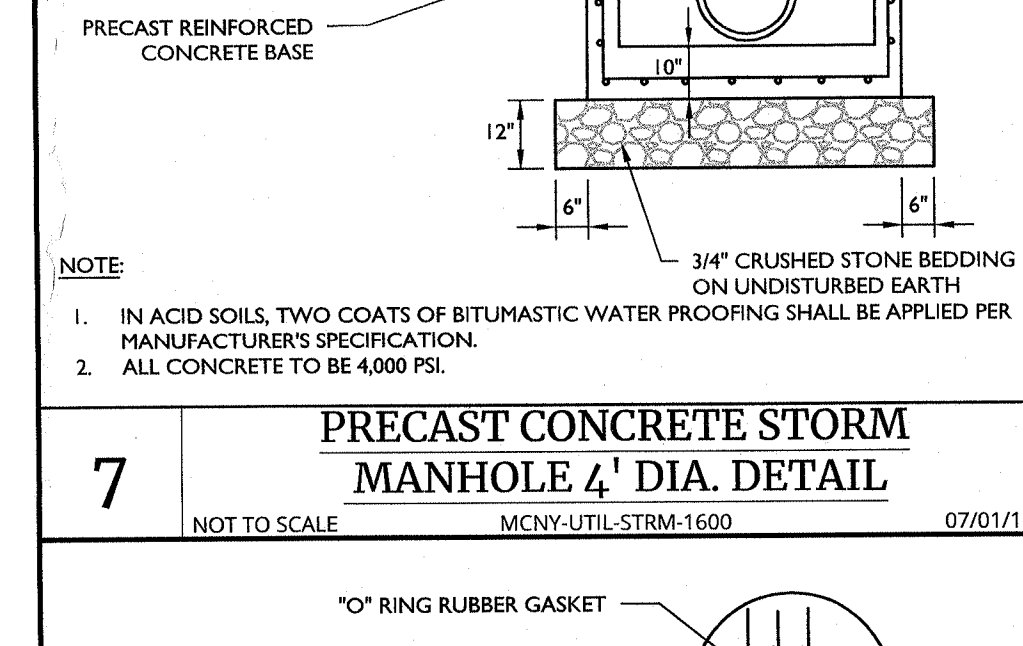
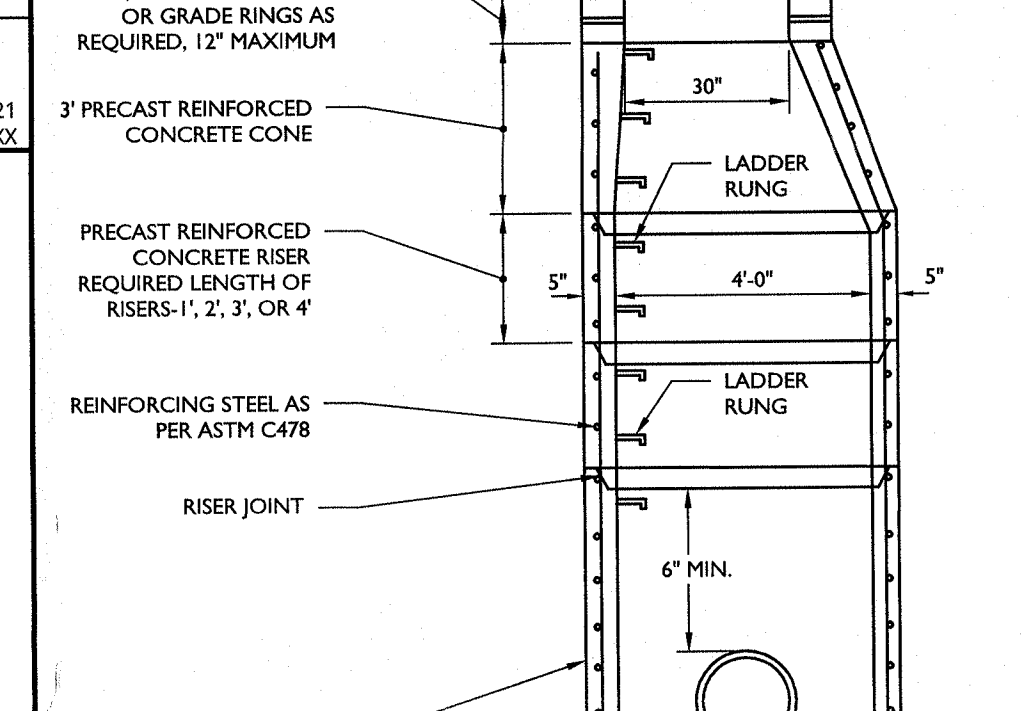
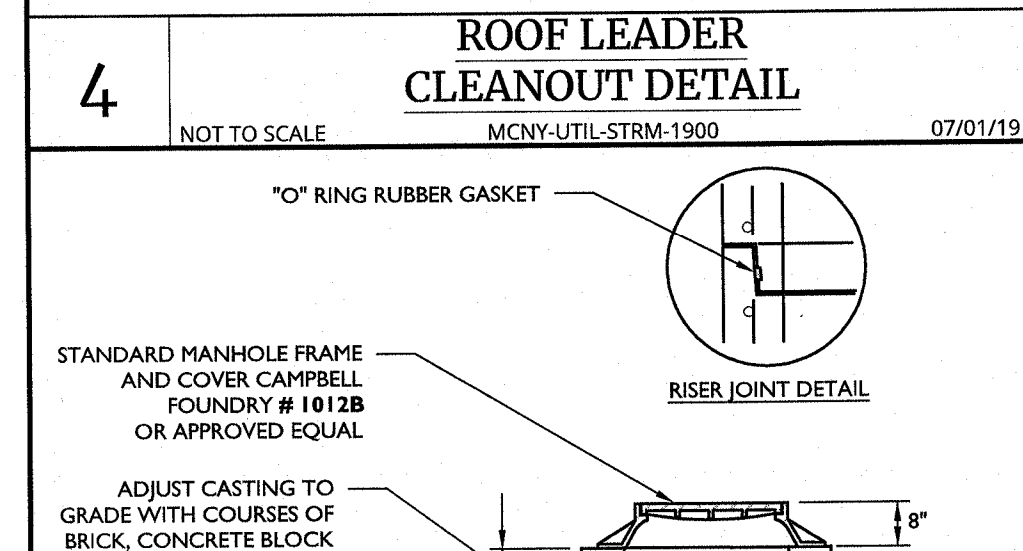
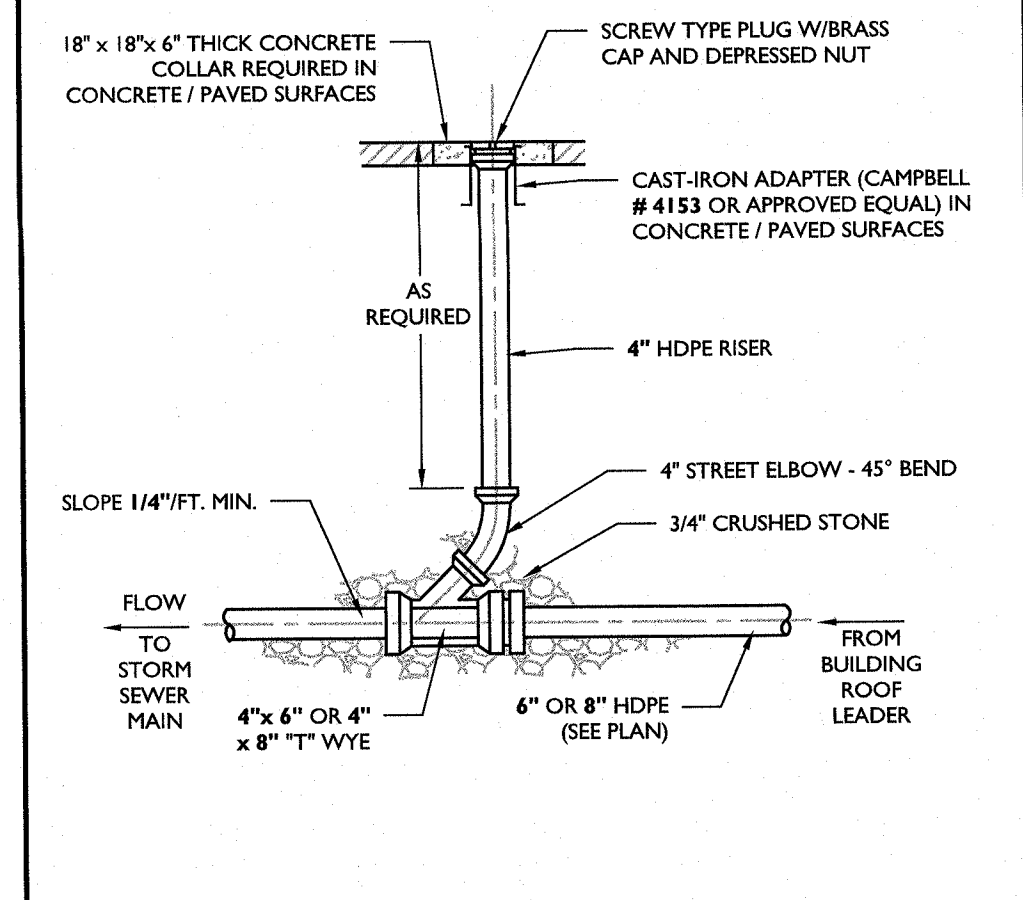
**4 ROOF LEADER CLEANOUT DETAIL**  
NOT TO SCALE MCNY-UTIL-STRM-1900 07/01/19



**7 PRECAST CONCRETE STORM MANHOLE 4' DIA. DETAIL**  
NOT TO SCALE MCNY-UTIL-STRM-1600 07/01/19



**12 PRECAST CONCRETE STORM MANHOLE (OVERSIZED) DETAIL**  
NOT TO SCALE MCNY-UTIL-STRM-1601 07/01/19



**18 of 22**  
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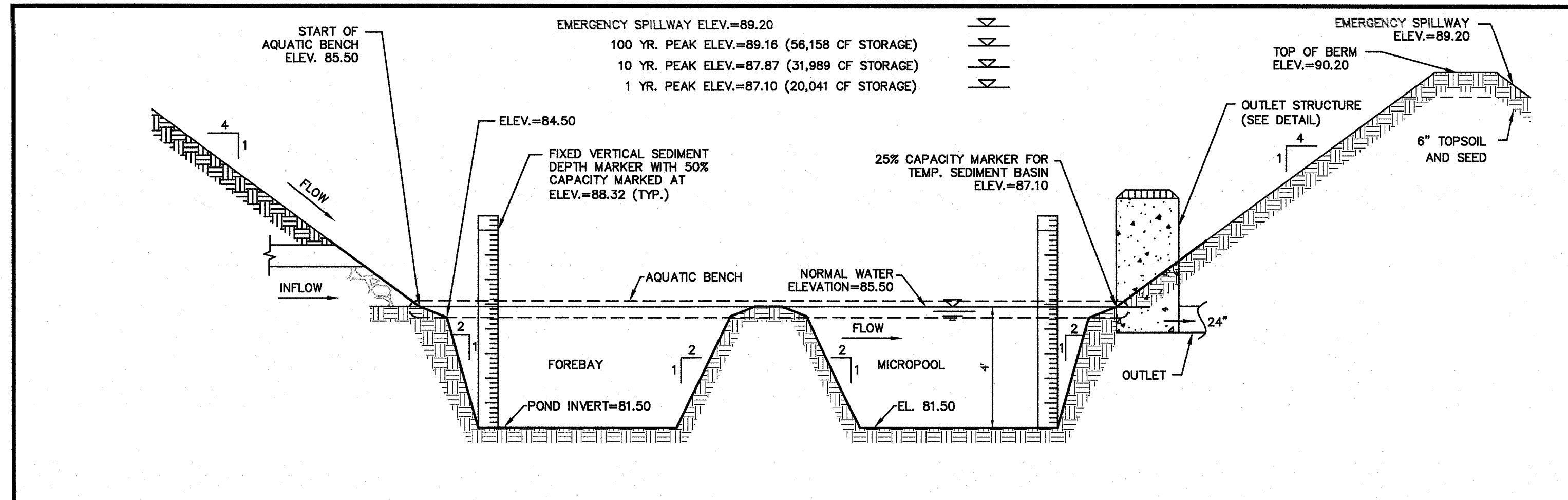
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REV.	DATE	DESCRIPTION

**Jesse Barrett Coleley**  
NEW YORK LICENSED PROFESSIONAL ENGINEER  
LICENSE NUMBER: 090987-1  
COLLIERS ENGINEERING & DESIGN CT, P.C.  
N.Y. C.O.A. #: 0017609

**PRELIMINARY SITE PLAN FOR WPT ACQUISITIONS, LLC SECTION 74.07 BLOCK 1 LOTS 2, 33 & 36**  
518 NYSR 303 AND 13 & 21 MOUNTAINVIEW AVENUE  
TOWN OF ORANGETOWN ROCKLAND COUNTY NEW YORK

**Colliers Engineering & Design**  
MONTVALE 50 Chestnut Ridge Road, Suite 101 Montvale, NJ 07645 Phone: 845.352.0411  
11/22/2021  
PROJECT NUMBER: 21003528A  
DRAWING NAME: C-DTLS



**1 EXTENDED DETENTION BASIN (1A) DETAIL**  
 NOT TO SCALE  
 GNRL-DTLS-STND-GRID  
 11/19/21

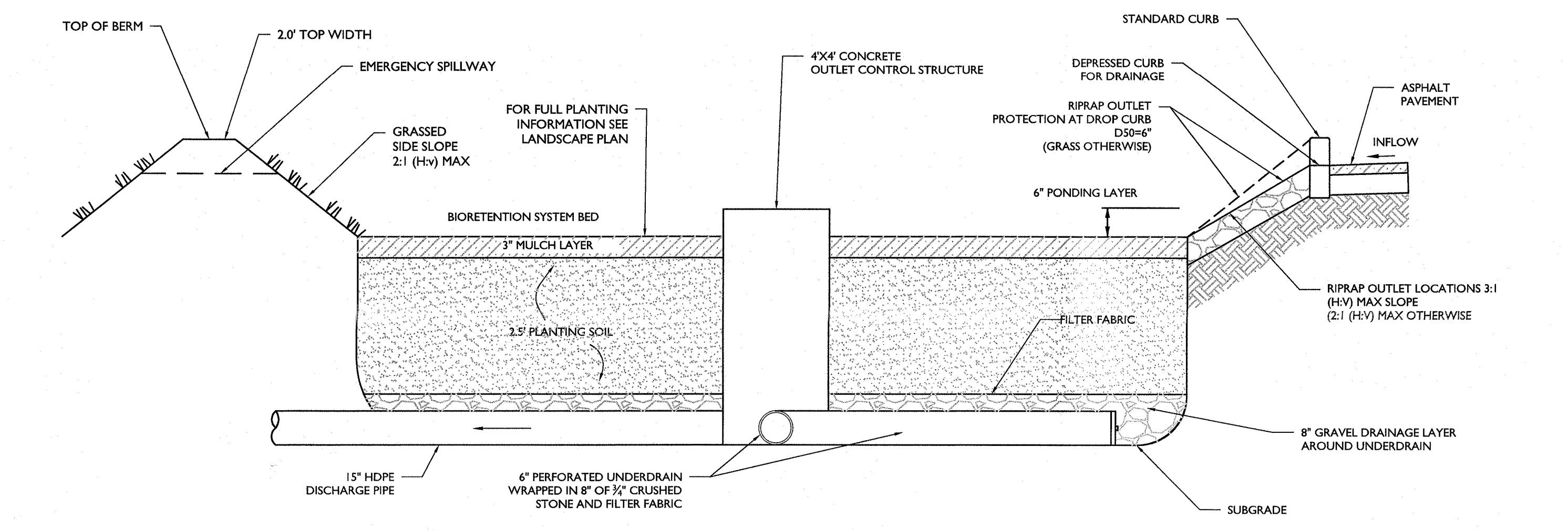
BIORETENTION ELEVATIONS

SYSTEM	OUTLET NAME	OUTLET SIZE	BED ELEVATION	100 YR PEAK ELEVATION	TOP OF BERM ELEVATION	EMERGENCY SPILLWAY EL.
1B	OCS 1B	4"x4"	99.0	99.69	101.0	100.9
1C	OCS 1C	4"x4"	99.0	99.74	VARIES +/- 102	100.2
1D	OCS 1D	4"x4"	89.0	89.78	90.20	90.0

