

NOTE: Lot Corners were not set as per contractual agreement with purchaser of property.

Reference:

Instrument No. 2013-0016143
 Tax Sheet 71.09 - Lot 8
 29.346 Sq. Ft. (0.6737 Ac.)

"SURVEY INSPECTIONS" or "UPDATES" of this map are PROHIBITED.
 This map MAY NOT BE COPIED in whole or in part.
 This map MAY NOT BE used for other purposes or transactions.
 This map was prepared for a SPECIFIC transaction involving ONLY the parties listed below
 (Certified Only To)

Certified Only To:

Michael J. Mauro
 Hudson United Title Services LLC
 The Security Title Guarantees Company of Baltimore

ONLY copies of this map bearing the EMBOSSED seal of John A. Loch are VALID.
 Certifications are NOT transferable to additional institutions or subsequent owners.
 Easements or Rights of Way on or below the surface of the ground that are NOT visible are NOT SHOWN.
 Subject to the findings of a COMPLETE and UP TO DATE title search.

Date: 10-11-2020	Description: Cleanup of Surface Contours - South Side of Site	Checked By: JA
Date: 7-13-2020	Description: Additional ROW Topography	Checked By: JA
Date: 6-11-2020	Description: Add Topography for West of the Lot	Checked By: JA
Date: 6-24-2020	Description: Revised Tree Inventory	Checked By: JA

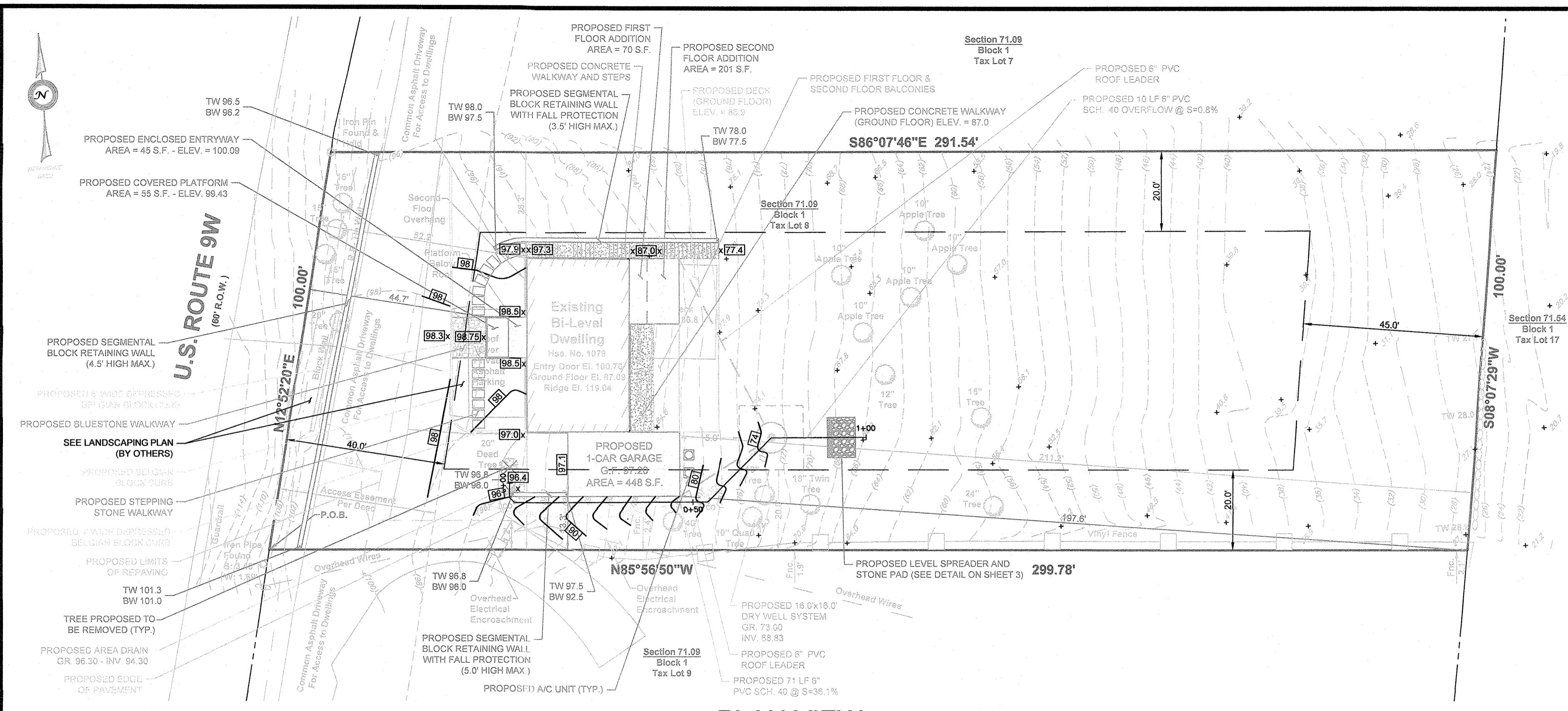
Boundary & Topographic Survey Map
 Prepared For
Michael J. Mauro
 1079 U.S. Route 9W South
 Sheet 71.09 - Lot 8
 Town of Orangetown
 Rockland County New York

Azzolina & Feury Engineering Inc.
 PROFESSIONAL ENGINEERS AND LAND SURVEYORS
 30 Medina Avenue, Paramus, NJ 07652 - (201) 846-8600 - Fax (201) 846-3635
 110 Stage Road, Monroe, NY 10809 - (845) 783-8501 - Fax (845) 783-4313

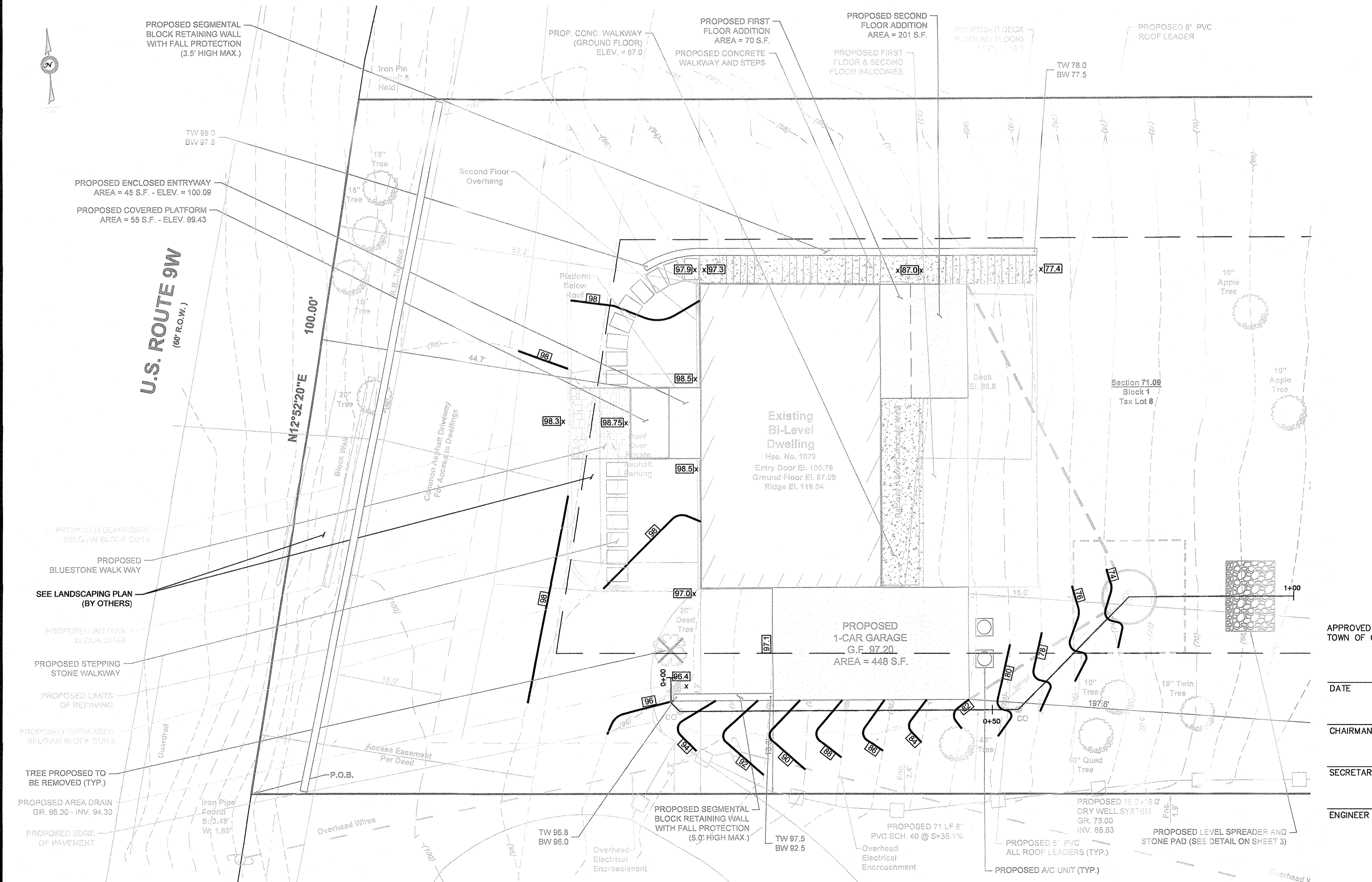
N.J. CERTIFICATE OF AUTHORIZATION
 24C1A25009800

John A. Loch
John A. Loch, P.L.S.
 N.Y. Professional Land Surveyor #49085

Date: August 10, 2020 Drawn By: JA Checked By: JAL
 Scale: 1" = 20' Dwg. No. 1 of 1 Job No.: 12011

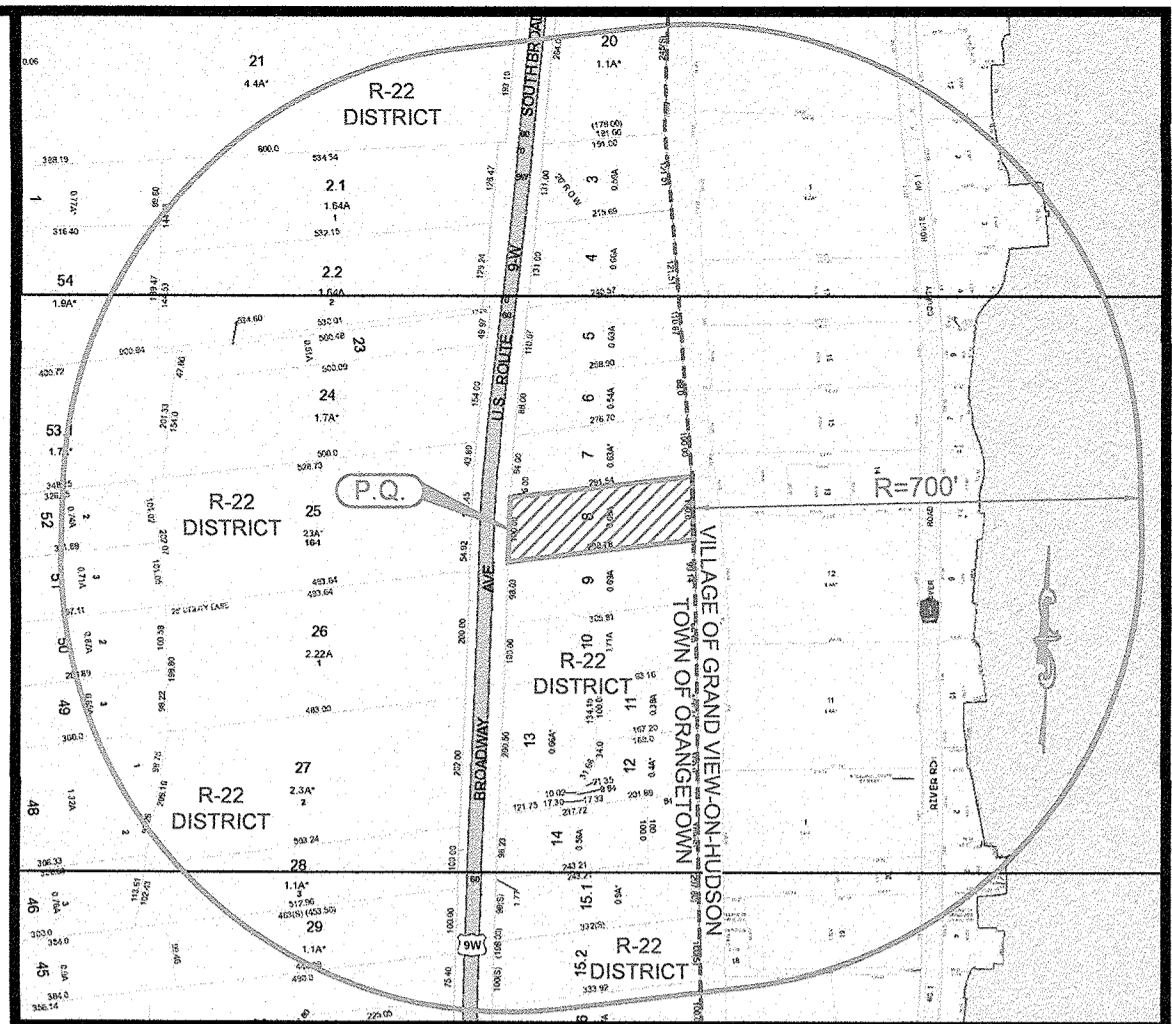


PLAN VIEW
SCALE: 1"=20'



PLAN VIEW
SCALE: 1"=10'

EXISTING	LEGEND	PROPOSED
	8" INLET	
	12" INLET	
	AREA DRAIN	
	STORM MANHOLE	
	STORM DRAIN LINE	
	SANITARY CLEAN OUT	
	SANITARY MANHOLE	
	SANITARY LINE	
	WATER LINE	
	WATER VALVE	
	HYDRANT	
	GAS LINE	
	GAS VALVE	
	BUILDING	
	CURB	
	DEPRESSED CURB	
	EDGE OF PAVEMENT	
	SIGN	
	CONTOUR	
	SPOT ELEVATION	

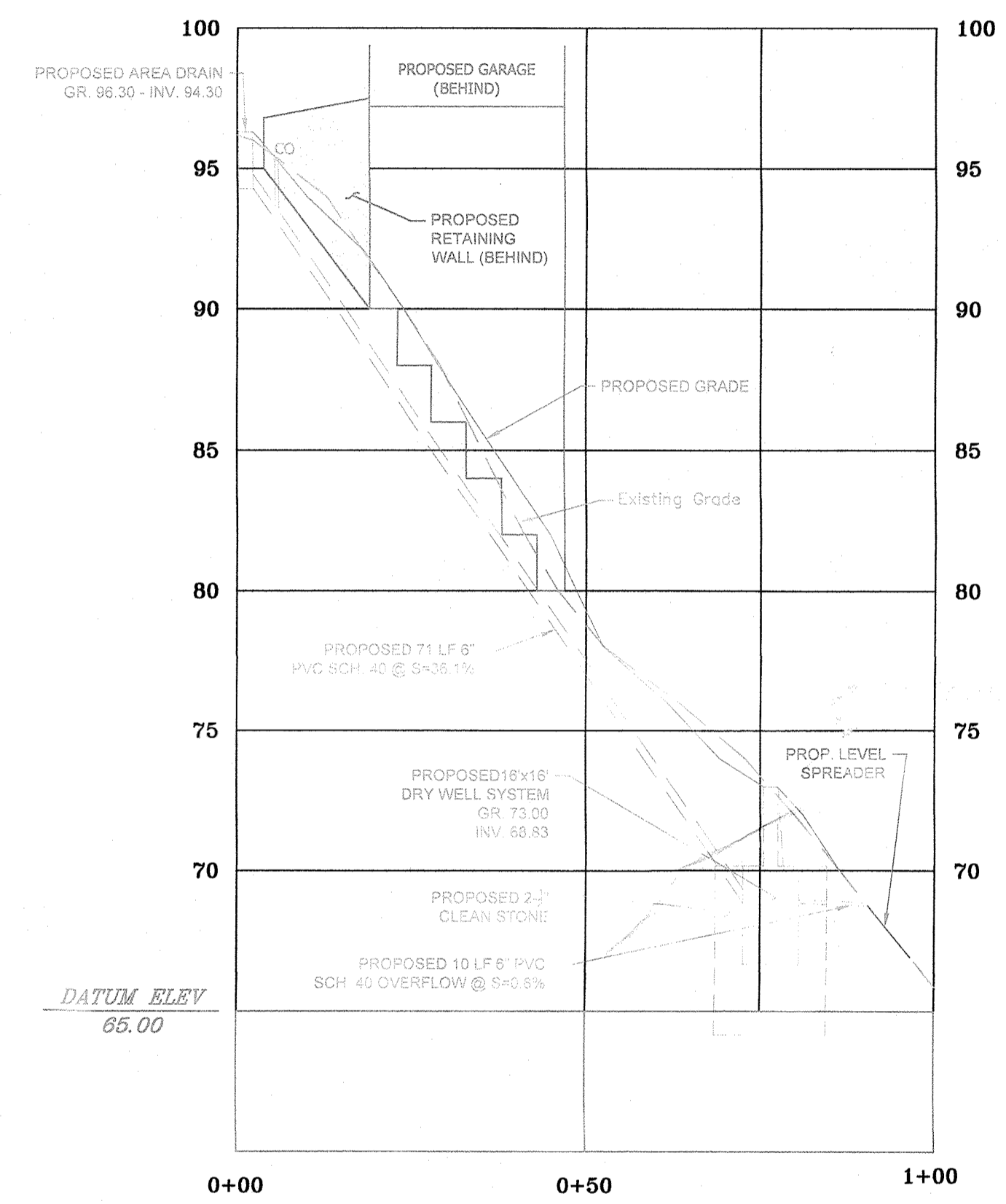


KEY MAP
Scale: 1" = 300'

- NOTES:**
- PROPERTY KNOWN AS LOT 8 IN BLOCK 1 OF SECTION 71.09 AS SHOWN ON THE CURRENT TAX MAP OF THE TOWN OF ORANGETOWN.
 - PROPERTY OWNER / APPLICANT: MICHAEL J. MAURO
1079 U.S. ROUTE 9W
NYACK, NY 10989
 - AREA OF ENTIRE PROPERTY: 29,348 S.F. or 0.6737 ACRES
 - PROPERTY LOCATED IN THE R-22 MEDIUM DENSITY RESIDENTIAL DISTRICT.
 - THE VERTICAL DATUM SHOWN HEREON IS BASED ON AN ASSUMED DATUM.
 - ZONING DATA:

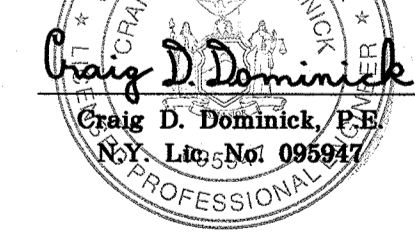
ITEM	REQUIRED	EXISTING	PROPOSED
MAX. FLOOR AREA RATIO	0.20	0.116	0.143
MIN. LOT AREA	22,500 S.F.	29,348 S.F.	29,348 S.F.
MIN. LOT WIDTH	125.0'	100.1'	100.1'
MIN. STREET FRONTAGE	75.0'	100.0'	100.0'
MIN. FRONT YARD	40.0'	52.2'	44.7'
MIN. SIDE YARD (ONE / BOTH)	20.0' / 40.0'	26.3' / 55.6'	13.3' / 39.6'
MIN. REAR YARD	45.0'	21.2'	19.5'
MAX. BUILDING HEIGHT	37'-7" (SEE NOTE 7)	23'-5"	23'-5"

- ⊖ DENOTES EXISTING NONCONFORMING CONDITION ⊕ DENOTES VARIANCE REQUIRED
- * PER CHAPTER 43, SECTION 5.21(B)
- MAXIMUM BUILDING HEIGHT CALCULATION:
MAXIMUM HEIGHT IN FEET AND INCHES PER FOOT FROM LOT LINE = 9' / FT.
BUILDING SETBACK FROM LOT LINE = 90'-1.5'
90'-1.5' x 9' / FT. = 37'-7" MAXIMUM BUILDING HEIGHT
- BUILDING HEIGHT CALCULATION:
AVG. GRADE AROUND BUILDING:
86.8' x 87.0' + 95.8' x 7.7' = 366.4' / 4 = 91.6'
MIDPOINT OF ROOF ELEVATION = 115.00'
BUILDING HEIGHT = 115.02' - 91.6' = 23'-4.2"
- BUILDING COVERAGE CALCULATIONS:
EXISTING DWELLING = 1,739 S.F. / 29,348 = 5.9% (INCLUDES BALCONIES, OVERHANG & COVERED PARKING)
DRIVEWAY = 3,347 S.F.
CONC. WALK/STEPS = 195 S.F.
PAVER WALK = 226 S.F.
5,984 S.F. / 29,348 = 18.5%
- PROPOSED:
BLDG. COVERAGE = 2,216 S.F.
DRIVEWAY = 3,347 S.F.
CONC. WALK/STEPS = 195 S.F.
PAVER WALK = 226 S.F.
5,984 S.F. / 29,348 = 20.4%
- FLOOR AREA RATIO CALCULATIONS:
EXISTING DWELLING = 3,414 S.F. / 29,348 S.F. = 0.116
PROPOSED DWELLING = 4,184 S.F. / 29,348 S.F. = 0.143
- ALL CONSTRUCTION TO BE IN ACCORDANCE WITH THE TOWN'S ORDINANCES AND/OR SPECIFICATIONS.
- APPLICANT GRANTS TOWN'S OFFICIALS AND EMPLOYEES PERMISSIONS TO ENTER PROPERTY FOR THE PURPOSE OF SURVEYS/INSPECTIONS.
- DRY WELL SHALL BE INSPECTED ONCE PER YEAR AND AFTER EACH RAINFALL EVENT OF 1" PRECIPITATION PER 24 HOUR PERIOD. ANY BUILDUP OF LEAVES, DEBRIS OR OTHER OBSTRUCTIONS SHALL BE REMOVED.
- THERE IS ONE (1) TREE PROPOSED TO BE REMOVED AS PART OF THIS PROJECT.
- AT LEAST ONE WEEK PRIOR TO THE COMMENCEMENT OF ANY WORK, INCLUDING THE INSTALLATION OF EROSION CONTROL DEVICES OR THE REMOVAL OF TREES AND VEGETATION, A PRE-CONSTRUCTION MEETING MUST BE HELD WITH THE TOWN OF ORANGETOWN DEPARTMENT OF ENVIRONMENTAL MANAGEMENT AND ENGINEERING, SUPERINTENDENT OF HIGHWAYS AND THE OFFICE OF BUILDING, ZONING AND PLANNING ADMINISTRATION AND ENFORCEMENT. IT IS THE RESPONSIBILITY AND OBLIGATION OF THE PROPERTY OWNER TO ARRANGE SUCH A MEETING.

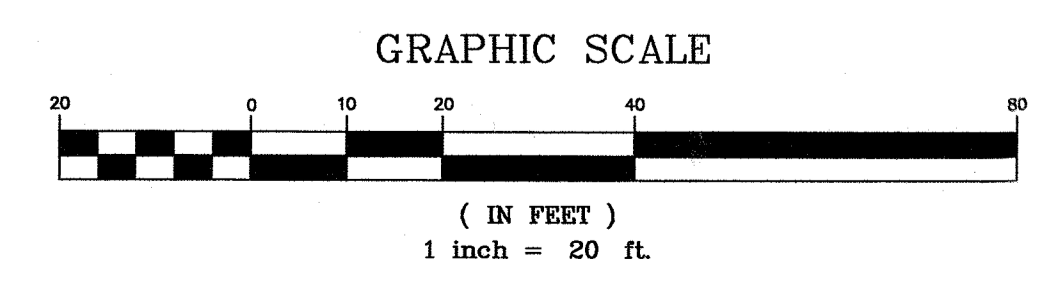


STORMWATER DRAINAGE PROFILE
SCALE: HORIZ: 1"=20'
VERT: 1"=5'

STORMWATER MANAGEMENT PHASE II CERTIFICATION
THIS IS TO CERTIFY THAT THESE PLANS AND THIS PROJECT ARE IN COMPLIANCE WITH THE STORMWATER MANAGEMENT PHASE II REGULATIONS.



APPROVED BY THE PLANNING BOARD OF THE TOWN OF ORANGETOWN.	APPROVED BY THE ZONING BOARD OF THE TOWN OF ORANGETOWN.	APPROVED BY THE ACABOR OF THE TOWN OF ORANGETOWN.
DATE _____	DATE _____	DATE _____
CHAIRMAN _____	CHAIRMAN _____	CHAIRMAN _____
SECRETARY _____	SECRETARY _____	SECRETARY _____
ENGINEER _____	ENGINEER _____	ENGINEER _____

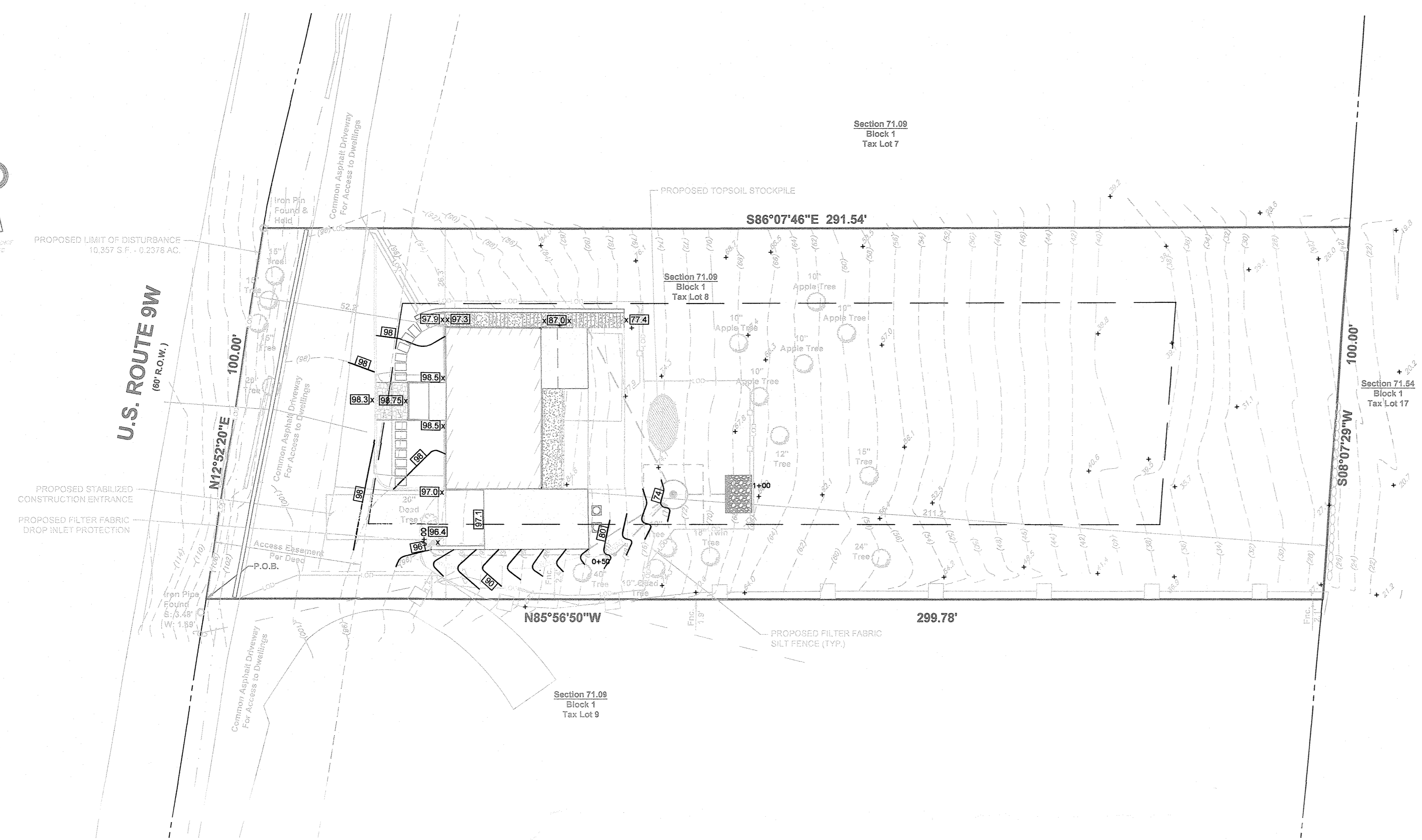


DATE	NO.	REVISION	CHK'D
2/1/22	4	FOR TOWN PLANNING BOARD SUBMISSION	PEF
11/23/21	3	ADDITION OF A/C UNITS	PEF
11/5/21	2	PER TOWN ENGINEER	PEF
5/7/21	1	PER TOWN PLANNING BOARD ENGINEER	PEF

SITE PLAN
PREPARED FOR
MICHAEL J. MAURO
TOWN OF ORANGETOWN
ROCKLAND COUNTY - NEW YORK

AFR Engineering and Land Surveying, P.C.
PROFESSIONAL ENGINEERS AND LAND SURVEYORS
110 Stage Road, Monroe, NY 10950 - 845-782-8881 - 845-782-4212 (Fax)
30 Madison Avenue, Paramus, NJ 07652

DATE: DECEMBER 18, 2020 DRAWN BY: CDD CHECKED BY: PEF
SCALE: 1"=20' JOB No.: 12011 SHEET: 1 OF 5



EXISTING	LEGEND	PROPOSED
	12" INLET	
	18" INLET	
	AREA DRAIN	
	STORM MANHOLE	
	STORM DRAIN LINE	
	SANITARY CLEAN OUT	
	SANITARY MANHOLE	
	SANITARY LINE	
	WATER LINE	
	WATER VALVE	
	HYDRANT	
	GAS LINE	
	GAS VALVE	
	BUILDING	
	CURB	
	DEPRESSED CURB	
	EDGE OF PAVEMENT	
	SIGN	
	CONTOUR	
	SPOT ELEVATION	

PROPOSED	SOIL EROSION LEGEND
	PROPOSED FILTER FABRIC SILT FENCE
	PROPOSED LIMIT OF DISTURBANCE
	PROPOSED STABILIZED CONSTRUCTION ENTRANCE
	PROPOSED FILTER FABRIC DROP INLET PROTECTION

TEMPORARY SEEDING SPECIFICATIONS

AREAS REMAINING DISTURBED FOR 14 DAYS OR MORE SHALL BE STABILIZED AS FOLLOWS:
 SCARIFY SOILS IF COMPACTED, LIME TO PH OF 6.0 IF REQUIRED, FERTILIZE WITH 600 LBS/ACRE 5-10-10 FERTILIZER IF REQ., SEED WITH SPECIES AND RATE SHOWN BELOW, MULCH WITH HAY OR STRAW AT A RATE OF 2 TONS/ACRE. ANCHOR MULCH WITH NETTING OF WOOD FIBER OR JUTE IF STEEP SLOPE OR HIGH POTENTIAL FOR EROSION.
 SPECIES APPLICATION RATE
 RYEGRASS (ANNUAL OR PERENNIAL) 30 LBS/ACRE
 (USE WINTER RYE IF SEEDING IN OCT./NOV.) (0.7 LBS/1000 SF)
 BRASSICA (ANNUAL OR PERENNIAL) 30 LBS/ACRE
 (USE WINTER RYE IF SEEDING IN OCT./NOV.) (0.7 LBS/1000 SF)
 SOYBEAN (ANNUAL OR PERENNIAL) 30 LBS/ACRE
 (USE WINTER RYE IF SEEDING IN OCT./NOV.) (0.7 LBS/1000 SF)
 SRI LANKA CRYSTAL BERMUDA (PERENNIAL) 30 LBS/ACRE
 (USE WINTER RYE IF SEEDING IN OCT./NOV.) (0.7 LBS/1000 SF)
 SRI LANKA CRYSTAL BERMUDA (PERENNIAL) 30 LBS/ACRE
 (USE WINTER RYE IF SEEDING IN OCT./NOV.) (0.7 LBS/1000 SF)
 SRI LANKA CRYSTAL BERMUDA (PERENNIAL) 30 LBS/ACRE
 (USE WINTER RYE IF SEEDING IN OCT./NOV.) (0.7 LBS/1000 SF)

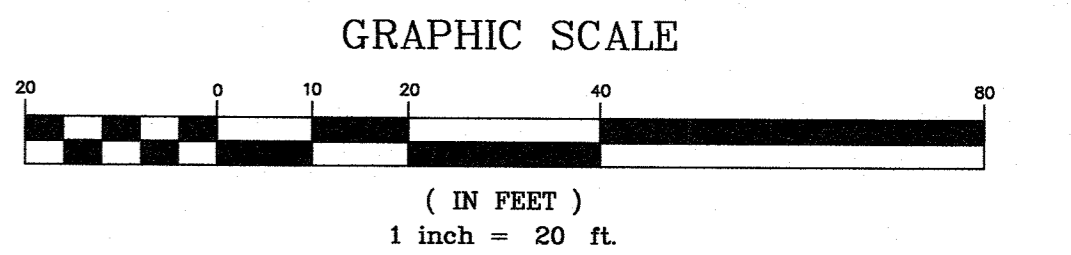
PERMANENT SEEDING MIXTURES

MODERATE TO STEEP SLOPES AND LOW MAINTENANCE AREAS
 SPECIES APPLICATION RATE
 EMPIRE BIRDFOOT TREFLOIL 8 LBS/ACRE
 TALL FESCUE 20 LBS/ACRE
 RYEGRASS 5 LBS/ACRE
 GENERAL RECREATION AREAS AND LAWNS
 SPECIES APPLICATION RATE
 SUNNY SITES (WELL, MODERATELY WELL AND SOMEWHAT POORLY DRAINED SOILS)
 65% KENTUCKY BLUEGRASS BLEND 85-110 LBS/ACRE
 20% PERENNIAL RYEGRASS 26-35 LBS/ACRE
 15% FINE FESCUE 19-24 LBS/ACRE
 SUNNY DROUGHTY SITES (SOMEWHAT TO EXCESSIVELY DRAINED SOILS)
 65% FINE FESCUE 114-143 LBS/ACRE
 15% PERENNIAL RYEGRASS 26-33 LBS/ACRE
 20% KENTUCKY BLUEGRASS BLEND 35-44 LBS/ACRE

SHADY DRY SITES (WELL TO SOMEWHAT POORLY DRAINED SOILS)
 80% SHADE TOLERANT KENTUCKY BLUEGRASS BLEND 105-138 LBS/ACRE
 20% PERENNIAL RYEGRASS 25-37 LBS/ACRE
 SHADY WET SITES (SOMEWHAT POOR TO POORLY DRAINED SOILS)
 80% SHADE TOLERANT KENTUCKY BLUEGRASS BLEND 25-39 LBS/ACRE

SLOPE STABILIZATION, SEEDING METHOD & MULCHING

SLOPES OF 4:1 OR GREATER (HORIZONTAL:VERTICAL)
 SLOPES SHALL BE HYDROSEEDING WITH THE MIXTURES AND RATES INDICATED IN THE PERMANENT SEEDING MIXTURE SCHEDULE. STRAW OR HAY MULCH SHALL BE APPLIED AT A RATE OF 2 TONS/ACRE. STRAW OR HAY MULCH SHALL BE ANCHORED WITH GEO-JUTE EROSION CONTROL NETTING AS MANUFACTURED BY MIRAFI OR APPROVED EQUIVALENT. NETTING TO BE INSTALLED PER MANUFACTURER SPECIFICATIONS.
 GENTLE SLOPES AND FLAT AREAS
 AREAS SHALL BE SEEDING BY HYDROSEEDING OR BROADCASTING WITH THE MIXTURES AND RATES INDICATED ON THE PERMANENT SEEDING MIXTURE SCHEDULE. HYDROSEEDING AREAS SHALL BE MULCHED WITH A WOOD FIBER MULCH APPLIED AT A RATE OF 500 LBS/ACRE. BROADCAST AREAS SHALL BE MULCHED WITH HAY OR STRAW AT A RATE OF 2 TONS/ACRE. AREAS SEEDING BY BROADCASTING SHALL BE LIGHTLY RAKED AND PACKED PRIOR TO PLACING MULCH.