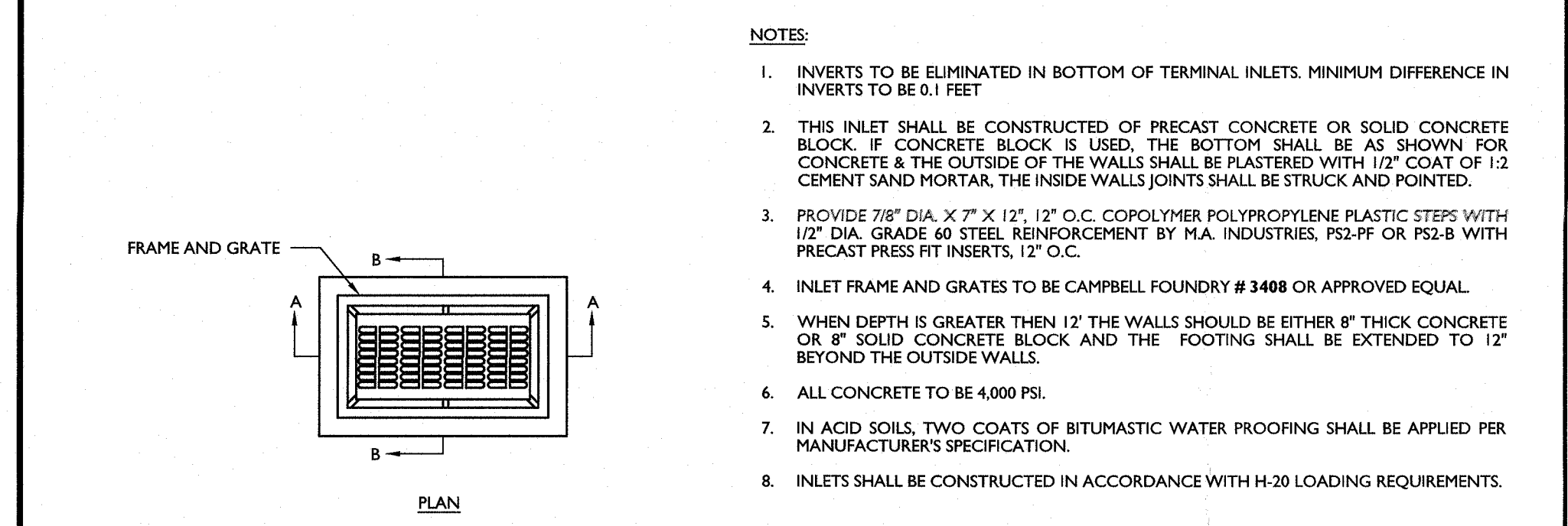
PLANTING SOIL NOTE

THE PLANTING SOIL SHOULD BE A SANDY LOAM, LOAMY SAND, LOAM (USDA), OR A LOAM/SAND MIX (SHOULD CONTAIN A MINIMUM 35 TO 60% SAND, BY VOLUME). THE CLAY CONTENT FOR THESE SOILS SHOULD BE LESS THAN 25%. BY VOLUME, SOILS SHOULD FALL WITHIN THE SM, OR ML CLASSIFICATIONS OF THE UNIFIED SOIL CLASSIFICATION SYSTEM (USCS). A PERMEABILITY OF AT LEAST 1.0 FEET PER DAY (0.5"/HR) IS REQUIRED (A CONSERVATIVE VALUE OF 0.5 FEET PER DAY IS USED FOR DESIGN). THE SOIL SHOULD BE FREE OF STONES, STUMPS, ROOTS, OR OTHER WOODY MATERIAL OVER 1" IN DIAMETER, AND BRUSH OR SEED FROM NOXIOUS WEEDS. PLACEMENT OF THE PLANTING SOIL SHOULD BE IN LIFTS OF 12" TO 18", LOOSELY COMPACTED (TAMPED LIGHTLY WITH A DOZER OR BACKHOE BUCKET). THE SPECIFIC CHARACTERISTICS ARE AS FOLLOWS:

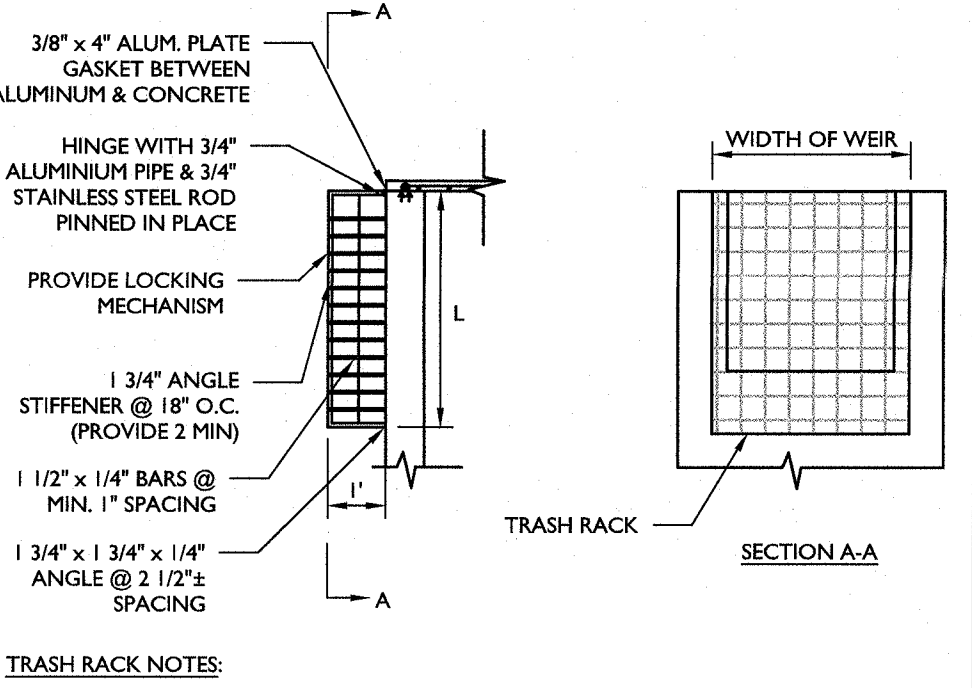
PARAMETER	VALUE
PH RANGE	5.2 TO 7.00
ORGANIC MATTER	1.5 TO 4.0%
MAGNESIUM	35 LBS. PER ACRE MINIMUM
PHOSPHORUS (P <sub>2</sub> O <sub>5</sub> )	75 LBS. PER ACRE MINIMUM
POTASSIUM (K <sub>2</sub> O)	85 LBS. PER ACRE MINIMUM
SOLUBLE SALTS	500 ppm
CLAY	10 TO 25%
SILT	30 TO 55%
SAND	35 TO 60%



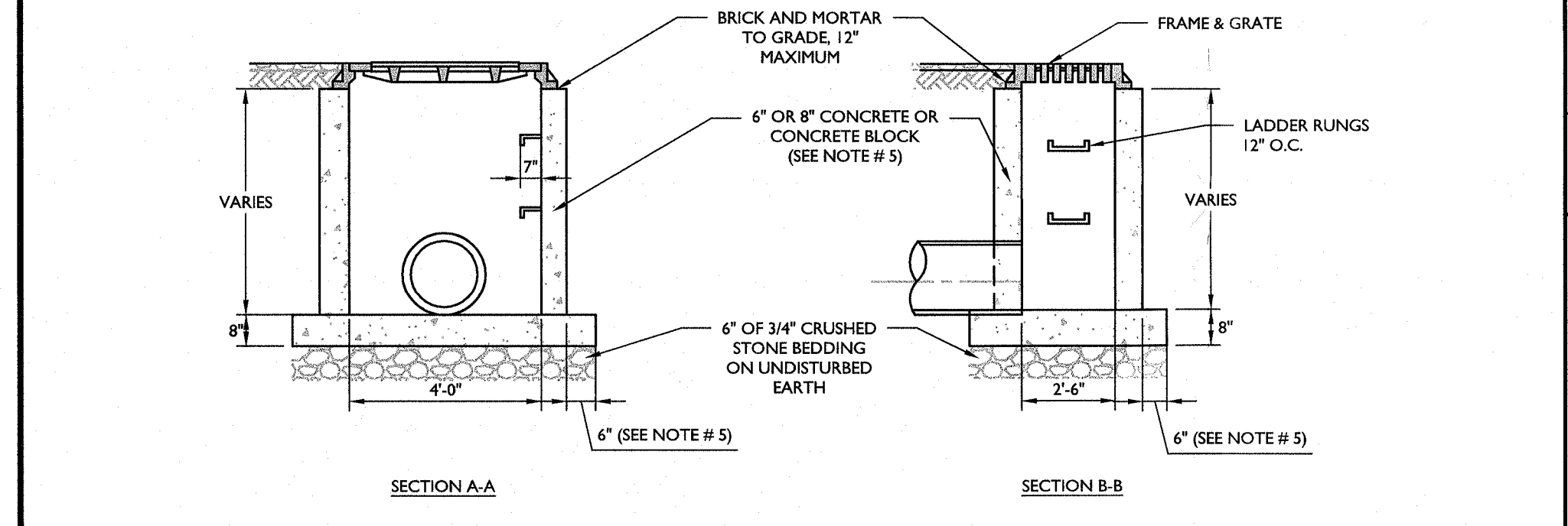
**4 BIORETENTION SYSTEM CROSS SECTION DETAIL**  
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 MCNY-UTIL-STMW-2400  
 07/01/19



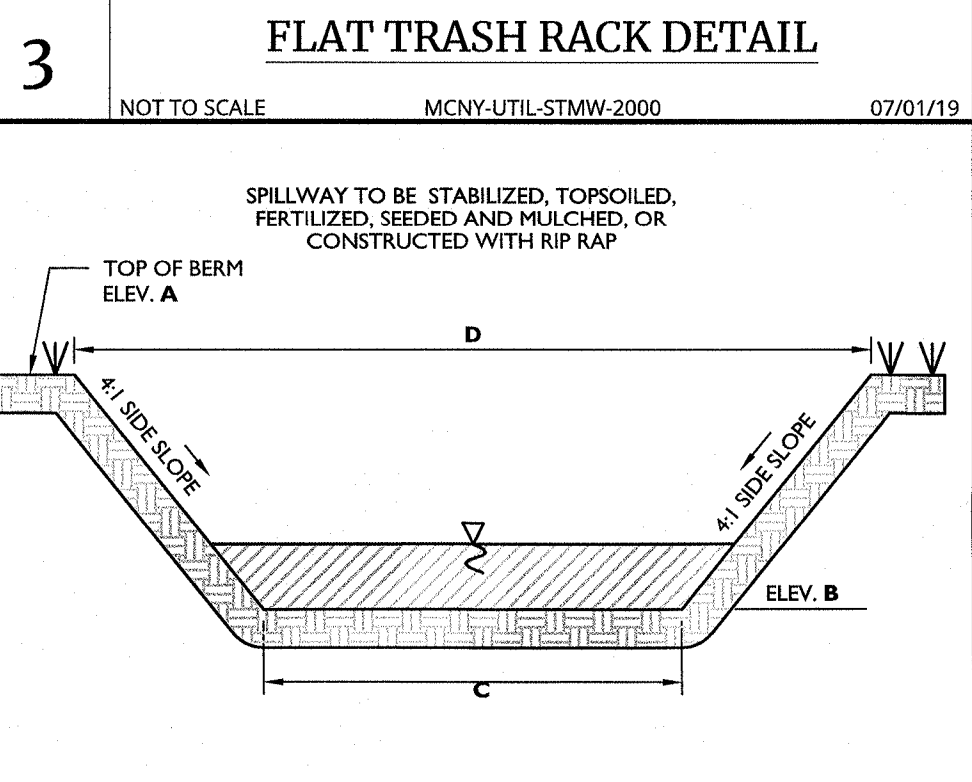
**2 SINGLE DRAIN INLET DETAIL**  
 NOT TO SCALE  
 MCNY-UTIL-STRM-1000  
 07/01/19



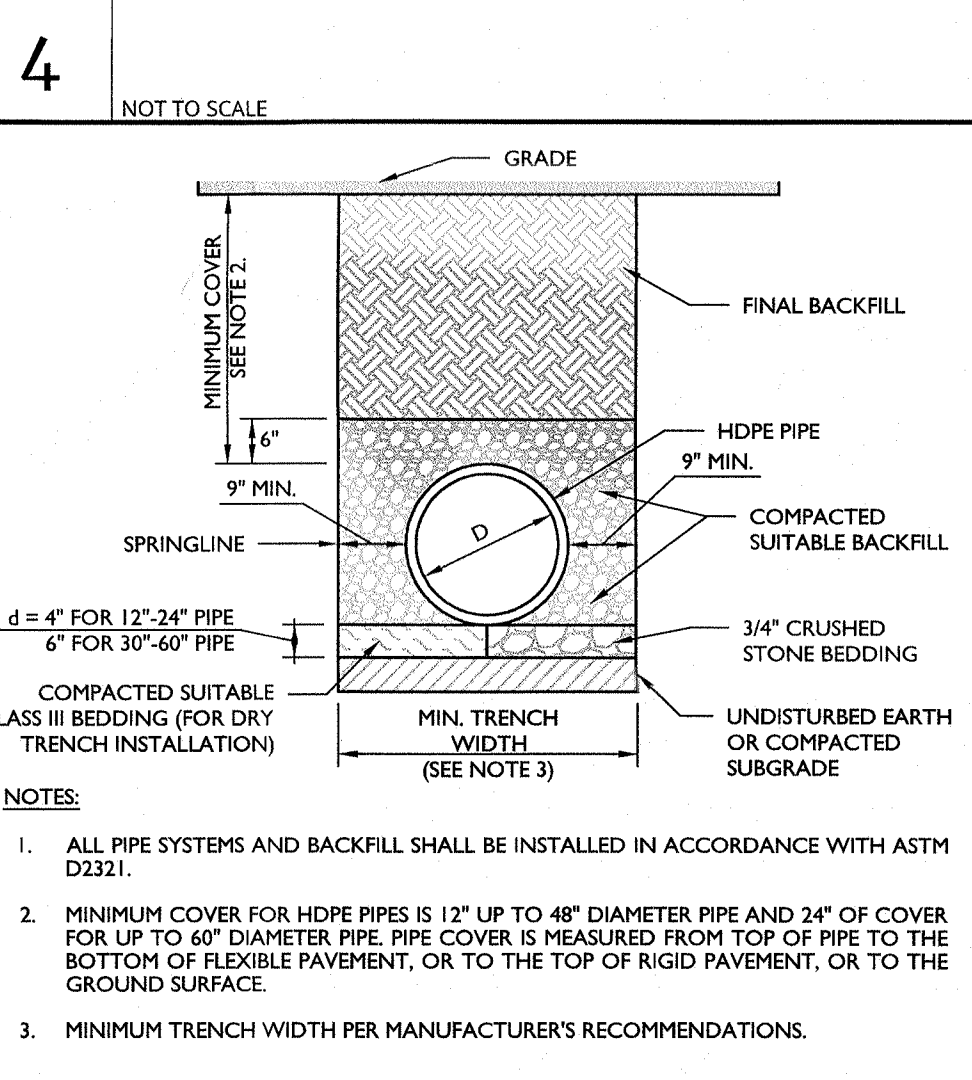
**3 FLAT TRASH RACK DETAIL**  
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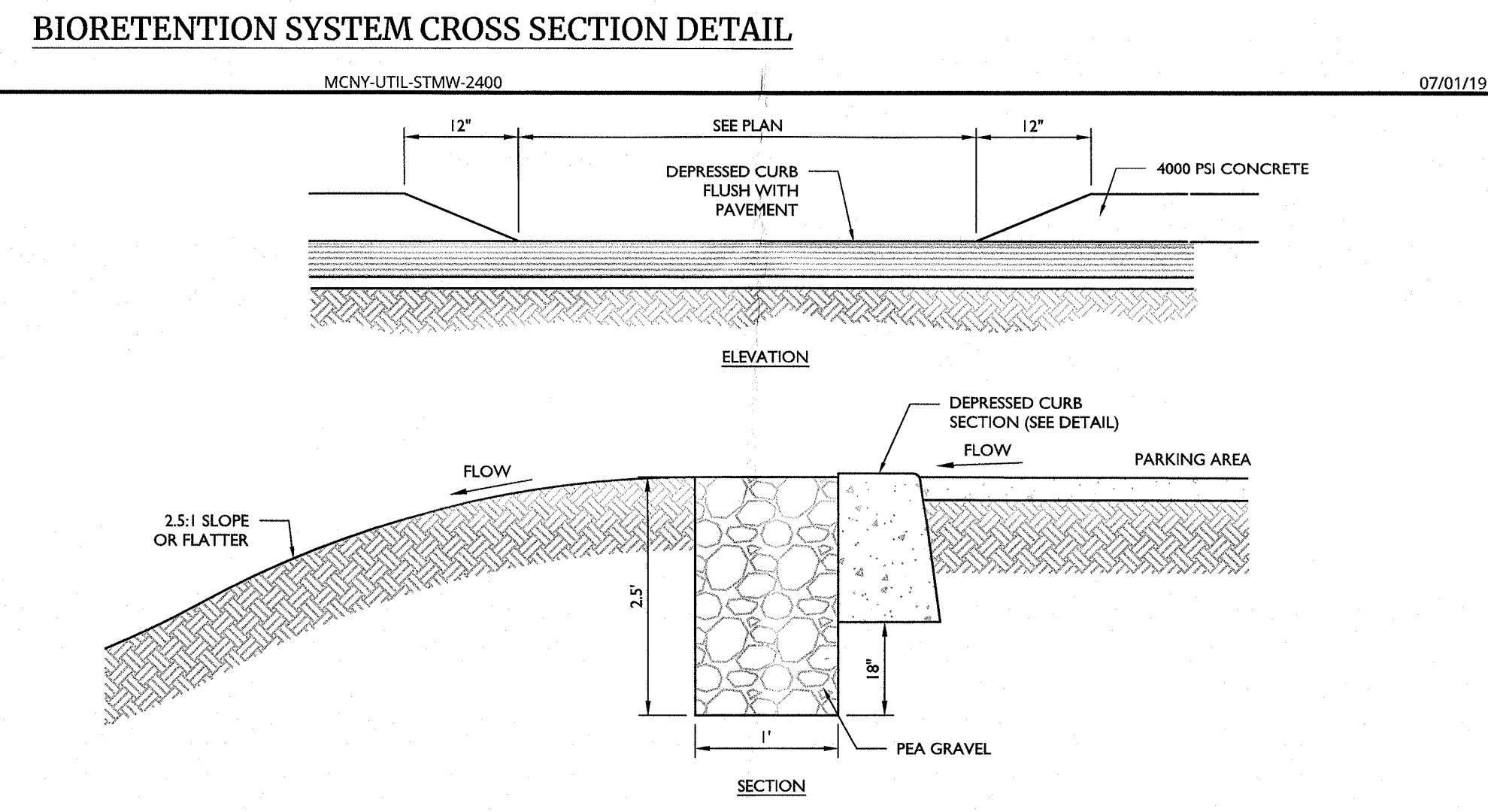
**8 SINGLE CATCH BASIN DETAIL**  
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 07/01/19



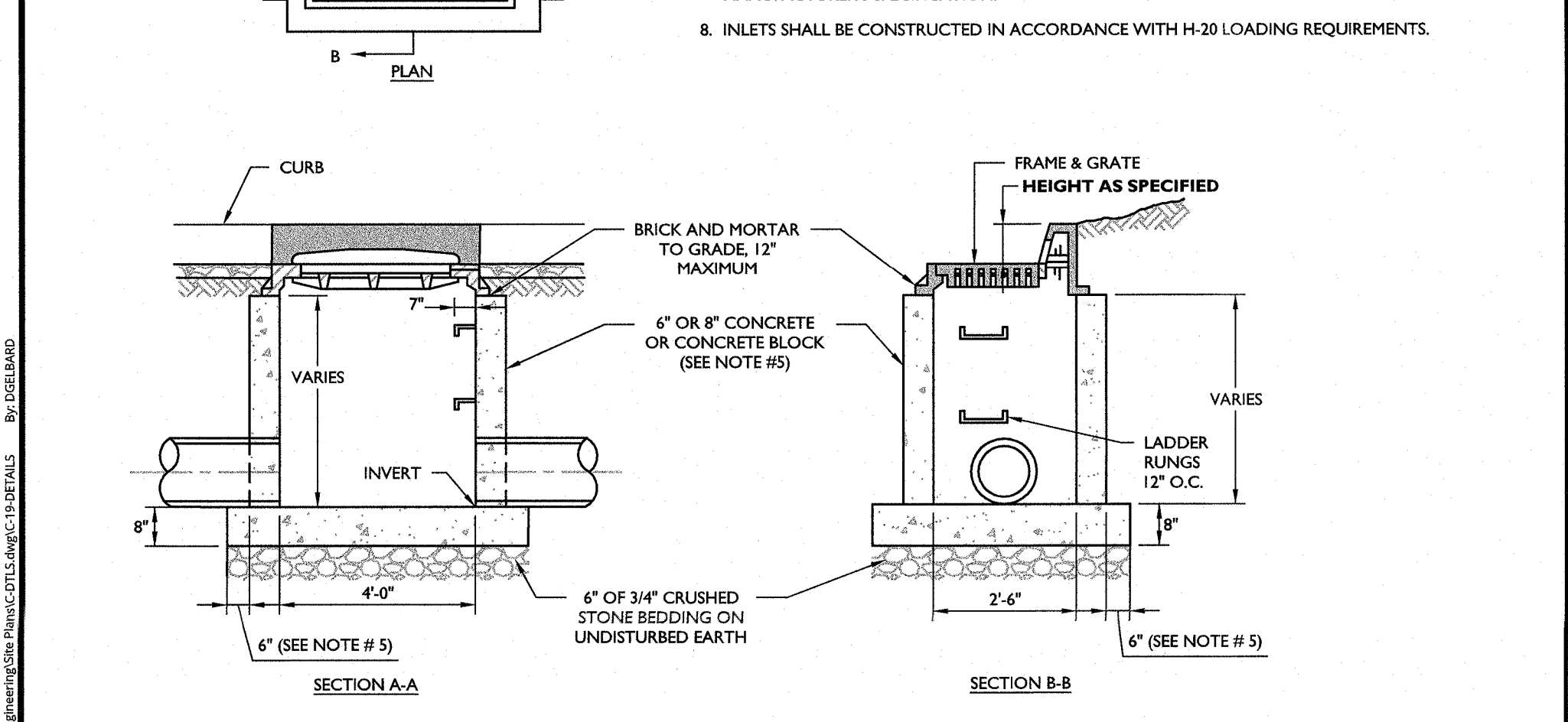
**5 EMERGENCY SPILLWAY DETAIL**  
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 07/01/19



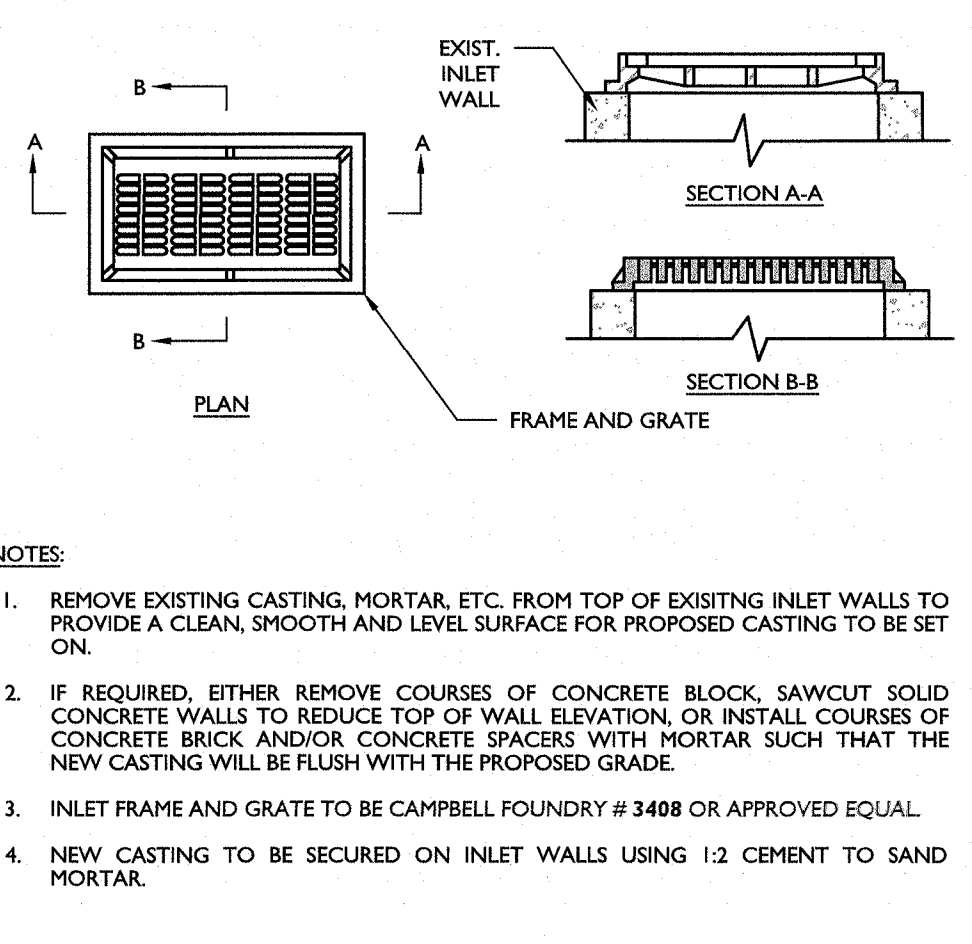
**6 HDPE STORM PIPE BEDDING DETAIL**  
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 07/01/19



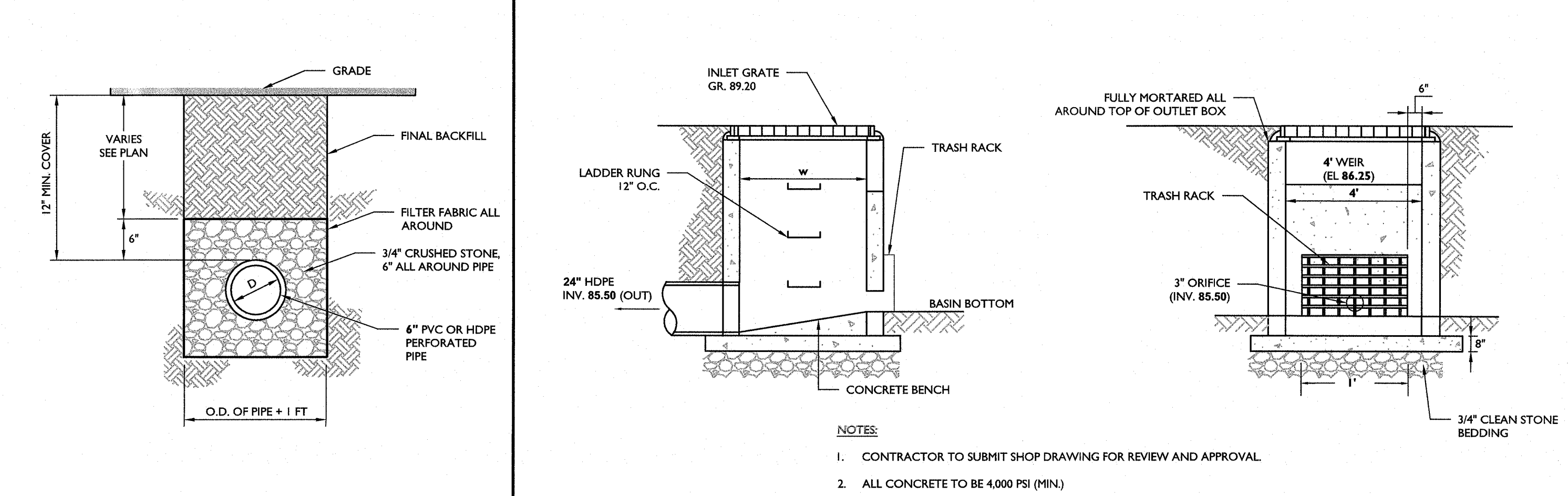
**7 CURB CUT FOR DRAINAGE (W/PEA GRAVEL DIAPHRAGM) DETAIL**  
 NOT TO SCALE  
 MCNY-UTIL-STRM-2402  
 11/19/21



**9 CONVERT CATCH BASIN TO DRAIN INLET DETAIL**  
 NOT TO SCALE  
 MCNY-UTIL-STRM-1500  
 07/01/19



**10 UNDERDRAIN DETAIL**  
 NOT TO SCALE  
 MCNY-UTIL-STRM-2400  
 07/01/19



**11 OUTLET CONTROL STRUCTURE DETAIL (SINGLE CHAMBER)**  
 NOT TO SCALE  
 MCNY-UTIL-STMW-1800  
 07/01/19

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 FOR STATE SPECIFIC DIRECT PHONE NUMBERS VISIT: WWW.CALL811.COM

**Jesse Barrett Cokley**  
 NEW YORK LICENSED PROFESSIONAL ENGINEER  
 LICENSE NUMBER: 0909871  
 COLLIER ENGINEERING & DESIGN CT, P.C.  
 N.Y. C.O.A.#: 0017609

**PRELIMINARY SITE PLAN FOR WPT ACQUISITIONS, LLC SECTION 74.07 BLOCK 1 LOTS 2, 33 & 36**

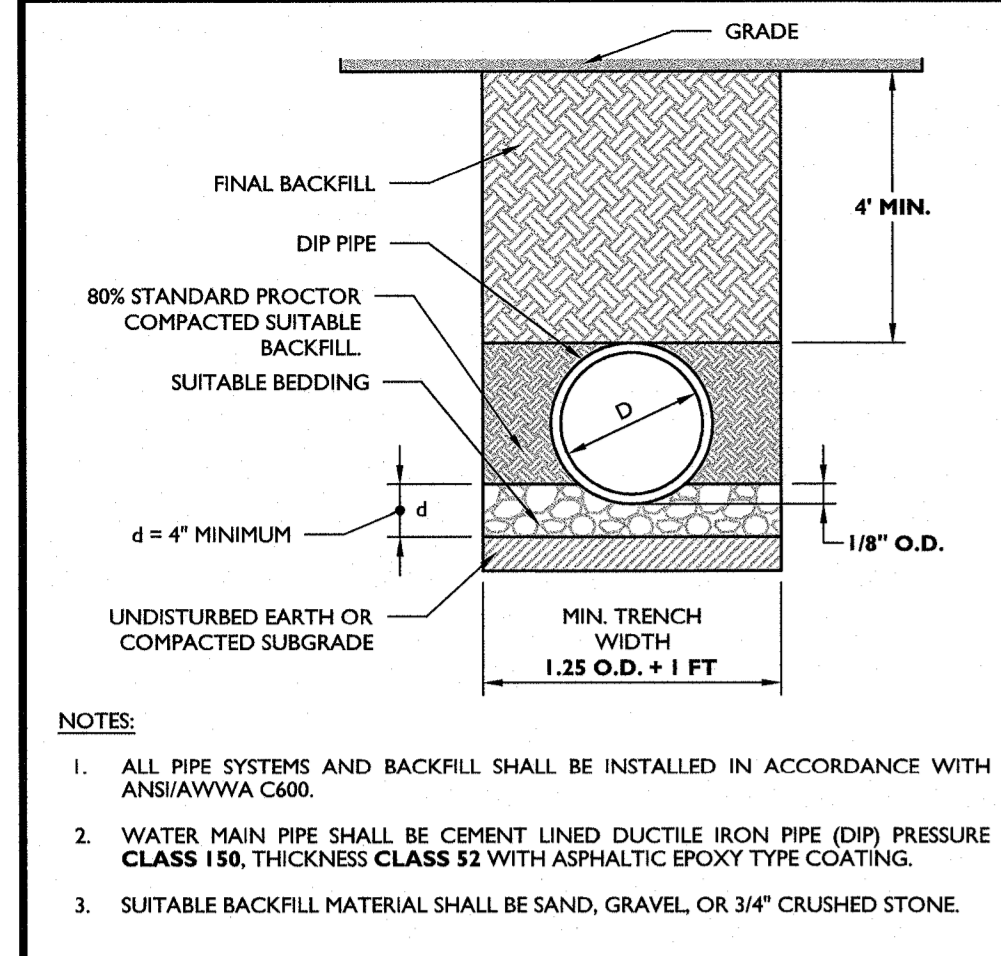
518 NYSR 303 AND 13 & 21 MOUNTAINVIEW AVENUE  
 TOWN OF ORANGETOWN  
 ROCKLAND COUNTY  
 NEW YORK