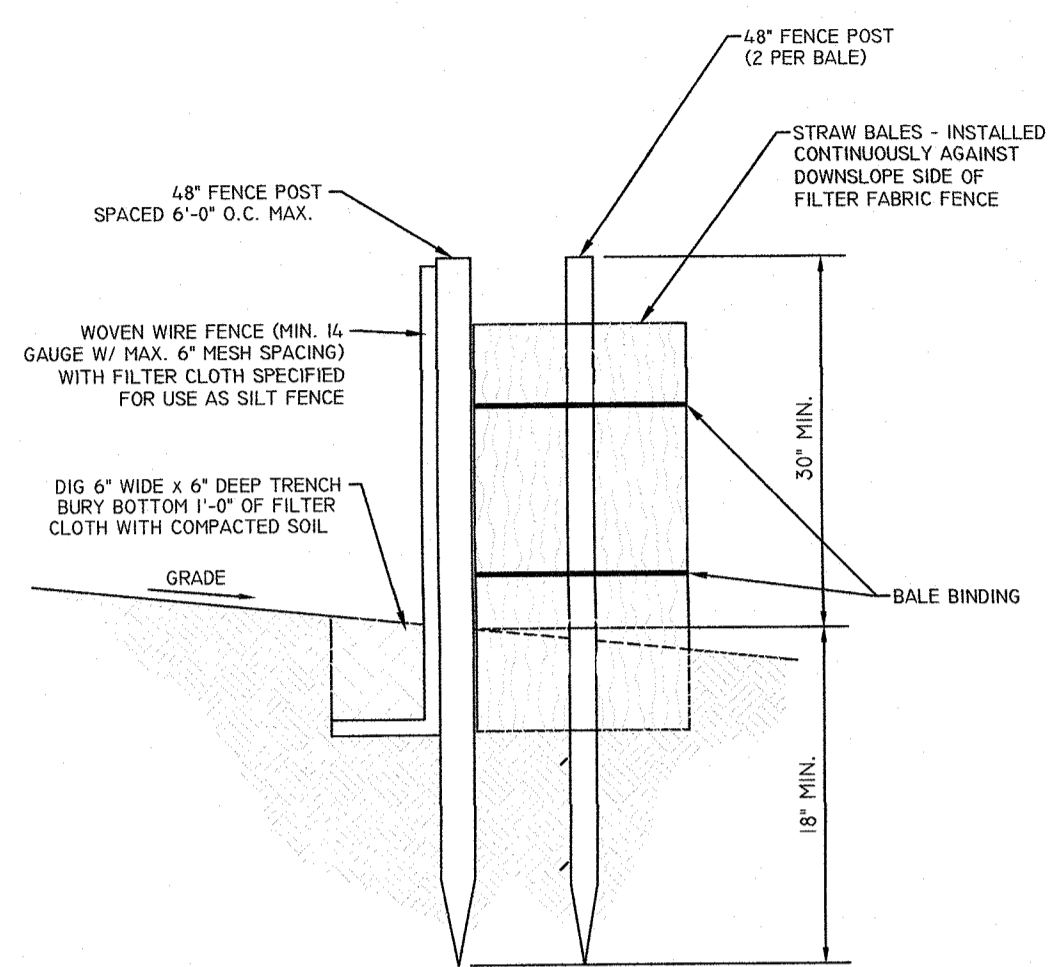
DATE	NO.	REVISION	CHKD
2/1/22	4	FOR TOWN PLANNING BOARD SUBMISSION	PEF
11/23/21	3	ADDITION OF A/C UNITS	PEF
11/5/21	2	PER TOWN ENGINEER	PEF
5/7/21	1	PER TOWN PLANNING BOARD ENGINEER	PEF

EROSION & SEDIMENT CONTROL PLAN
 PREPARED FOR
MICHAEL J. MAURO
 TOWN OF ORANGETOWN
 ROCKLAND COUNTY - NEW YORK

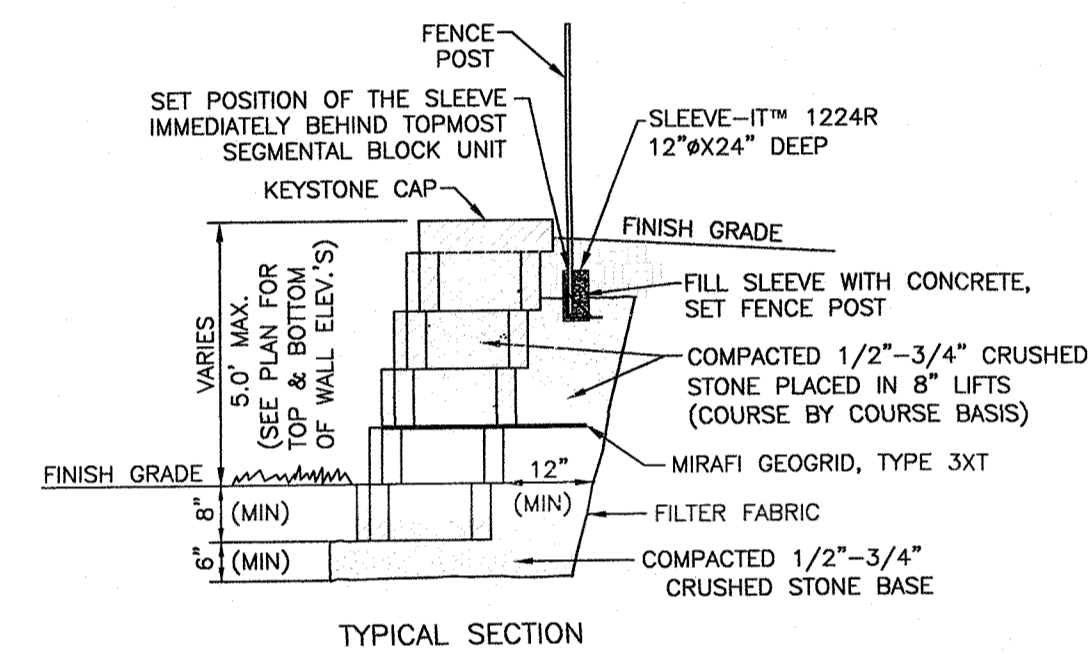
AFR Engineering and Land Surveying, P.C.
 PROFESSIONAL ENGINEERS AND LAND SURVEYORS
 110 Stage Road, Monroe, NY 10950 - 845-782-8881 - 845-782-4212 (Fax)
 30 Madison Avenue, Paramus, NJ 07652
 © Copyright 2020, AFR Engineering and Land Surveying, P.C.

John A. Loch, P.L.S.
 John A. Loch, P.L.S.
 N.Y. Lic. No. 049985

Craig D. Dominick, P.E.
 Craig D. Dominick, P.E.
 N.Y. Lic. No. 095947

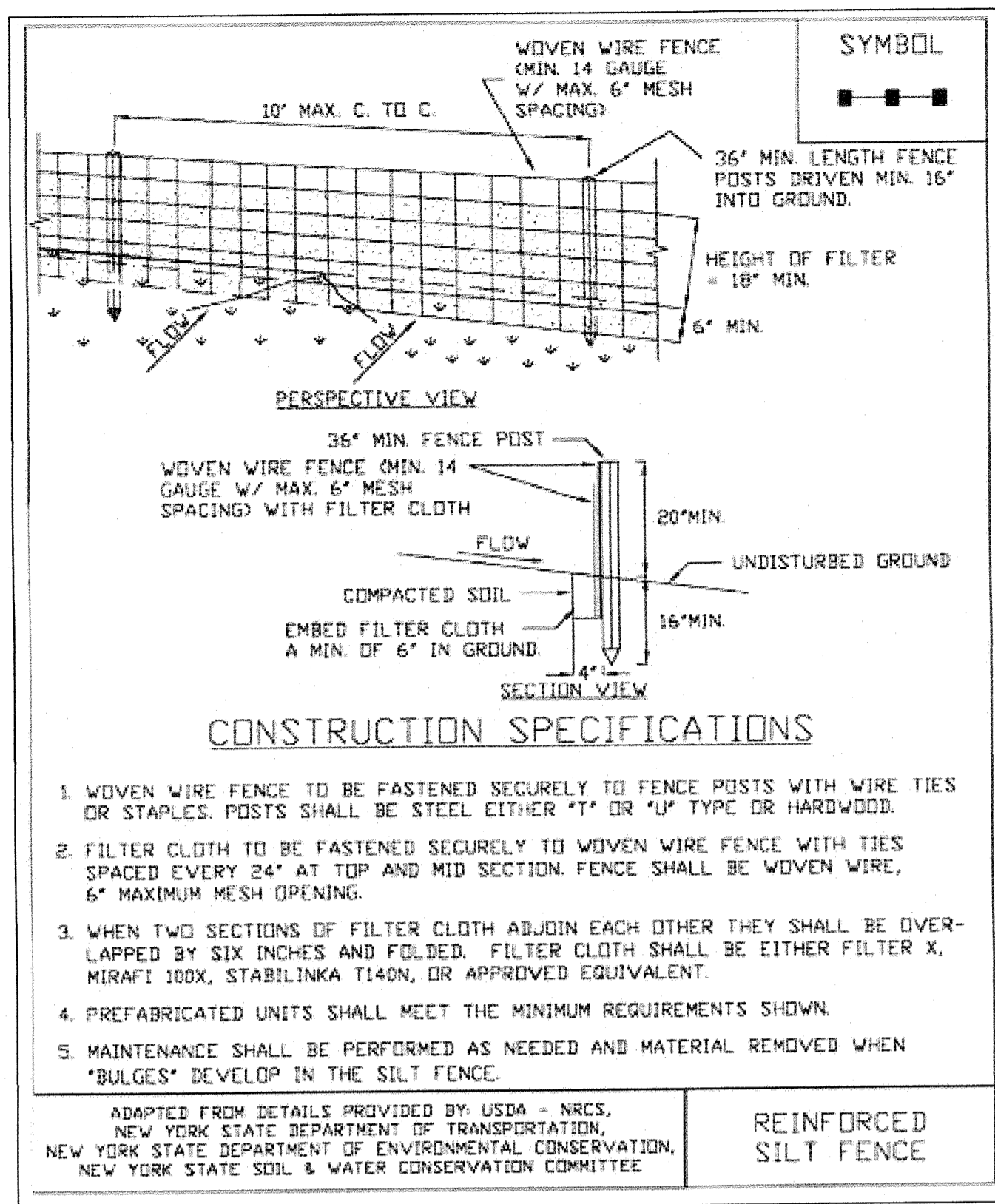


FILTER FABRIC SILT FENCE WITH STRAW BALES SECTION
NOT TO SCALE



KEYSTONE WALLS DETAIL
N.T.S.

- NOTES:**
1. MINIMUM WALL EMBEDMENT IS 8".
 2. KEYSTONE BLOCKS TO BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS.
 3. EXACT FINISHED GRADES AT RETAINING WALL TO BE ADJUSTED TO MEET FIELD CONDITIONS.
 4. 1" MIN. SETBACK PER UNIT.



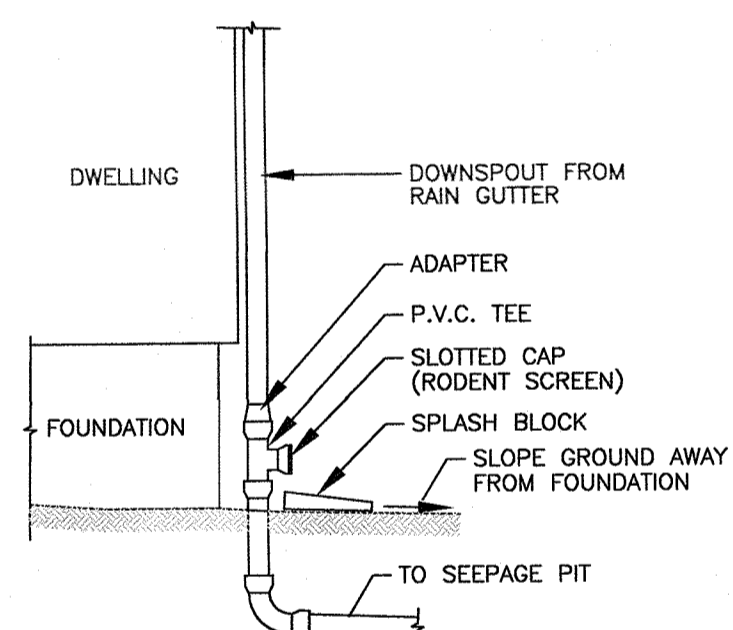
CONSTRUCTION SPECIFICATIONS

1. WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL EITHER "T" OR "U" TYPE OR HARDWOOD.
2. FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION. FENCE SHALL BE WOVEN WIRE, 6" MAXIMUM MESH OPENING.
3. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFLEX 100X, STABILINKA T140N, OR APPROVED EQUIVALENT.
4. PREFABRICATED UNITS SHALL MEET THE MINIMUM REQUIREMENTS SHOWN.
5. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

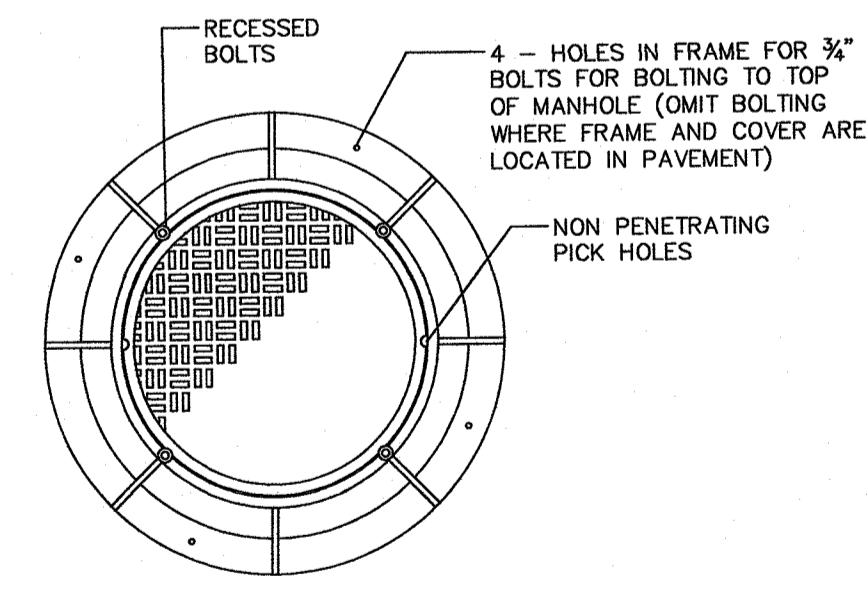
ADAPTED FROM DETAILS PROVIDED BY USDA - NRCS, NEW YORK STATE DEPARTMENT OF TRANSPORTATION, NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION, NEW YORK STATE SOIL & WATER CONSERVATION COMMITTEE.

REINFORCED SILT FENCE

REINFORCED SILT FENCE DETAIL
NOT TO SCALE

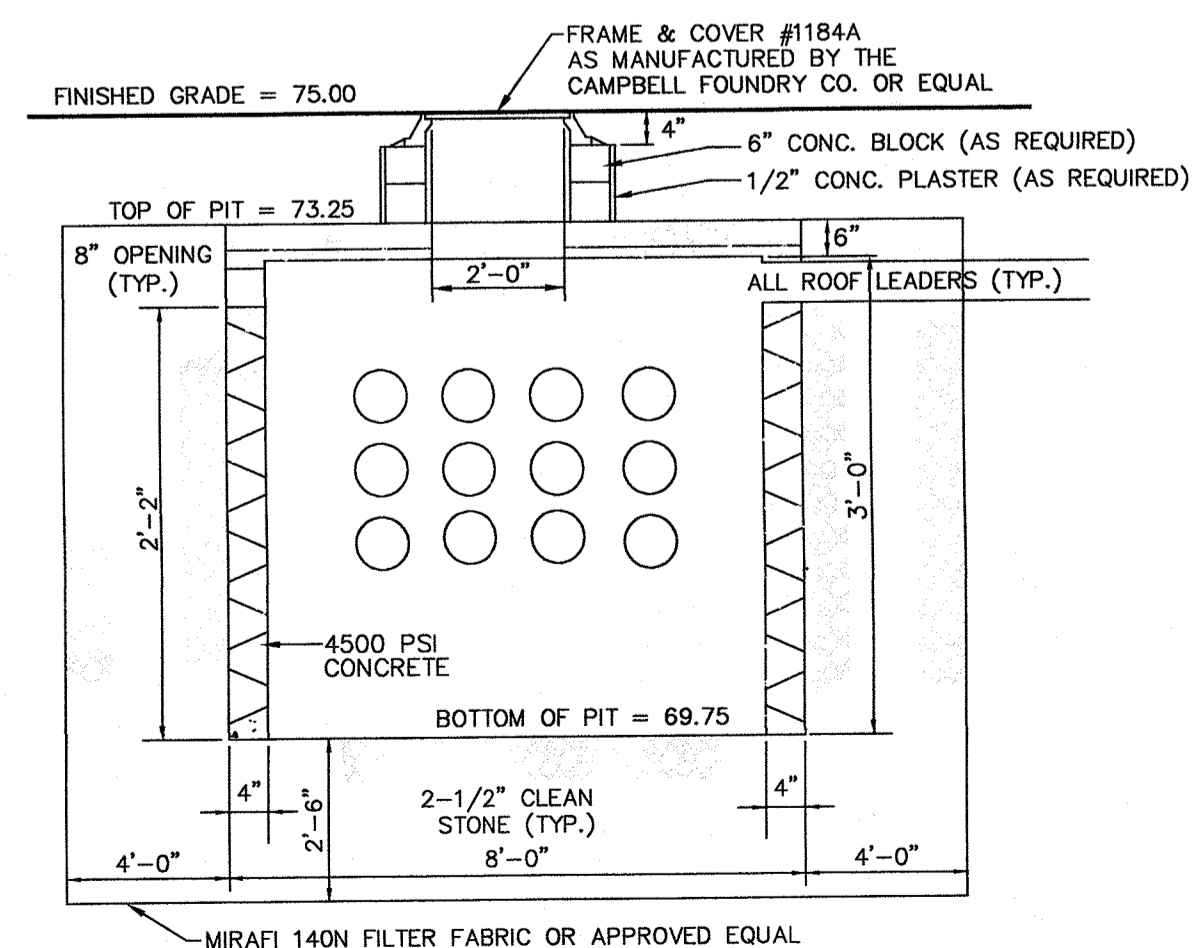


ROOF LEADER DETAIL
N.T.S.

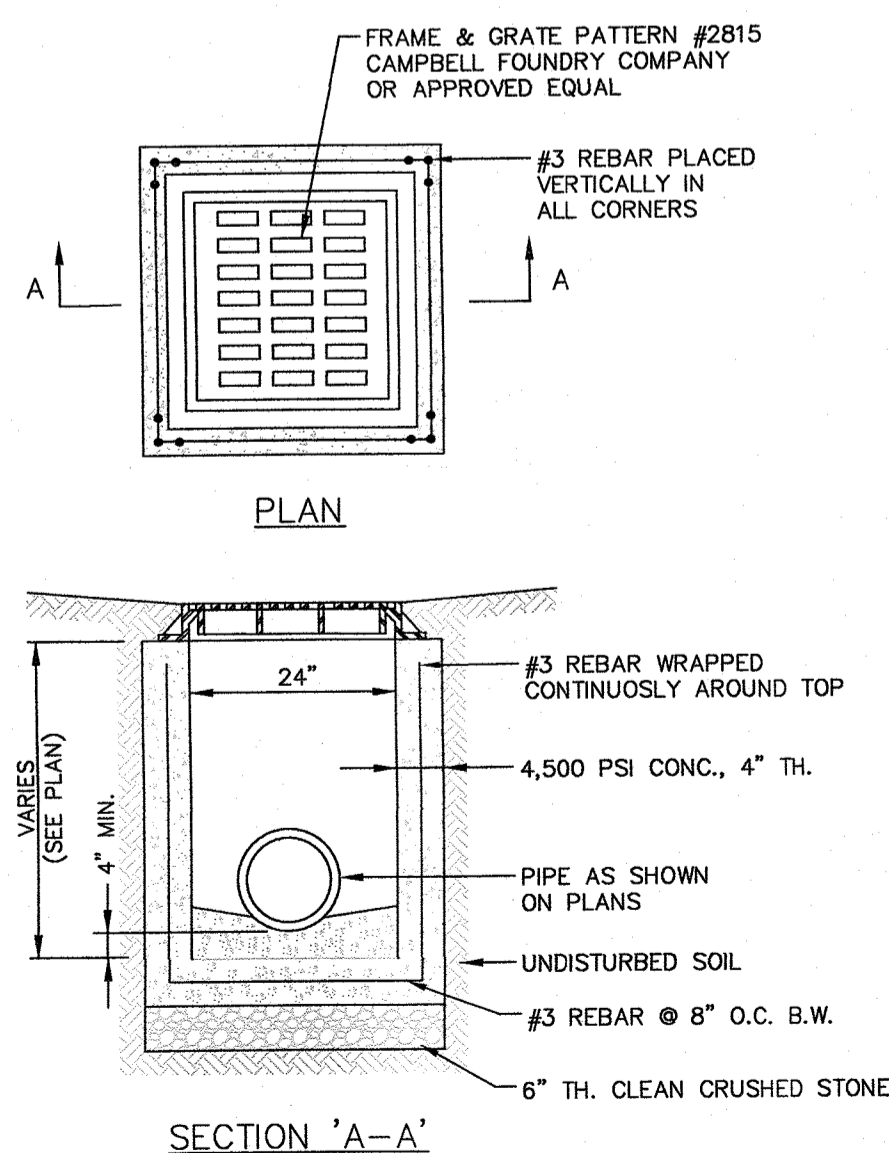


- NOTES:**
1. MANHOLE COVER SHALL BE A STANDARD #1184A GRATE, OR EQUAL.
 2. MANHOLE FRAME AND COVER SHALL COMPLY WITH THE FOLLOWING SPECIFICATIONS:
 - * MATERIAL - GRAY CAST IRON ASTM A-48-83, CLASS 35.
 - * BEARING SURFACE AT SEAT OF FRAME AND COVER SHALL BE MACHINED FOR UNIFORMITY.

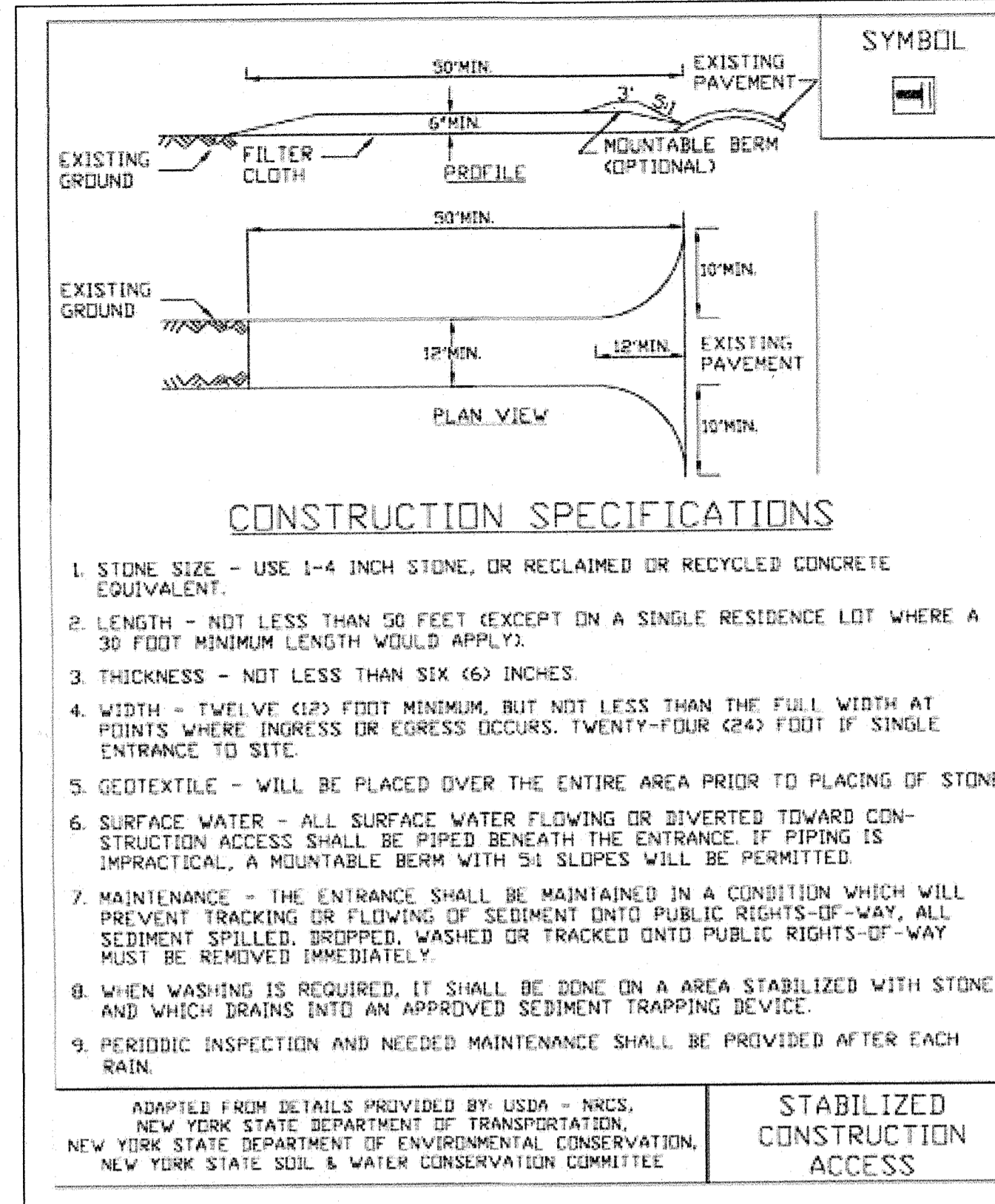
DETAIL OF STANDARD MANHOLE FRAME AND GRATE MODEL 1184A
N.T.S.



3'6" HIGH x 8' DIA. DRY WELL DETAIL
(AS BUILT BY PEERLESS)
N.T.S.



24" x 24" AREA DRAIN
(AS BUILT BY PEERLESS)
N.T.S.



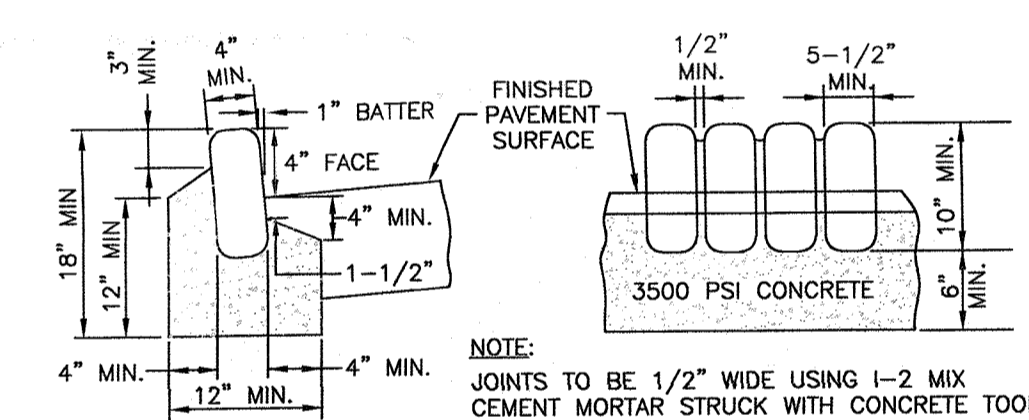
CONSTRUCTION SPECIFICATIONS

1. STONE SIZE - USE 1-4 INCH STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
2. LENGTH - NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY).
3. THICKNESS - NOT LESS THAN SIX (6) INCHES.
4. WIDTH - TWELVE (12) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. TWENTY-FOUR (24) FOOT IF SINGLE ENTRANCE TO SITE.
5. GEOTEXTILE - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
6. SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ACCESS SHALL BE PIPED BENEATH THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
7. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY, ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
8. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON A AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
9. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

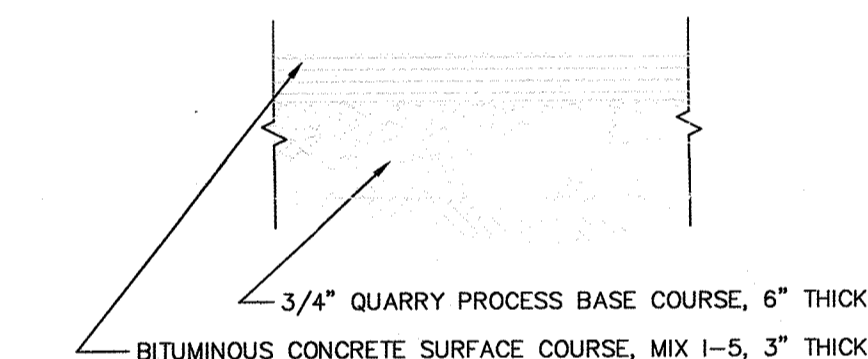
ADAPTED FROM DETAILS PROVIDED BY USDA - NRCS, NEW YORK STATE DEPARTMENT OF TRANSPORTATION, NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION, NEW YORK STATE SOIL & WATER CONSERVATION COMMITTEE.

STABILIZED CONSTRUCTION ACCESS

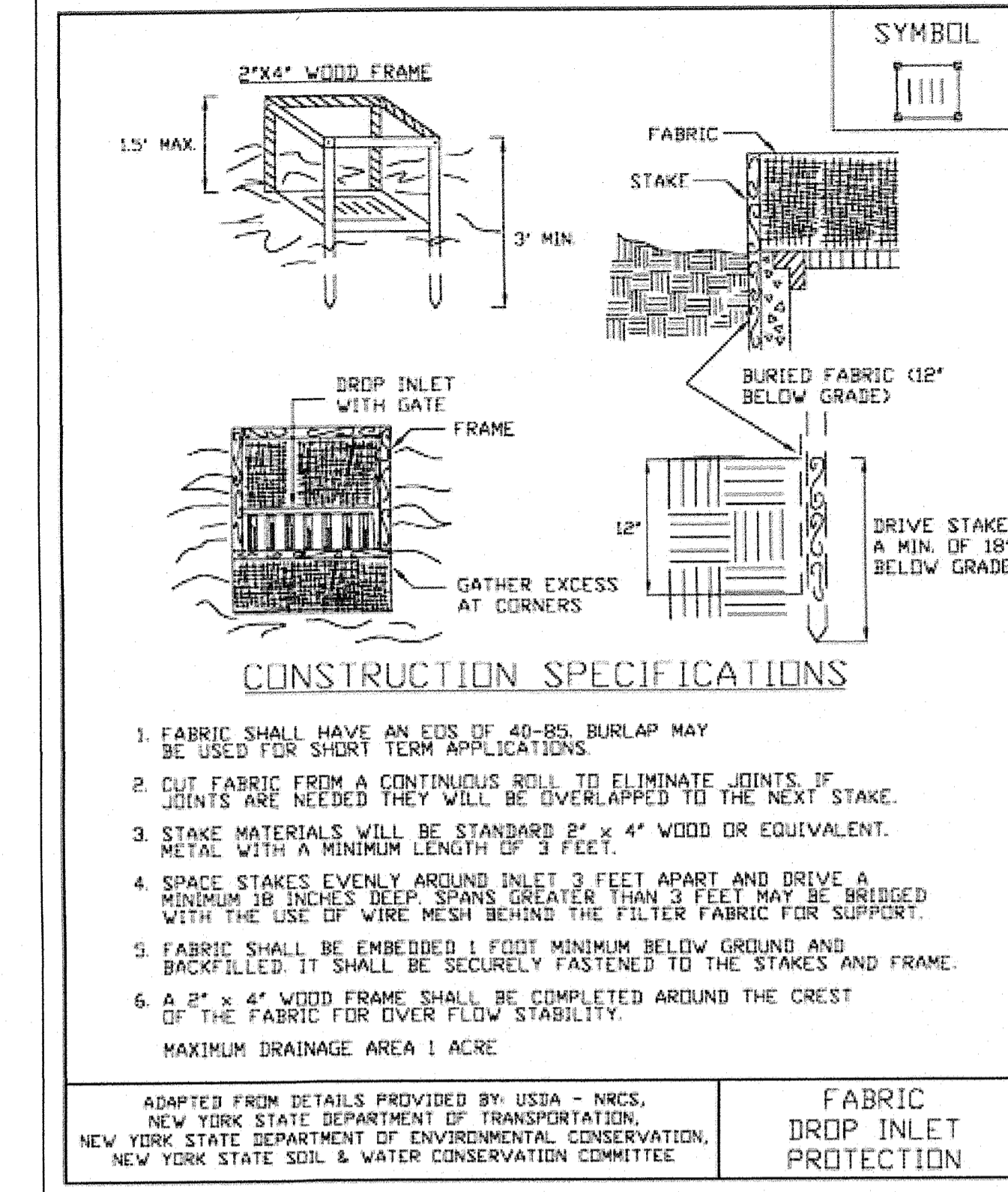
STABILIZED CONSTRUCTION ACCESS DETAIL
NOT TO SCALE



BELGIUM BLOCK CURB DETAIL
N.T.S.



ASPHALT PAVEMENT DRIVEWAY DETAIL
N.T.S.



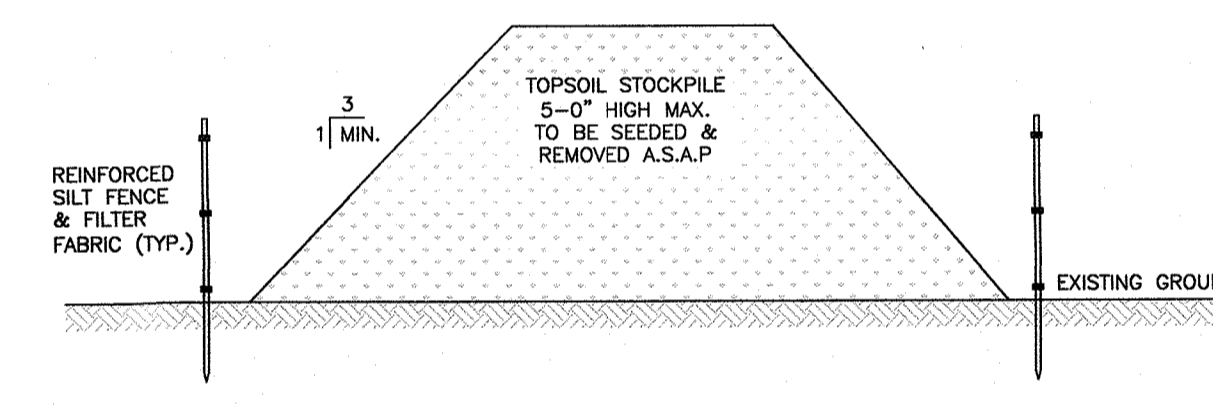
CONSTRUCTION SPECIFICATIONS

1. FABRIC SHALL HAVE AN EDS OF 40-85 BURLAP MAY BE USED FOR SHORT TERM APPLICATIONS.
2. CUT FABRIC FROM A CONTINUOUS ROLL TO ELIMINATE JOINTS. IF JOINTS ARE NEEDED THEY WILL BE OVERLAPPED TO THE NEXT STAKE.
3. STAKE MATERIALS WILL BE STANDARD 2" x 4" WOOD OR EQUIVALENT. METAL WITH A MINIMUM LENGTH OF 3 FEET.
4. SPACE STAKES EVENLY AROUND INLET 3 FEET APART AND DRIVE A MINIMUM 18 INCHES DEEP. SPANS GREATER THAN 3 FEET MAY BE BRIDGED WITH THE USE OF WIRE MESH BEHIND THE FILTER FABRIC FOR SUPPORT.
5. FABRIC SHALL BE EMBEDDED 1 FOOT MINIMUM BELOW GROUND AND BACKFILLED. IT SHALL BE SECURELY FASTENED TO THE STAKES AND FRAME.
6. A 2" x 4" WOOD FRAME SHALL BE COMPLETED AROUND THE CREST OF THE FABRIC FOR OVER FLOW STABILITY. MAXIMUM DRAINAGE AREA 1 ACRE.

ADAPTED FROM DETAILS PROVIDED BY USDA - NRCS, NEW YORK STATE DEPARTMENT OF TRANSPORTATION, NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION, NEW YORK STATE SOIL & WATER CONSERVATION COMMITTEE.