**Colliers Engineering & Design**  
 MONTVALE  
 50 Chestnut Ridge Road, Suite 101  
 Montvale, NJ 07645  
 Phone: 845.352.0411  
 COLLIER ENGINEERING & DESIGN CT, P.C.  
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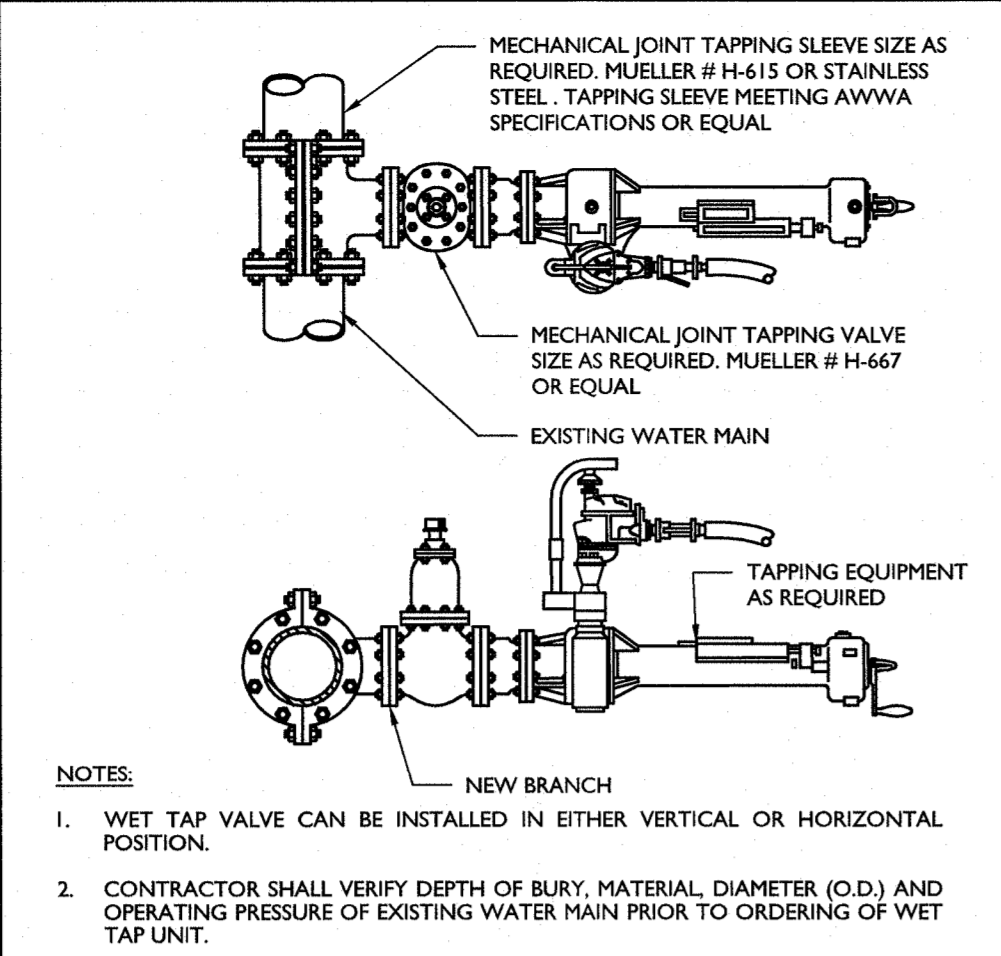
SCALE: AS SHOWN DATE: 11/22/2021 DRAWN BY: DG/CMA CHECKED BY: JBC  
 PROJECT NUMBER: 21003528A DRAWING NAME: C-DTLS  
 SHEET TITLE: CONSTRUCTION DETAILS  
 SHEET NUMBER: 19 of 22

NOTE: DO NOT SCALE DRAWINGS FOR CONSTRUCTION

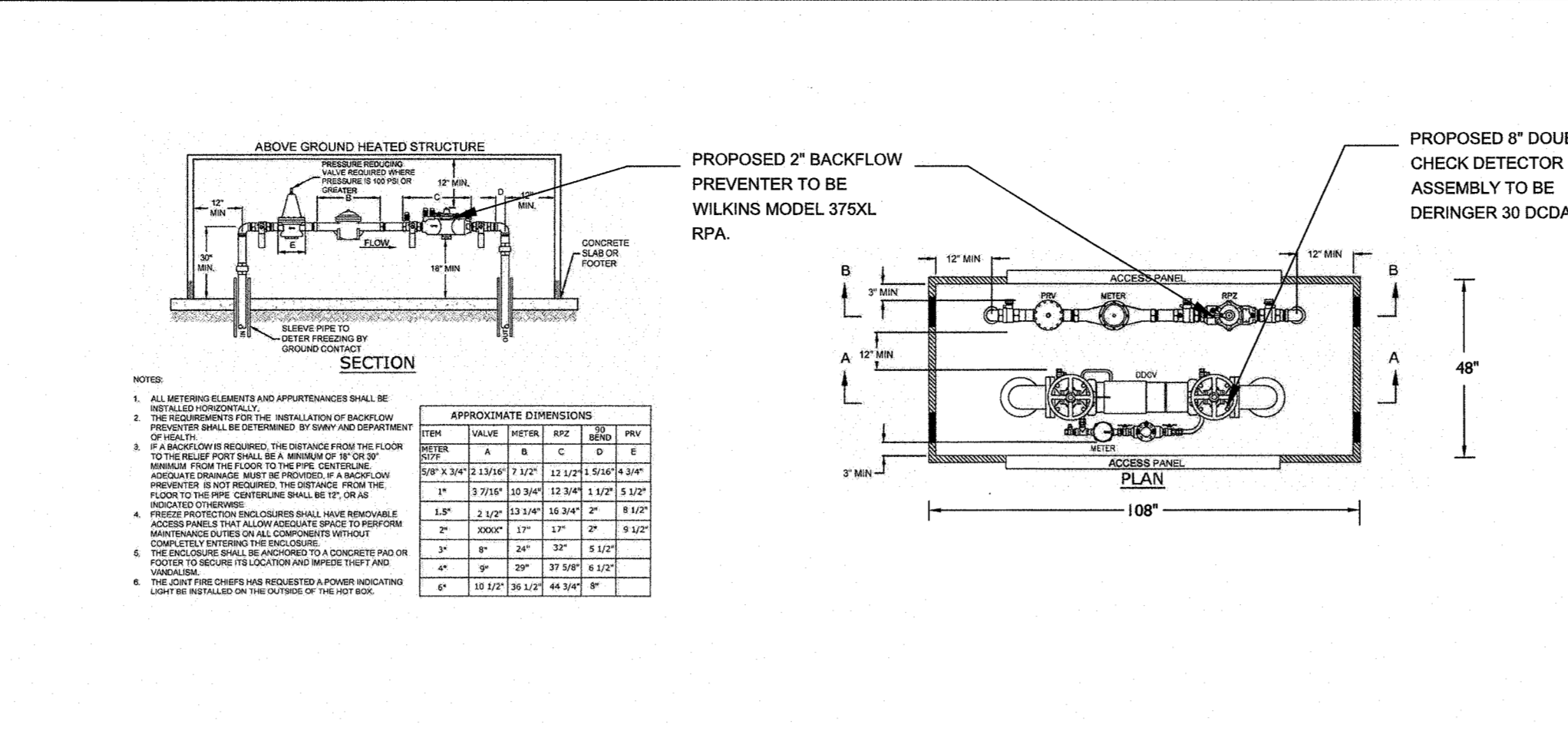




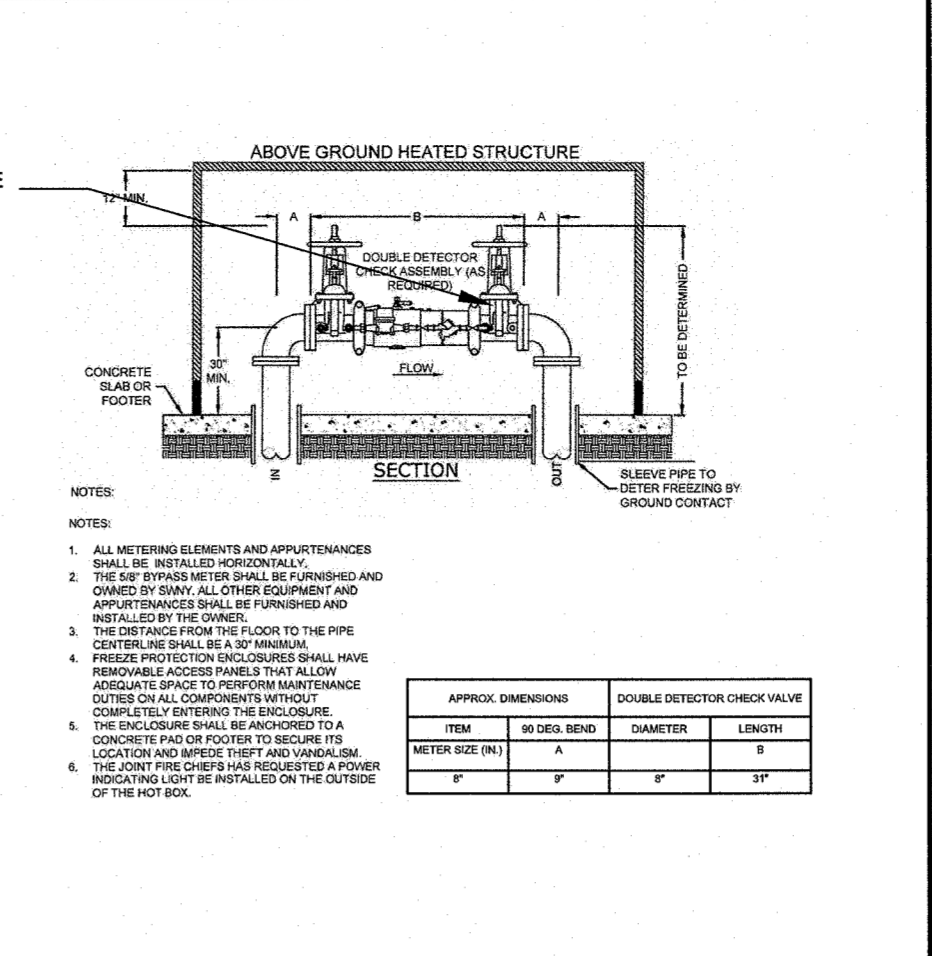
1. ALL PIPE SYSTEMS AND BACKFILL SHALL BE INSTALLED IN ACCORDANCE WITH ANS/AWWA C600.  
2. WATER MAIN PIPE SHALL BE CEMENT LINED DUCTILE IRON PIPE (DIP) PRESSURE CLASS 150, THICKNESS CLASS 52 WITH ASPHALTIC EPOXY TYPE COATING.  
3. SUITABLE BACKFILL MATERIAL SHALL BE SAND, GRAVEL, OR 3/4\"/>



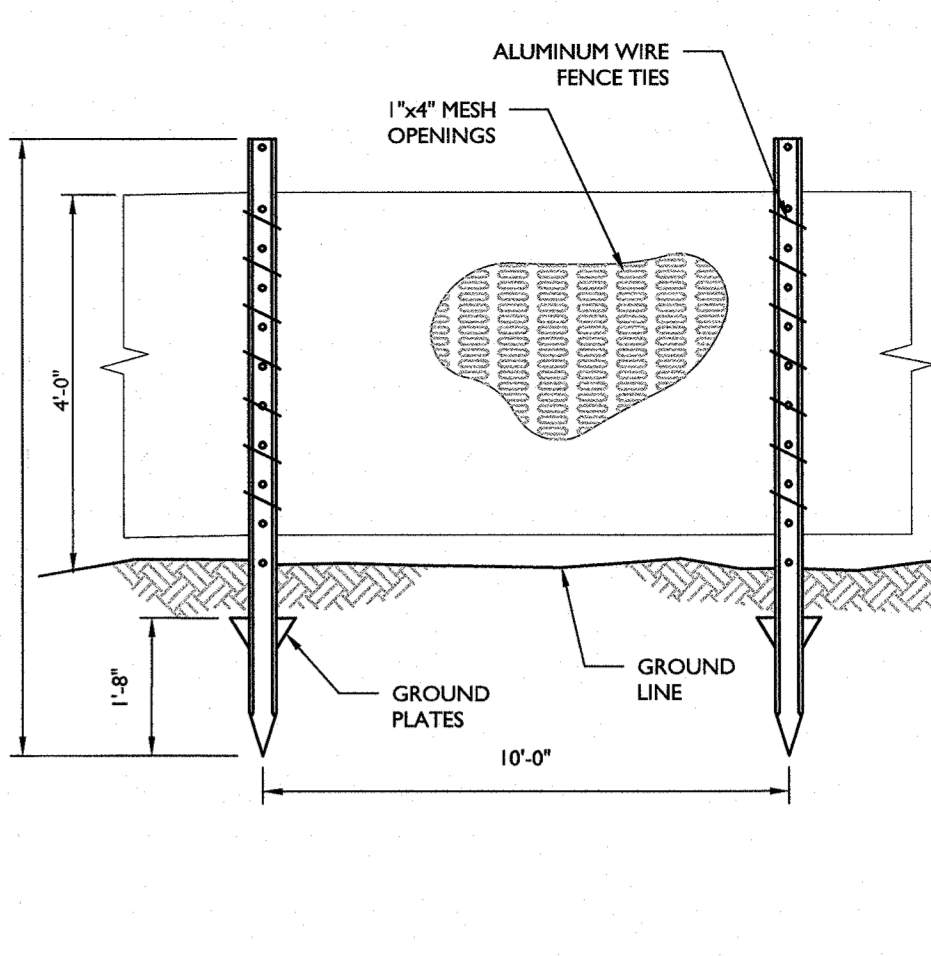
MECHANICAL JOINT TAPPING SLEEVE SIZE AS REQUIRED, MUELLER # H-615 OR STAINLESS STEEL, TAPPING SLEEVE MEETING AWWA SPECIFICATIONS OR EQUAL.  
MECHANICAL JOINT TAPPING VALVE SIZE AS REQUIRED, MUELLER # H-667 OR EQUAL.  
EXISTING WATER MAIN  
NEW BRANCH  
TAPPING EQUIPMENT AS REQUIRED



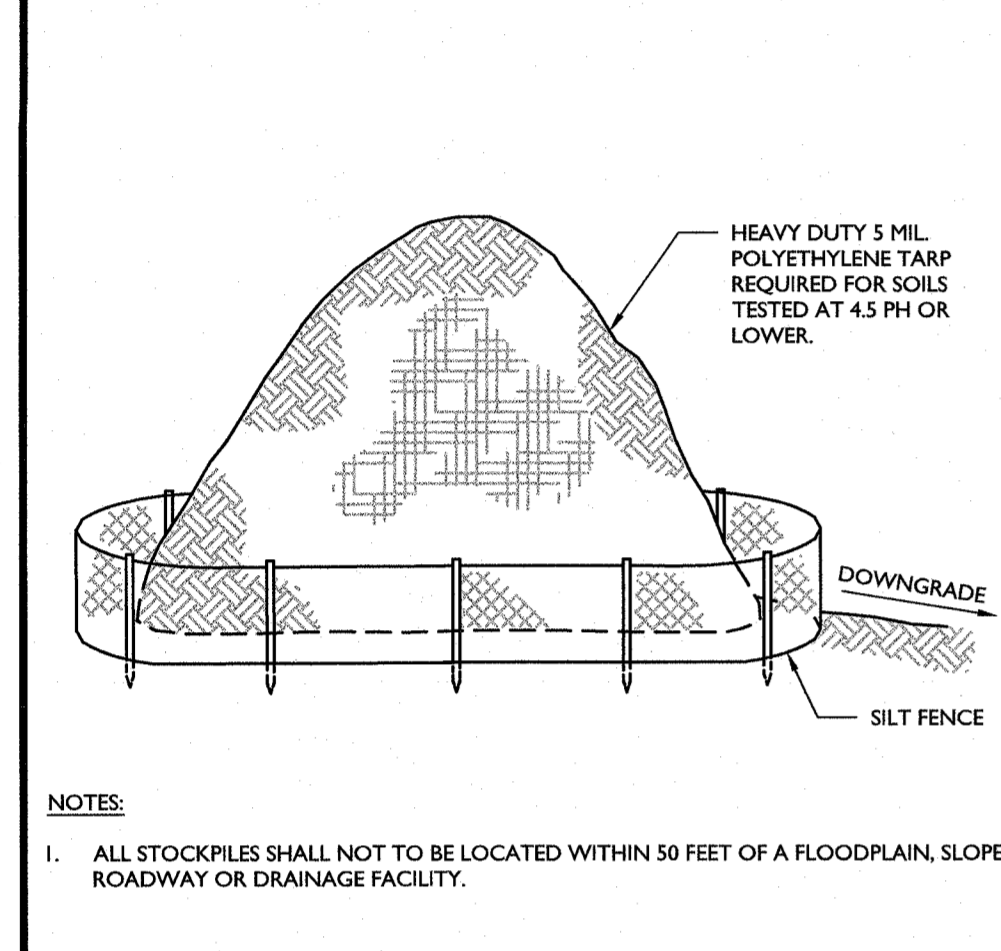
PROPOSED 2\"/>



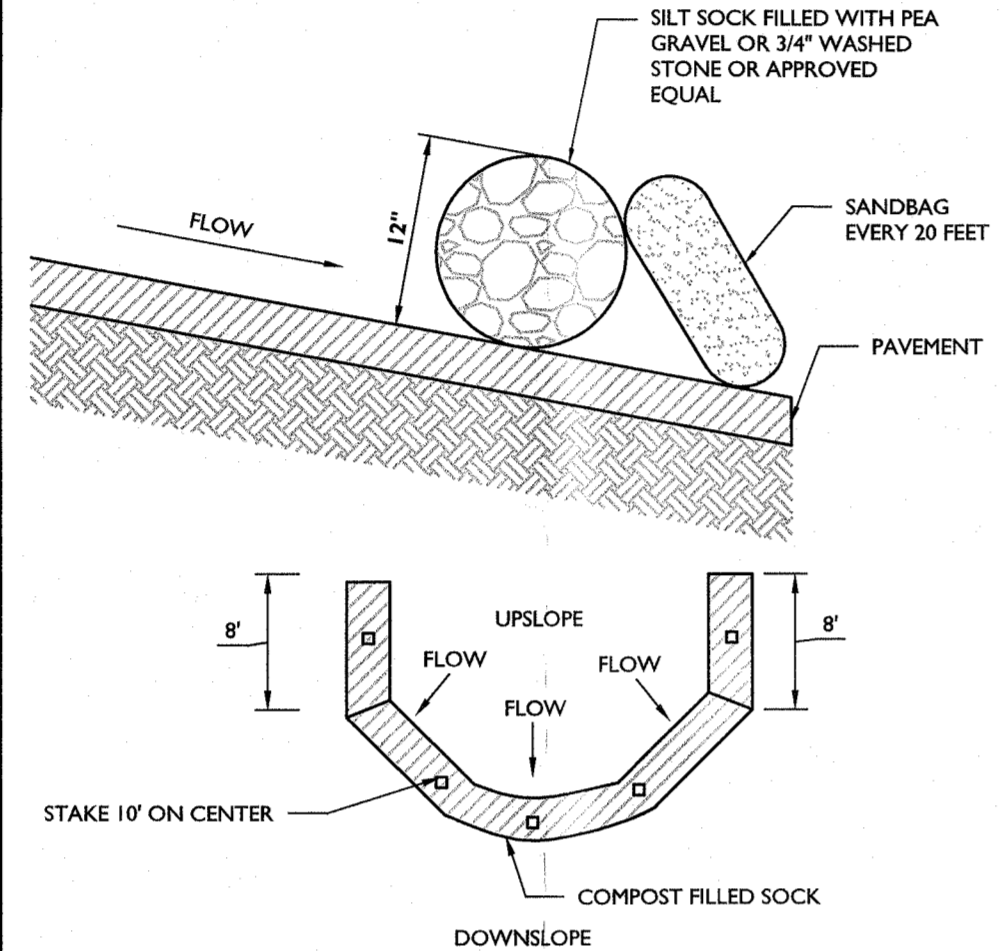
PROPOSED 8\"/>



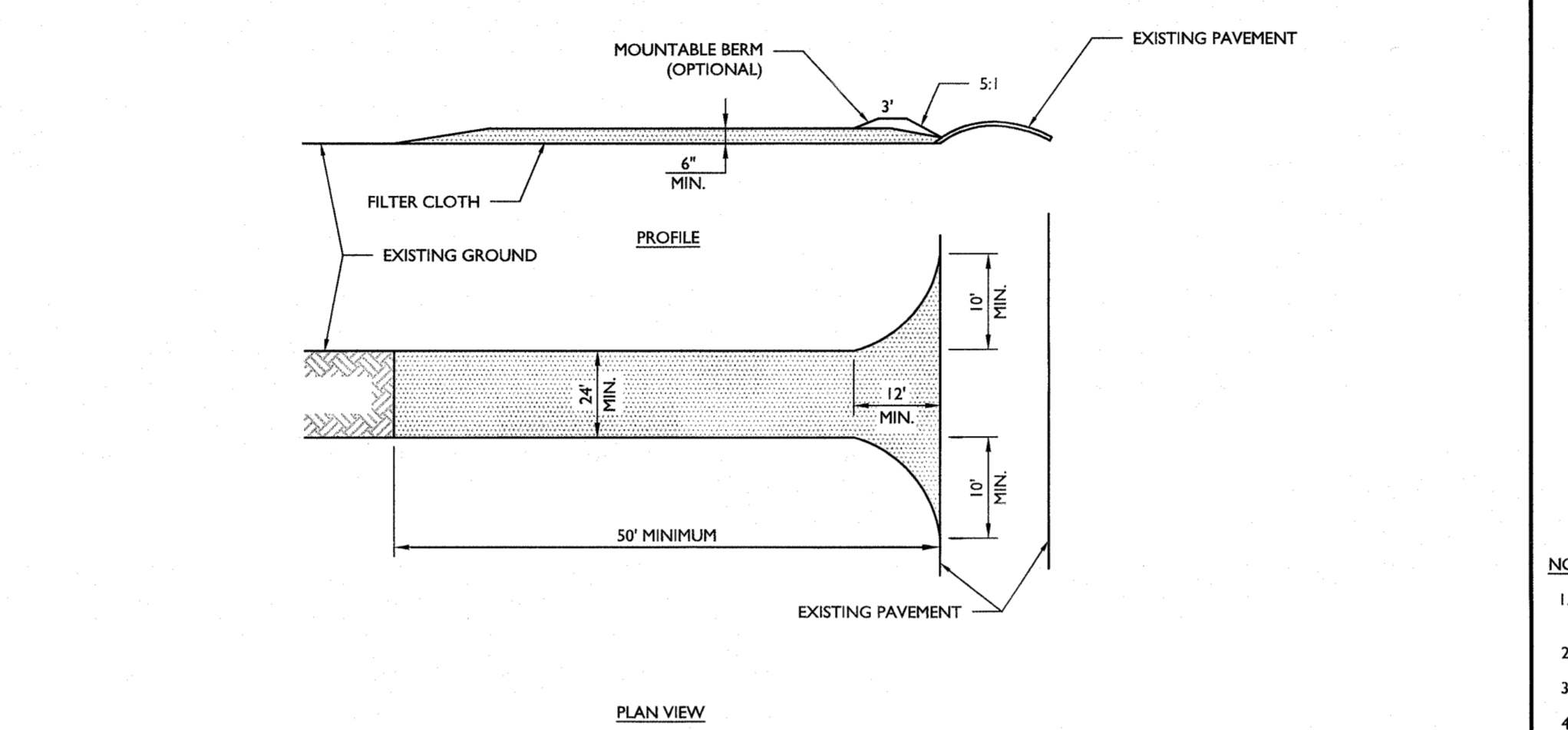
ORANGE CONSTRUCTION FENCE DETAIL



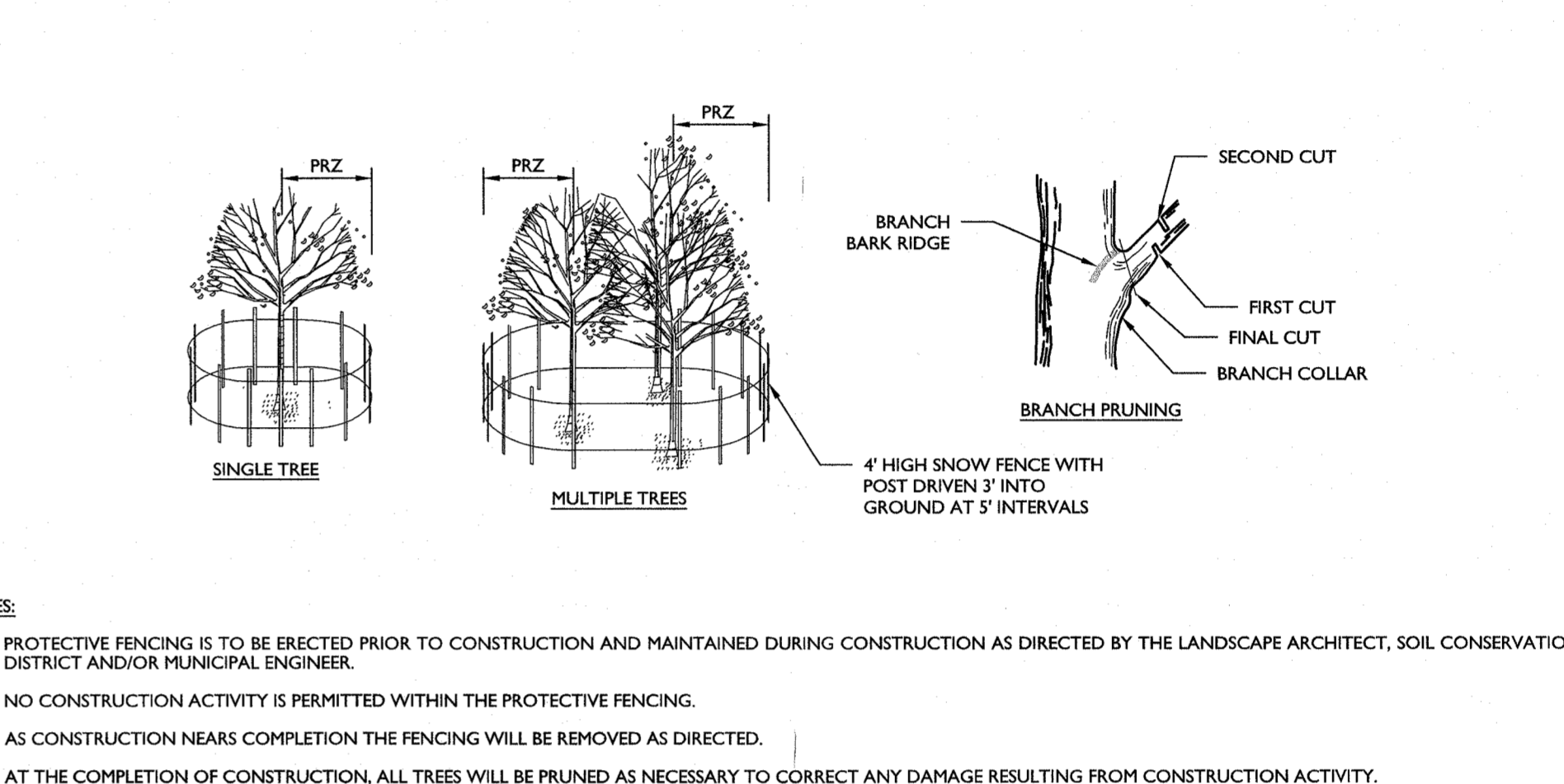
ALL STOCKPILES SHALL NOT TO BE LOCATED WITHIN 50 FEET OF A FLOODPLAIN, SLOPE, ROADWAY OR DRAINAGE FACILITY.