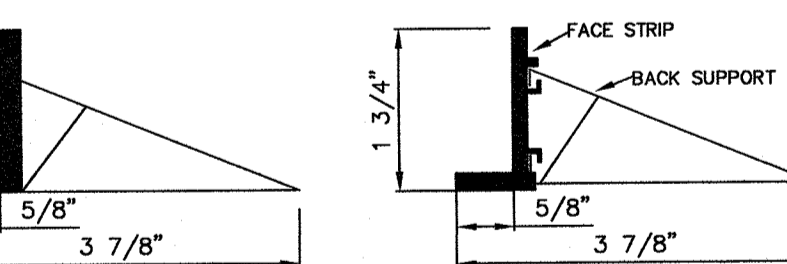
FABRIC DROP INLET PROTECTION

FILTER FABRIC DROP INLET PROTECTION DETAIL
NOT TO SCALE

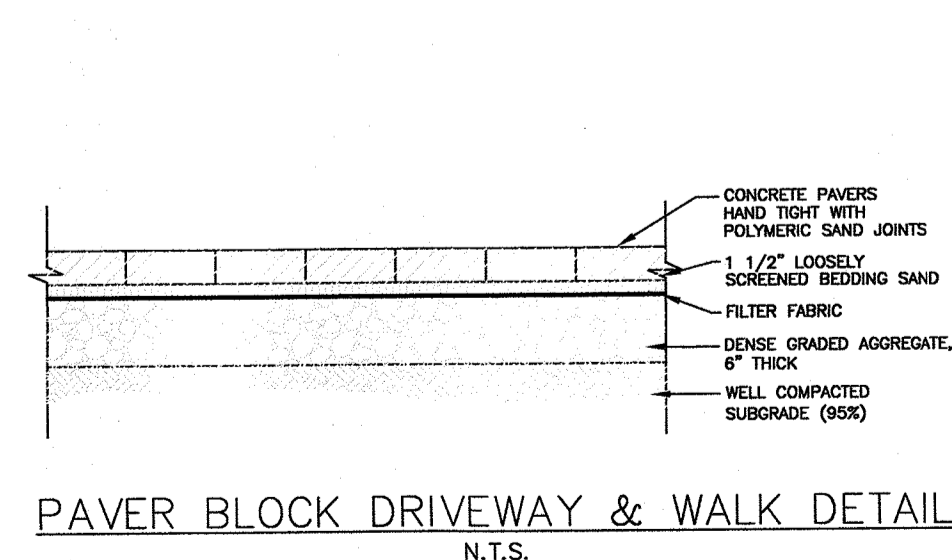


- NOTES:**
1. REFER TO NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL.
 2. SILT FENCE PROTECTION INSTALLED AROUND STOCKPILE AS PER "REINFORCED SILT FENCE DETAIL".

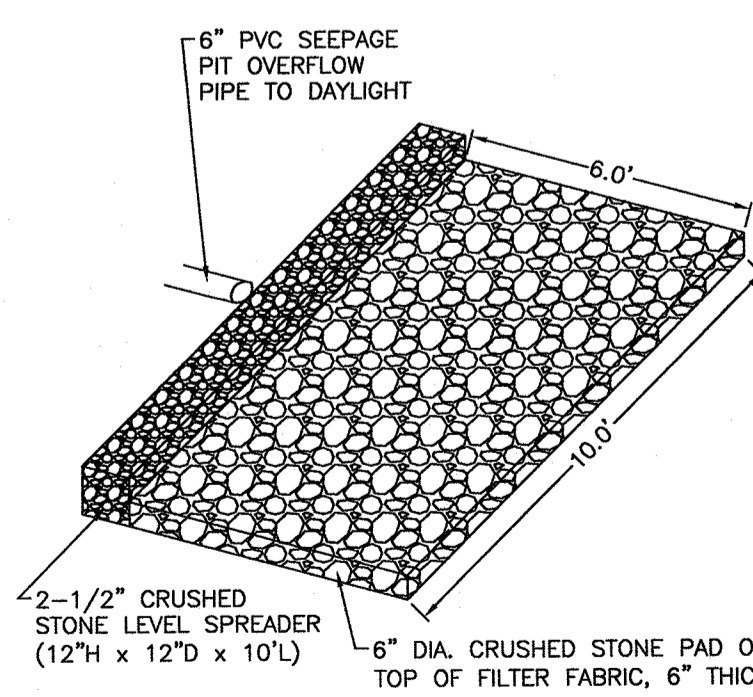
TOPSOIL STOCKPILE DETAIL
N.T.S.



PAVER EDGE RESTRAINT DETAIL
N.T.S.



PAVER BLOCK DRIVEWAY & WALK DETAIL
N.T.S.



LEVEL SPREADER DETAIL
N.T.S.

2/1/22	4	FOR TOWN PLANNING BOARD SUBMISSION	PEF
11/23/21	3	ADDITION OF A/C UNITS	PEF
11/5/21	2	PER TOWN ENGINEER	PEF
5/7/21	1	PER TOWN PLANNING BOARD ENGINEER	PEF
DATE	NO.	REVISION	CHKD

CONSTRUCTION DETAILS
PREPARED FOR
MICHAEL J. MAURO
TOWN OF ORANGETOWN
ROCKLAND COUNTY - NEW YORK

AFR Engineering and Land Surveying, P.C.
PROFESSIONAL ENGINEERS AND LAND SURVEYORS
110 Stage Road, Monroe, NY 10952-8861 - 845-782-4212 (Fax)
30 Madison Avenue, Parsippany, NJ 07854
© Copyright 2022. All Rights Reserved.

Craig D. Dominick, P.E.
New York State License No. 096666

DATE: DECEMBER 18, 2020 DRAWN BY: CDD CHECKED BY: PEF
SCALE: NOT TO SCALE JOB No.: 12011 SHEET: 3 OF 5

PLANTING PLAN

SHEET NO.

L-701

SHEET: 1 of 2

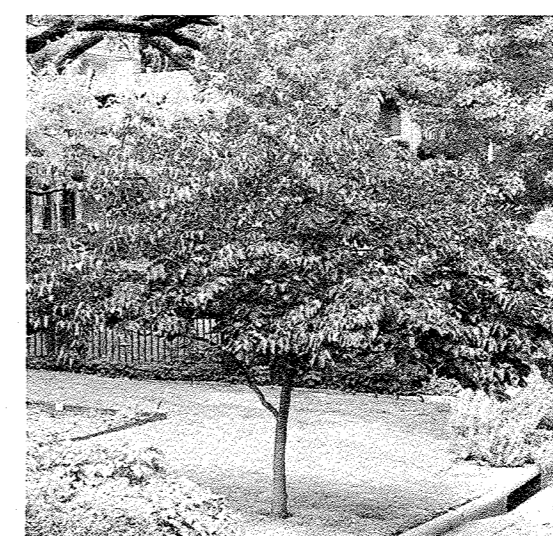
PLANTING IMAGES



Picea abies



Thuja 'Green Giant'



Cercis canadensis 'Forest Pansy'



Deutzia gracilis



Pachysandra terminalis



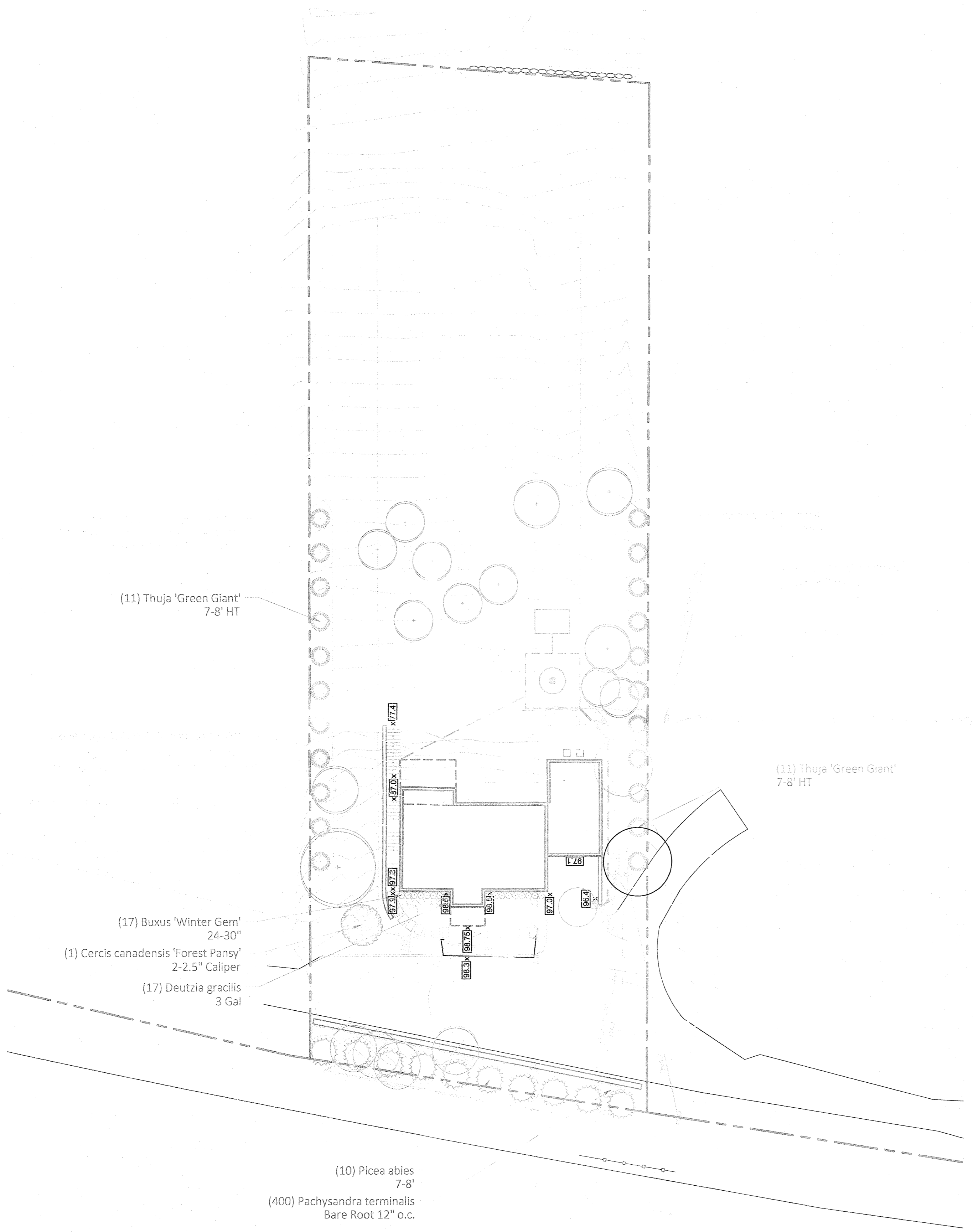
Buxus 'Winter Gem'

PLANTING SCHEDULE

QTY	BOTANICAL NAME	COMMON NAME	SIZE	COMMENTS
TREES				
1	Cercis canadensis 'Forest Pansy'	Forest Pansy Redbud	2-2.5" Cal	
10	Picea abies	Norway Spruce	7-8' HT	
22	Thuja plicata 'Green Giant'	Green Giant Arborvitae	7-8' HT	
SHRUBS				
17	Buxus 'Winter Gem'	Winter Gem Boxwood	24-30"	
17	Deutzia gracilis	Slender Deutzia	3 Gallon	
GROUND COVER				
400	Pachysandra terminalis	Pachysandra	Bare Root 12" o.c.	

PLANTING NOTES

1. PLANT MATERIAL SHALL BE FURNISHED AND INSTALLED AS INDICATED, INCLUDING ALL LABOR, MATERIALS, PLANTS, EQUIPMENT, INCIDENTALS, AND CLEAN-UP.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PLANTING AT CORRECT GRADES AND ALIGNMENT. LAYOUT TO BE APPROVED BY LA PRIOR TO INSTALLATION.
3. PLANTS SHALL BE TYPICAL OF THEIR SPECIES AND VARIETY; HAVE NORMAL GROWTH HABITS; WELL DEVELOPED BRANCHES, DENSELY FOLIATED, VIGOROUS ROOT SYSTEMS AND BE FREE FROM DEFECTS AND INJURIES.
4. CONTRACTOR SHALL REPORT ANY SOIL OR DRAINAGE CONDITIONS CONSIDERED DETRIMENTAL TO THE GROWTH OF PLANT MATERIAL.
5. ALL PLANT MATERIAL SHALL BE GUARANTEED BY THE CONTRACTOR TO BE IN VIGOROUS GROWING CONDITION. PROVISIONS SHALL BE MADE FOR A GROWTH GUARANTEE OF AT LEAST ONE YEAR FROM THE DATE OF ACCEPTANCE FOR TREES AND SHRUBS. REPLACEMENTS SHALL BE MADE AT THE BEGINNING OF THE FIRST SUCCEEDING PLANTING SEASON. ALL REPLACEMENTS SHALL HAVE A GUARANTEE EQUAL TO THAT STATED ABOVE.
6. INsofar AS IT IS PRACTICABLE, PLANT MATERIAL SHALL BE PLANTED ON THE DAY OF DELIVERY. IN THE EVENT THIS IS NOT POSSIBLE, THE CONTRACTOR SHALL PROTECT, IRRIGATE & CARE FOR STOCK NOT PLANTED.
7. QUALITY AND SIZE OF PLANTS, SPREAD OF ROOTS, AND SIZE OF BALLS SHALL BE IN ACCORDANCE WITH ANSI 260 (REV. 1980) "AMERICAN STANDARD FOR NURSERY STOCK" AS PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC.
8. ALL PLANTS SHALL BE PLANTED IN AMENDED TOP SOIL THAT IS THOROUGHLY WATERED AND TAMPED AS BACK FILLING PROGRESSES. PLANTING MIX TO BE AS SHOWN ON PLANTING DETAILS. LARGE PLANTING AREAS TO INCORPORATE FERTILIZER AND SOIL CONDITIONERS AS STATED IN PLANTING SPECIFICATIONS.
9. PLANTS SHALL NOT BE BOUND WITH WIRE OR ROPE AT ANY TIME SO AS TO DAMAGE THE BARK OR BREAK BRANCHES. PLANTS SHALL BE HANDLED FROM THE BOTTOM OF THE BALL ONLY.
10. PLANTING OPERATIONS SHALL BE PERFORMED DURING PERIODS WITHIN THE PLANTING SEASON WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE AND IN ACCORDANCE WITH ACCEPTED LOCAL PRACTICE. PLANTS SHALL NOT BE INSTALLED IN TOPSOIL THAT IS IN A MUDDY OR FROZEN CONDITION.
11. NO PLANT, EXCEPT GROUND COVERS, SHALL BE PLANTED LESS THAN TWO FEET FROM EXISTING STRUCTURES AND SIDEWALKS.
12. SET ALL PLANTS PLUMB AND STRAIGHT. SET AT SUCH LEVEL THAT A NORMAL OR NATURAL RELATIONSHIP TO THE CROWN OF THE PLANT WITH THE GROUND SURFACE WILL BE ESTABLISHED. LOCATE PLANT IN THE CENTER OF THE PIT.
13. ALL INJURED ROOTS SHALL BE PRUNED UTILIZING CLEAN, SHARP TOOLS TO MAKE CLEAN ENDS BEFORE PLANTING.
14. EACH TREE AND SHRUB SHALL BE PRUNED IN ACCORDANCE WITH STANDARD HORTICULTURAL PRACTICE TO PRESERVE NATURAL CHARACTER OF PLANT. PRUNING SHALL BE DONE WITH CLEAN, SHARP TOOLS.
15. ALL PLANTING BEDS SHALL BE MULCHED WITH 2" LAYER OF DOUBLE SHREDDED HARDWOOD BARK MULCH.
17. ALL DISTURBED AREAS TO BE TREATED WITH 3" TOP SOIL & SEEDED IN ACCORDANCE WITH PERMANENT STABILIZATION METHODS.



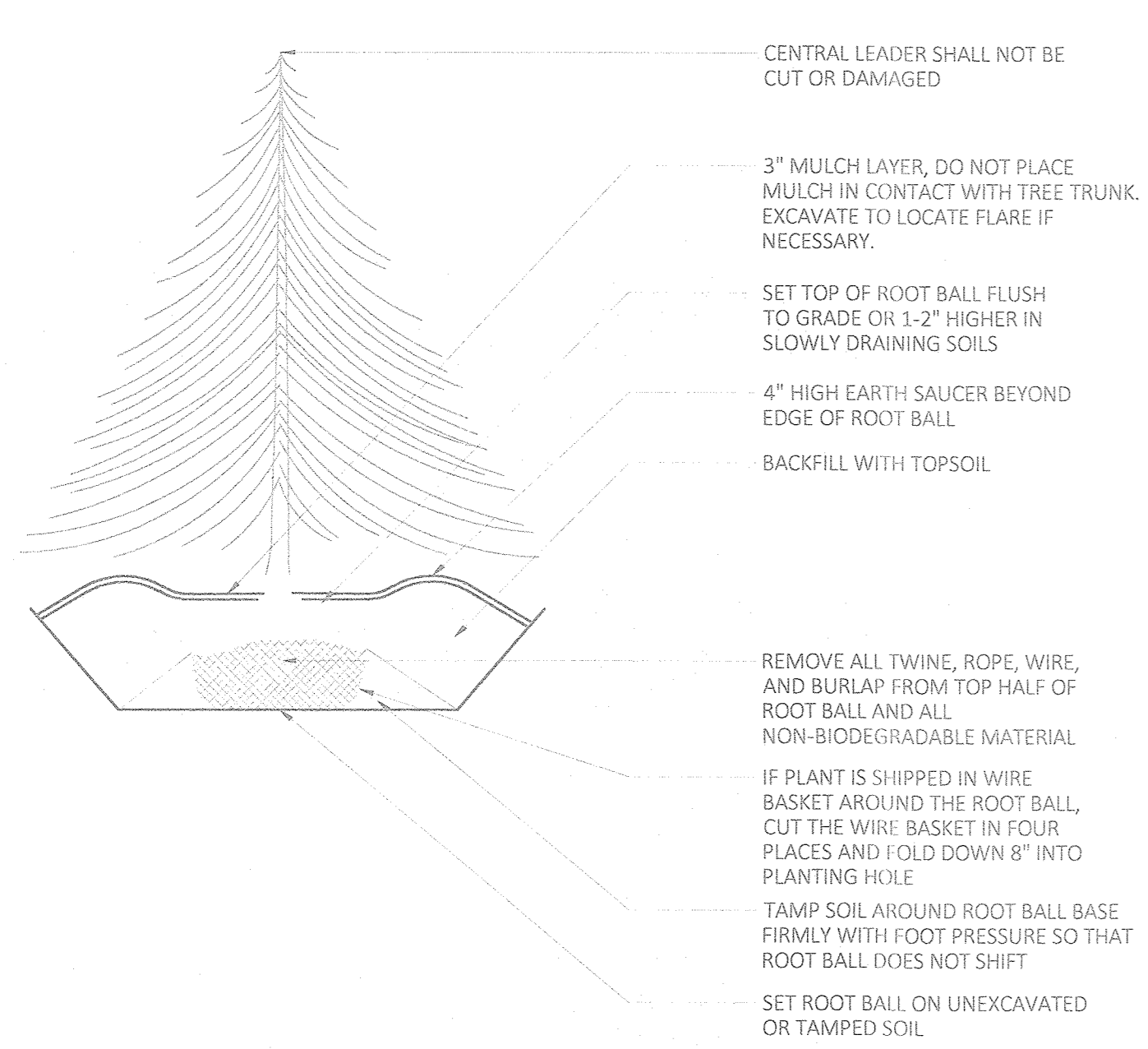
DATE	NO.	REVISION	CHK'D
2/1/22	4	FOR TOWN PLANNING BOARD SUBMISSION	PEF
11/23/21	3	ADDITION OF A/C UNITS	PEF
11/5/21	2	PER TOWN ENGINEER	PEF
5/7/21	1	PER TOWN PLANNING BOARD ENGINEER	PEF

PLANTING PLAN
 PREPARED FOR
MICHAEL J. MAURO
 TOWN OF ORANGETOWN
 ROCKLAND COUNTY - NEW YORK

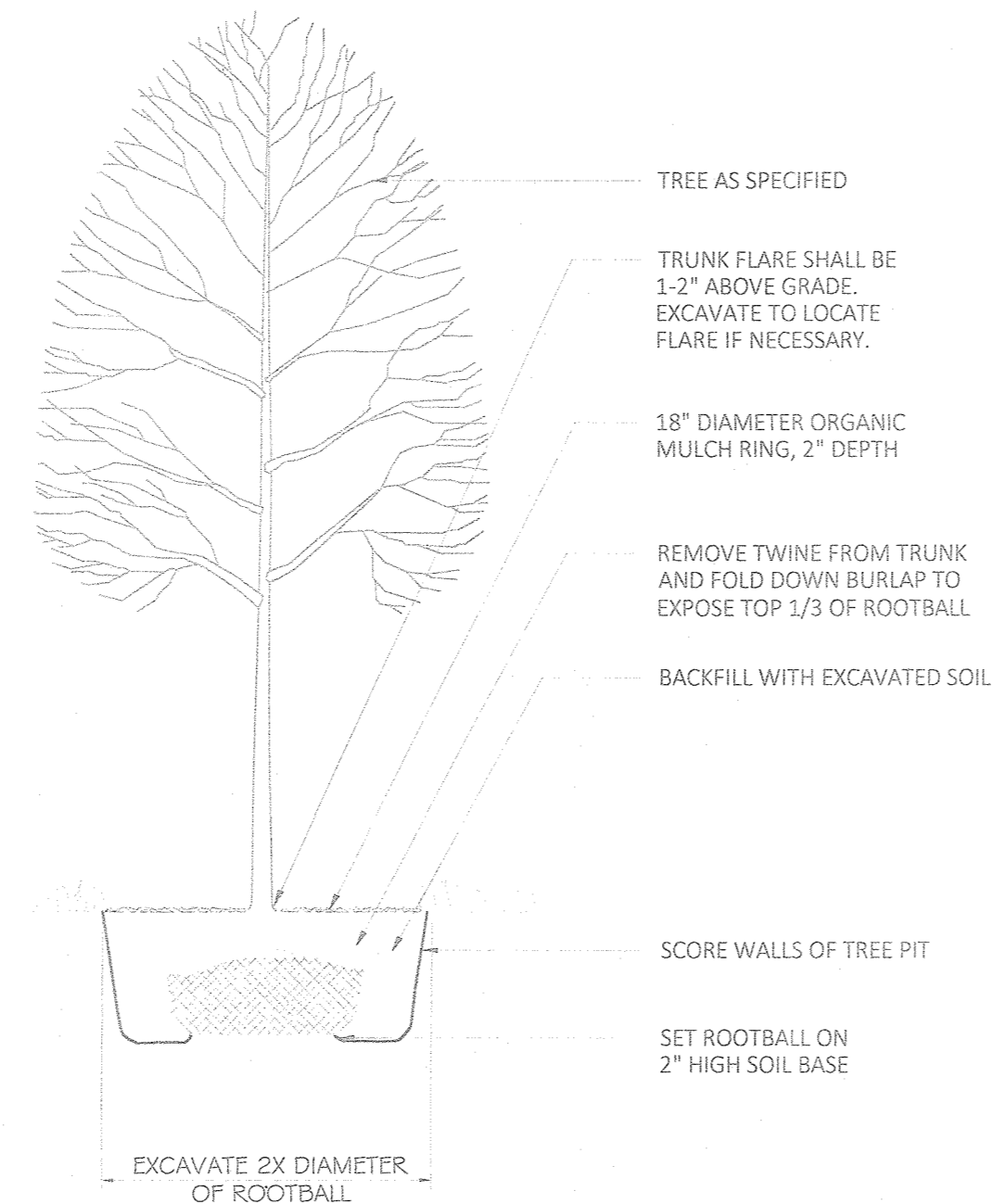
AFR Engineering and Land Surveying, P.C.
 PROFESSIONAL ENGINEERS AND LAND SURVEYORS
 110 Stage Road, Monroe, NY 10950 - 845-782-9881 - 845-782-4212 (Fax)
 30 Madison Avenue, Paramus, NJ 07652

John A. Loch
 John A. Loch, P.L.S.
 N.Y. Lic. No. 049885

Chris D. Dominick
 Chris D. Dominick, P.E.
 N.Y. Lic. No. 095947

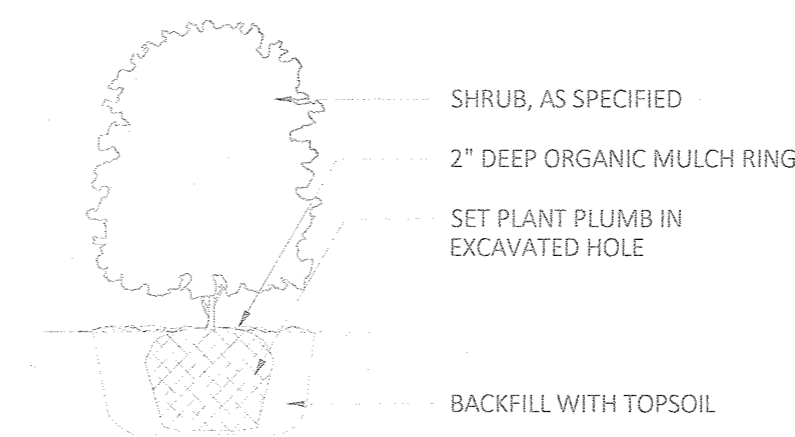


1 EVERGREEN TREE PLANTING
L-801 SCALE: 1/4"=1'

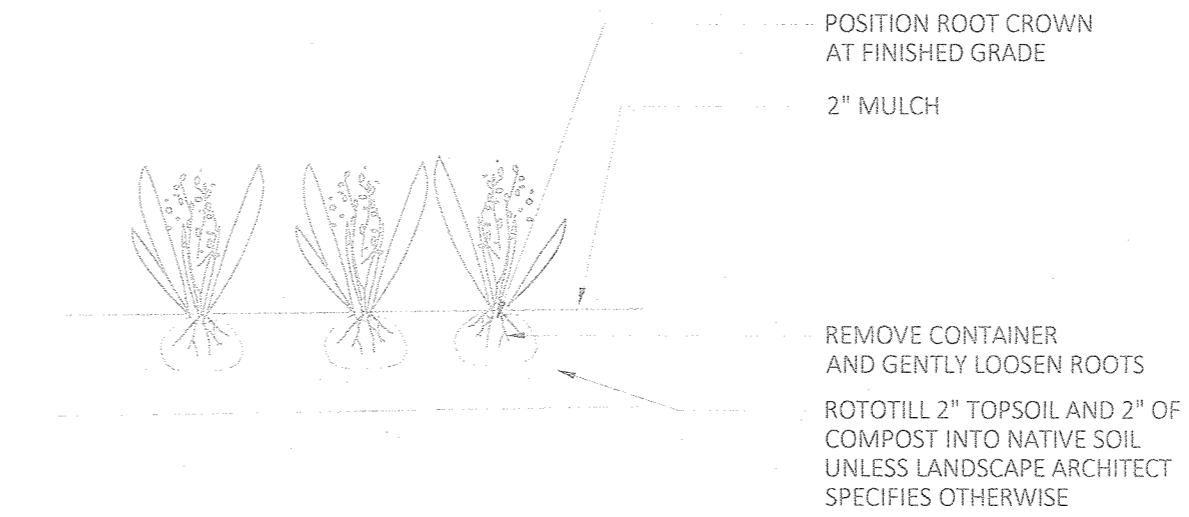


2 DECIDUOUS TREE PLANTING
L-801 SCALE: 1/4"=1'

- NOTES:
1. SET TREE PLUMB.
 2. DO NOT STAKE UNLESS DIRECTED TO DO SO BY LANDSCAPE ARCHITECT
 3. REMOVE COMPLETELY ANY NON-BIODEGRADABLE MATERIALS BINDING THE ROOTBALL.
 4. REMOVE WIRE BASKET COMPLETELY IF ROOTBALL WILL BARE. OTHERWISE, CLIP AND PEEL BACK WIRE BASKET AT LEAST ONE THIRD OF THE WAY FROM THE TOP OF THE ROOTBALL.
 5. SATURATE SOIL WITHIN SIX (6) HOURS OF PLANTING AND WATER AS NECESSARY UNTIL IRRIGATION IS INSTALLED.
 6. DO NOT ADD ANY SOIL AMENDMENTS OTHER THAN COMPOST UNLESS DIRECTED TO BY LANDSCAPE ARCHITECT.
 7. DO NOT ADD ANY SOIL OR MULCH AGAINST TRUNK OF TREE. IF ROOT FLARE IS NOT EXPOSED, REMOVE SOIL AND EXPOSE.

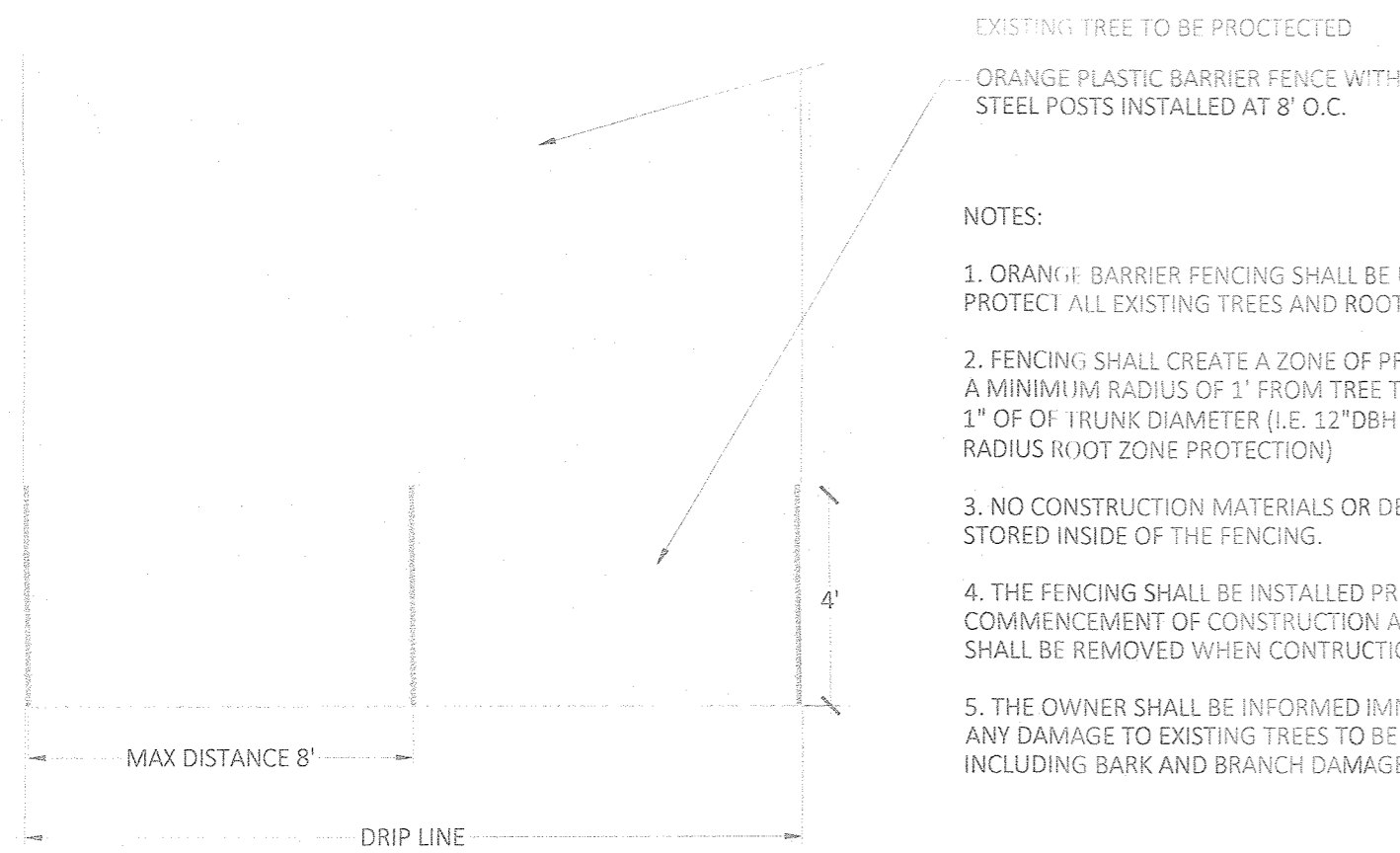


3 SHRUB PLANTING
L-801 SCALE: 1/2"=1'



4 GROUNDCOVER PLANTING
L-801 SCALE: 1/2"=1'

- NOTES:
1. FOR B & B PLANT MATERIAL, REMOVE ALL TWINE AND ROLL BACK BURLAP FROM TOP 1/2 OF BALL. IF ANY MATERIALS USED TO BIND THE ROOTBALL ARE NON-BIODEGRADABLE, REMOVE COMPLETELY INCLUDING WIRE BASKET.
 2. FOR CONTAINER GROWN PLANT MATERIAL, REMOVE CONTAINER TO HELP PREVENT LOOSENING OF SOIL AND SCARIFY BALL TO HELP PREVENT GIRDLING ROOTS.
 3. SATURATE SOIL WITHIN SIX (6) HOURS OF PLANTING, AND WATER AS NECESSARY UNTIL IRRIGATION IS INSTALLED.
 4. NO MULCH OR SOIL SHOULD BE PLACED AGAINST THE PLANT'S TRUNK.



5 TREE PROTECTION
L-801 SCALE: 1/4"=1'

- NOTES:
1. ORANGE BARRIER FENCING SHALL BE USED TO PROTECT ALL EXISTING TREES AND ROOT ZONES.
 2. FENCING SHALL CREATE A ZONE OF PROTECTION WITH A MINIMUM RADIUS OF 1' FROM TREE TRUNK FOR EVERY 1" OF TRUNK DIAMETER (I.E. 12" DBH TREE=12' RADIUS ROOT ZONE PROTECTION)
 3. NO CONSTRUCTION MATERIALS OR DEBRIS SHALL BE STORED INSIDE OF THE FENCING.
 4. THE FENCING SHALL BE INSTALLED PRIOR TO THE COMMENCEMENT OF CONSTRUCTION ACTIVITIES, AND SHALL BE REMOVED WHEN CONSTRUCTION IS COMPLETE.
 5. THE OWNER SHALL BE INFORMED IMMEDIATELY OF ANY DAMAGE TO EXISTING TREES TO BE PRESERVED, INCLUDING BARK AND BRANCH DAMAGE.

YOST DESIGN
LANDSCAPE ARCHITECTURE
178 elizabeth st
pearl river, ny 10965
p 845.365.4595 | f 914.361.4473
yostdesign.com

MAURO RESIDENCE
1079 ROUTE 9WS
NYACK, NY 10960

DATE: NOVEMBER 12, 2021
DRAWN BY: AVM
JOB NO: 090721
SCALE: 1"=20'
FILENAME: 12011-Site

REVISIONS:

By the M'ost ASLA | Registered Landscape Architect

PLANTING DETAILS

SHEET NO.