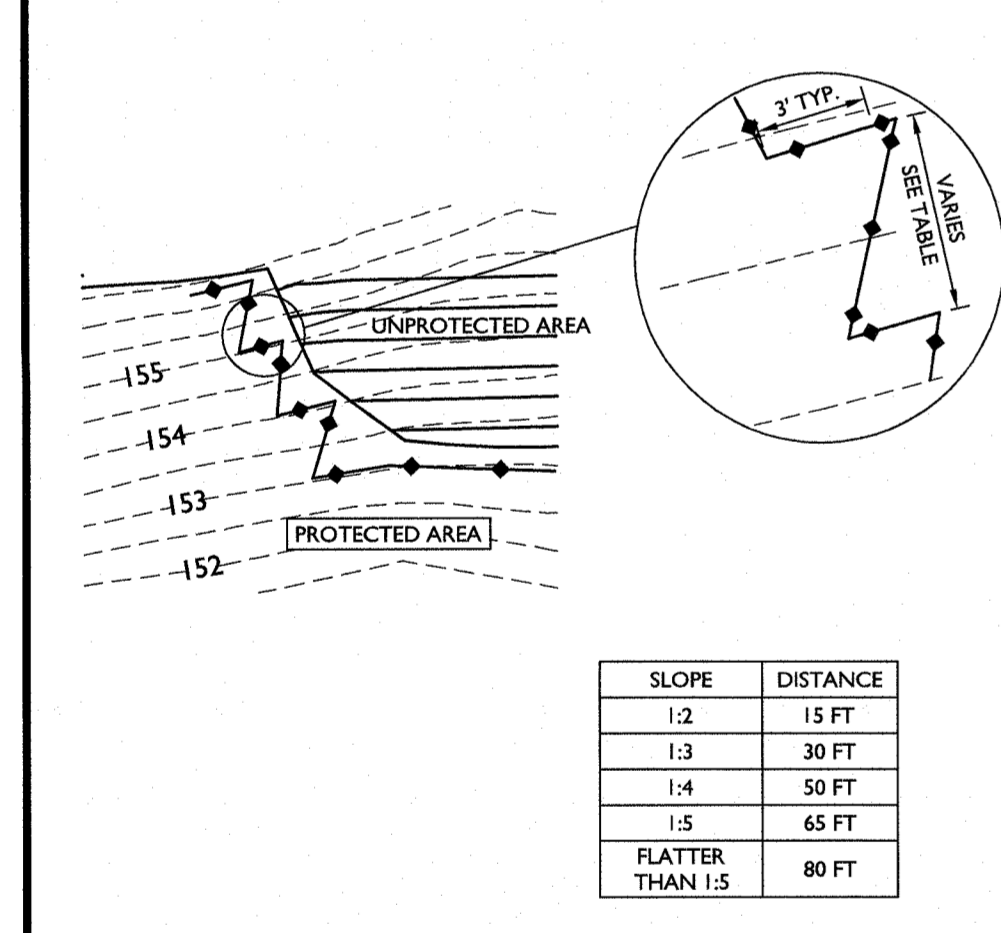
STABILIZED CONSTRUCTION ENTRANCE DETAIL



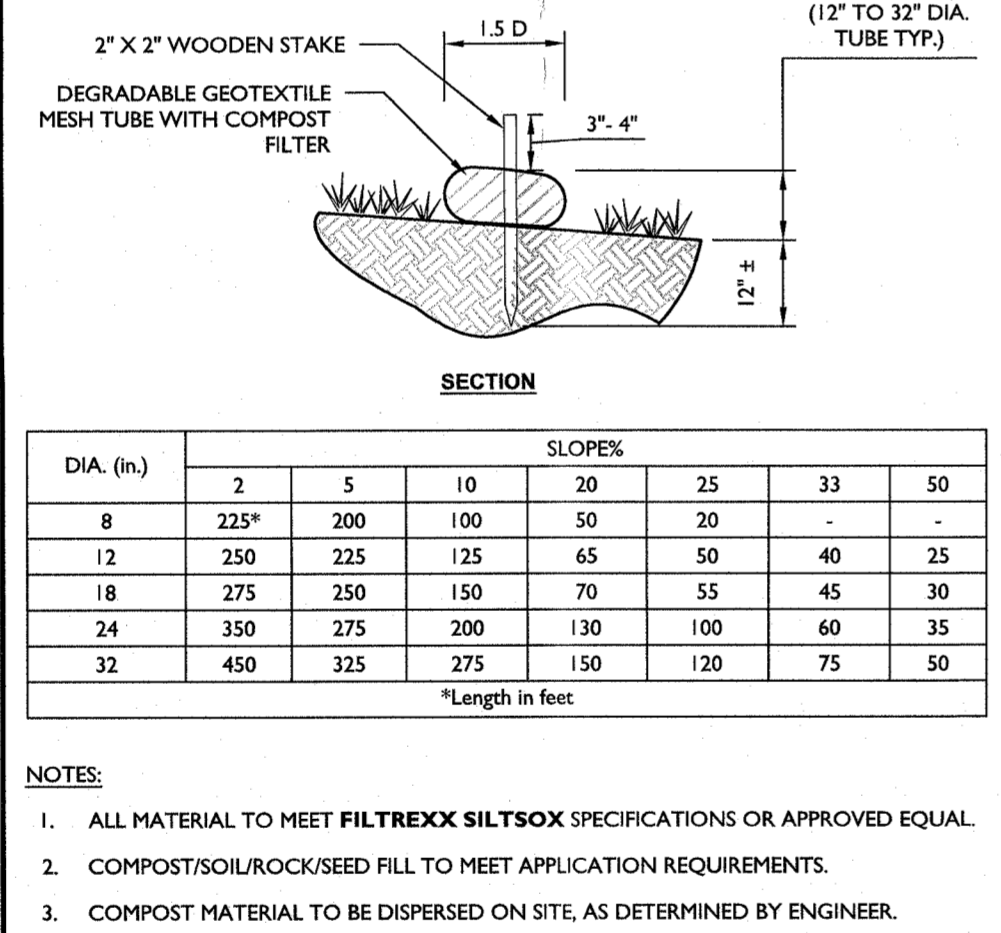
TEMPORARY TREE PROTECTION DETAIL



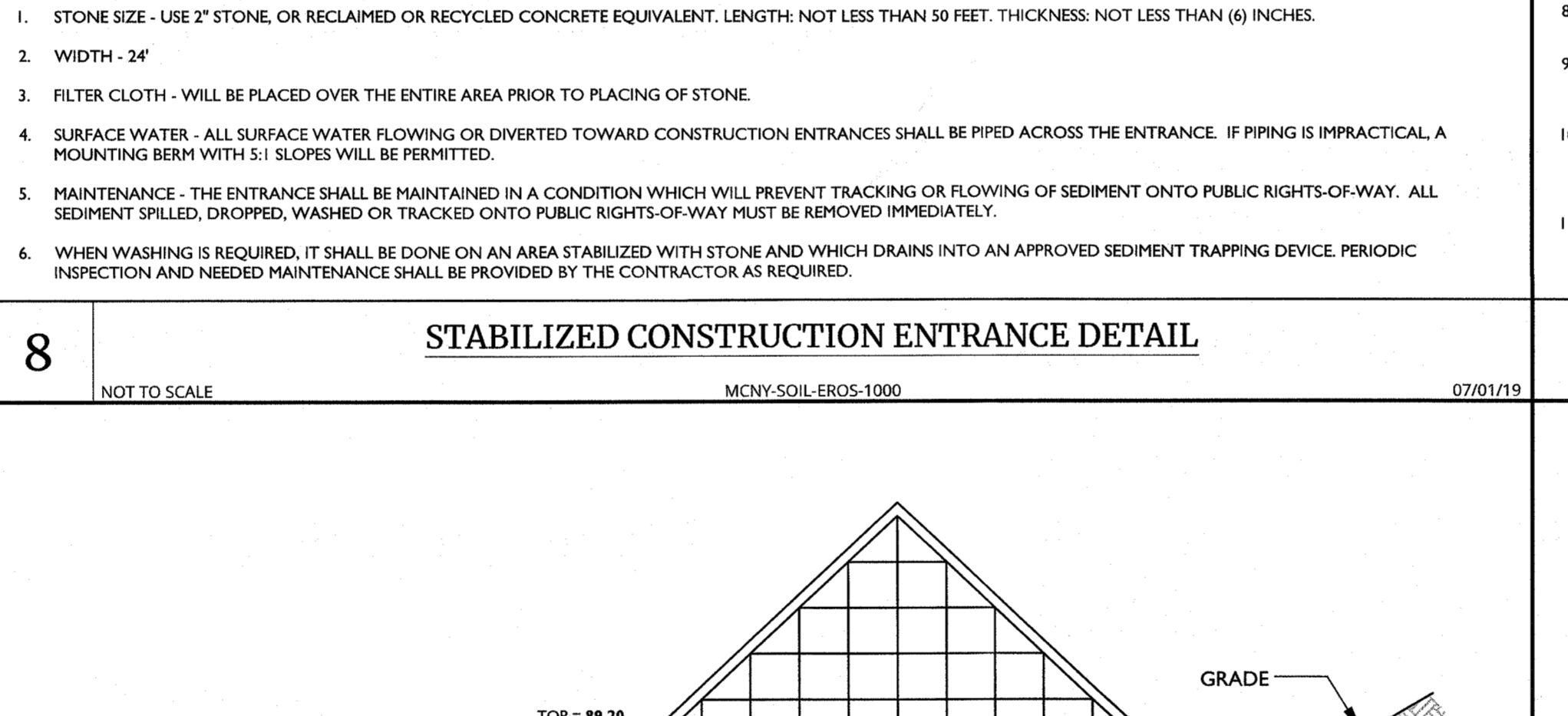
TEMPORARY TREE PROTECTION DETAIL



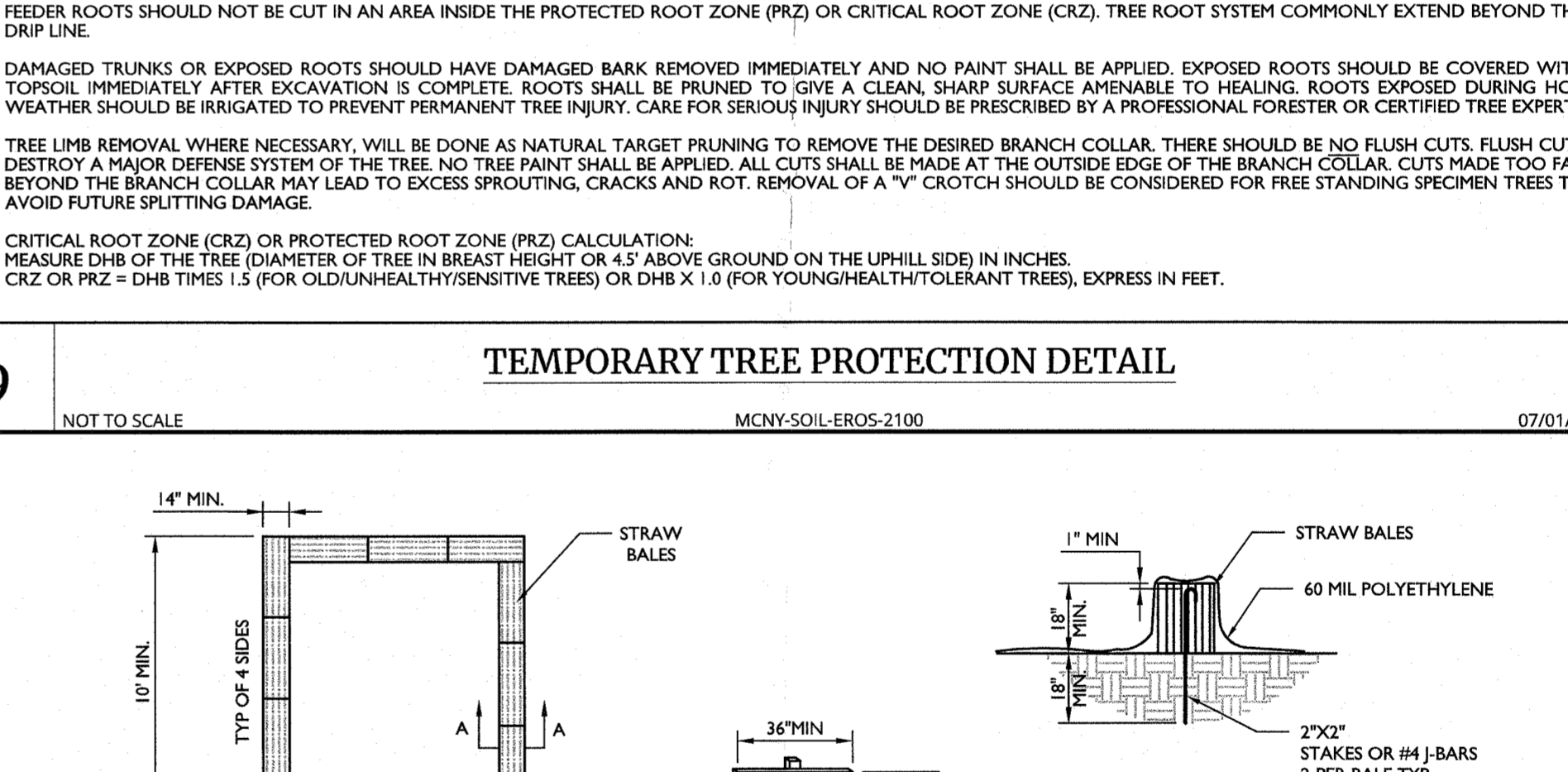
SILT FENCE INSTALLATION DETAIL (WHEN NOT PARALLEL TO CONTOURS)



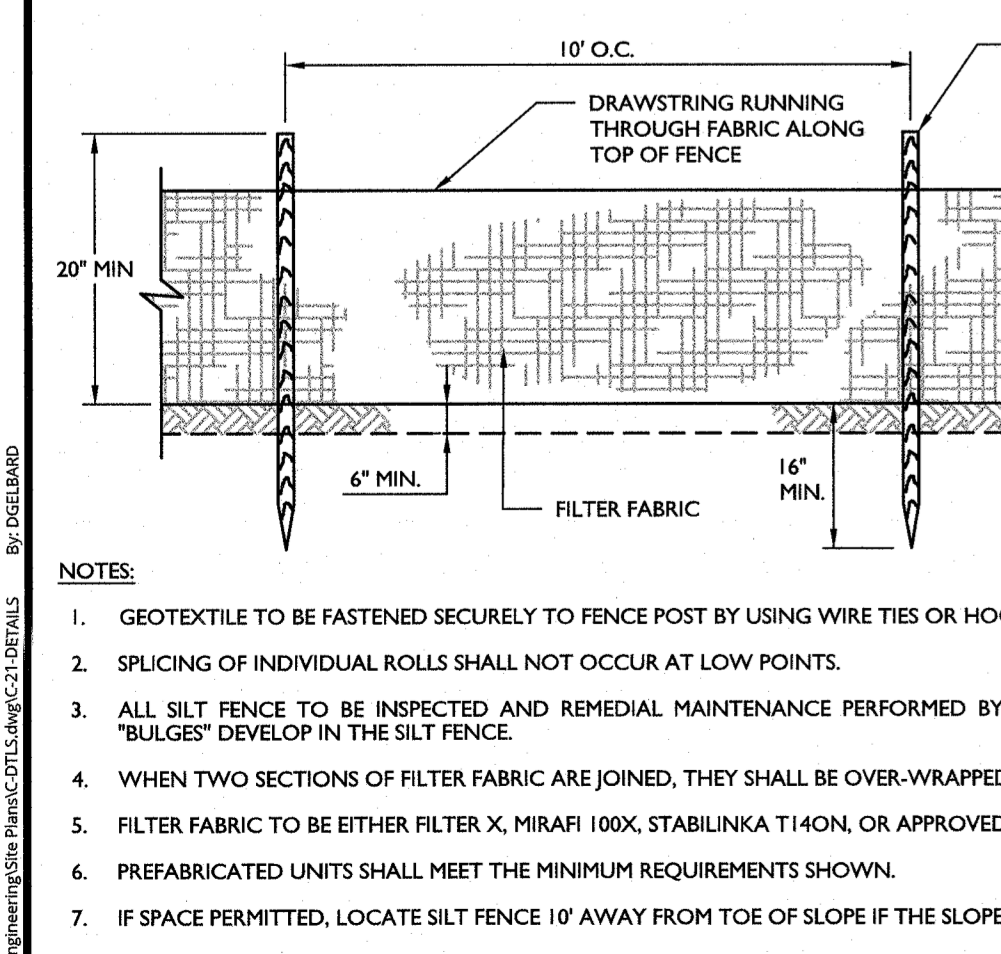
COMPOST FILTER SOCK INSTALLATION AND DETAILS



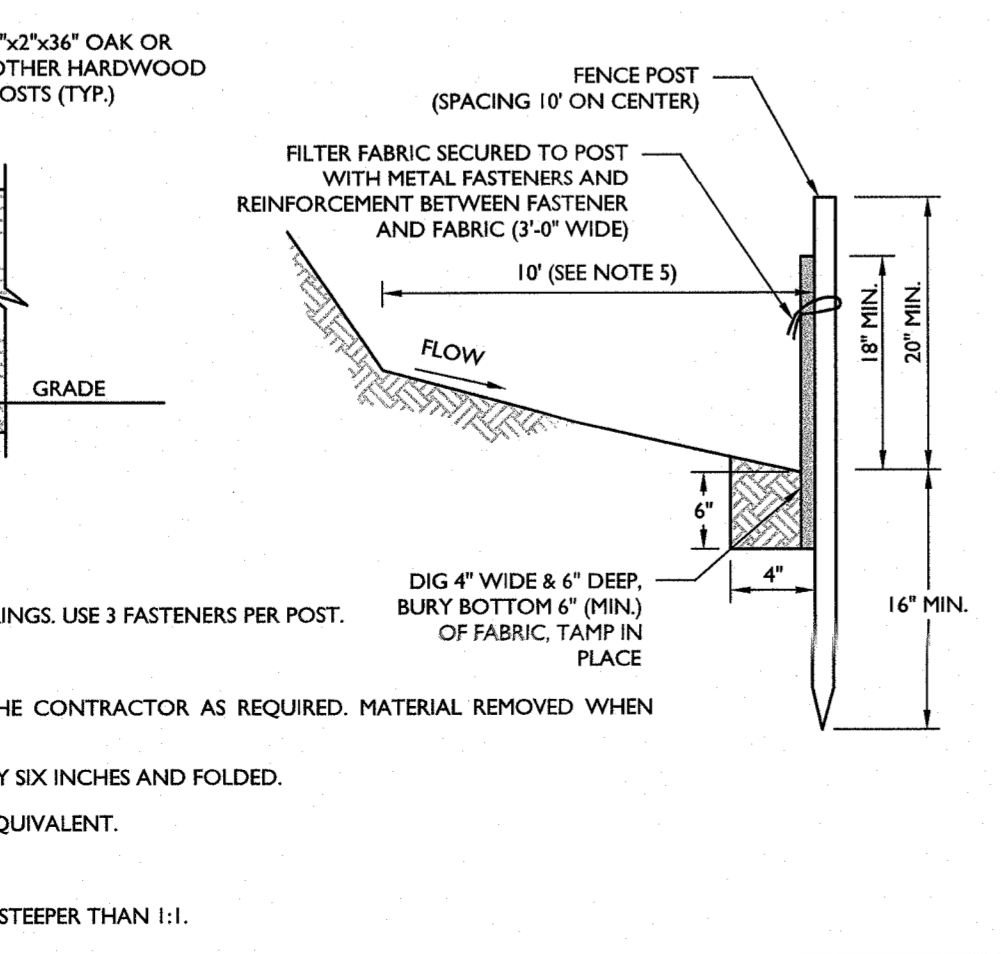
TEMPORARY POND OUTLET DURING CONSTRUCTION DETAIL