L-801

SHEET: 2 of 2

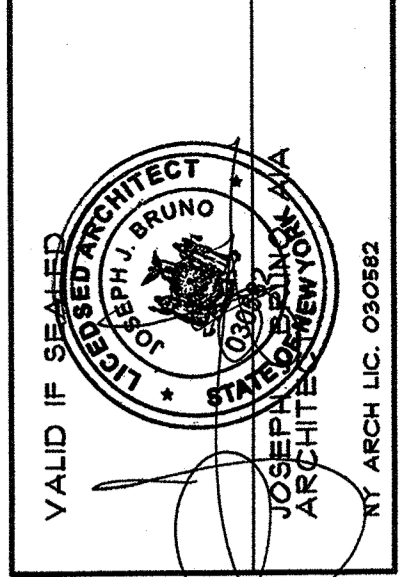
DATE	NO.	REVISION	CHKD
2/1/22	4	FOR TOWN PLANNING BOARD SUBMISSION	PEF
11/23/21	3	ADDITION OF A/C UNITS	PEF
11/5/21	2	PER TOWN ENGINEER	PEF
5/7/21	1	PER TOWN PLANNING BOARD ENGINEER	PEF

PLANTING DETAILS
PREPARED FOR
MICHAEL J. MAURO
TOWN OF ORANGETOWN
ROCKLAND COUNTY - NEW YORK

AFR Engineering and Land Surveying, P.C.
PROFESSIONAL ENGINEERS AND LAND SURVEYORS
110 Stage Road, Monroe, NY 10950 - 845-782-8881 - 845-782-4212 (Fax)
30 Madison Avenue, Paterson, NJ 07652
© Copyright 2022, AFR. All Rights Reserved

Craig D. Dominick
Craig D. Dominick, P.E.
N.Y. Lic. No. 086947
086947

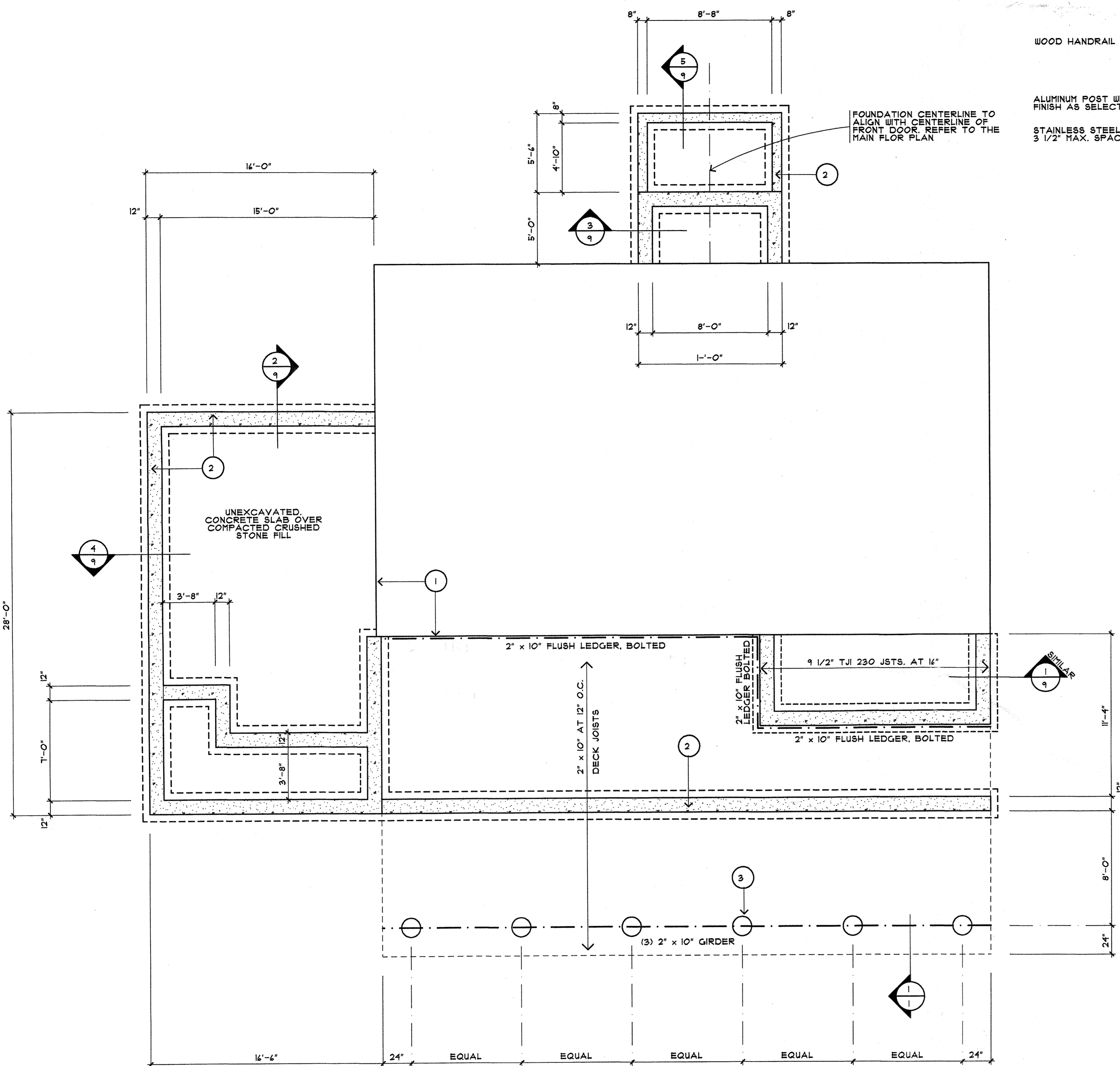
DATE: DECEMBER 18, 2020 DRAWN BY: CDD CHECKED BY: PEF
SCALE: NOT TO SCALE JOB No.: 12011 SHEET: 5 OF 5



VALID IF SEALED
 JOSEPH J. BRUNO
 ARCHITECT
 NO. 030866
 STATE OF NEW YORK
 JOSEPH J. BRUNO, AIA
 ARCHITECT
 24 PASCACK ROAD
 PARK RIDGE, NEW JERSEY 07654
 TELEPHONE / FACSIMILE 201-301-1115

ALTERATIONS TO THE
MAURO RESIDENCE
 1079 ROUTE 9W SOUTH
 NYACK (ORANGETOWN) NEW YORK

DRAWN BY: JJB
 CHECKED BY: ME
 DATE: 02/10/21
 REVISIONS:
 01/22/22
 SHEET NO:
A1 OF 13



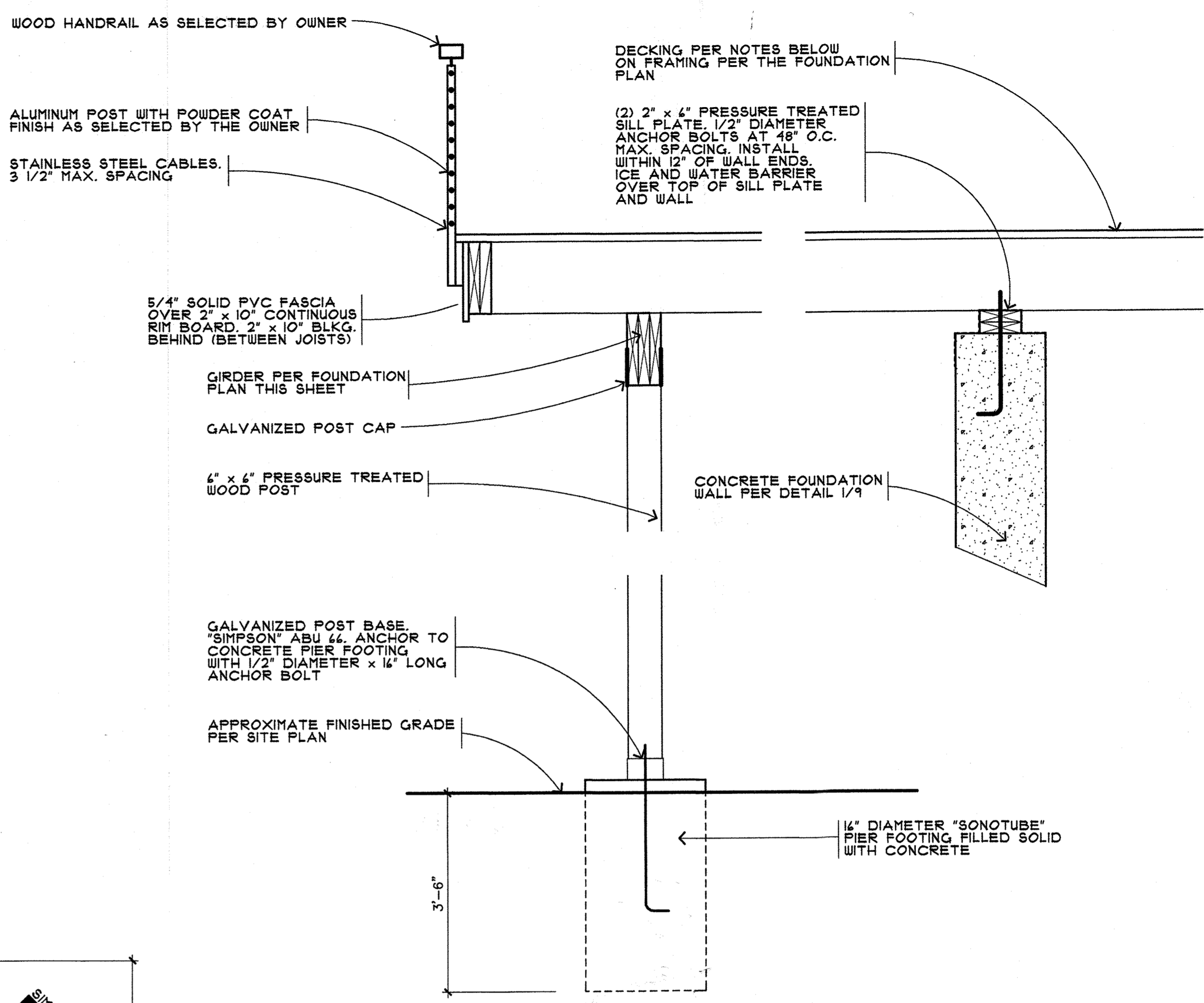
FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

FOUNDATION PLAN NOTES

- EXISTING FOUNDATION WALL TO REMAIN.
- NEW CONCRETE FOUNDATION WALL ON CONTINUOUS CONCRETE FOOTING PER THE REFERENCED DETAILS.
- 16" DIAMETER CONCRETE FILLED SONOTUBE PIER FOOTING.

THIS DRAWING SET INCLUDES GENERAL NOTES, PAGES 1 OF 4 THRU 6 OF 6 INCLUSIVE, PRINTED ON 8 1/2" x 11" SHEETS AND STAPLED TO THE UPPER LEFT HAND CORNER OF THIS DRAWING SET. DO NOT PROCEED WITH ANY PART OF THE WORK IF ANY OR ALL OF THESE SHEETS ARE MISSING.

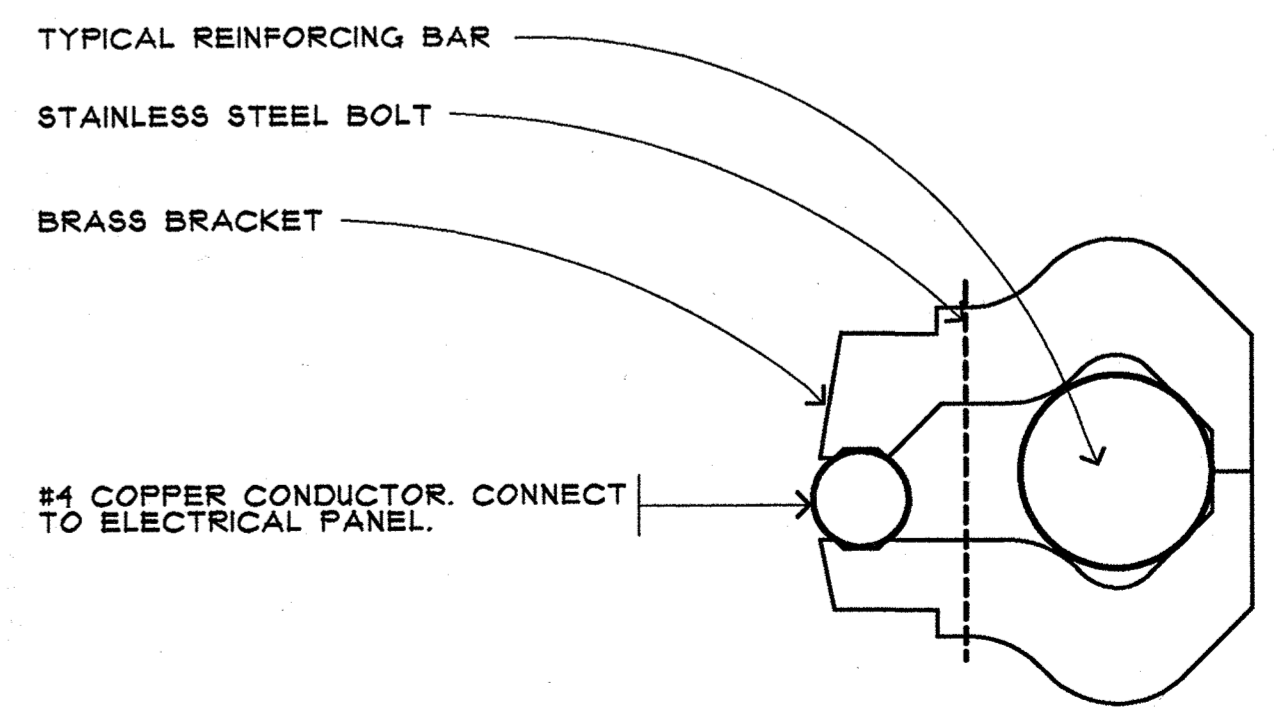


TERRACE DETAIL

SCALE: 1" = 1'-0"

NOTE: TERRACE CONSTRUCTION AS FOLLOWS:

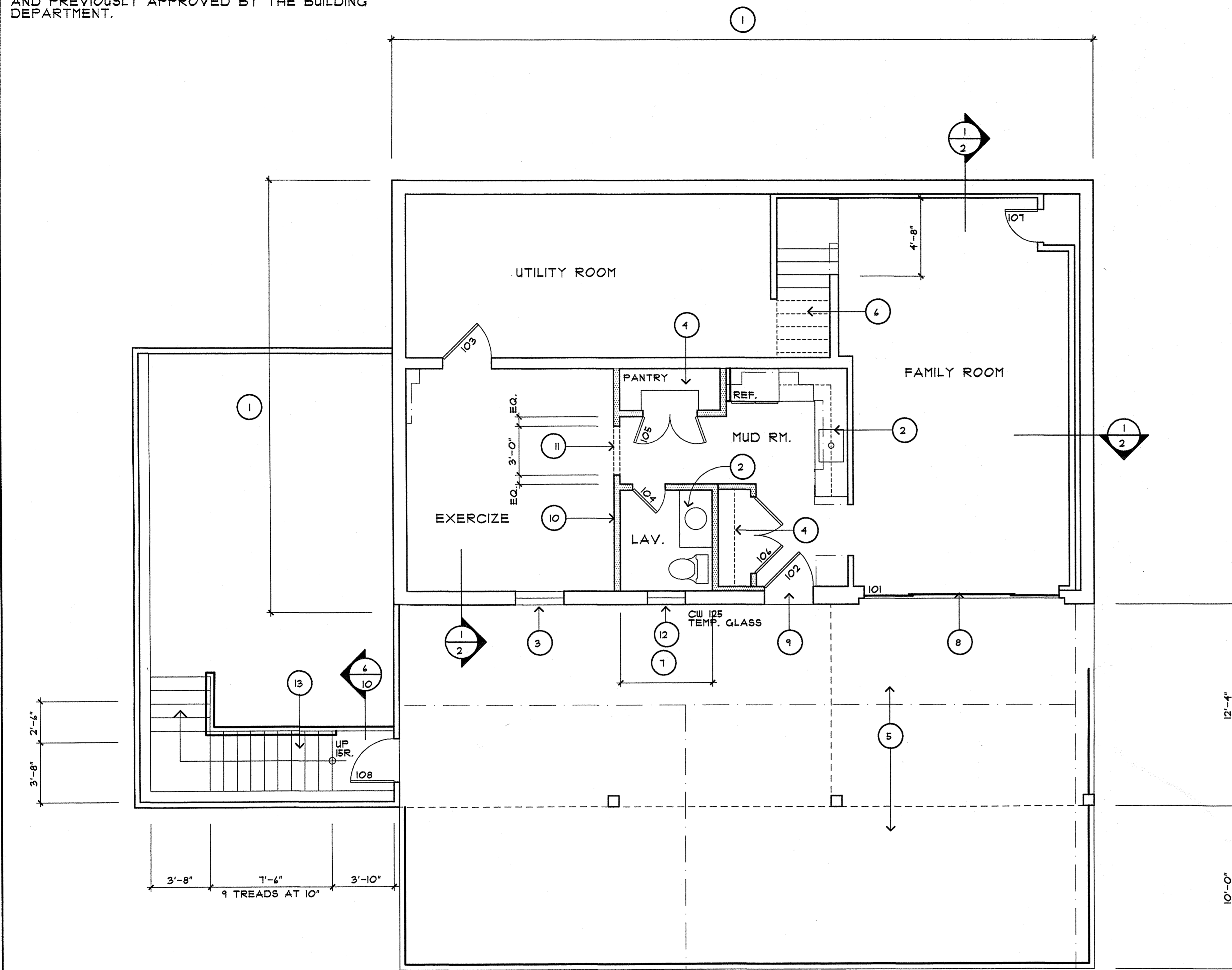
- | | |
|--------------------|--|
| FRAMING: | PRESSURE TREATED SOUTHERN YELLOW PINE. |
| DECKING: | 5/4" x 4" 'TREX'. COLOR AS SELECTED BY THE OWNER. |
| RAILING AND GUARD: | 'CABLE RAIL' GUARD AND HANDRAIL SYSTEM AS MANUFACTURED BY 'VIEWRAIL'. HANDRAILS SHALL BE SOLID WOOD AS SELECTED BY THE OWNER. FINISH AS SELECTED BY THE OWNER. POSTS SHALL BE ALUMINUM WITH POWDER COAT FINISH, COLOR AS SELECTED BY THE OWNER. CABLES SHALL BE 1 x 19 STAINLESS STEEL, 5/32" DIAMETER. INCLUDE ALL REQUIRED HARDWARE FOR A COMPLETE INSTALLATION. REVIEW ALL COMPONENTS WITH OWNER PRIOR TO ORDERING. |



FOOTING REINFORCEMENT BONDING DETAIL

NOT TO SCALE

DEMOLITION WORK SHALL BE IN ACCORDANCE WITH THE DEMOLITION DRAWINGS DATED NOVEMBER 1, 2020 AND PREVIOUSLY APPROVED BY THE BUILDING DEPARTMENT.



LOWER SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"
ALL WINDOW AND DOOR HEADER SHALL BE (2) 2" x 12" UNLESS NOTED OTHERWISE.

LOWER SECOND FLOOR DOOR SCHEDULE

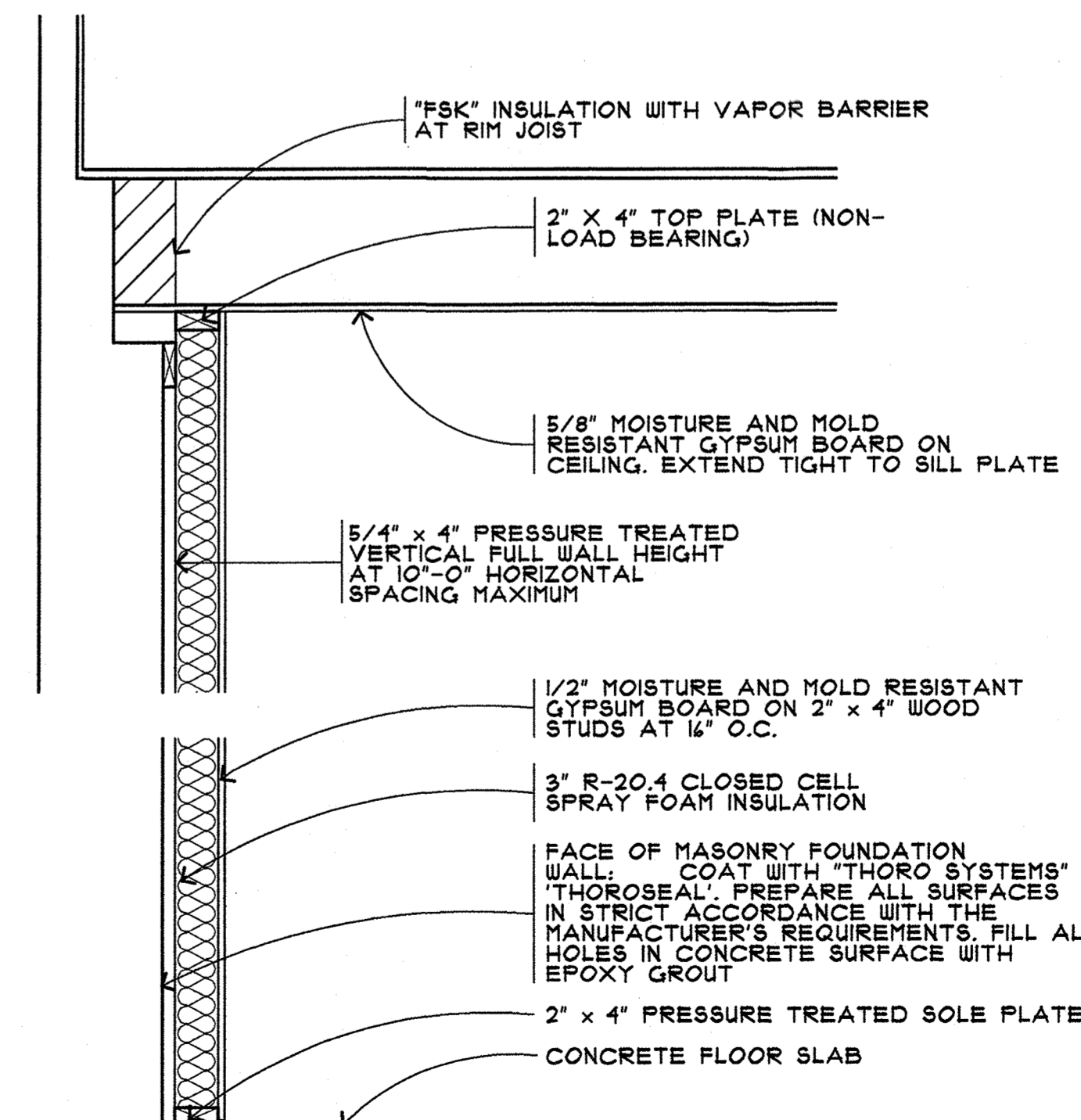
101	FWG 120611-4	ANDERSEN FRENCHWOOD GLIDING DOOR UNIT.
102	FWH 31611	ANDERSEN FRENCHWOOD HINGED DOOR UNIT.
103	3'-0" x 6'-8" x 1 3/4"	PASSAGE LOCKSET.
104	2'-4" x 6'-8" x 1 3/8"	PRIVACY LOCKSET.
105	PAIR 1'-8" x 6'-8" x 1 3/8"	DUMMY TRIM. BALL CATCHES.
104	PAIR 2'-4" x 6'-8" x 1 3/8"	DUMMY TRIM. BALL CATCHES.
101	2'-0" x 6'-8" x 1 3/8"	PASSAGE LOCKSET.
108	2'-8" x 6'-8" x 1 3/4"	ENTRANCE UNIT AS SELECTED BY THE OWNER. ALLOW \$2,500.00 FOR PURCHASE.

FLOOR PLAN LEGEND

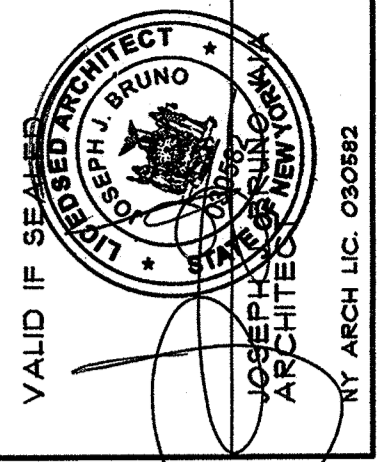
- EXISTING CONSTRUCTION TO REMAIN.
- EXISTING CONSTRUCTION TO BE REMOVED.
- NEW CONSTRUCTION.

LOWER SECOND FLOOR PLAN NOTES

1. RE-CONFIGURE PLUMBING AND ELECTRICAL WORK TO SUIT THE NEW LAYOUT. REFER TO OTHER ASPECTS OF THESE DRAWINGS AND GENERAL NOTES FOR ADDITIONAL INFORMATION.
FINISH PERIMETER EXTERIOR MASONRY WALLS PER THE REFERENCED DETAILS.
INSULATE INTERIOR PERIMETER LAVATORY WALLS WITH 3 1/2" BATT SOUND INSULATION.
FINISH WALLS AND CEILING WITH 1/2" GYPSUM BOARD. SHIM CEILING LEVEL AS MAY BE REQUIRED BY FIELD CONDITIONS. REFER TO BATH FINISH NOTES FOR ADDITIONAL INFORMATION.
FLOOR FINISHES AS DIRECTED BY THE OWNER. FOR BIDDING PURPOSES ASSUME 4" SELECT RED OAK STAIN AS SELECTED BY THE OWNER. TWO COATS SATIN POLYURETHANE OVER.
MOULDINGS AS SELECTED BY THE OWNER.
2. CABINETS PER THE GENERAL NOTES.
3. REMOVE EXISTING WINDOW UNIT IN ENTIRETY. FURNISH AND INSTALL NEW WINDOW SIZED TO FIT EXISTING MASONRY OPENING.
4. CLOSET ORGANIZER AS SELECTED BY THE OWNER.
5. EXISTING DECK AND GROUND SLAB TO BE REMOVED.
6. REMOVE EXISTING WOOD STAIR, GUARD AND HANDRAILS IN ENTIRETY. PROVIDE NEW WOOD STAIR PER DETAIL 1/10. GUARD AND HANDRAIL AS SELECTED BY THE OWNER.
7. LAVATORY INTERIOR FINISHES AS FOLLOWS:
WALLS: TILE WAINSCOT AS DIRECTED BY THE OWNER OVER 1/2" MOISTURE AND MOLD RESISTANT GYPSUM BOARD.
CEILING: 5/8" MOISTURE AND MOLD RESISTANT GYPSUM BOARD.
FLOOR: TILE AS SELECTED BY THE OWNER THIN SET OVER 1/2" THK. CURED MUD BASE REINFORCED WITH GALVANIZED EXPANDED METAL LATH FASTENED TO THE CONCRETE FLOOR SLAB.
8. REMOVE THE EXISTING DOOR UNIT. MODIFY MASONRY WALL TO ACCOMMODATE THE NEW DOOR UNIT.
9. CUT OPENING IN EXISTING MASONRY WALL TO ACCOMMODATE NEW DOOR UNIT. RESTORE ADJACENT AFFECTED CONSTRUCTION TO REMAIN.
10. NEW FRAME PARTITION PER DETAIL 1/3.
11. 6'-8" HIGH TRIMMED OPENING.
12. CUT OPENING IN EXISTING MASONRY WALL TO ACCOMMODATE NEW WINDOW UNIT. RESTORE ADJACENT AFFECTED CONSTRUCTION TO REMAIN.
13. WOOD STAIR SIMILAR TO DETAIL 1/10. YELLOW PINE TREADS AND RISERS. GUARD AND HANDRAIL PER THE REFERENCED DETAIL. WALL MOUNTED STEEL PIPE HANDRAIL ALONG STAIR RUN.



1 BASEMENT PERIMETER PARTITION DETAIL
2 SCALE: 1" = 1'-0"



JOSEPH J. BRUNO, AIA
ARCHITECT
24 PASCACK ROAD
PARK RIDGE, NEW JERSEY 07154
TELEPHONE/ FACSIMILE 201-307-1115

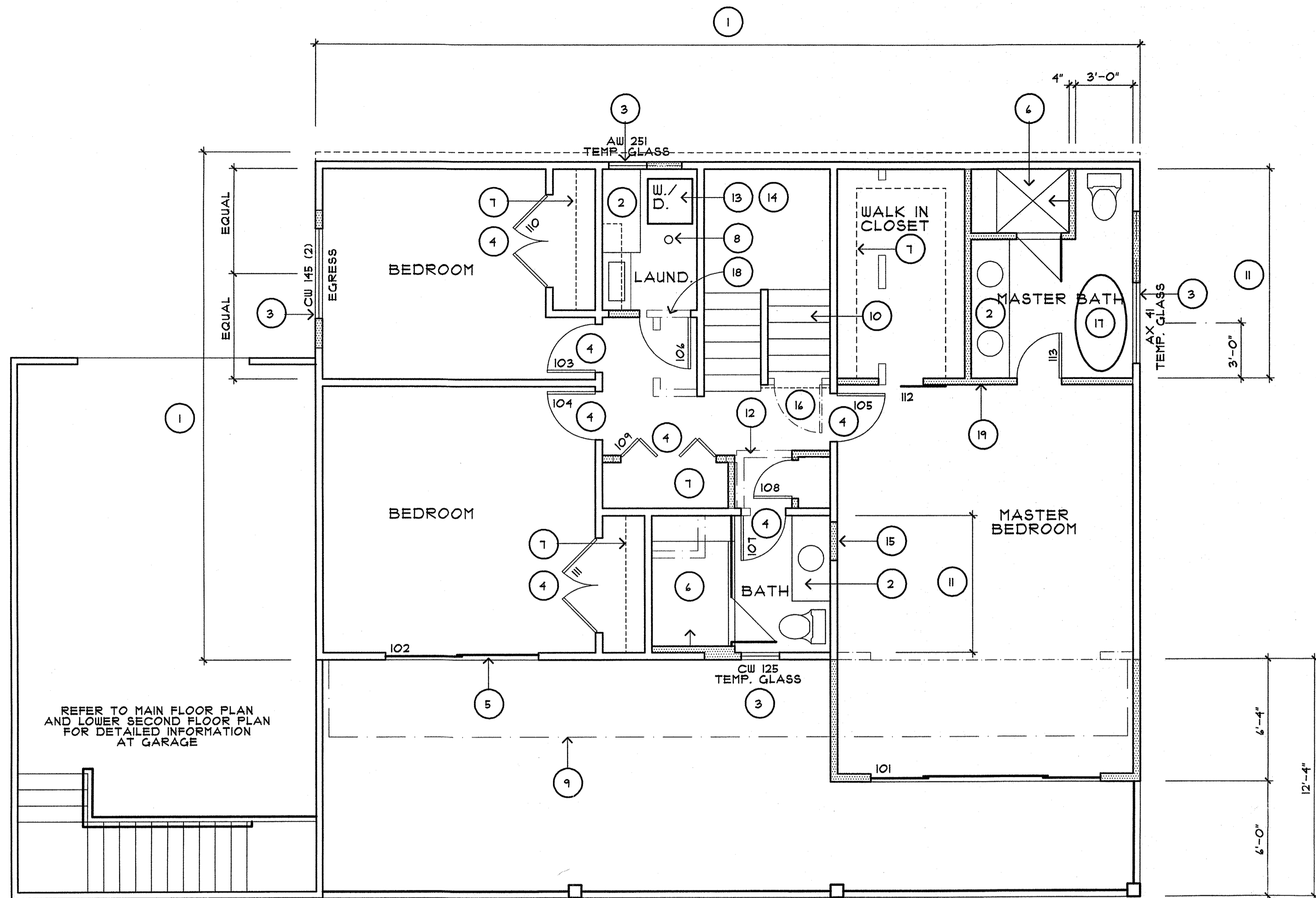
ALTERATIONS TO THE
MAURO RESIDENCE
1079 ROUTE 9W SOUTH
NYACK (ORANGETOWN) NEW YORK

DRAWN BY: JJB
CHECKED BY: ME

DATE: 02/10/21

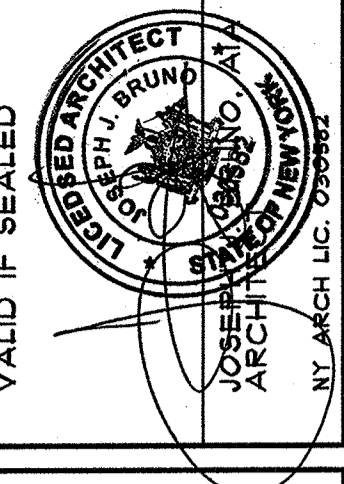
REVISIONS:

SHEET NO:
A2 of 13



LOWER FLOOR PLAN NOTES

- RE-CONFIGURE PLUMBING AND ELECTRICAL WORK TO SUIT THE NEW LAYOUT. REFER TO OTHER ASPECTS OF THESE DRAWINGS AND GENERAL NOTES FOR ADDITIONAL INFORMATION.
INSULATE EXTERIOR WALLS WITH 5" R-34 CLOSED CELL SPRAY FOAM INSULATION.
INSULATE INTERIOR PERIMETER LAVATORY AND BEDROOM WALLS WITH 3 1/2" BATT SOUND INSULATION.
FINISH WALLS AND CEILINGS WITH 1/2" GYPSUM BOARD. SHIM CEILINGS LEVEL AS MAY BE REQUIRED BY FIELD CONDITIONS. REFER TO BATH FINISH NOTES FOR ADDITIONAL INFORMATION. FURR EXTERIOR WALLS TO ACCOMMODATE INSUL.
FLOOR FINISHES AS DIRECTED BY THE OWNER. FOR BIDDING PURPOSES ASSUME 4" SELECT RED OAK STAIN AS SELECTED BY THE OWNER. TWO COATS SATIN POLYURETHANE OVER.
MOULDINGS AS SELECTED BY THE OWNER.
- CABINETRY PER THE GENERAL NOTES.
- REMOVE EXISTING WINDOW UNIT IN ENTIRETY. MODIFY FRAMING TO ACCOMMODATE THE NEW WINDOW UNIT INDICATED.
- REMOVE THE EXISTING DOOR UNIT. MODIFY FRAMING TO ACCOMMODATE THE NEW DOOR UNIT.
- REMOVE THE EXISTING WINDOW UNIT. MODIFY FRAMING TO ACCOMMODATE THE NEW DOOR UNIT.
- SHOWER STALL PER DETAIL 2/3. TEMPERED GLASS DOOR AS SELECTED BY OWNER.
- CLOSET ORGANIZER AS SELECTED BY THE OWNER.
- FLOOR DRAIN WITH TRAP PRIMER. REFER TO DETAIL 3/3 FOR FLOOR WATERPROOFING.
- EXISTING BALCONY TO BE REMOVED.
- REMOVE EXISTING WOOD STAIR. GUARD AND HANDRAILS IN ENTIRETY. PROVIDE NEW WOOD STAIR PER DETAILS 1/10 AND 2/10. GUARD AND HANDRAIL AS SELECTED BY THE OWNER.
- BATH INTERIOR FINISHES AS FOLLOWS:
SHOWER WALLS AND CEILING:
TILE AS SELECTED BY THE OWNER THIN SET OVER 1/2" CEMENTITIOUS BACKER BOARD.
BALANCE OF WALLS: TILE WAINSCOT AS DIRECTED BY THE OWNER OVER 1/2" 1/2" CEMENTITIOUS BACKER BOARD.
BALANCE OF CEILING: 5/8" MOISTURE AND MOLD RESISTANT GYPSUM BOARD.
FLOOR: REFER TO DETAIL 1/4.
- REMOVE EXISTING FRAME WALL TO EXTENT SHOWN.
- GAS CLOTHES DRYER. VENT TO EXTERIOR WITH GALVANIZED DUCT. PROVIDE HOODED CAP WITH BACKDRAFT DAMPER.
- CLOTHES WASHER. PROVIDE RECESSED WALL STATION WITH HOT AND COLD WATER SUPPLIES, DRAIN AND VENT CONNECTIONS.
- REMOVE EXISTING DOOR UNIT IN ENTIRETY. CLOSE OPENING WITH CONSTRUCTION TO MATCH EXISTING.
- REMOVE EXISTING DOORWAY WALL IN ENTIRETY.
- FREE STANDING TUB AS SELECTED BY THE OWNER.
- CUT OPENING IN EXISTING FRAME WALL AND FRAME TO ACCOMMODATE NEW DOOR UNIT.
- NEW FRAME PARTITION PER DETAIL 1/3.