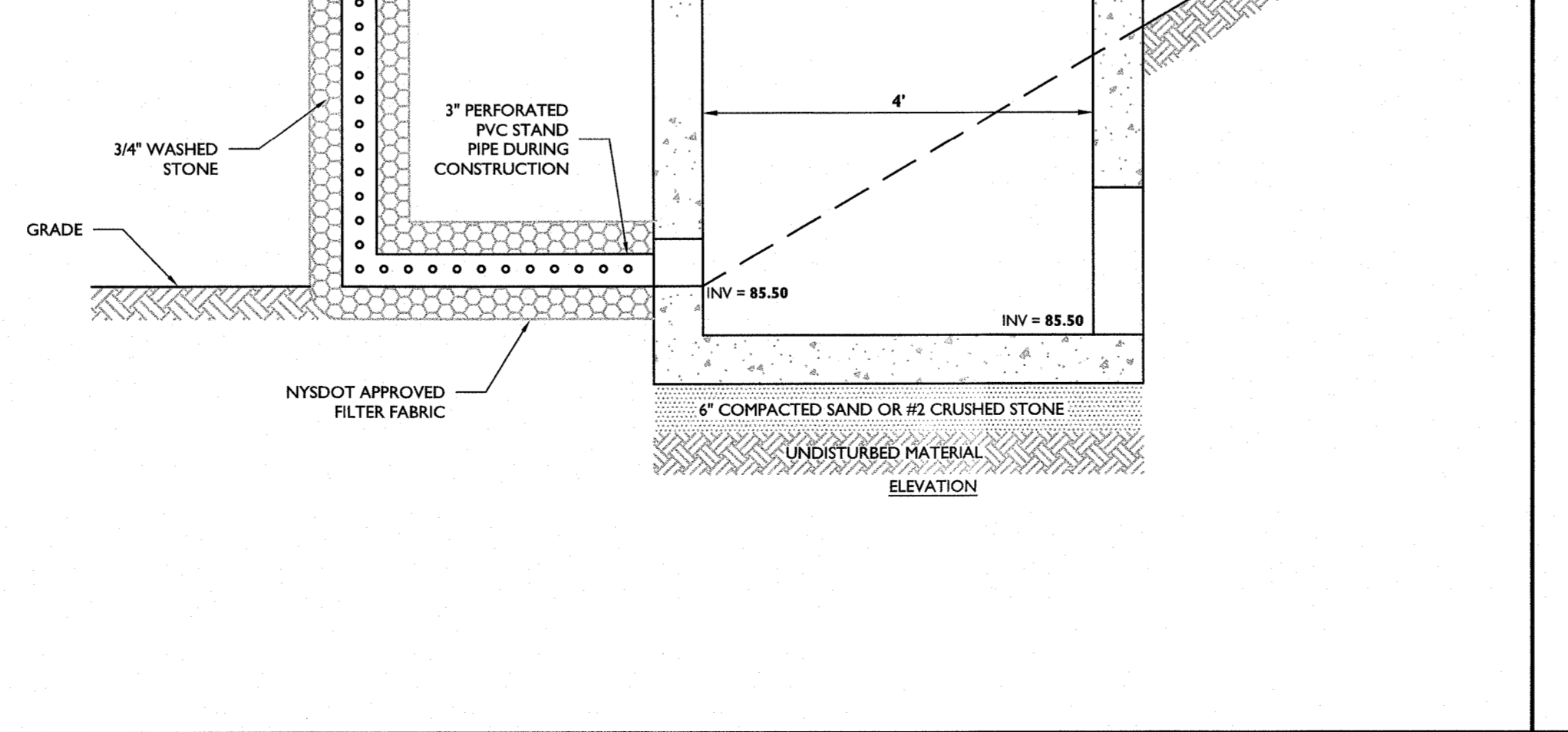
CONCRETE WASHOUT DETAIL



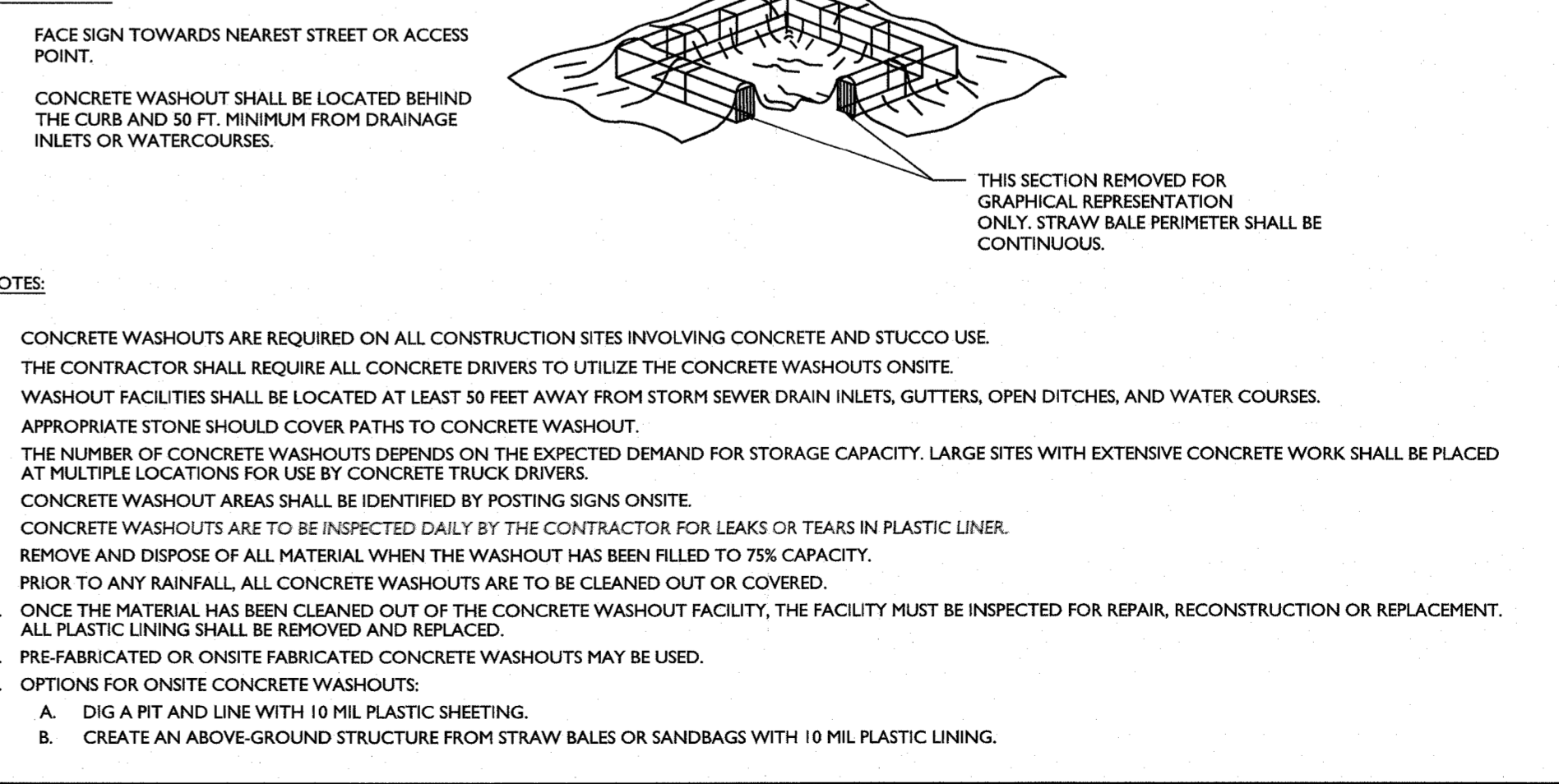
STANDARD SILT FENCE DETAIL



TEMPORARY POND OUTLET DURING CONSTRUCTION DETAIL



CONCRETE WASHOUT DETAIL



CONCRETE WASHOUT DETAIL

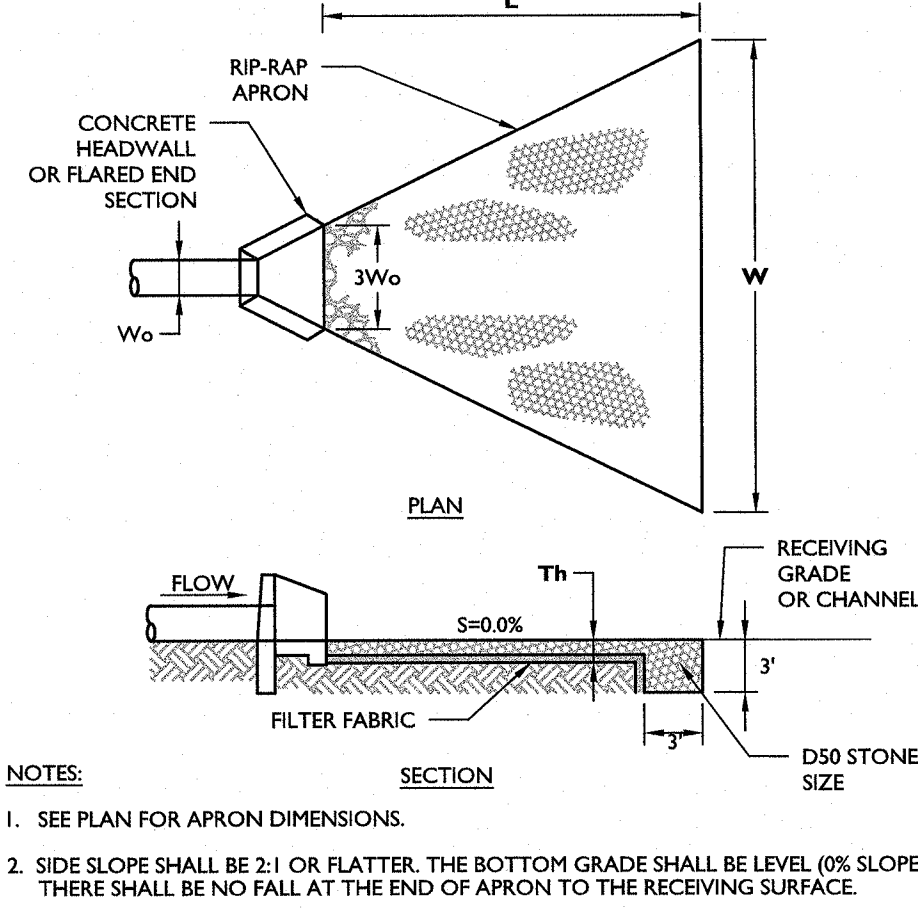
DATE	DESCRIPTION

Jesse Barrett Cooley  
NEW YORK LICENSED PROFESSIONAL ENGINEER  
LICENSE NUMBER: 090887-1  
COLLIERS ENGINEERING & DESIGN CT, P.C.  
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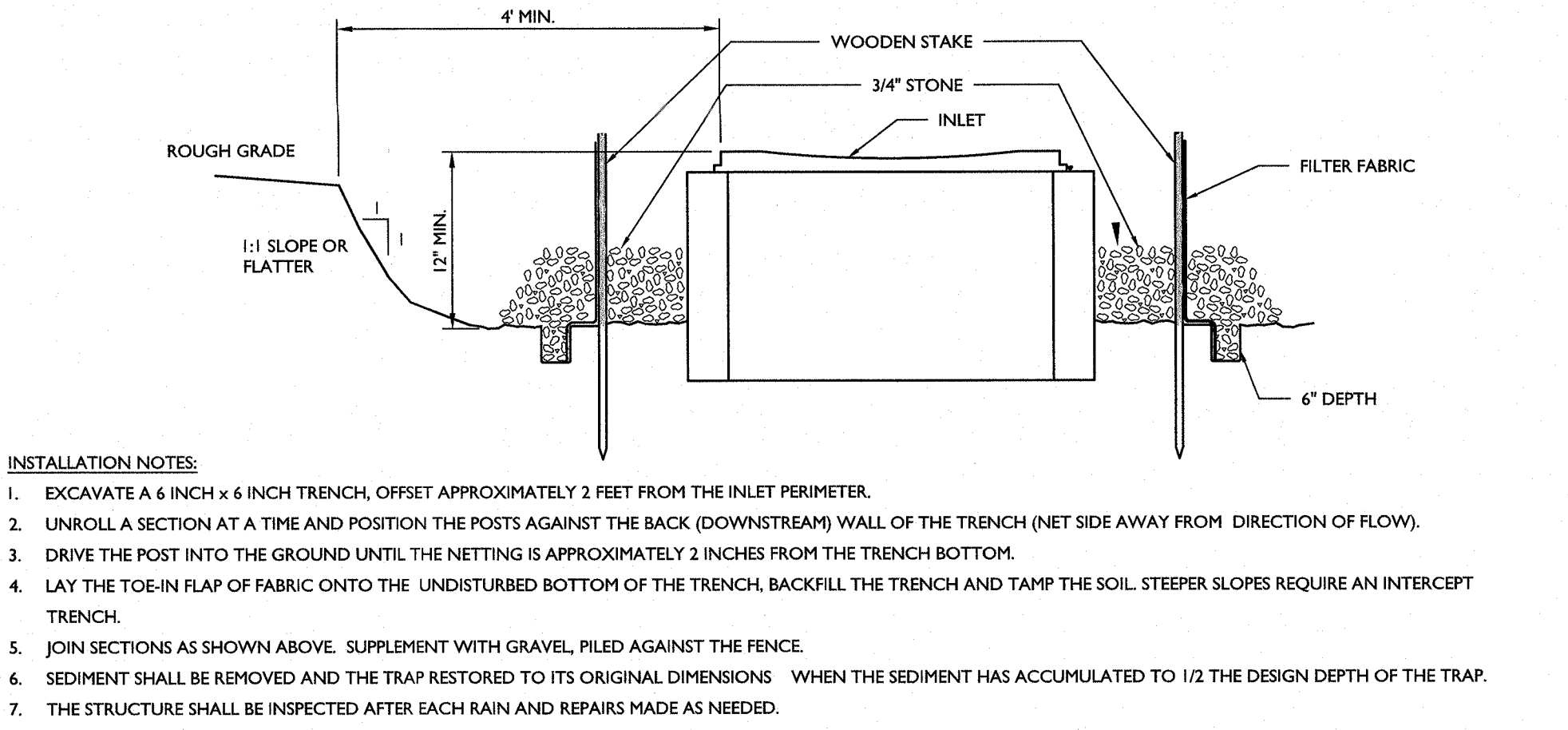
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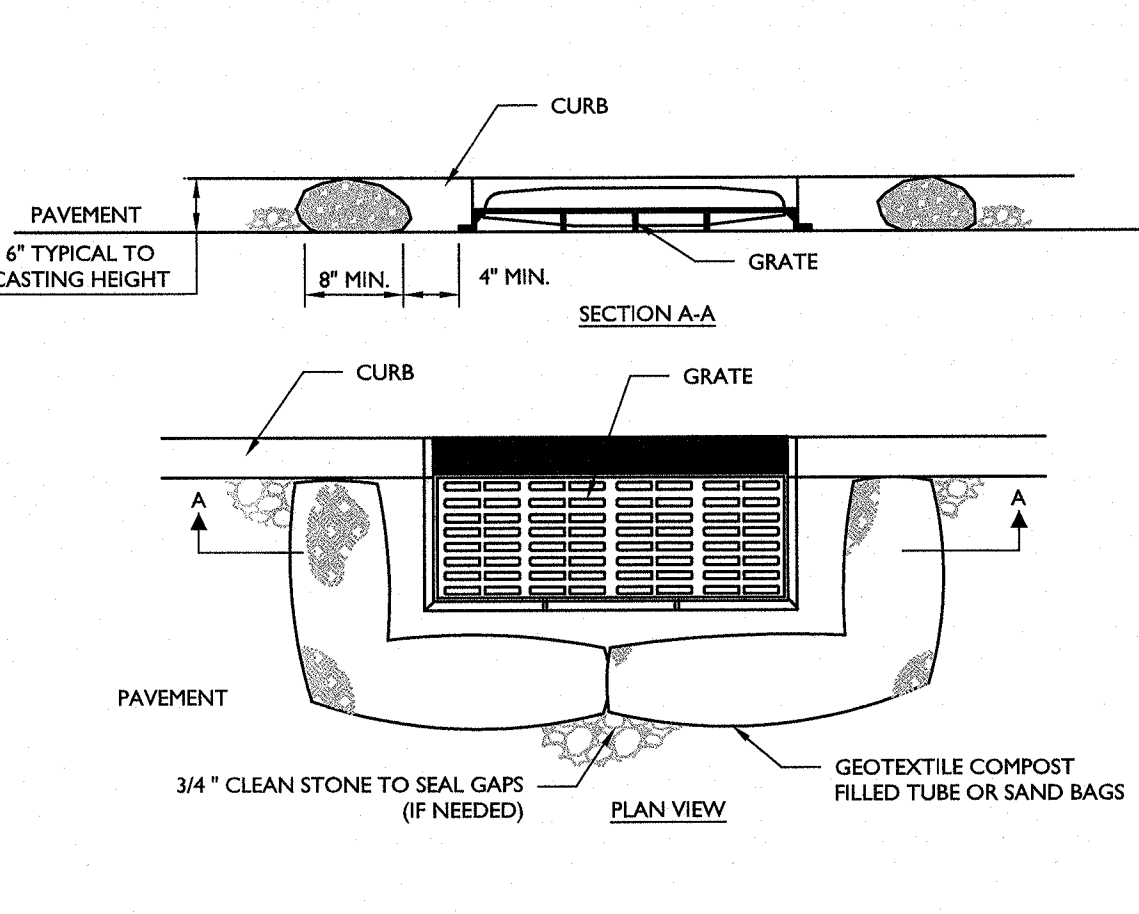