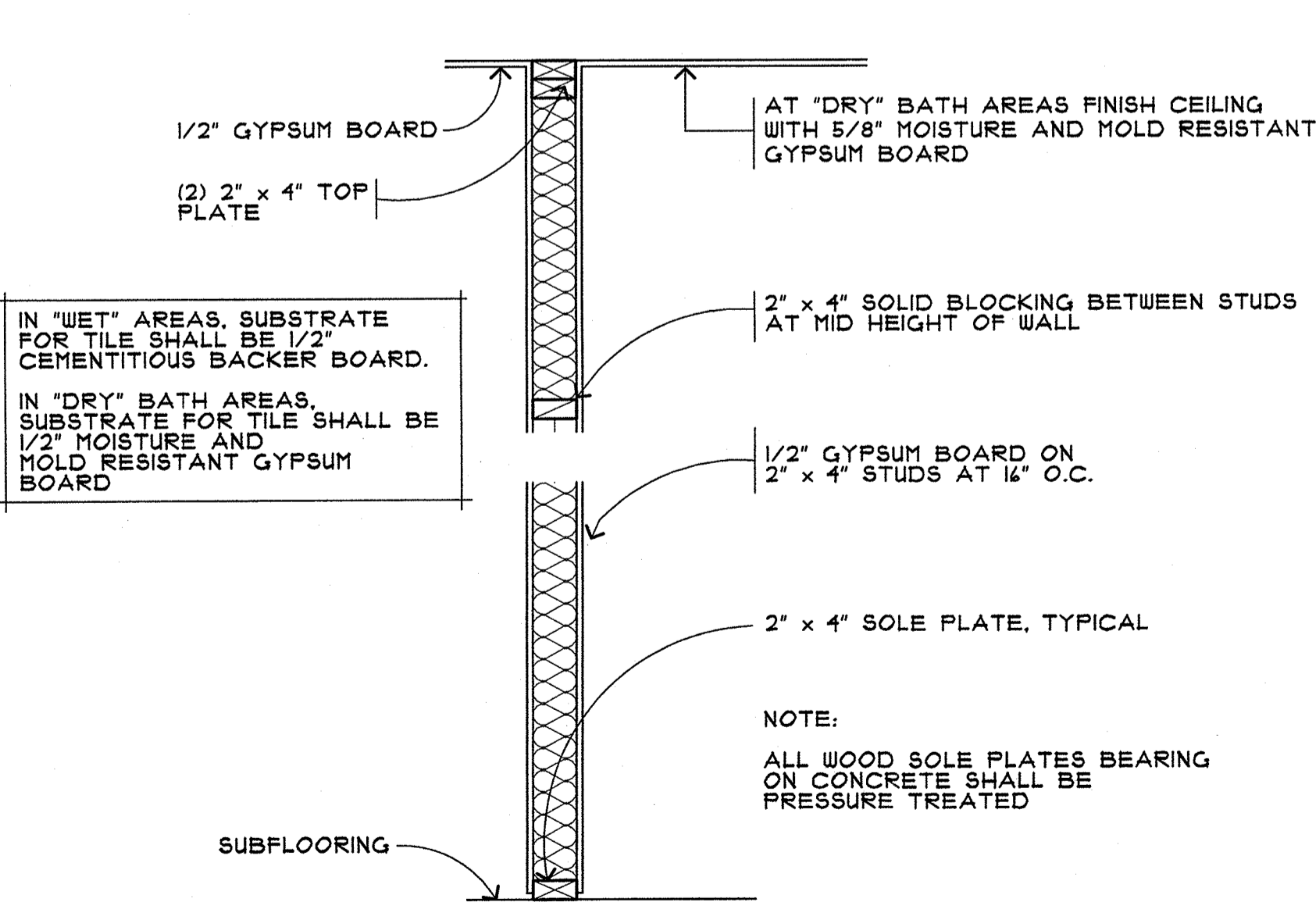
VALID IF SEALED

JOSEPH J. BRUNONIA
ARCHITECT

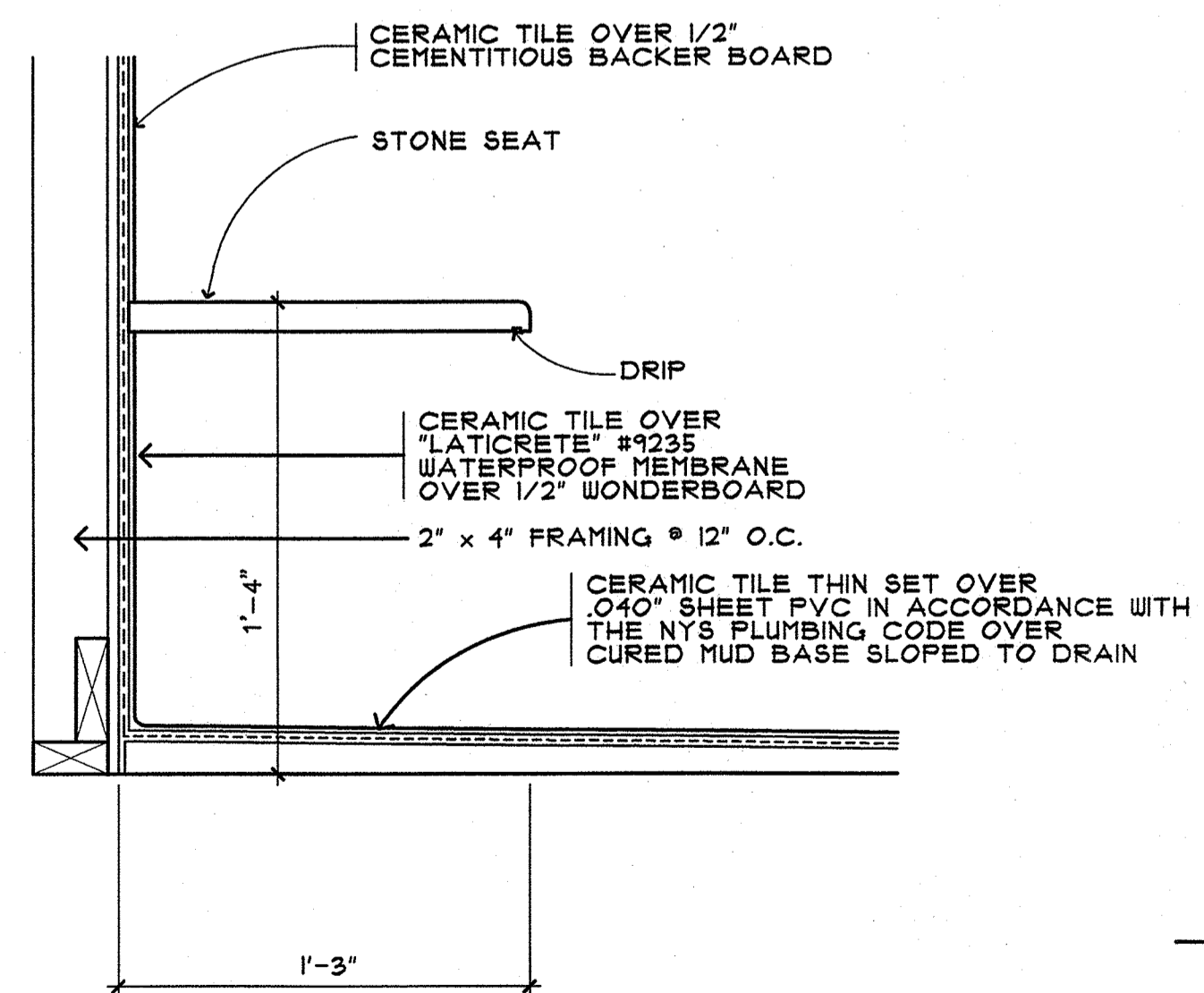
21 PASCACK ROAD
PARK RIDGE, NEW JERSEY 07454
TELEPHONE/ FACSIMILE 201-301-1115

LOWER FIRST FLOOR PLAN NOTES

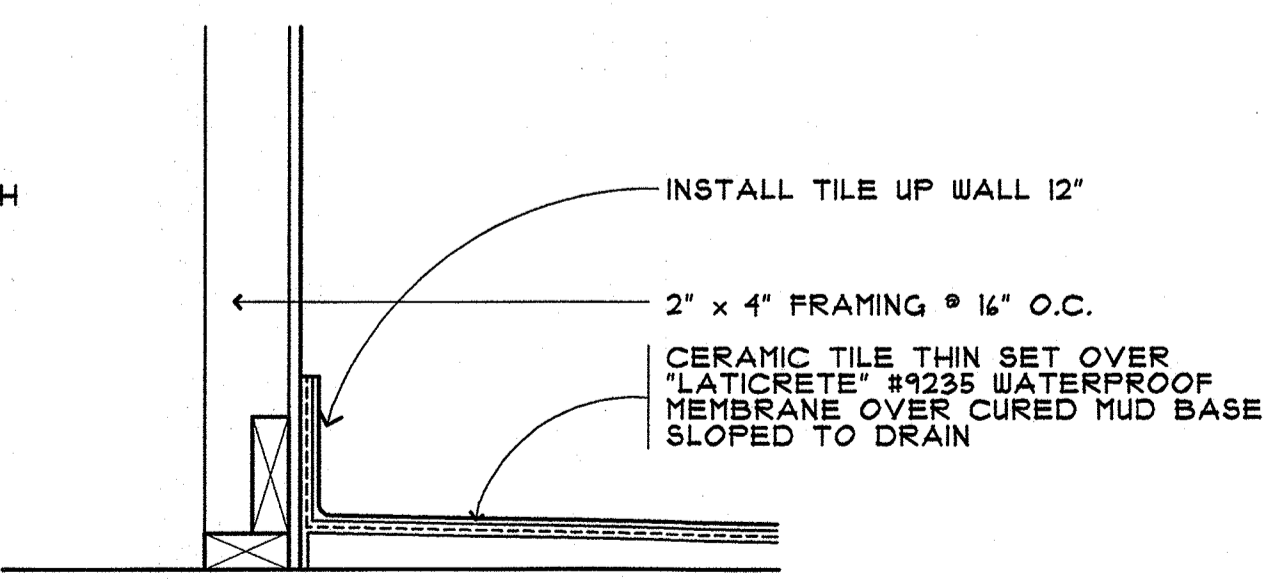
SCALE: 1/4" = 1'-0"



1 INTERIOR PARTITION DETAIL
SCALE: 1" = 1'-0"
ALL BASEMENT DRYWALL SHALL BE MOISTURE AND MOLD RESISTANT.



2 SHOWER SEAT DETAIL
SCALE: 1" = 1'-0"
THE CONNECTION BETWEEN THE SHOWER LINER AND DRAIN SHALL BE IN ACCORDANCE WITH THE NY STATE PLUMBING CODE.



3 LAUNDRY FLOOR DETAIL
SCALE: 1" = 1'-0"
THE CONNECTION BETWEEN THE SHOWER LINER AND DRAIN SHALL BE IN ACCORDANCE WITH THE NY STATE PLUMBING CODE.

LOWER FIRST FLOOR DOOR SCHEDULE

101	FWG 120411-4	ANDERSEN FRENCHWOOD GLIDING DOOR UNIT.
102	FWG 80411	ANDERSEN FRENCHWOOD GLIDING DOOR UNIT.
103	2'-6" x 6'-8" x 1 3/8"	PRIVACY LOCKSET.
104	2'-6" x 6'-8" x 1 3/8"	PRIVACY LOCKSET.
105	2'-8" x 6'-8" x 1 3/8"	PRIVACY LOCKSET.
106	2'-8" x 6'-8" x 1 3/8"	PASSAGE LOCKSET. LOUVER DOOR.
107	2'-4" x 6'-8" x 1 3/8"	PRIVACY LOCKSET.
108	2'-0" x 6'-8" x 1 3/8"	PASSAGE LOCKSET.
109	5'-0" x 6'-8" x 1 3/8"	BI FOLD DOOR UNIT.
110	PAIR 2'-8" x 6'-8" x 1 3/8"	DUMMY TRIM. BALL CATCHES.
111	PAIR 2'-8" x 6'-8" x 1 3/8"	DUMMY TRIM. BALL CATCHES.
112	2'-4" x 6'-8" x 1 3/8"	SURFACE SLIDING DOOR UNIT. NOTE #1 BELOW.
113	2'-8" x 6'-8" x 1 3/8"	PRIVACY LOCKSET.

LOWER FLOOR DOOR SCHEDULE NOTES

- SURFACE SLIDING DOOR UNIT HARDWARE AS SELECTED BY THE OWNER.

FLOOR PLAN LEGEND

- ===== EXISTING CONSTRUCTION TO REMAIN.
- EXISTING CONSTRUCTION TO BE REMOVED.
- ===== NEW CONSTRUCTION.

ALTERATIONS TO THE

MAURO RESIDENCE

1079 ROUTE 9W SOUTH
NYACK (ORANGETOWN) NEW YORK

DRAWN BY: JJB
CHECKED BY: ME

DATE: 02/10/21

REVISIONS:

SHEET NO:
A3 OF 13

MAIN FLOOR PLAN NOTES

- RE-CONFIGURE PLUMBING AND ELECTRICAL WORK TO SUIT THE NEW LAYOUT. REFER TO OTHER ASPECTS OF THESE DRAWINGS AND GENERAL NOTES FOR ADDITIONAL INFORMATION.
INSULATE EXTERIOR WALLS WITH 5" R-34 CLOSED CELL SPRAY FOAM INSULATION. WALL BETWEEN GARAGE AND LIVING SPACE INCLUDED.
INSULATE INTERIOR PERIMETER LAVATORY AND BEDROOM WALLS WITH 3 1/2" BATT SOUND INSULATION.
FINISH WALLS AND CEILINGS WITH 1/2" GYPSUM BOARD. SHIM CEILINGS LEVEL AS MAY BE REQUIRED BY FIELD CONDITIONS. REFER TO BATH FINISH NOTES FOR ADDITIONAL INFORMATION. FURR EXTERIOR WALLS TO ACCOMMODATE INSULATION.
FLOOR FINISHES AS DIRECTED BY THE OWNER. FOR BIDDING PURPOSES ASSUME 4" SELECT RED OAK STAIN AS SELECTED BY THE OWNER. TWO COATS SATIN POLYURETHANE OVER.
MOULDINGS AS SELECTED BY THE OWNER.
- CABINETRY PER THE GENERAL NOTES.
- REMOVE EXISTING WINDOW UNIT IN ENTIRETY. MODIFY FRAMING TO ACCOMMODATE THE NEW WINDOW UNIT INDICATED.
- REMOVE THE EXISTING DOOR UNIT. MODIFY FRAMING TO ACCOMMODATE THE NEW DOOR UNIT.
- REMOVE THE EXISTING WINDOW UNIT. MODIFY FRAMING TO ACCOMMODATE THE NEW DOOR UNIT. RESTORE ADJACENT CONSTRUCTION TO REMAIN.
- MODIFY THE EXISTING TRIMMED OPENING TO THE NEW WIDTH INDICATED.
- CLOSET ORGANIZER AS SELECTED BY THE OWNER.
- EXISTING EXTERIOR STAIR TO BE REMOVED.
- REMOVE EXISTING BALCONY. NEW BALCONY PER PLAN AND DETAILS.
- REMOVE EXISTING WOOD STAIR, GUARD AND HANDRAILS IN ENTIRETY. PROVIDE NEW WOOD STAIR PER DETAILS 1/10 AND 2/10. GUARD AND HANDRAIL AS SELECTED BY THE OWNER.
- LAV. INTERIOR FINISHES AS FOLLOWS:
WALLS: TILE WAINSCOT AS DIRECTED BY THE OWNER OVER 1/2" MOISTURE AND MOLD RESISTANT GYPSUM BOARD.
CEILING: 5/8" MOISTURE AND MOLD RESISTANT GYPSUM BOARD.
FLOOR: TILE AS SELECTED BY THE OWNER THIN SET OVER 1/4" THK. CEMENTITIOUS BACKER BOARD SCREWED THRU THE SUBFLOORING INTO THE FLOOR FRAMING. FLUSH TRANSITION AT DOORWAY. FLOOR PER DETAIL 1/4.
- REMOVE EXISTING DOORWAY WALL IN ENTIRETY.
- CUT OPENING IN EXISTING FRAME WALL AND FRAME TO ACCOMMODATE NEW WINDOW UNIT. RESTORE ADJACENT AFFECTED CONSTRUCTION TO REMAIN.
- GARAGE INTERIOR FINISHES AS FOLLOWS:
WALLS: 5/8" TYPE 'X' MOISTURE AND MOLD RESISTANT GYPSUM BOARD.
CEILING: 2 LAYERS 5/8" TYPE 'X' GYPSUM BOARD. EXPOSED LAYER SHALL BE MOISTURE AND MOLD RESISTANT.
- SQUARE COLUMN ENCLOSURE AS SELECTED BY THE OWNER.
- STONE FINISH ON CONCRETE PLATFORM PER THE REFERENCED DETAIL.
- REMOVE EXISTING SIDING AND WALL SHEATHING. FINISH WALL WITH 5/8" TYPE 'X' MOISTURE AND MOLD RESISTANT GYPSUM BOARD.
- REMOVE EXISTING DOOR UNIT IN ENTIRETY. TRIM OPENING AS DIRECTED BY THE OWNER.
- WOOD BURNING STOVE AS SELECTED BY THE OWNER WITH HEAT SHIELD. INSULATED METAL FLUE PROVIDE BASE AS FOLLOWS. TILE AS SELECTED BY THE OWNER THIN SET OVER 1/4" CEMENTITIOUS BACKER BOARD. SIMILART TO DETAIL 1/4.
- 4" THK. STONE VENEER AS SELECTED OVER 1/2" CEMENTITIOUS BACKER BOARD. ANCHOR TO WALL WITH GALVANIZED CORRUGATED MASONRY TIES AT 8" O.C. HORIZONTALLY AND VERTICALLY.

FLOOR PLAN LEGEND

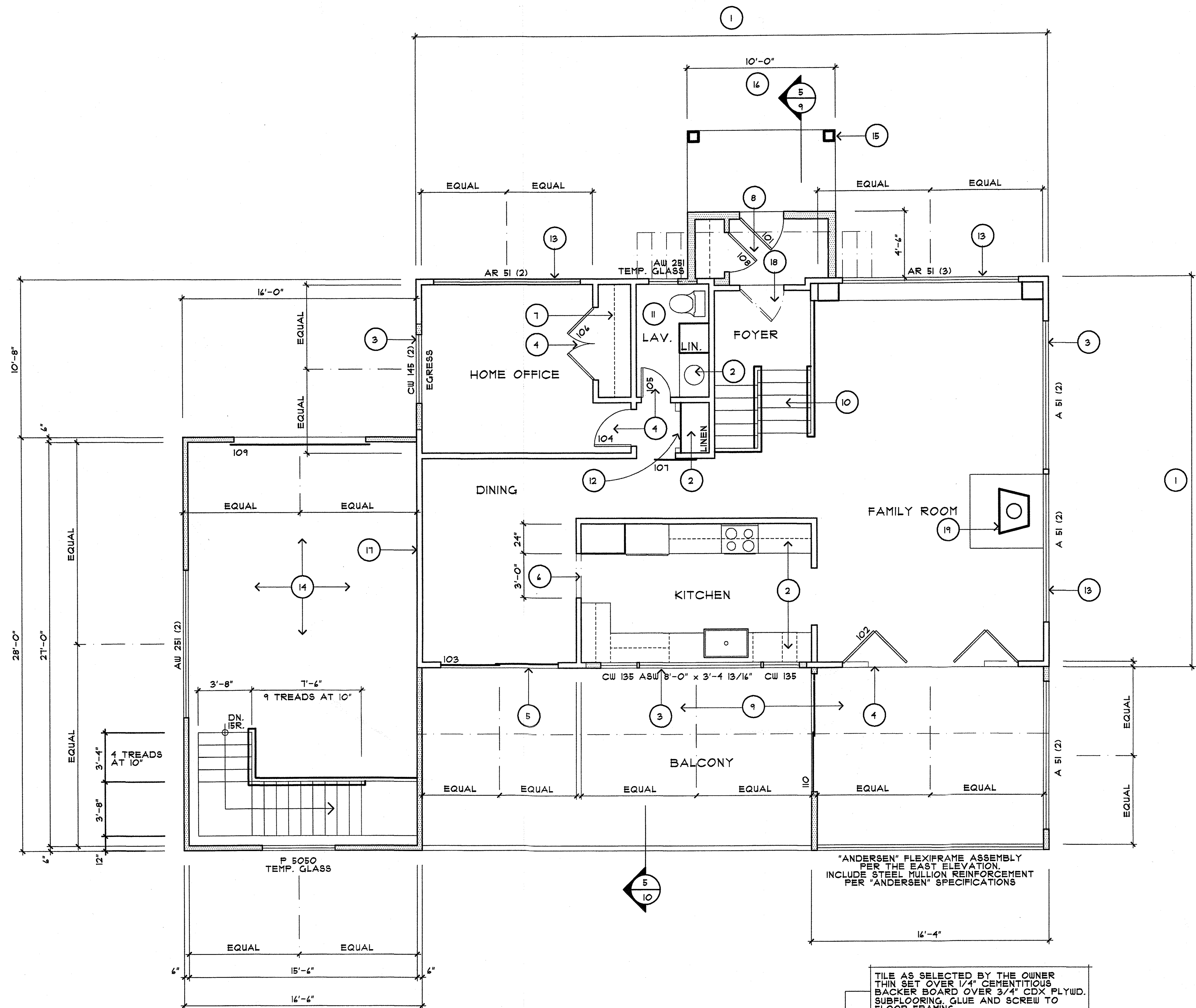
- EXISTING CONSTRUCTION TO REMAIN.
- EXISTING CONSTRUCTION TO BE REMOVED.
- NEW CONSTRUCTION.

MAIN FLOOR DOOR SCHEDULE

101	3'-0" x 1'-0" x 1 3/4"	ENTRANCE UNIT AS SELECTED BY THE OWNER. ALLOW \$5,000.00 FOR PURCHASE.
102	12'-0" x 6'-8" x 1 3/4" BI FOLD DOOR UNIT.	ONE LITE SAFETY GLASS.
103	FWG 80411	ANDERSEN FRENCHWOOD GLIDING DOOR UNIT.
104	2'-6" x 6'-8" x 1 3/8"	PRIVACY LOCKSET.
105	2'-0" x 6'-8" x 1 3/8"	PRIVACY LOCKSET.
106	PAIR 2'-8" x 6'-8" x 1 3/8"	DUMMY TRIM, BALL CATCHES.
107	2'-8" x 6'-8" x 1 3/8"	SURFACE SLIDING DOOR UNIT. NOTE #1 BELOW.
108	2'-8" x 6'-8" x 1 3/8"	PASSAGE LOCKSET.
109	9'-0" WIDE x 8'-0" HIGH	SECTIONAL OVERHEAD DOOR UNIT. NOTE #2 BELOW.
110	FWG 80411	ANDERSEN FRENCHWOOD GLIDING DOOR UNIT.

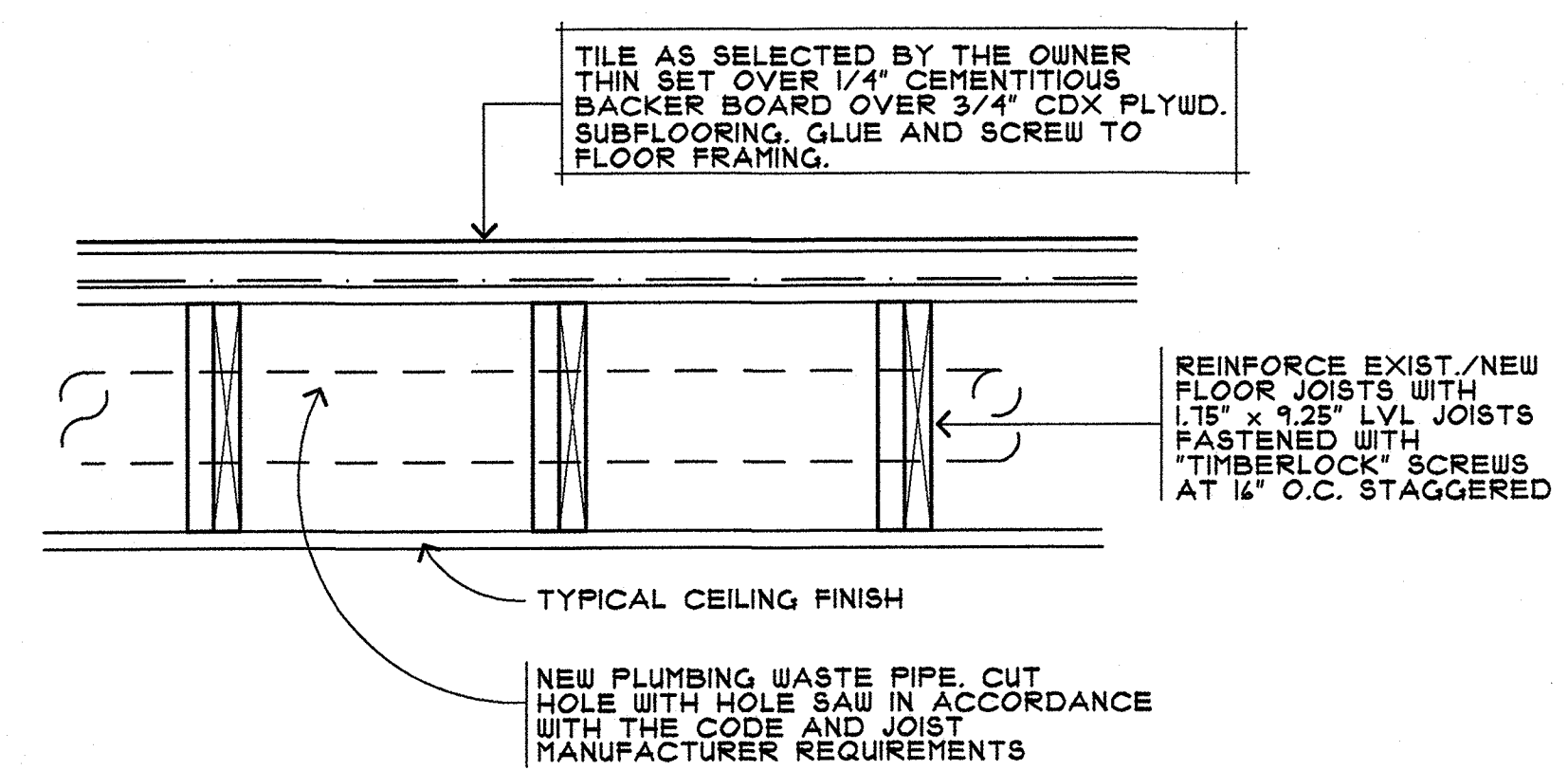
MAIN FLOOR DOOR SCHEDULE NOTES

- SURFACE SLIDING DOOR UNIT HARDWARE AS SELECTED BY THE OWNER.
- INSULATED SECTIONAL OVERHEAD DOOR UNIT WITH ELECTRIC MOTOR OPERATOR. INCLUDE ALL REQUIRED SAFETY CONTROLS AND WEATHERSTRIPPING. 2" x 12" PRESSURE TREATED HEAD AND SIDE JAMBS WRAPPED WITH 1/2" THK. PVC SHEET.



MAIN FLOOR PLAN

SCALE: 1/4" = 1'-0"



FLOOR FRAMING DETAIL

SCALE: 1" = 1'-0"
NOTE:
THE EXISTING FLOOR FRAMING IS ASSUMED TO BE NOMINAL 10" DEPTH. FIELD VERIFY PRIOR TO ORDERING FRAMING MATERIAL.



VALID IF SEALED
JOSEPH J. BRUNO ARCHITECT
21 PASCACK ROAD
PARK RIDGE, NEW JERSEY 07454
TELEPHONE/ FACSIMILE 201-907-1115

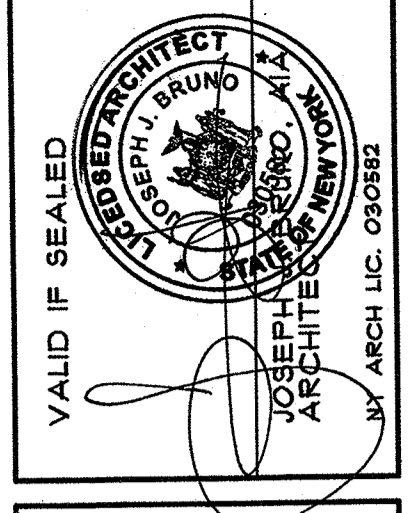
ALTERATIONS TO THE
MAURO RESIDENCE
1019 ROUTE 9W SOUTH
NYACK (ORANGETOWN) NEW YORK

DRAWN BY: JJB
CHECKED BY: ME

DATE: 02/10/21

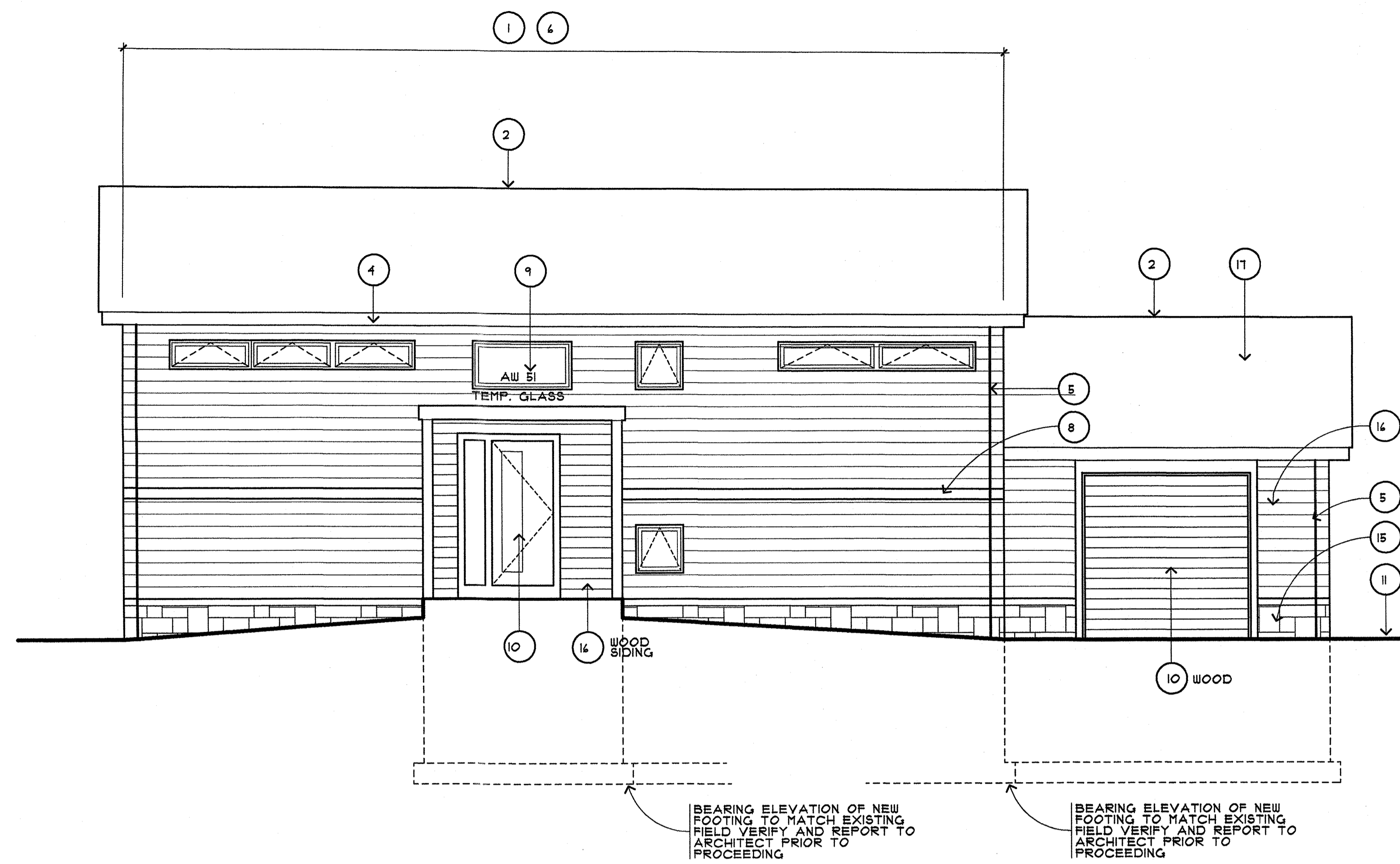
REVISIONS:
01/22/22

SHEET NO:
A4 OF 13



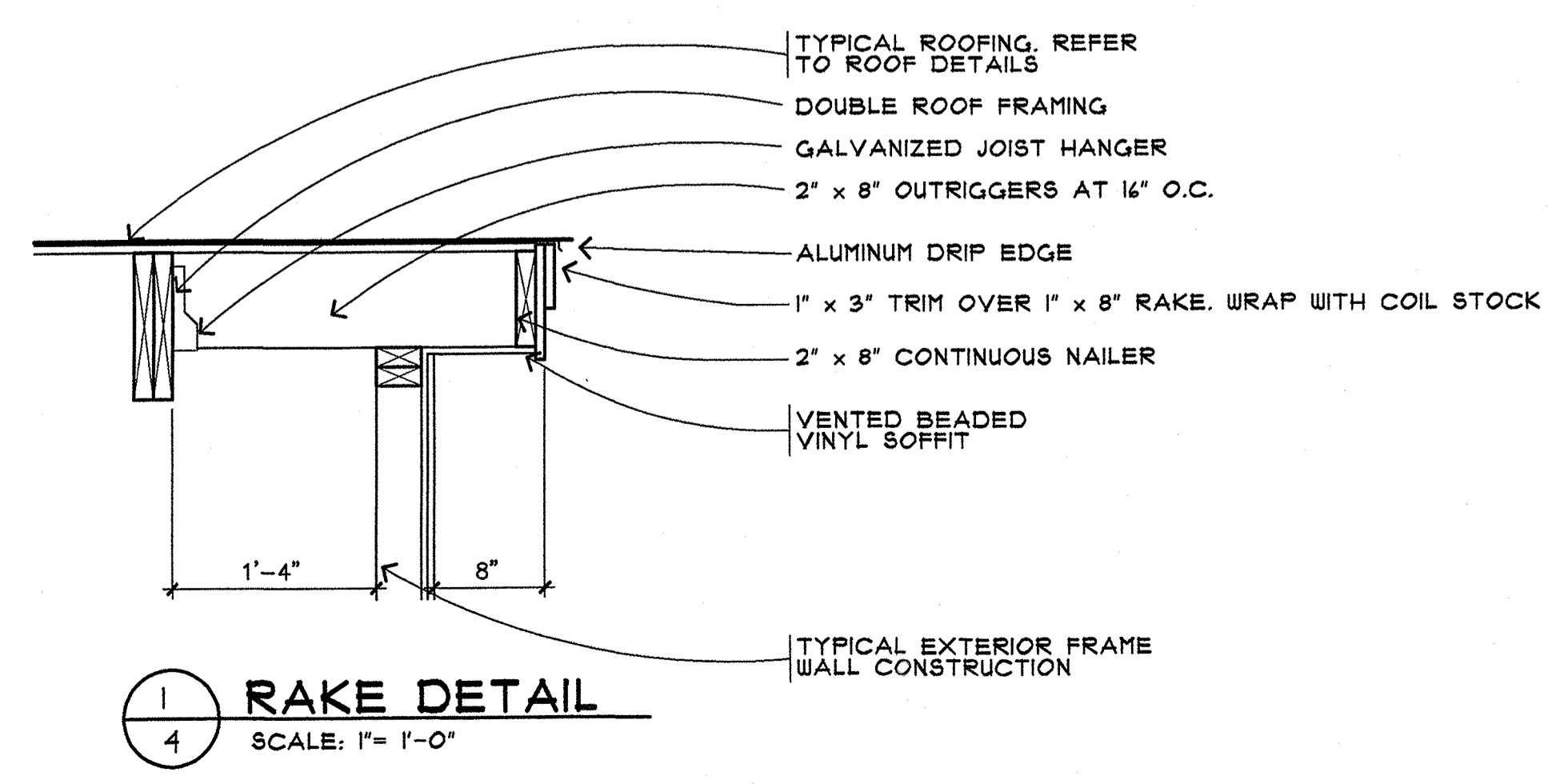
ELEVATION NOTES

1. REMOVE EXISTING ROOFING IN ENTIRETY. FURNISH AND INSTALL NEW ASPHALT SHINGLE ROOFING OVER 15# FELT (ICE AND WATER BARRIER AT EAVES AND RAKES).
2. RIDGE VENT WITH CAP SHINGLES OVER.
3. RAKE PER DETAIL 1/4.
4. ALUMINUM GUTTER ON FASCIA WRAPPED WITH COIL STOCK. REFER TO THE REFERENCED DETAILS FOR ADDITIONAL INFORMATION.
5. ALUMINUM DOWNSPOUT.
6. STRIP SIDING FROM ALL EXTERIOR WALL SURFACES. REMOVAL SHALL INCLUDE TRIM, ETC. FURNISH AND INSTALL NEW SIDING AS SELECTED OVER 1/2" THK. RIGID INSULATION OVER TYVEK® BUILDING WRAP. RESTORE ADJACENT AFFECTED CONSTRUCTION AND FINISHES TO REMAIN.
7. ALUMINUM BLIND FLASHING. STEP ALONG ROOF RAKE.
8. 5/4" x 8" SOLID PVC WATER TABLE BOARD.
9. WINDOW UNIT. REFER TO FLOOR PLANS AND GENERAL NOTES.
10. DOOR UNIT. REFER TO FLOOR PLANS AND GENERAL NOTES.
11. APPROXIMATE EXISTING FINISHED GRADE TO REMAIN.
12. FIREPLACE FLUE WITH SPARK ARRESTOR AND RAIN CAP. PROVIDE FLUE WITH FLASHING COLLAR AT ROOF.
13. COLUMN PER THE PLAN AND SCHEDULE. WRAP WITH SOLID PVC SHEET OVER 1/2" CDX PLYWOOD SHEATHING ON WOOD BLOCKING.
14. GUARD AND HANDRAIL PER THE REFERENCED BALCONY DETAIL.
15. THIN STONE VENEER AS SELECTED BY THE OWNER. ALLOW \$15.00/ S.F. FOR PURCHASE OF STONE.
16. SIDING AS SELECTED BY THE OWNER.
17. ASPHALT SHINGLE ROOFING AS SELECTED BY THE OWNER.
18. 1 1/2" DIAMETER PAINTED STEEL PIPE HANDRAIL. WALL MOUNTED.

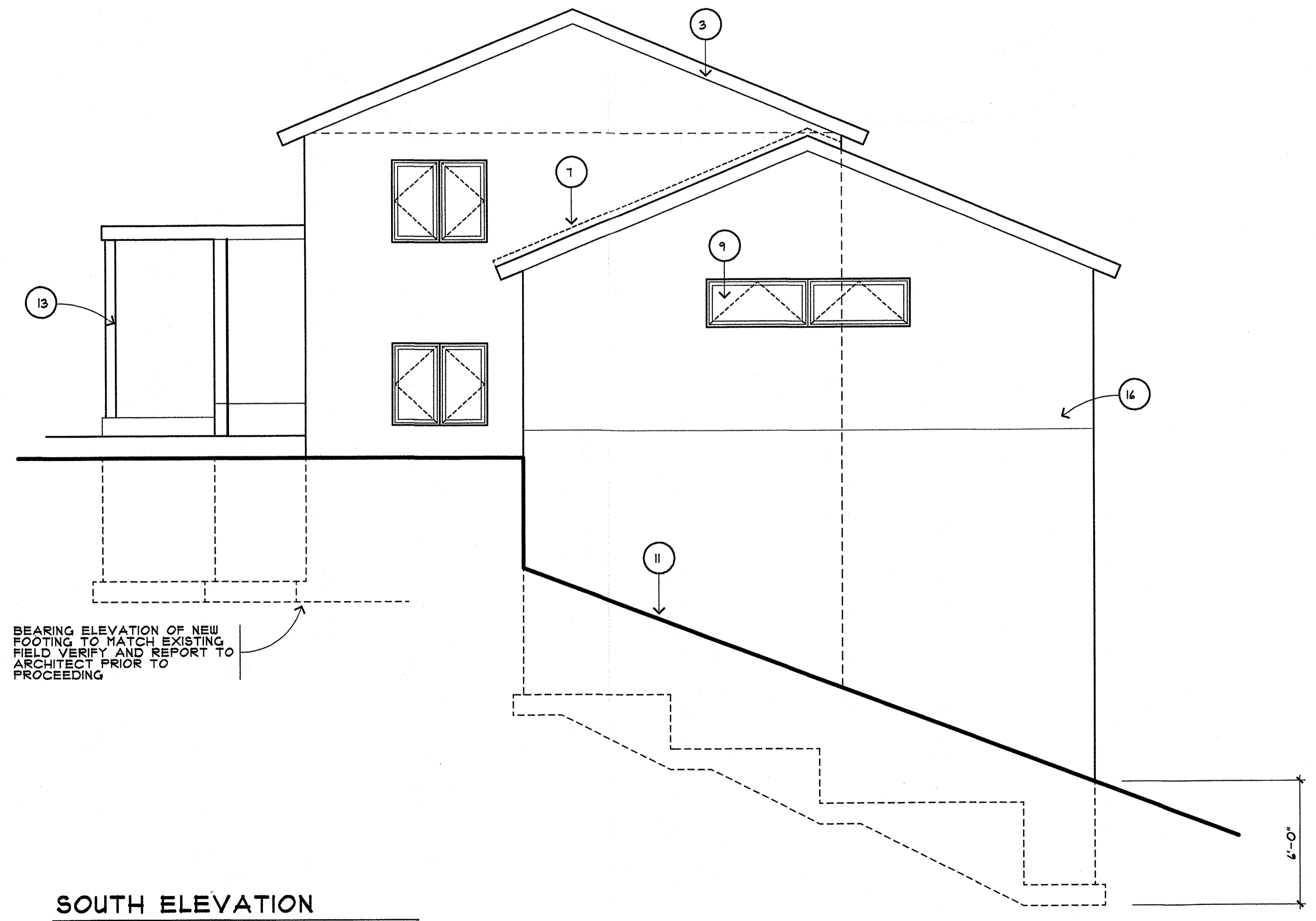


WEST ELEVATION

SCALE: 1/4" = 1'-0"



1/4 RAKE DETAIL
SCALE: 1" = 1'-0"



SOUTH ELEVATION

SCALE: 1/4" = 1'-0"

VALID IF SEALED
 JOSEPH J. BRUNNO ARCHITECT
 29 PASCACK ROAD
 PARK RIDGE, NEW JERSEY 07154
 TELEPHONE/ FACSIMILE 201-901-1118

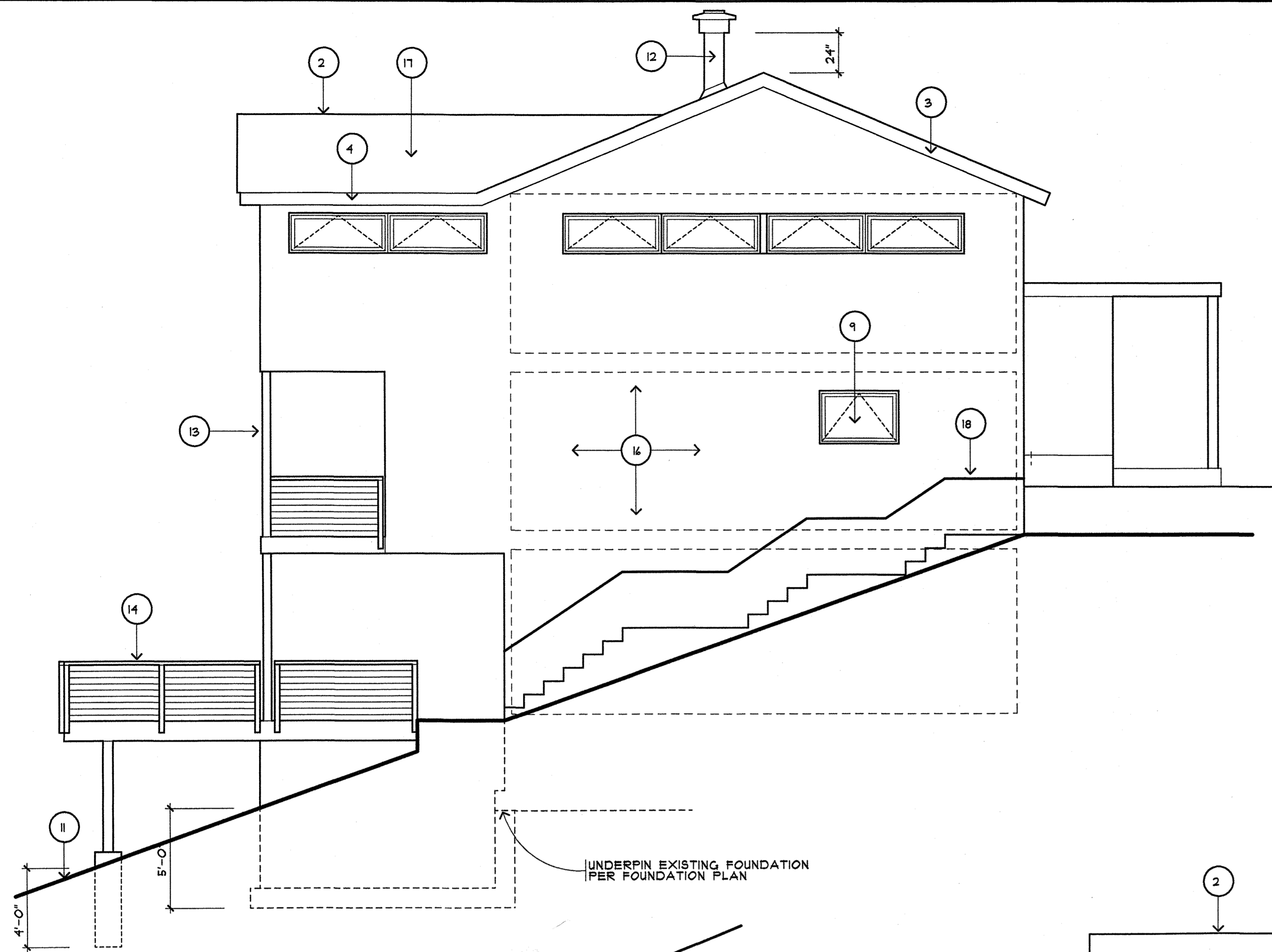
ALTERATIONS TO THE
MAURO RESIDENCE
 1079 ROUTE 9W SOUTH
 NYACK (ORANGETOWN) NEW YORK

DRAWN BY: JJB
CHECKED BY: ME

DATE: 02/10/21

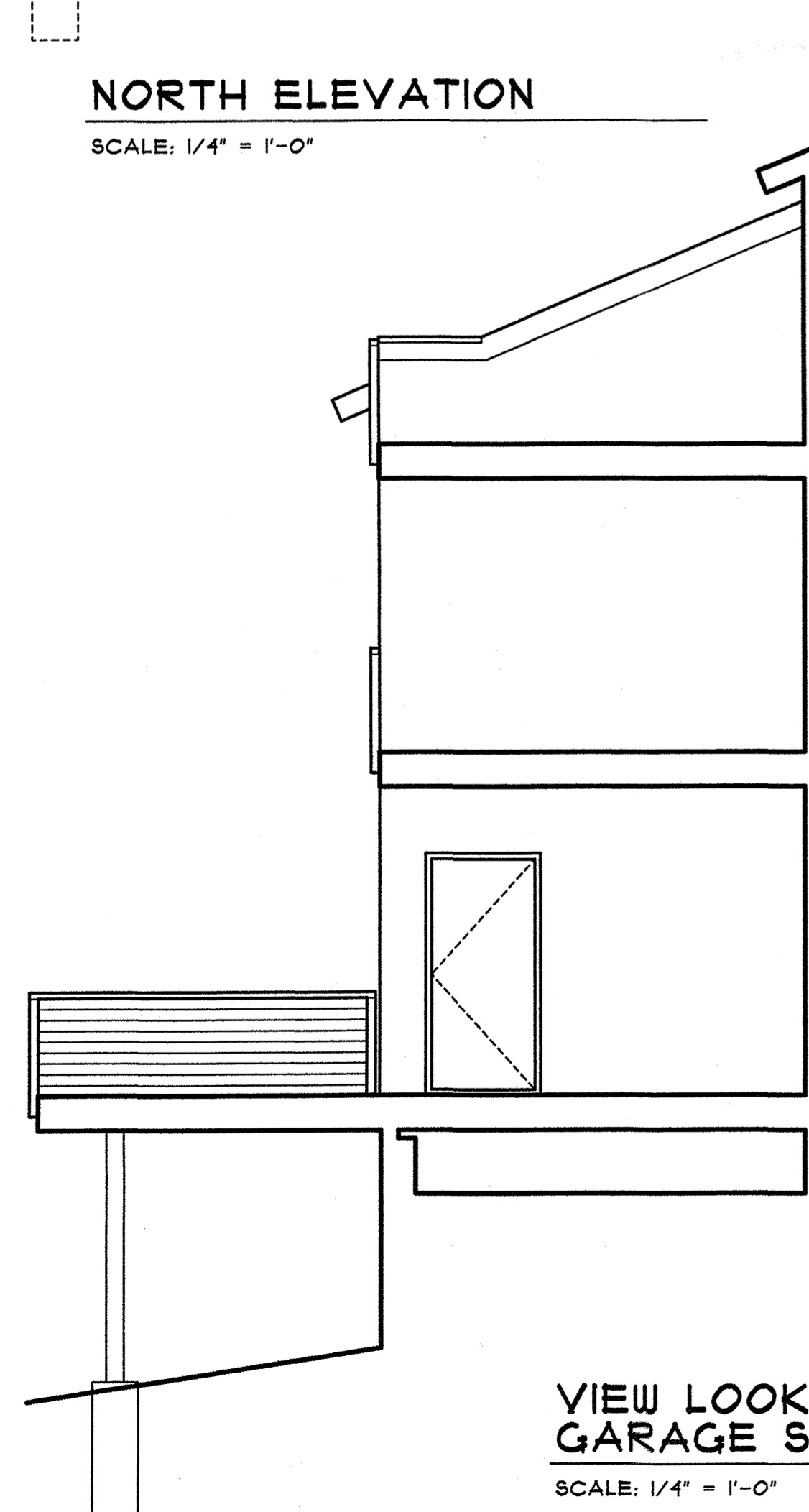
REVISIONS:
01/22/22

SHEET NO:
A5 OF 13



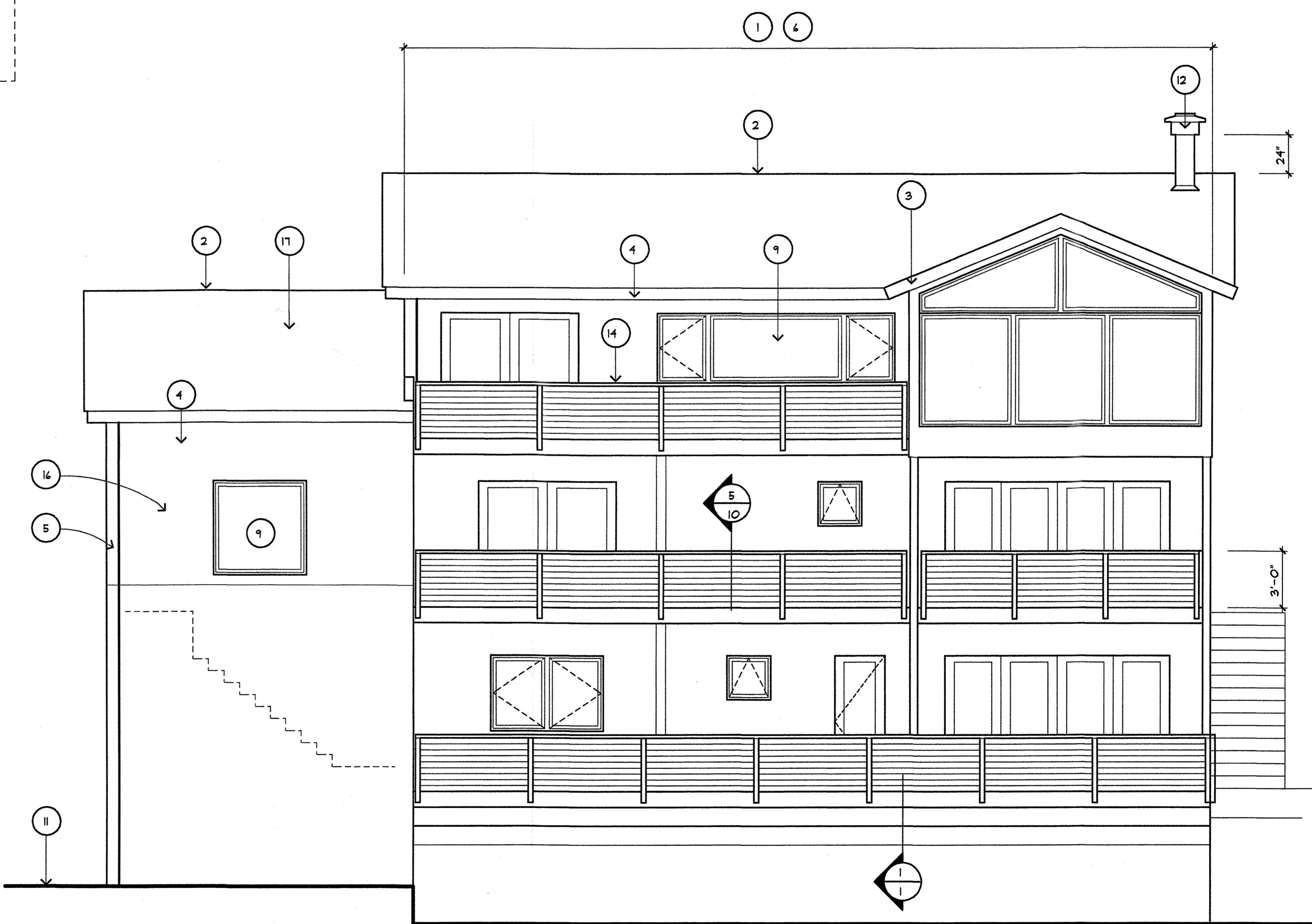
NORTH ELEVATION

SCALE: 1/4" = 1'-0"



VIEW LOOKING SOUTH TOWARDS GARAGE SIDE (NORTH) WALL

SCALE: 1/4" = 1'-0"

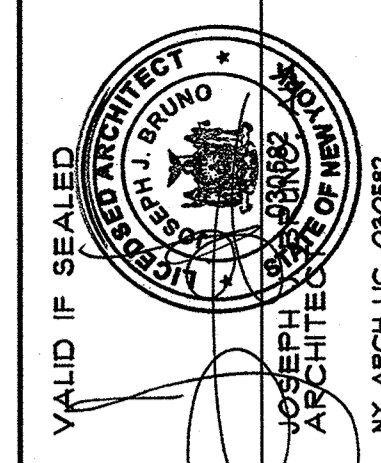


EAST ELEVATION

SCALE: 1/4" = 1'-0"

ELEVATION NOTES

1. REMOVE EXISTING ROOFING IN ENTIRETY. FURNISH AND INSTALL NEW ASPHALT SHINGLE ROOFING OVER 15# FELT (ICE AND WATER BARRIER AT EAVES AND RAKES).
2. RIDGE VENT WITH CAP SHINGLES OVER.
3. RAKE PER DETAIL 1/4.
4. ALUMINUM GUTTER ON FASCIA WRAPPED WITH COIL STOCK. REFER TO THE REFERENCED DETAILS FOR ADDITIONAL INFORMATION.
5. ALUMINUM DOWNSPOUT.
6. STRIP SIDING FROM ALL EXTERIOR WALL SURFACES. REMOVAL SHALL INCLUDE TRIM, ETC. FURNISH AND INSTALL NEW SIDING AS SELECTED OVER 1/2" THK. RIGID INSULATION OVER "TYVEK" BUILDING WRAP. RESTORE ADJACENT AFFECTED CONSTRUCTION AND FINISHES TO REMAIN.
7. ALUMINUM BLIND FLASHING. STEP ALONG ROOF RAKE.
8. 5/4" x 8" SOLID PVC WATER TABLE BOARD.
9. WINDOW UNIT. REFER TO FLOOR PLANS AND GENERAL NOTES.
10. DOOR UNIT. REFER TO FLOOR PLANS AND GENERAL NOTES.
11. APPROXIMATE EXISTING FINISHED GRADE TO REMAIN.
12. FIREPLACE FLUE WITH SPARK ARRESTOR AND RAIN CAP. PROVIDE FLUE WITH FLASHING COLLAR AT ROOF.
13. COLUMN PER THE PLAN AND SCHEDULE. WRAP WITH SOLID PVC SHEET OVER 1/2" CDX PLYWOOD SHEATHING ON WOOD BLOCKING.
14. GUARD AND HANDRAIL PER THE REFERENCED BALCONY DETAIL.
15. THIN STONE VENEER AS SELECTED BY THE OWNER. ALLOW \$15.00/ S.F. FOR PURCHASE OF STONE.
16. SIDING AS SELECTED BY THE OWNER.
17. ASPHALT SHINGLE ROOFING AS SELECTED BY THE OWNER.
18. 1 1/2" DIAMETER PAINTED STEEL PIPE HANDRAIL. WALL MOUNTED.



VALID IF SEALED
JOSEPH J. BRUNO, AIA
 ARCHITECT

24 PASCACK ROAD
 PARK RIDGE, NEW JERSEY 07654
 TELEPHONE/ FACSIMILE 201-301-1115

ALTERATIONS TO THE
MAURO RESIDENCE
 1079 ROUTE 9W SOUTH
 NYACK (ORANGETOWN) NEW YORK

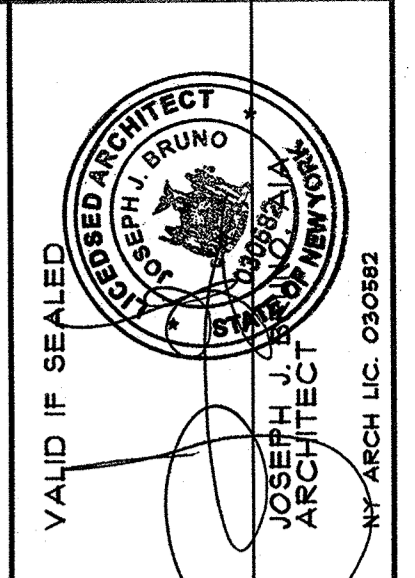
DRAWN BY: JJB
CHECKED BY: ME

DATE: 02/10/21

REVISIONS:
08/09/21 EMAIL
01/22/22

SHEET NO:

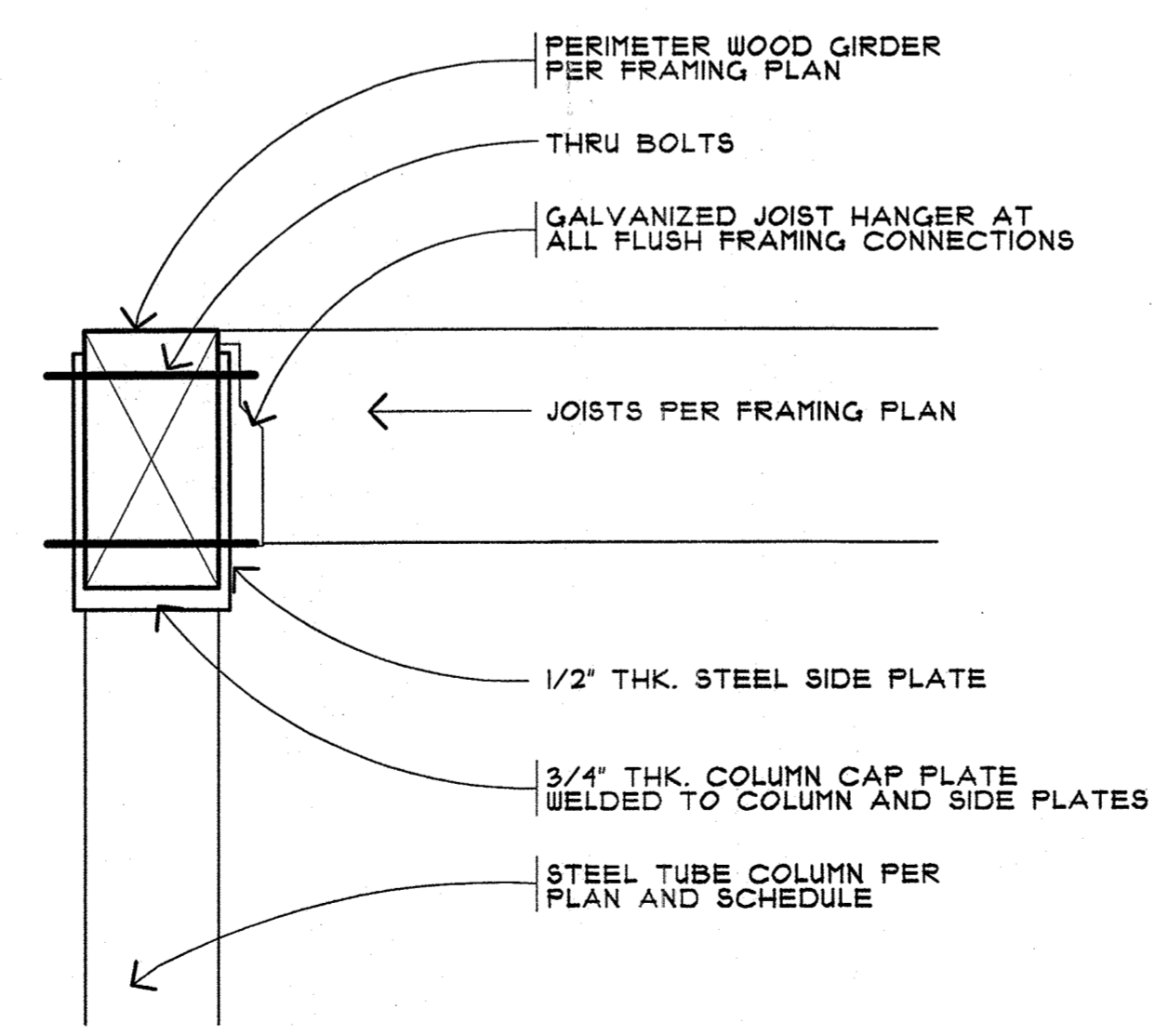
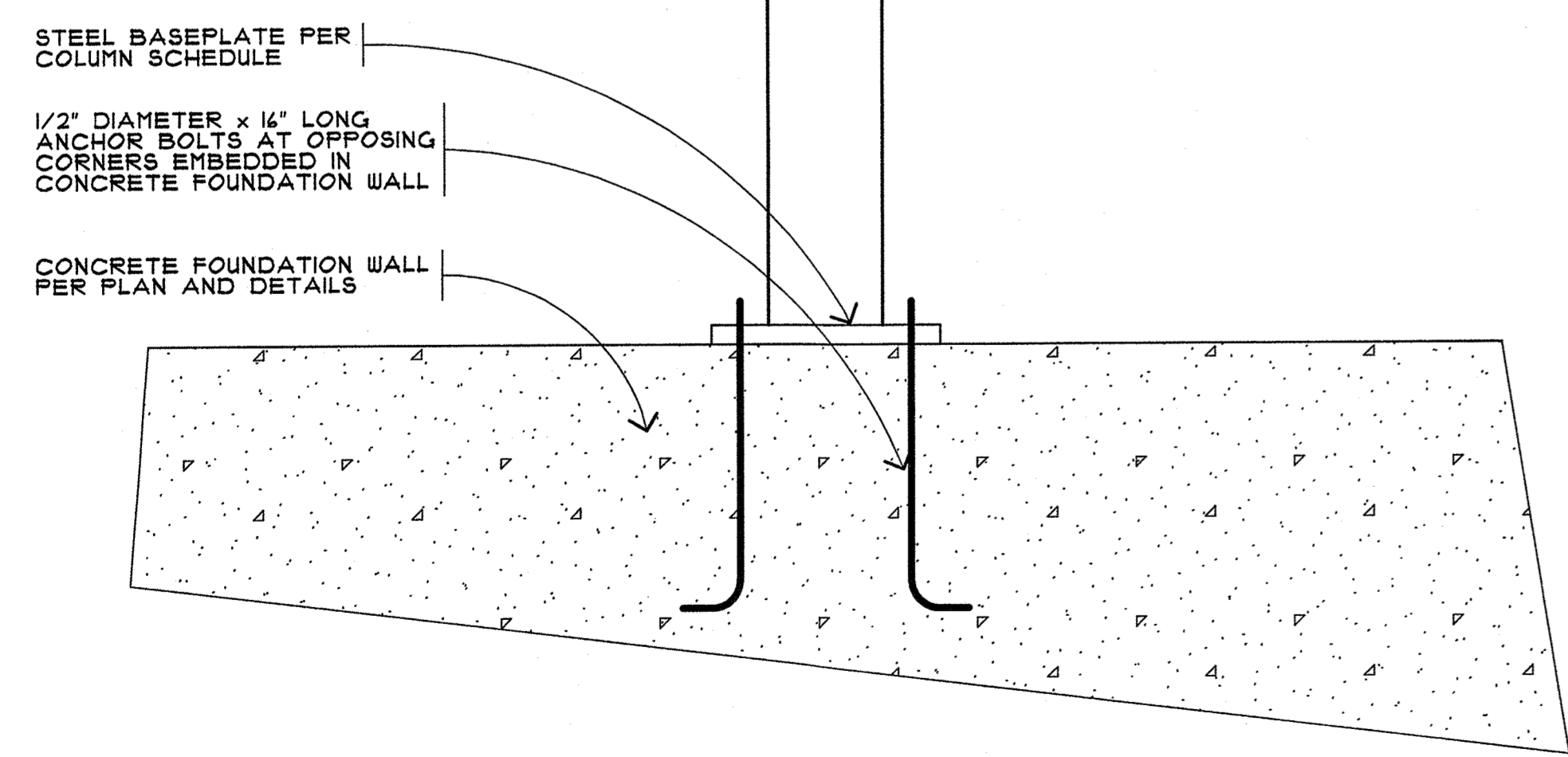
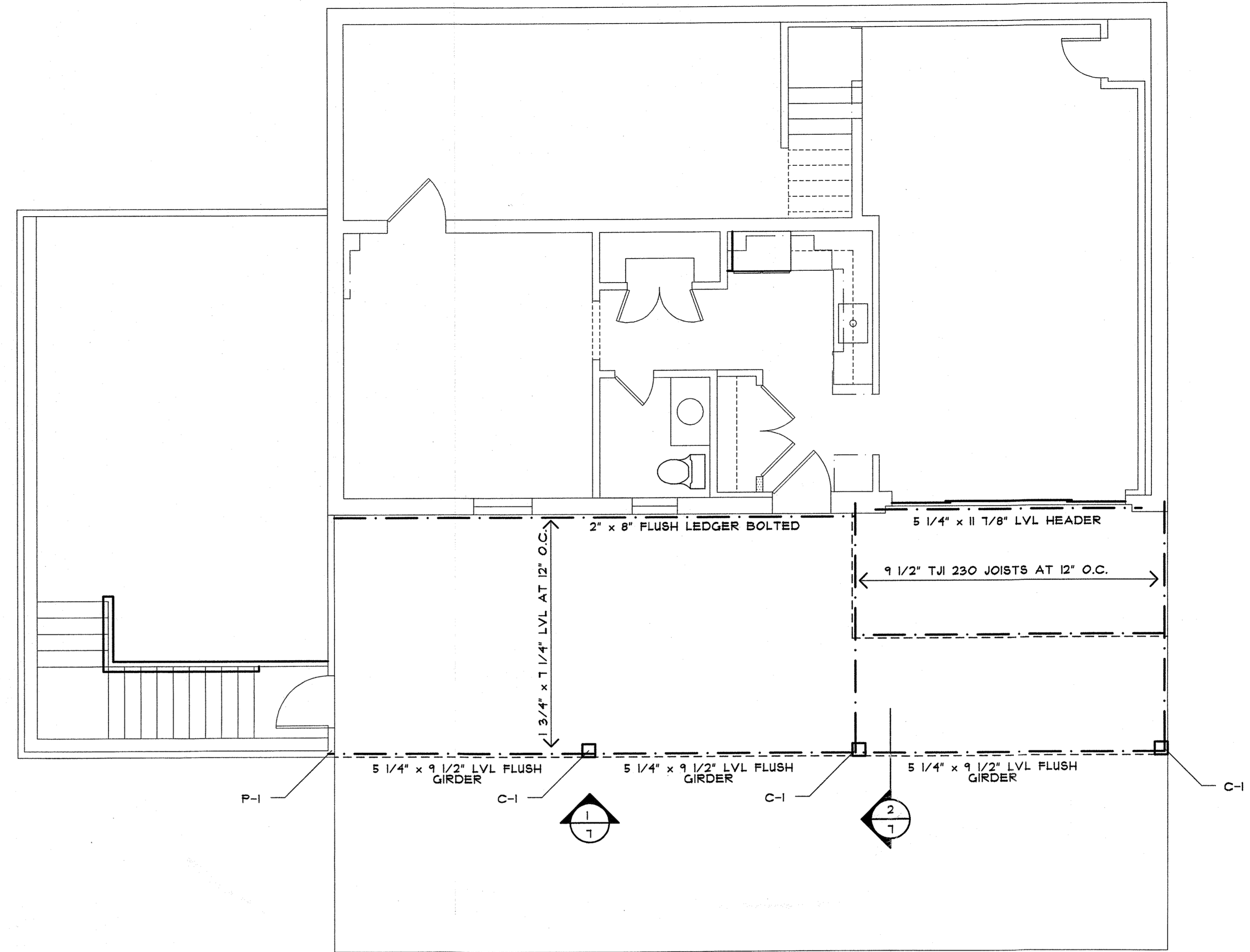
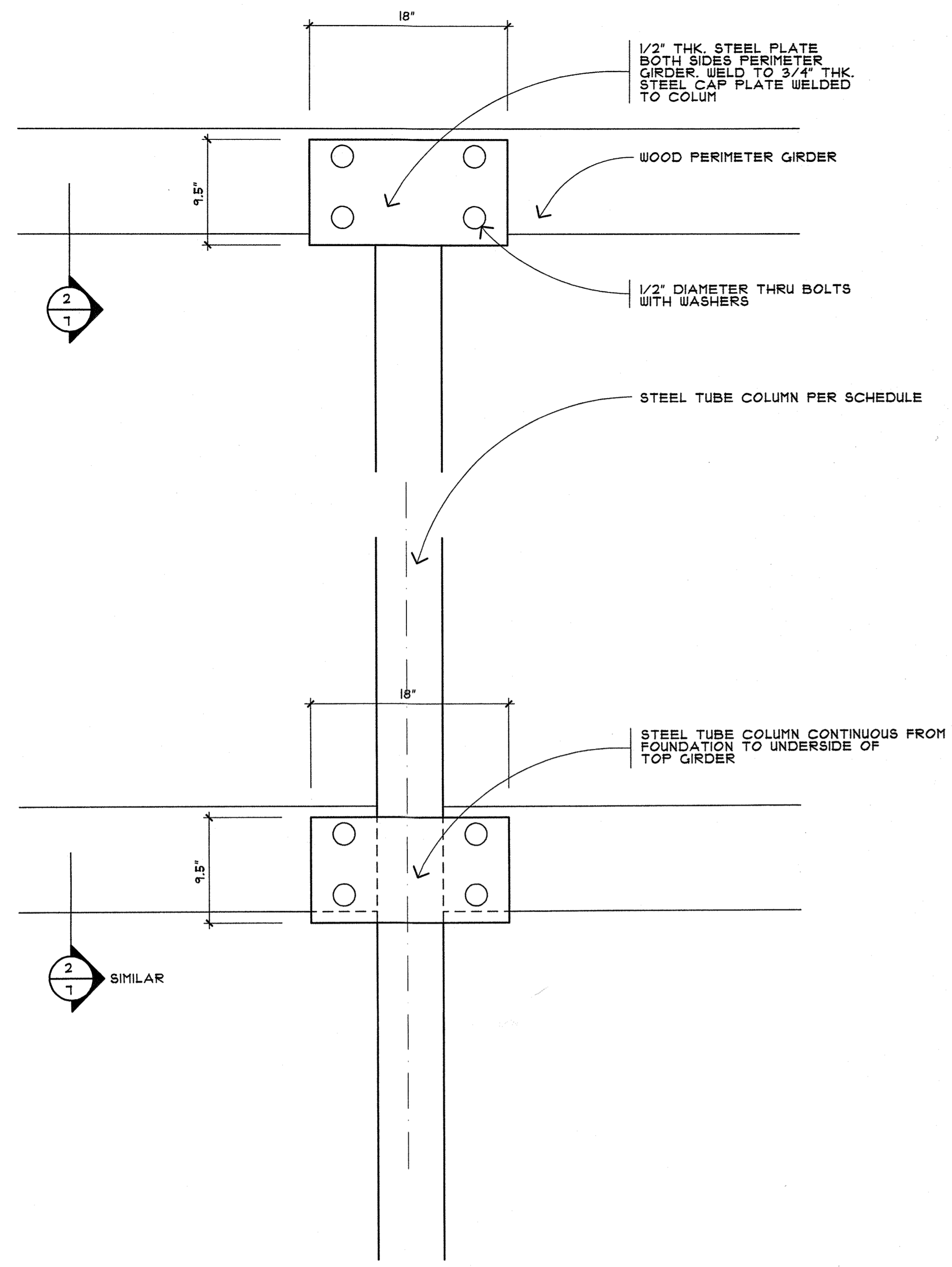
A6 OF 13



VALID IF SEALED

JOSEPH J. BRUNO
ARCHITECT
NEW YORK STATE
NO. 020988

JOSEPH J. BRUNO, AIA
ARCHITECT
24 PASCACK ROAD
PARK RIDGE, NEW JERSEY 07154
TELEPHONE/ FACSIMILE 201-301-1115



LOWER FIRST FLOOR FRAMING PLAN

SCALE: 1/4" = 1'-0"

COLUMN SCHEDULE

C-1 6" x 6" x 1/2" THK. SQUARE STRUCTURAL TUBE COLUMN, 6" x 8" x 1/2" THK. CAP PLATE, 6" x 12" x 3/4" THK. BASE PLATE, CONTINUOUS FROM FOUNDATION TO UNDERSIDE OF UPPER TERRACE FRAMING, 2 COAT EPOXY PAINT OVER PRIMER.