**1 CONDUIT OUTLET PROTECTION DETAIL**  
 NOT TO SCALE MCNY-SOIL-EROS-1600 07/01/19

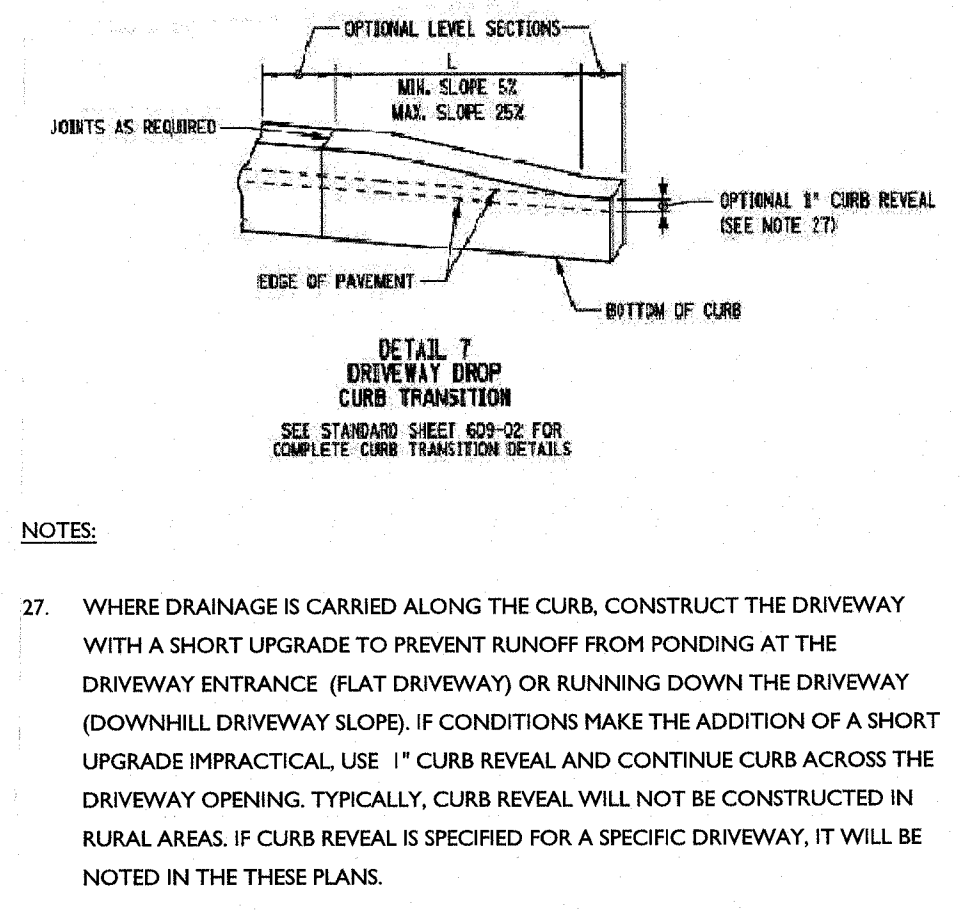


**2 STORM INLET SEDIMENT TRAP DETAIL**  
 NOT TO SCALE MCNY-SOIL-EROS-1502 07/01/19

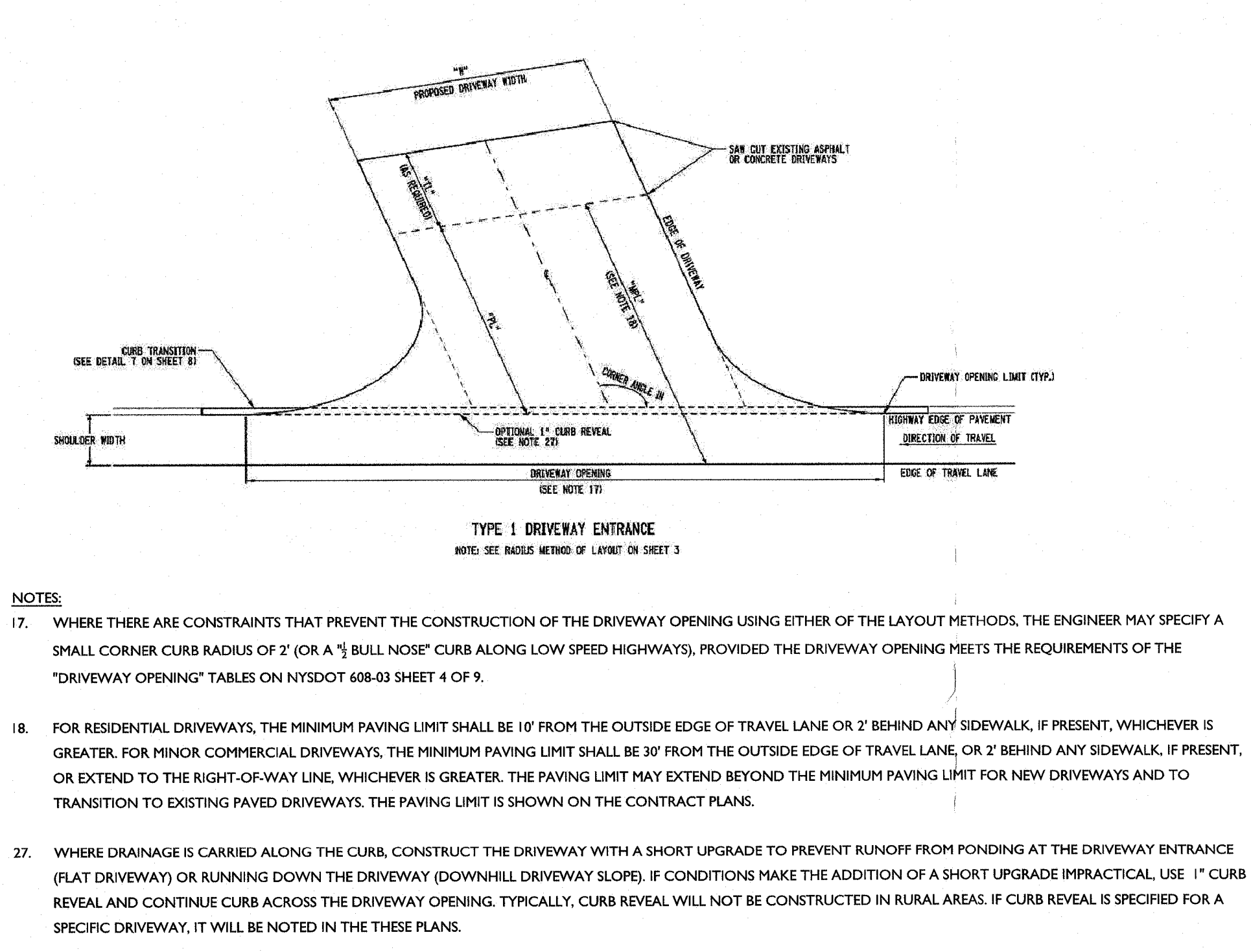


**3 INLET PROTECTION (FILTER BARRIER) DETAIL**  
 NOT TO SCALE MCNY-SOIL-EROS-1500 07/01/19

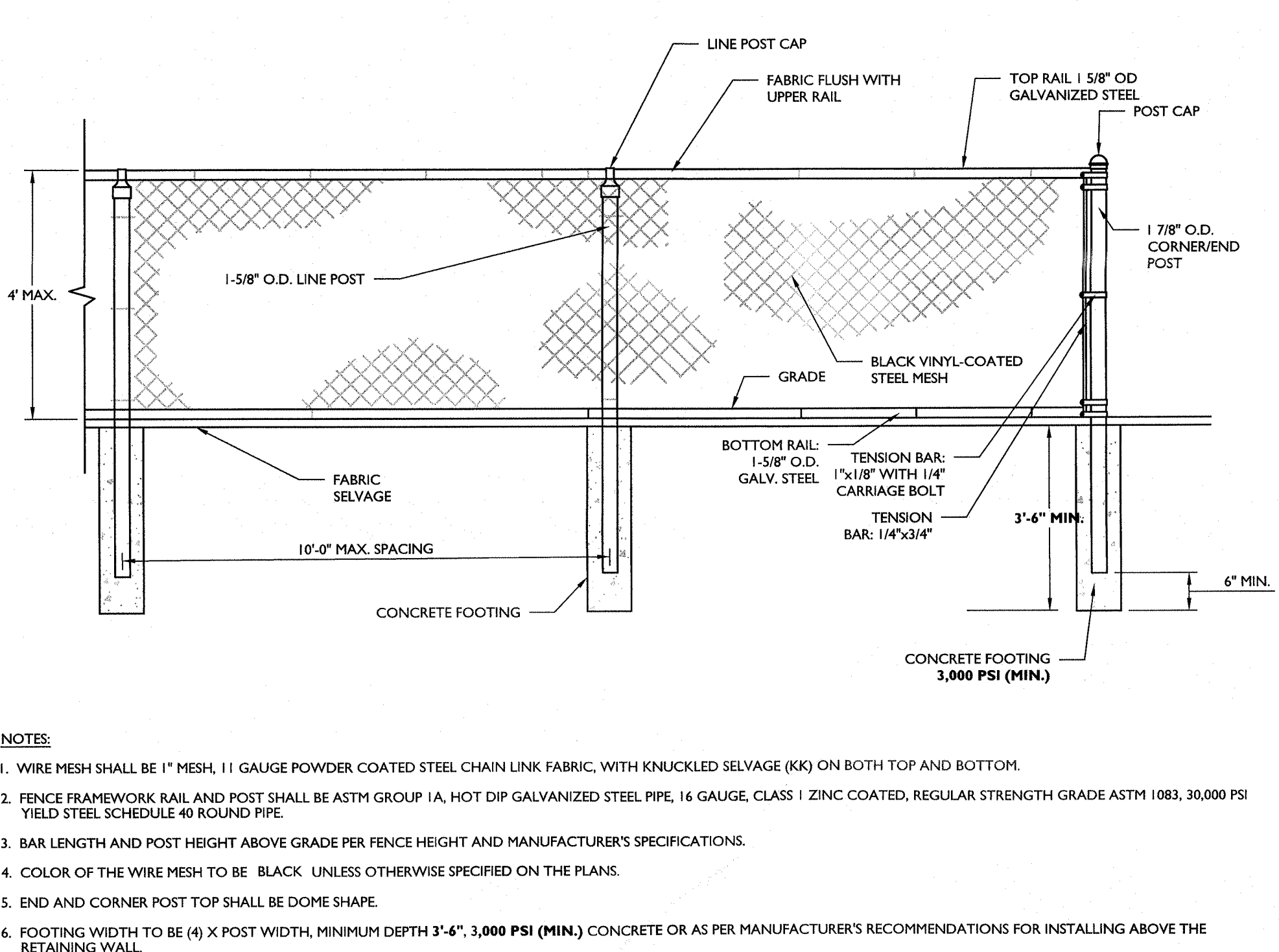
- NOTES:**
1. GEOTEXTILE TO BE WOVEN POLYPROPYLENE PRODUCT, OR APPROVED EQUAL.
  2. FILLER CORE MAY BE SAND, COMPOST OR PEA GRAVEL COMPLETELY CONTAINED WITHIN GEOTEXTILE SEAMS, CLOSED BY SUITABLE MECHANICAL MEANS TO PREVENT LEAKAGE OF FILLER.
  3. WHERE NO CURB IS PRESENT, BARRIER SHALL COMPLETELY ENCLOSE THE DRAIN INLET.
  4. INLET GRATE OPENING IS TO BE KEPT CLEAR OF OBSTRUCTIONS AT ALL TIMES.
  5. THE PROTECTION DEVICE WILL BE DESIGNED TO CAPTURE OR FILTER RUNOFF FROM THE 1 YEAR/ 24 HOUR STORM EVENT AND SHALL SAFELY CONVEY HIGHER FLOWS DIRECTLY INTO THE STORM SEWER SYSTEM.
  6. OTHER METHODS THAT ACCOMPLISH THE PURPOSE OF STORM SEWER INLET PROTECTION MAY BE USED IF APPROVED BY THE PROJECT ENGINEER.
  7. INSPECTIONS SHALL BE FREQUENT, MAINTENANCE, REPAIR, AND REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED. THE BARRIER SHALL BE REMOVED WHEN THE AREA DRAINING TOWARDS THE INLET HAS REACHED FINAL STABILIZATION.



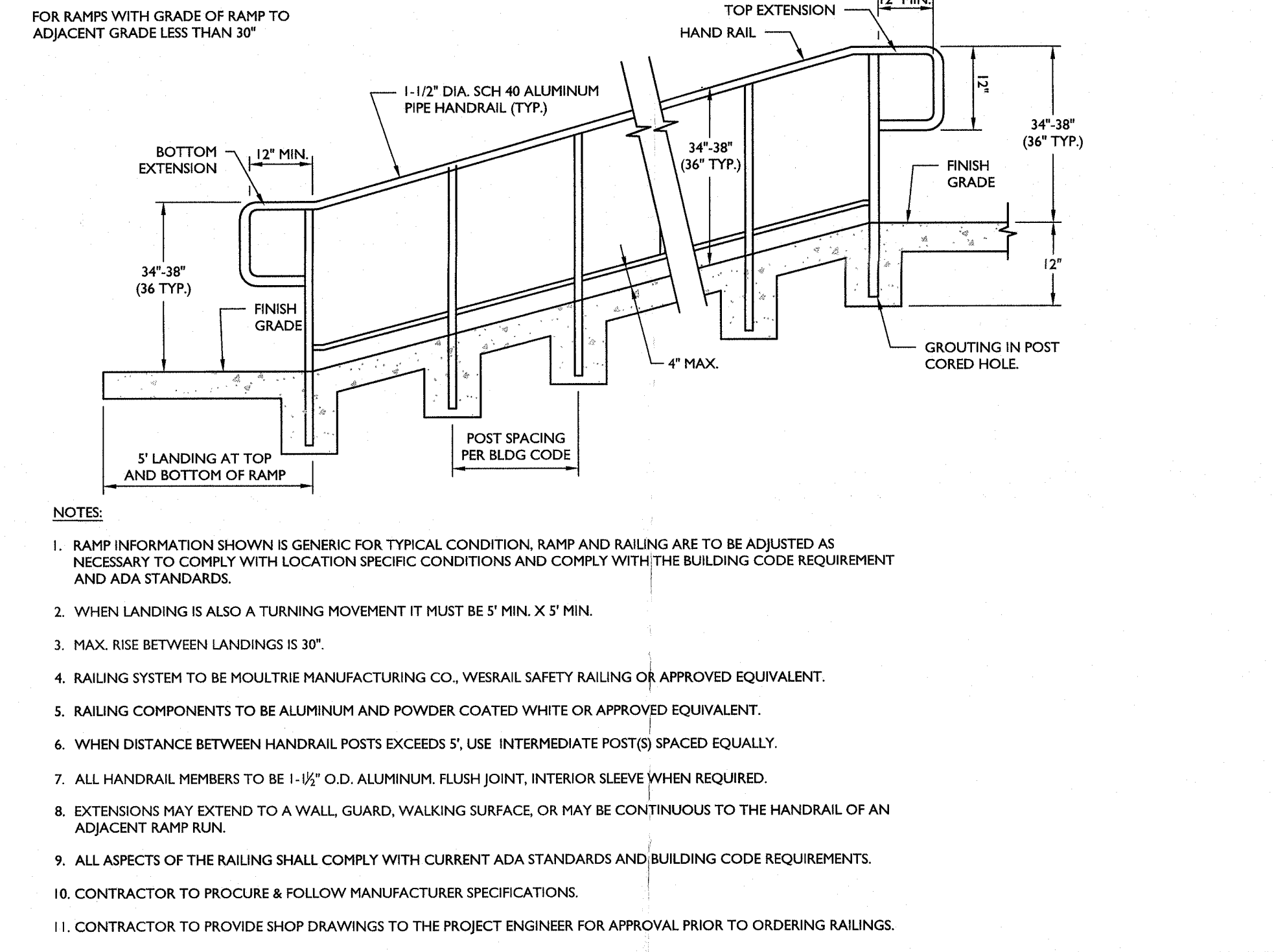
**4 NYSDOT 608-03 DRIVEWAY DROP CURB TRANSITION DETAIL (ROUTE 303)**  
 NOT TO SCALE GNRL-DTLS-STND-GRID 11/22/21



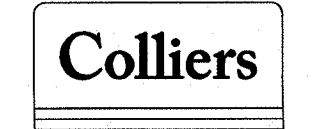
**5 NYSDOT 608-03 MINOR COMMERCIAL DRIVEWAY (ROUTE 303)**  
 NOT TO SCALE GNRL-DTLS-STND-GRID 11/22/21



**6 4' HIGH CHAIN LINK FENCE DETAIL**  
 NOT TO SCALE MCM-SITE-FNCE-1201 07/01/19



**7 RAMP RAILING DETAIL**  
 NOT TO SCALE MCM-SITE-FNCE-3200 10/01/21



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REVISIONS

NO.	DATE	DESCRIPTION

Jesse Barrett Cooley  
 NEW YORK LICENSED PROFESSIONAL ENGINEER  
 LICENSE NUMBER: 090987-1  
 COLLIER'S ENGINEERING & DESIGN CT, P.C.  
 N.Y. C.O.E.#: 0017609

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SCALE:	DATE:	DRAWN BY:	CHECKED BY:
AS SHOWN	11/22/2021	DG/CMA	JBC
PROJECT NUMBER:	DRAWING NAME:		
21003528A	C-DTLS		

SHEET TITLE:  
**CONSTRUCTION DETAILS**

SHEET NUMBER:  
 22 of 22

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