POST SCHEDULE

P-1 5 1/4" x 5 1/4" LVL POST

HEADER SCHEDULE

ALL HEADERS SHALL BE AS FOLLOWS UNLESS NOTED OTHERWISE:
 (2) 2" x 10" (2" x 4" STUD WALLS.
 (3) 2" x 10" (2" x 6" STUD WALLS.

1
1
COLUMN ELEVATION DETAIL
SCALE: 1/2" = 1'-0"

2
1
SECTION THRU PERIMETER GIRDER at COLUMN
SCALE: 1/2" = 1'-0"

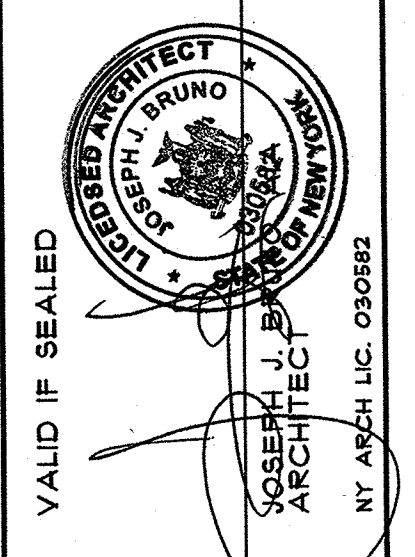
ALTERATIONS TO THE
MAURO RESIDENCE
1079 ROUTE 9W SOUTH
NYACK (ORANGETOWN) NEW YORK

DRAWN BY: JJB
CHECKED BY: ME

DATE: 02/10/21

REVISIONS:

SHEET NO:
A7 OF 13



VALID IF SEALED

JOSEPH J. BRUNO, AIA
ARCHITECT

21 PASCACK ROAD
PARK RIDGE, NEW JERSEY 07656
TELEPHONE/ FACSIMILE 201-907-1115

ALTERATIONS TO THE

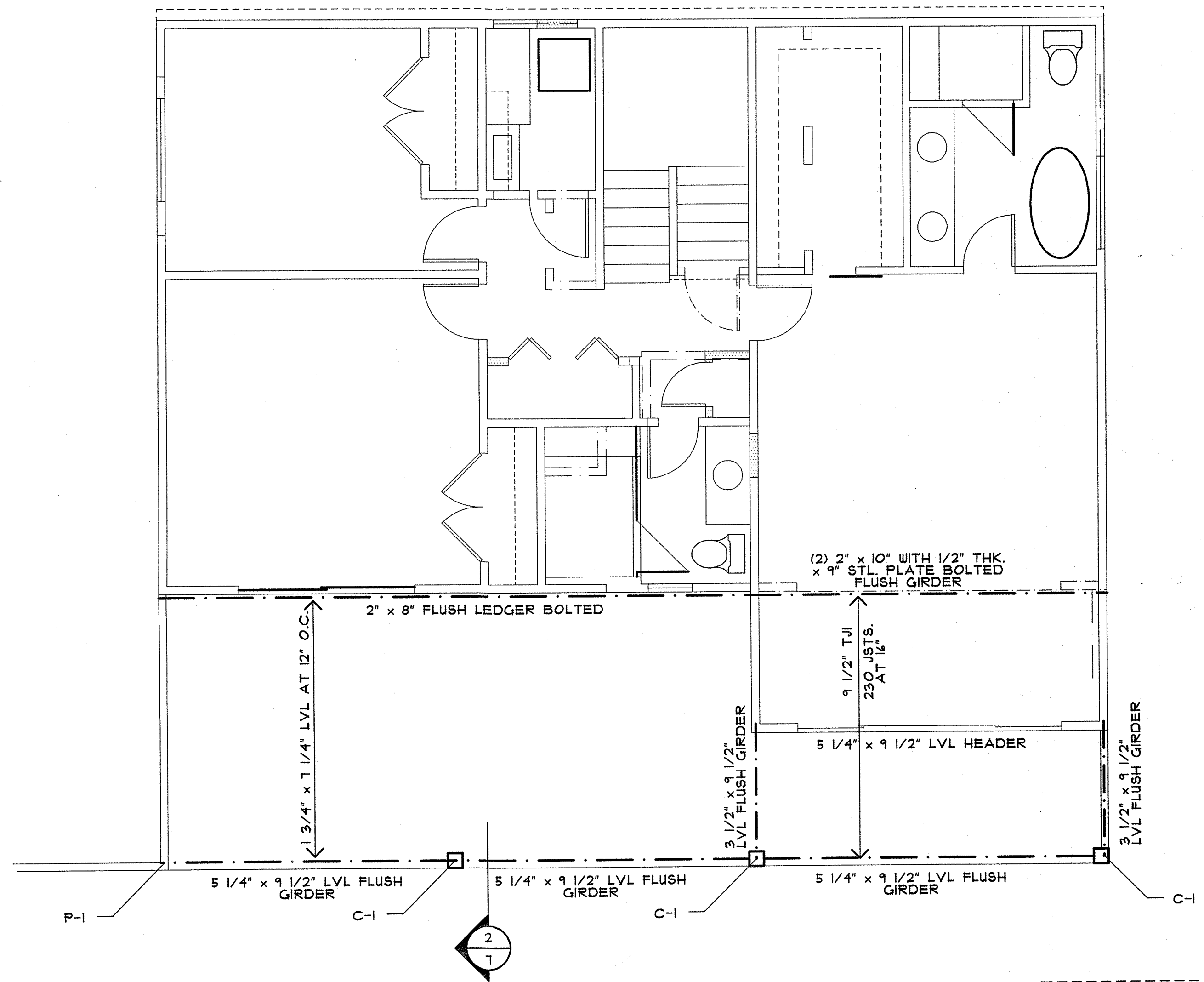
MAURO RESIDENCE
1079 ROUTE 9W SOUTH
NYACK (ORANGETOWN) NEW YORK

DRAWN BY: JJB
CHECKED BY: ME

DATE: 02/10/21

REVISIONS:

SHEET NO:
A8 of 13

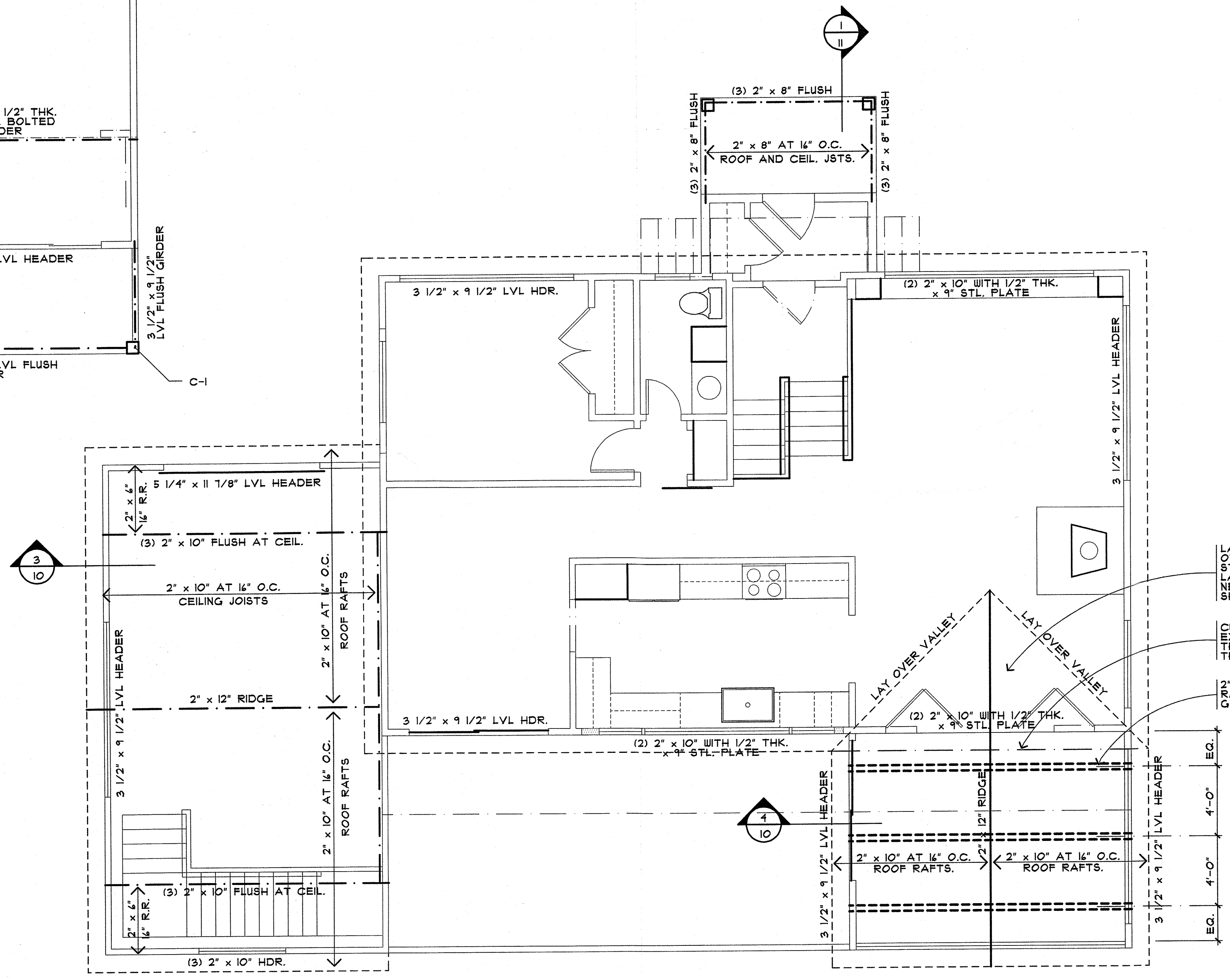


MAIN FLOOR FRAMING PLAN

SCALE: 1/4" = 1'-0"

HEADER SCHEDULE

ALL HEADERS SHALL BE AS FOLLOWS UNLESS NOTED OTHERWISE:
 (2) 2" x 10" (2" x 4" STUD WALLS.
 (3) 2" x 10" (2" x 4" STUD WALLS.



ROOF FRAMING PLAN

SCALE: 1/4" = 1'-0"

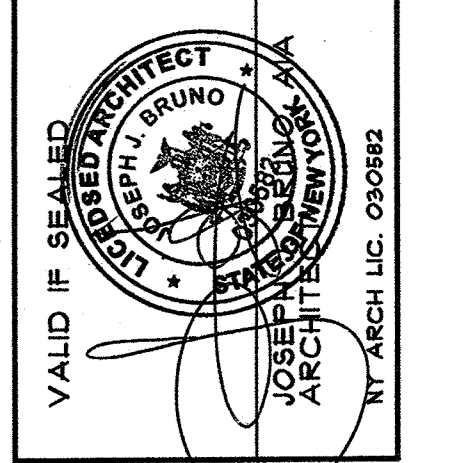
HEADER SCHEDULE

ALL HEADERS SHALL BE AS FOLLOWS UNLESS NOTED OTHERWISE:
 (2) 2" x 10" (2" x 4" STUD WALLS.
 (3) 2" x 10" (2" x 4" STUD WALLS.

LAY NEW ROOF FRAMING OVER EXISTING ROOF STRUCTURE. PROVIDE 2" x 12" LAID FLAT FOR BEARING OF NEW RAFTERS. REMOVE EXISTING SHINGLE ROOFING PRIOR

CUT BACK AND REMOVE EXISTING ROOF OVERHANG THIS AREA TO ACCOMMODATE THE NEW WORK

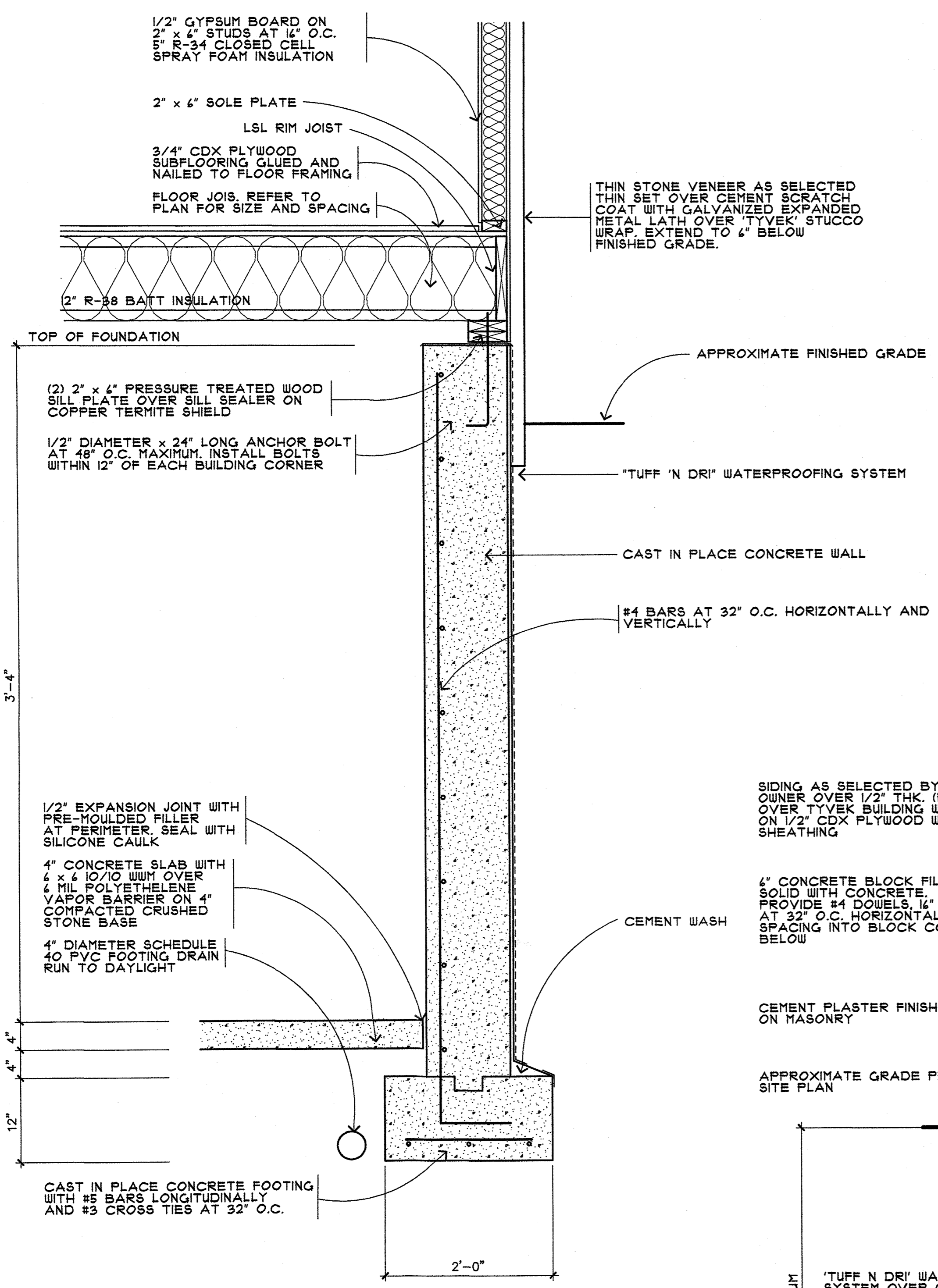
2" x 8" BOTH SIDES OF ROOF RAFTERS. WRAP WITH 1/2" GYPSUM BOARD



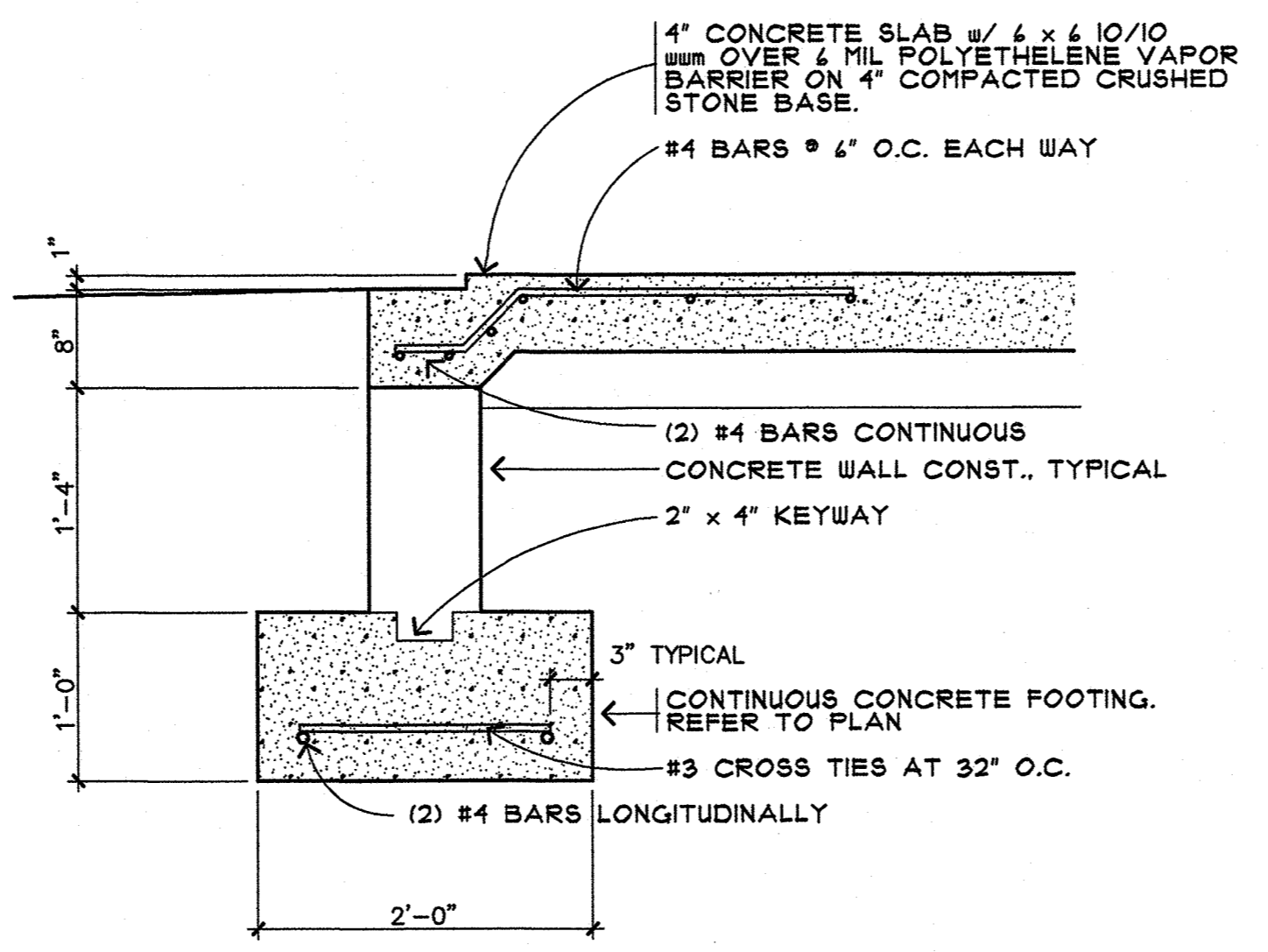
JOSEPH J. BRUNNO, AIA
 ARCHITECT
 24 PASCACK ROAD
 PARK RIDGE, NEW JERSEY 07654
 TELEPHONE/ FACSIMILE 201-301-1115

ALTERATIONS TO THE
MAURO RESIDENCE
 1079 ROUTE 9W SOUTH
 NYACK (ORANGETOWN) NEW YORK

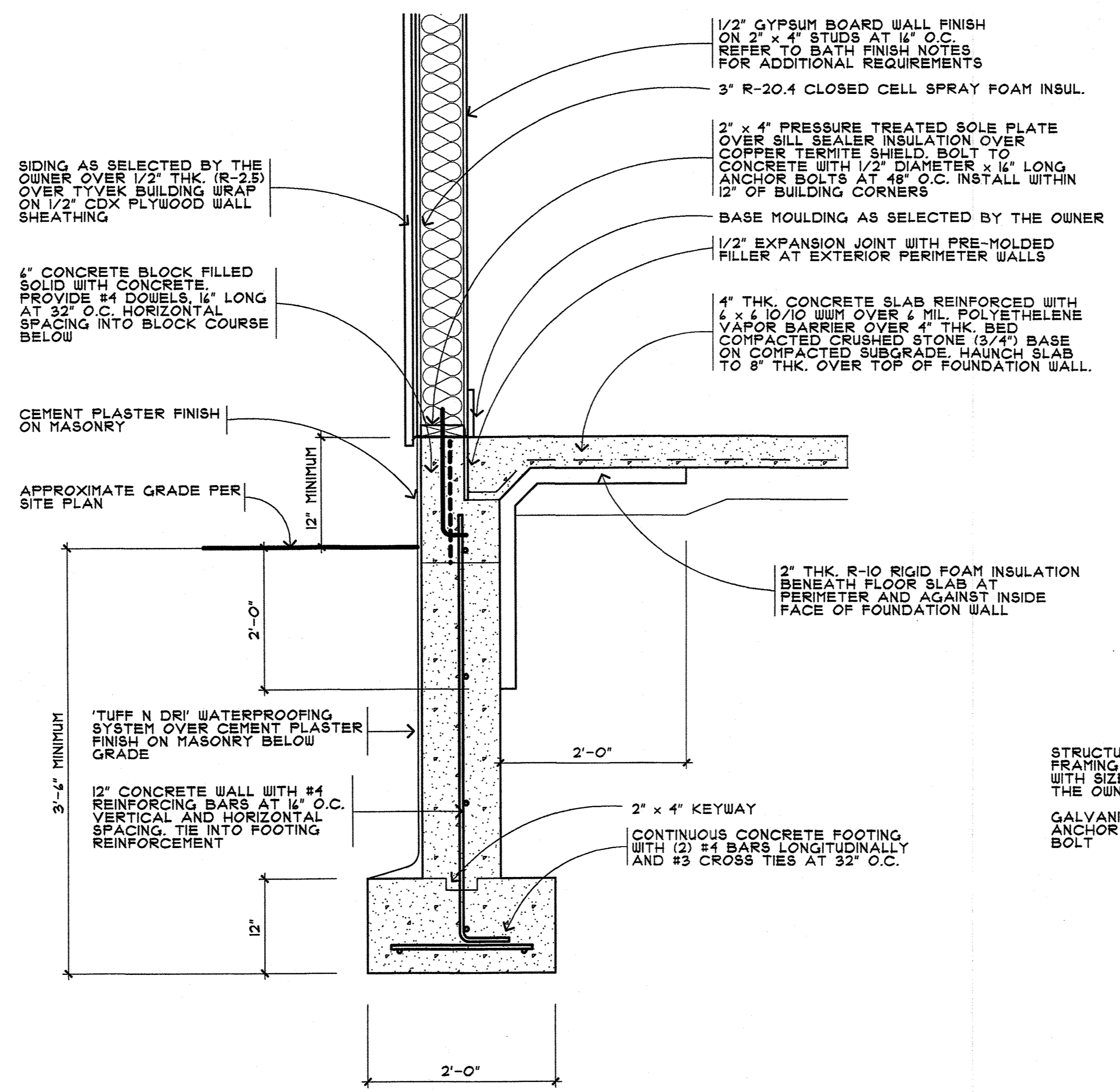
DRAWN BY: JJB
 CHECKED BY: ME
 DATE: 02/10/21
 REVISIONS:
 SHEET NO:
A9 OF 13



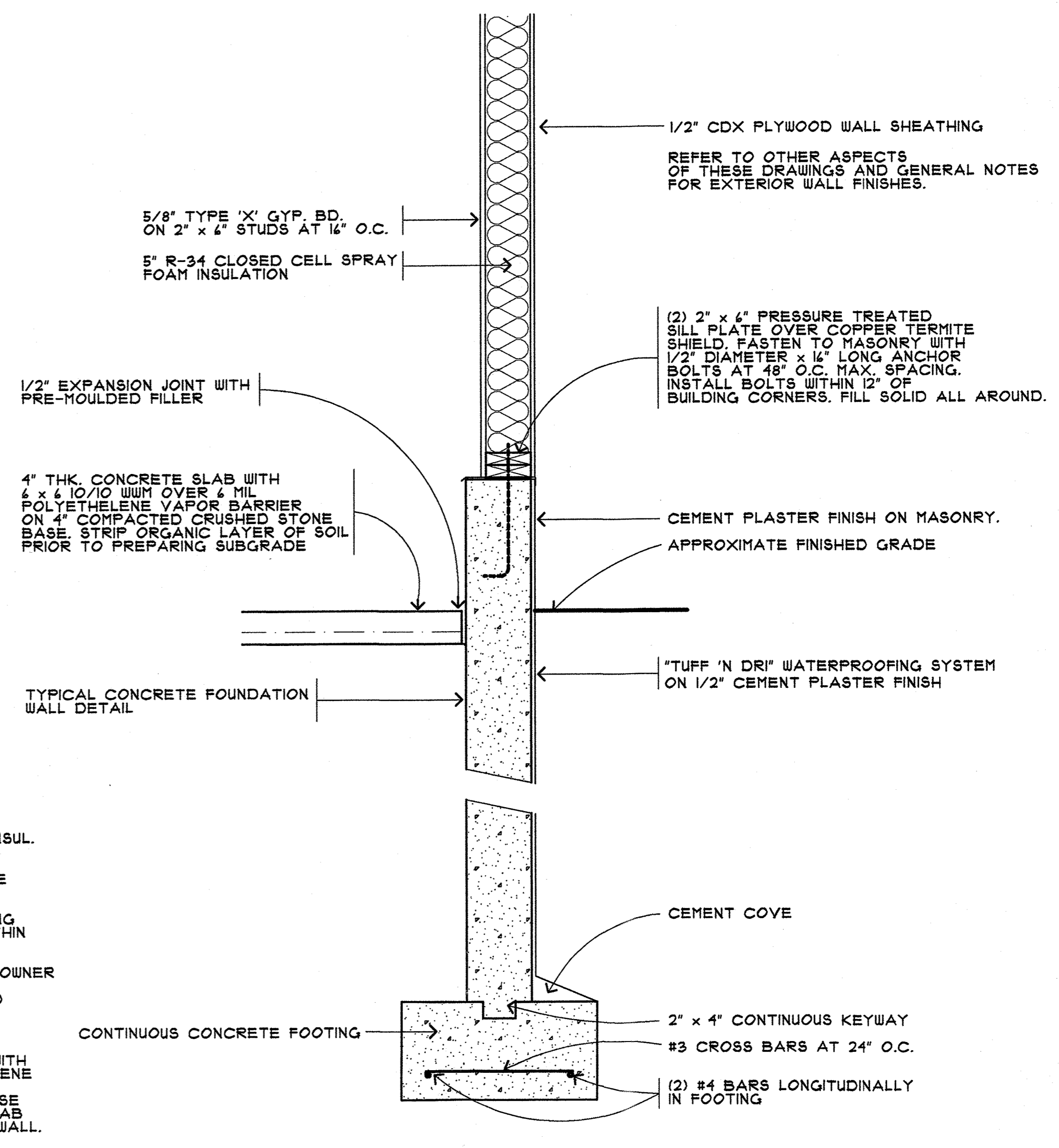
1 WALL SECTION
SCALE: 1" = 1'-0"



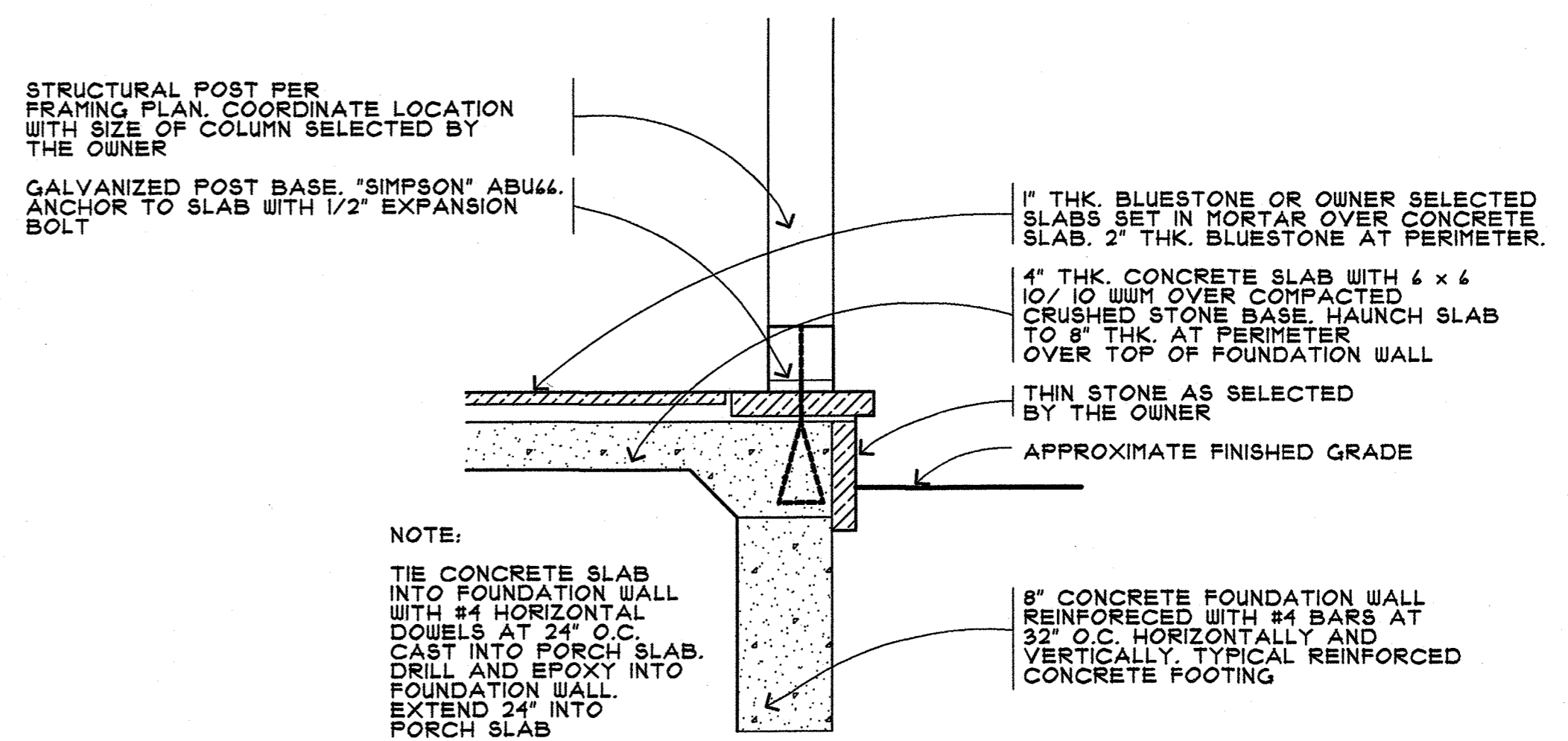
2 SLAB DETAIL OVERHEAD DOOR
SCALE: 1" = 1'-0"



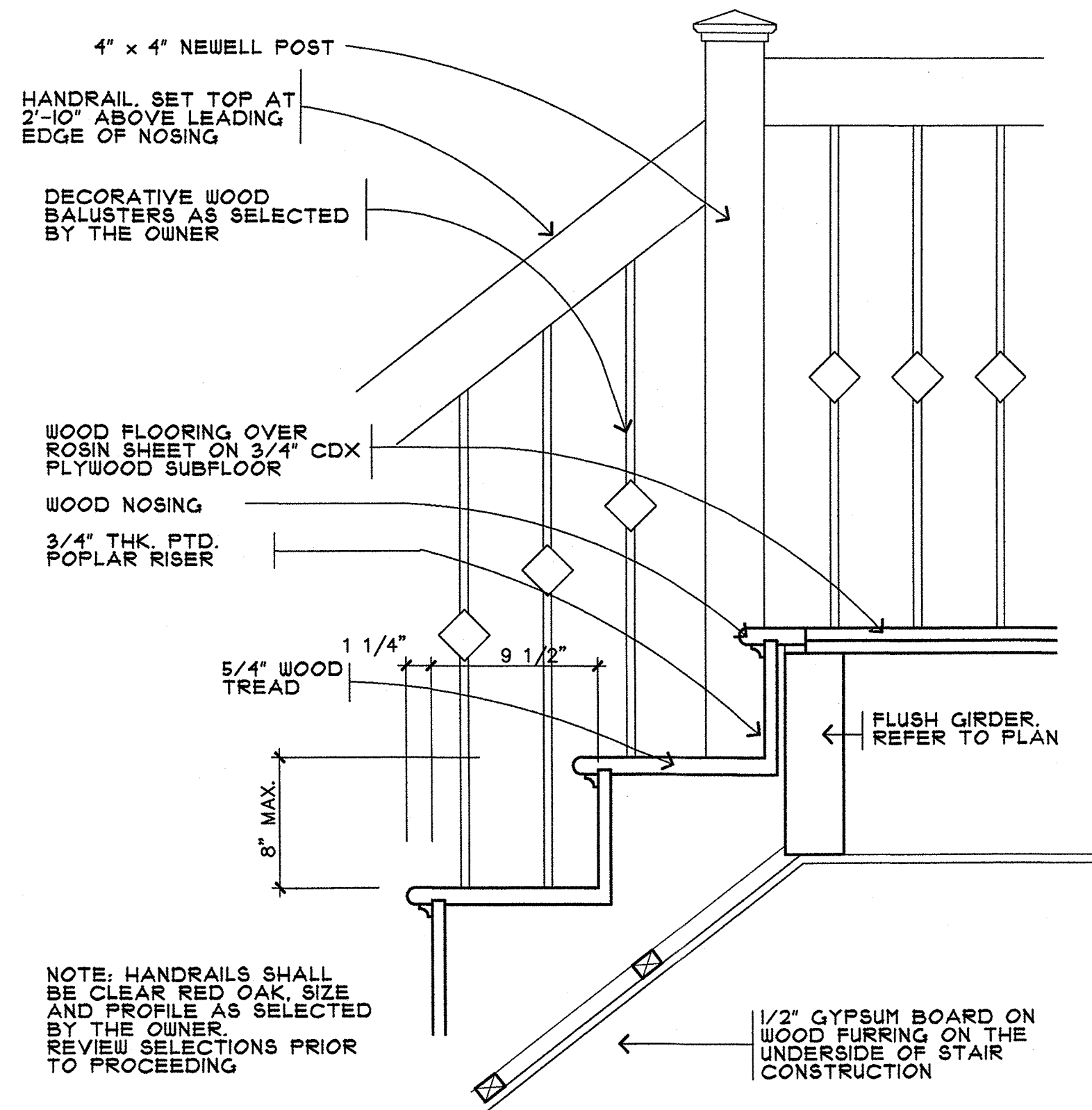
3 PERIMETER WALL SECTION at FOUNDATION
SCALE: 1" = 1'-0"



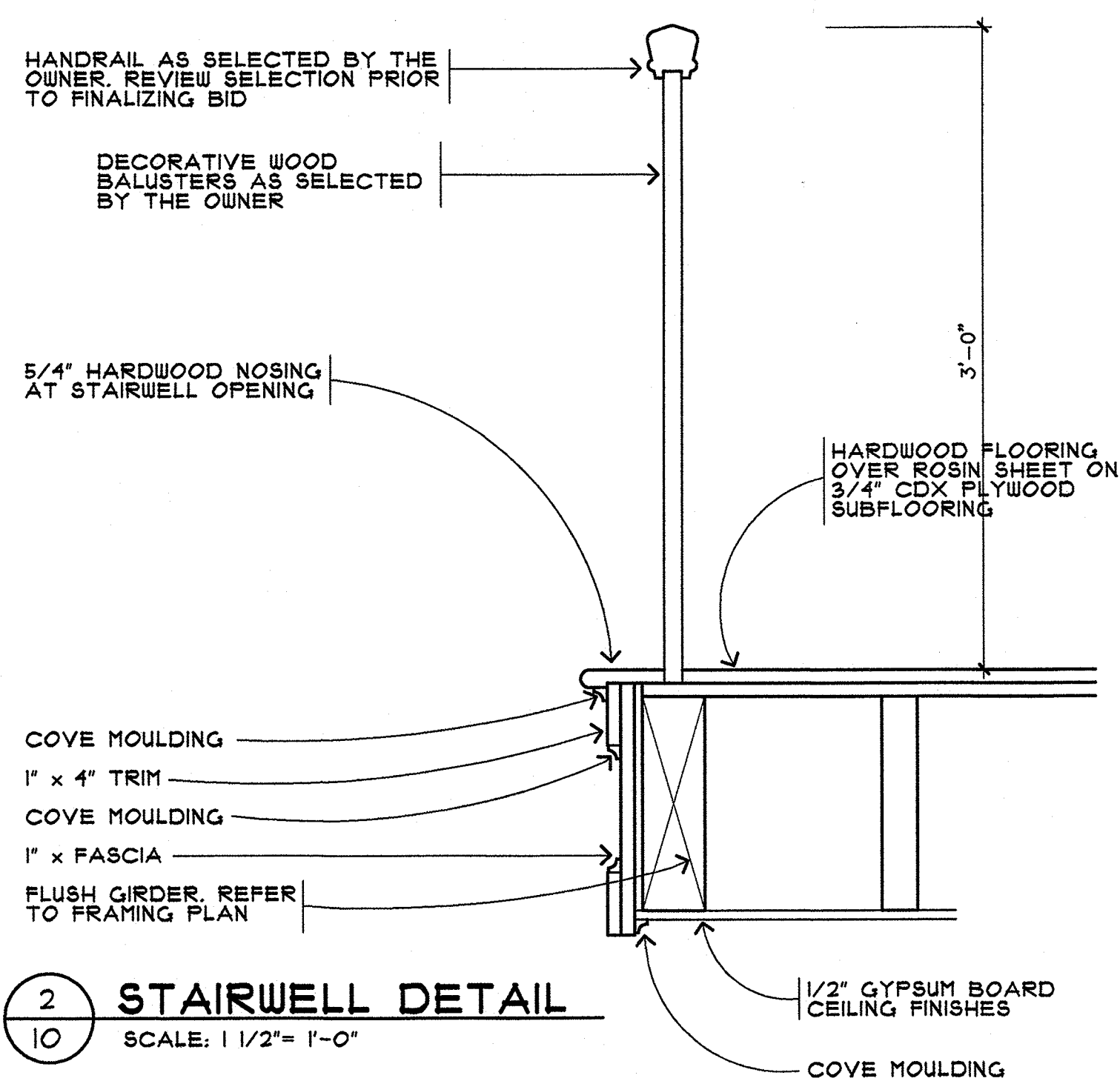
4 GARAGE FOUNDATION WALL DETAIL
SCALE: 1" = 1'-0"



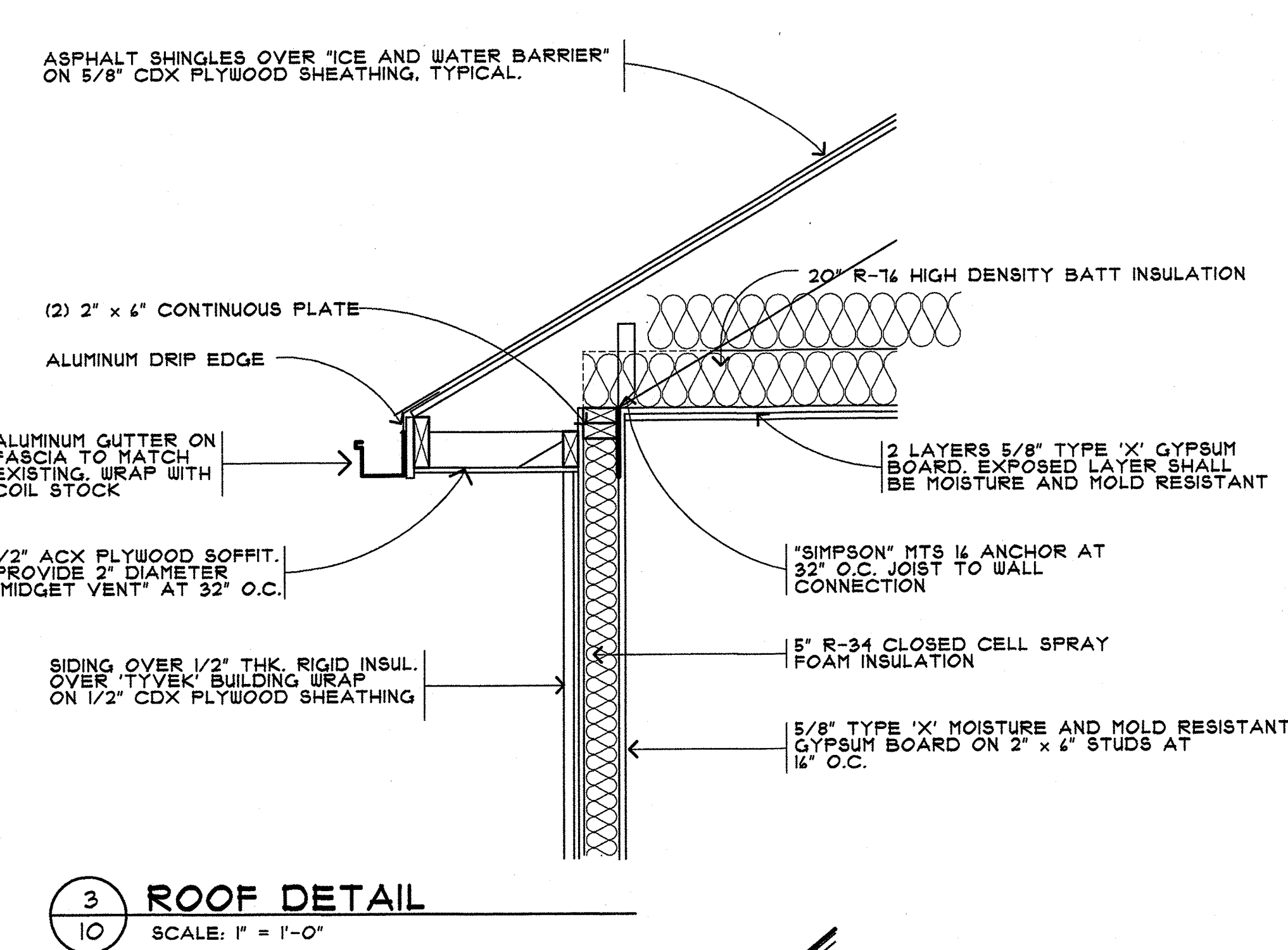
5 PORCH FLOOR DETAIL
SCALE: 1" = 1'-0"



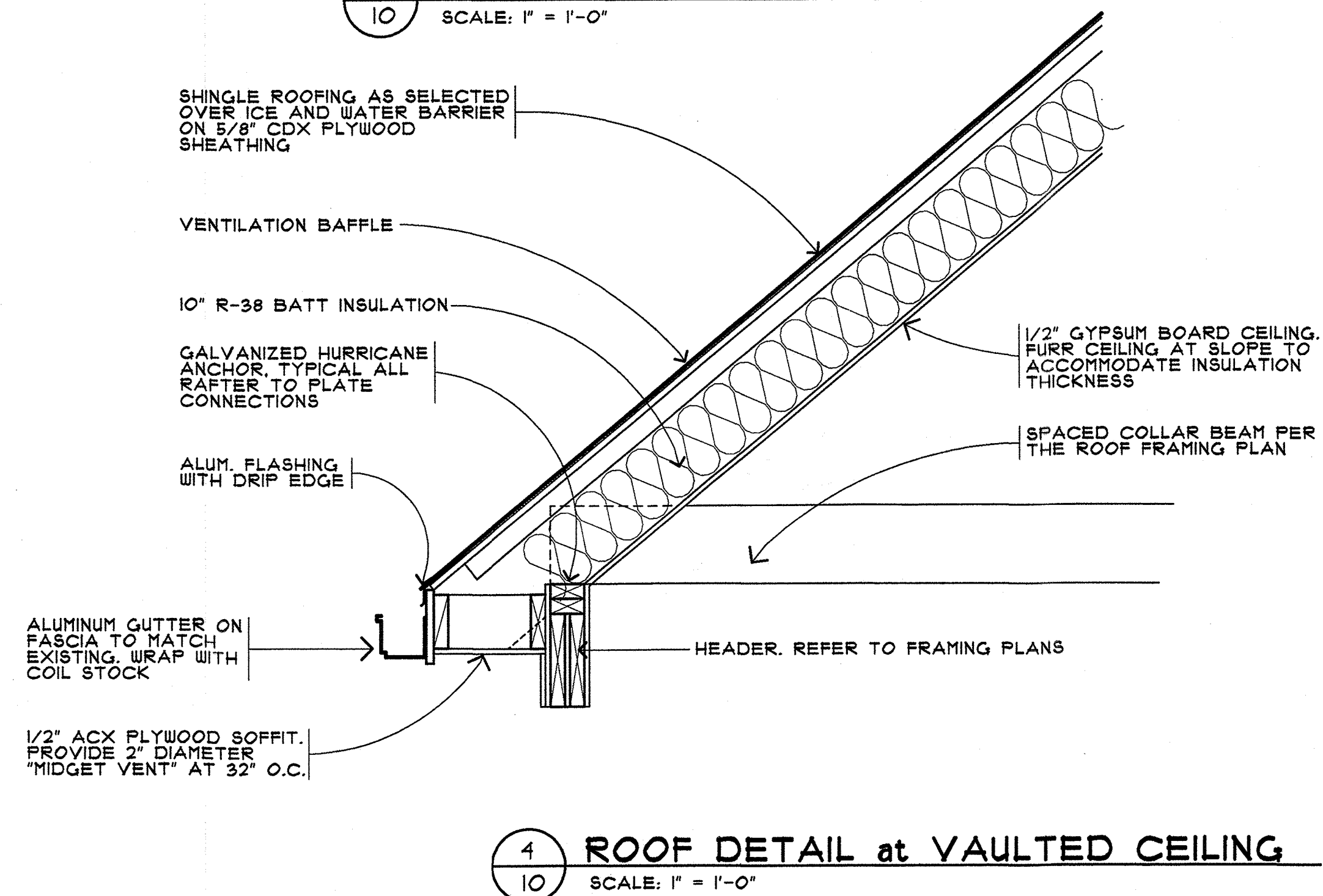
1 STAIR DETAIL
SCALE: 1 1/2" = 1'-0"



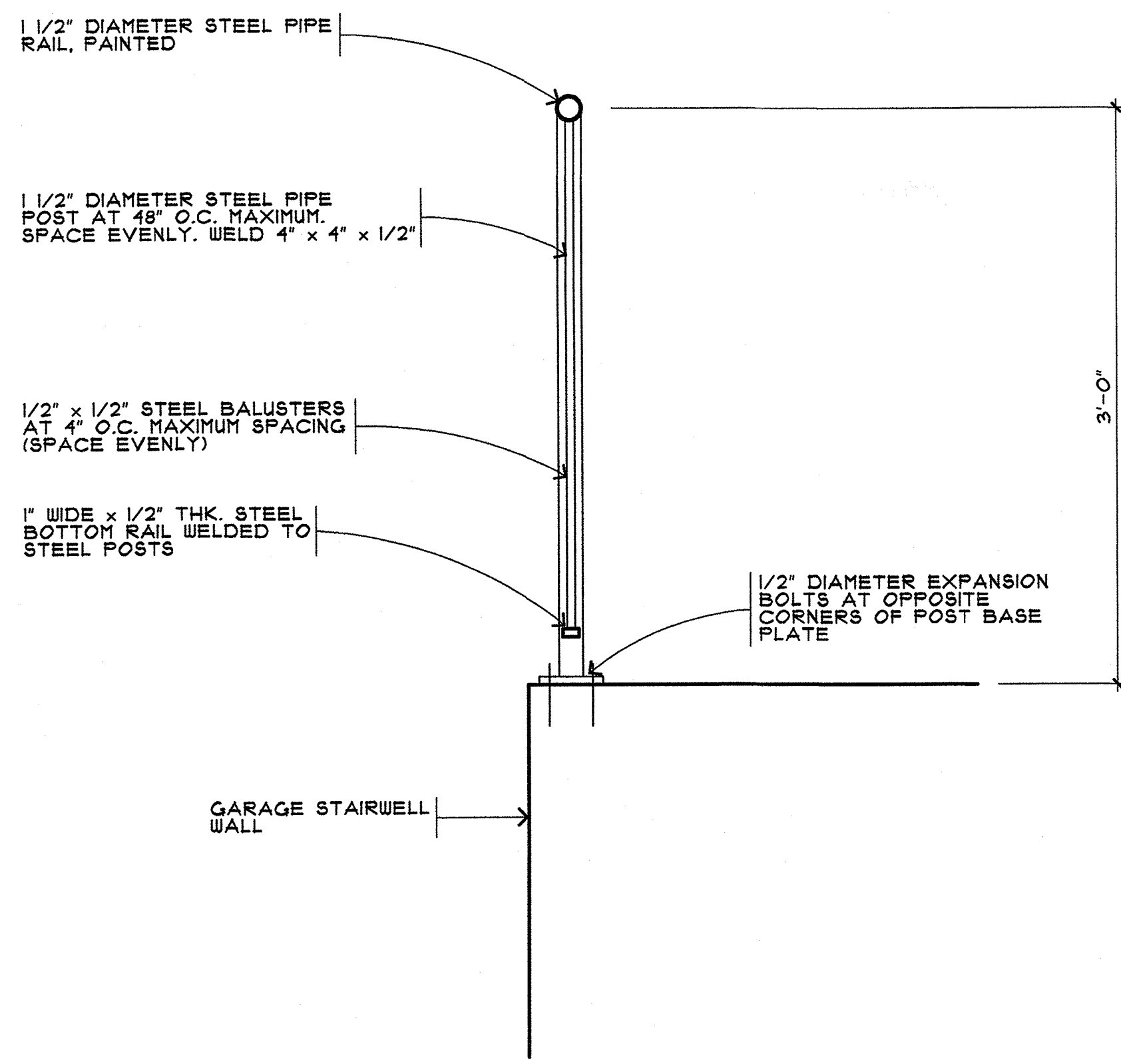
2 STAIRWELL DETAIL
SCALE: 1 1/2" = 1'-0"



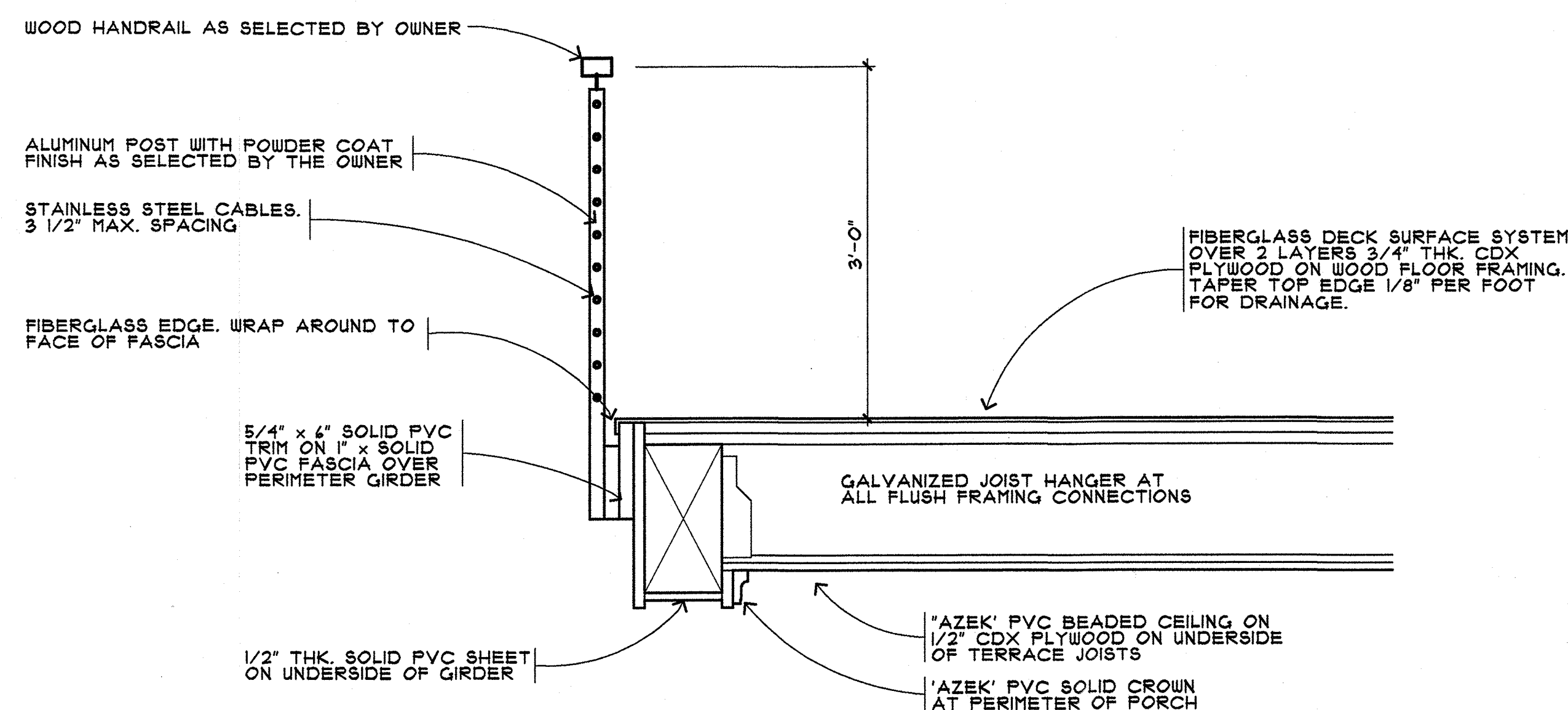
3 ROOF DETAIL
SCALE: 1" = 1'-0"



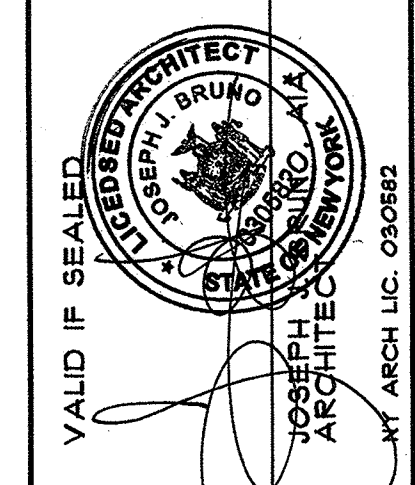
4 ROOF DETAIL at VAULTED CEILING
SCALE: 1" = 1'-0"



6 GUARD DETAIL at GARAGE STAIRWELL
SCALE: 1 1/2" = 1'-0"



5 BALCONY EDGE DETAIL
SCALE: 1 1/2" = 1'-0"



VALID IF SEALED
JOSEPH J. BRUNNO ARCHITECT
29 PASCACK ROAD
PARK RIDGE, NEW JERSEY 07654
TELEPHONE/ FACSIMILE 201-301-1115

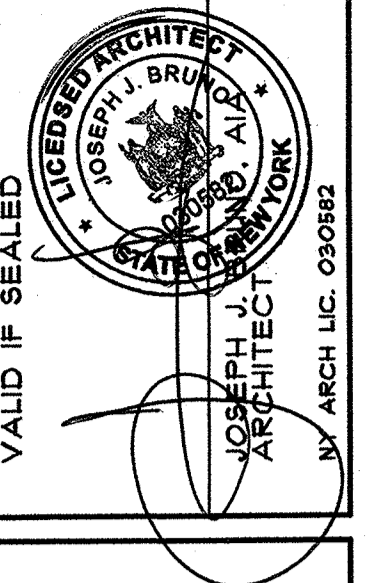
ALTERATIONS TO THE
MAURO RESIDENCE
1079 ROUTE 9W SOUTH
NYACK (ORANGETOWN) NEW YORK

DRAWN BY: JJB
CHECKED BY: ME

DATE: 02/10/21

REVISIONS:
01/22/22

SHEET NO:
A10 of 13



JOSEPH J. BRUNO, AIA
ARCHITECT

24 PASCACK ROAD
PARK RIDGE, NEW JERSEY 07654
TELEPHONE / FACSIMILE 201-307-1115

ALTERATIONS TO THE

MAURO RESIDENCE

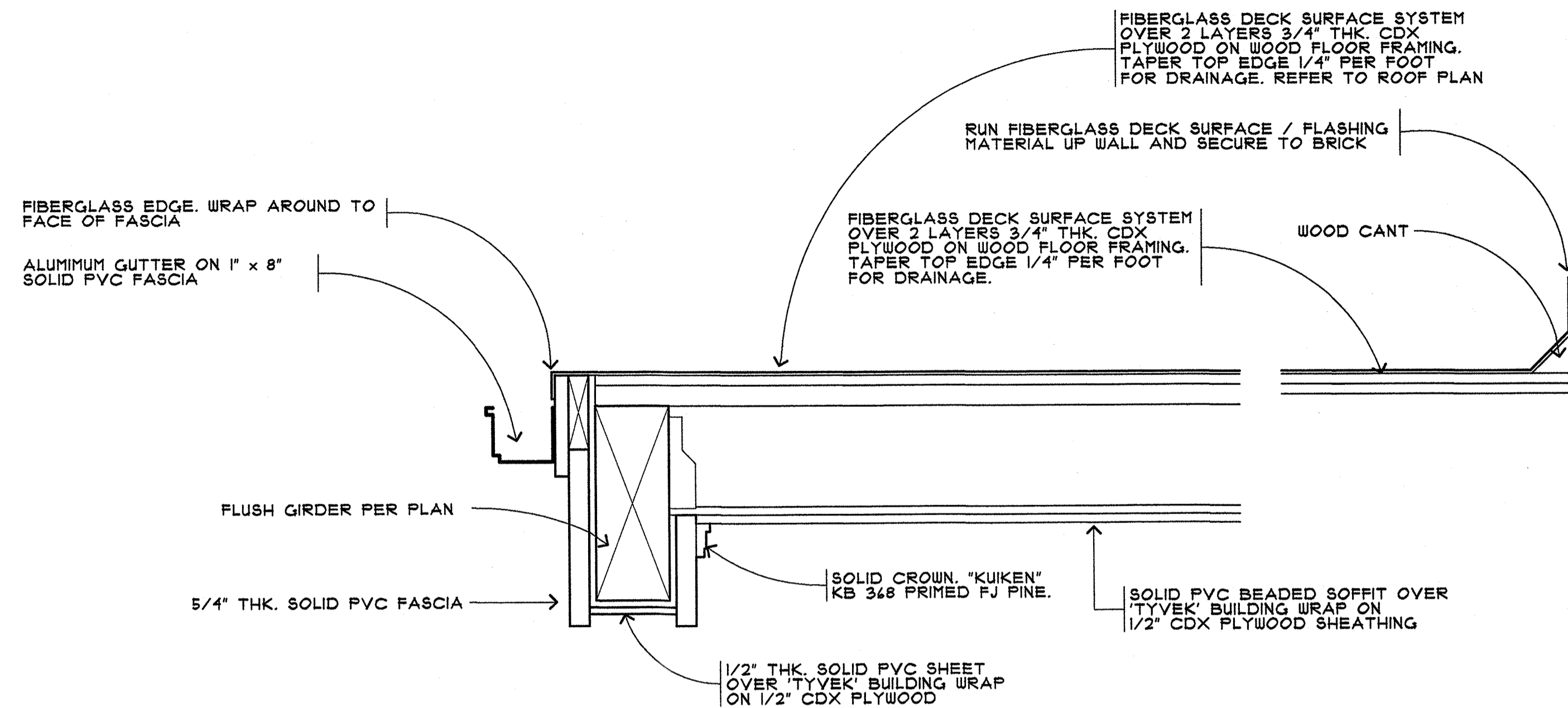
1079 ROUTE 9W SOUTH
NYACK (ORANGETOWN) NEW YORK

DRAWN BY: JJB
CHECKED BY: ME

DATE: 02/10/21

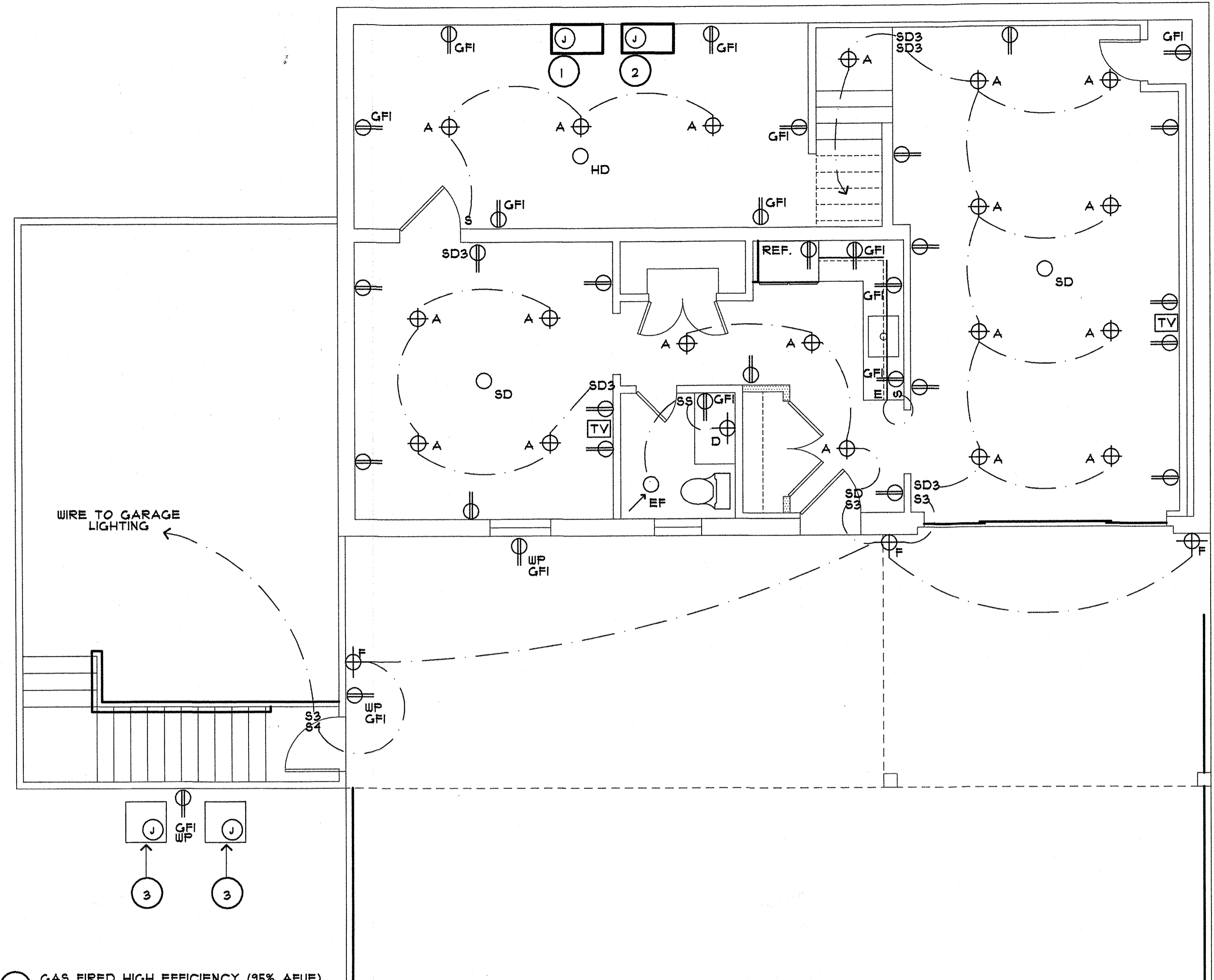
REVISIONS:
11/22/21

SHEET NO:
All OF 13



ROOF TERRACE DETAIL

SCALE: 1/2" = 1'-0"



- 1 GAS FIRED HIGH EFFICIENCY (95% AFUE) DIRECT VENT HOT WATER BOILER. WALL MOUNTED.
- 2 GAS FIRED HIGH EFFICIENCY ON DEMAND DOMESTIC WATER HEATER. WALL MOUNTED.
- 3 AIR CONDITIONING SYSTEM CONDENSER UNIT.

LOWER SECOND FLOOR ELECTRICAL RECEPTACLE and LIGHTING PLAN

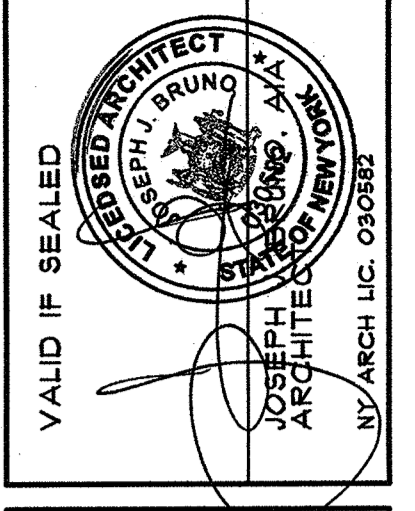
SCALE: 1/4" = 1'-0"

ELECTRICAL LEGEND

- A RECESSED LED DOWNLIGHT 4" APERTURE. 2700K. DL = DAMP LOCATION.
- B RECESSED LED ADJUSTABLE DOWNLIGHT
- C SURFACE MOUNTED CEILING FIXTURE BY OWNER. CEILING FAN MOUNTING
- D WALL SCONCE BY OWNER
- E LED UNDERCABINET LIGHT
- F EXTERIOR WALL SCONCE RATED FOR WET LOCATION. BY OWNER.
- G LED CLOSET LIGHT w/ LENS. REFER TO PLAN FOR LENGTH
- MOTION DUAL HEAD ADJUSTABLE FLOODLIGHT w/ MOTION SENSOR.
- H
- 24" x 48" SURFACE MOUNTED LED FIXTURE

- HD HEAT DETECTOR
- SD SMOKE DETECTOR
- CO CARBON MONOXIDE DETECTOR
- TV CABLE TELEVISION JACK. COORD. LOCATIONS WITH OWNER.
- T TELEPHONE JACK
- J JUNCTION BOX
- KP ALARM KEYPAD
- C CABLE MODEM JACK
- CH DOOR CHIME BY OWNER.
- B CHIME BUTTON BY OWNER. CONNECT TO EXISTING CHIME.

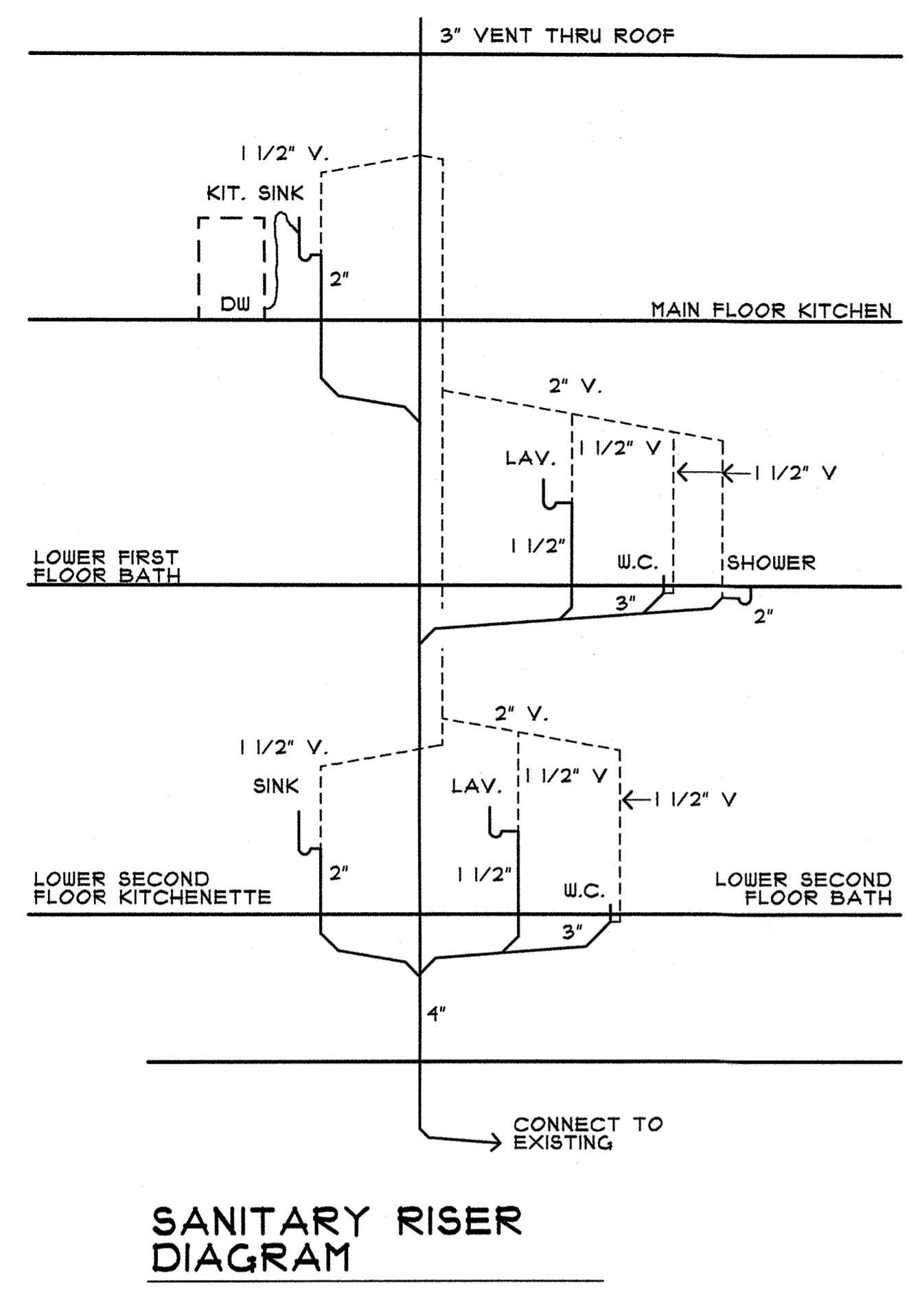
- SL RECESSED LED SHOWER LIGHT. 2700 K
- FORC. PORCELAIN LAMP HOLDER
- PL PENDANT LIGHT BY OWNER
- CL RECESSED CLOSET LIGHT WITH LENS.
- EF 225 CFM EXHAUST FAN. VENT TO EXTERIOR. PROVIDE HOODED CAP WITH BACKDRAFT DAMPER.
- DUPLEX ELECTRICAL RECEPTACLE
- QUADRUPLEX ELECTRICAL RECEPTACLE
- DUPLEX ELECTRICAL RECEPTACLE. GROUND FAULT PROTECTED. (W/P INDICATES WEATHERPROOF)
- S SINGLE POLE SWITCH
- S3 THREE WAY SWITCH
- S4 FOUR WAY SWITCH
- SP SINGLE POLE SWITCH w/ PILOT LIGHT
- SD DIMMER SWITCH
- FCS FAN CONTROL SWITCH



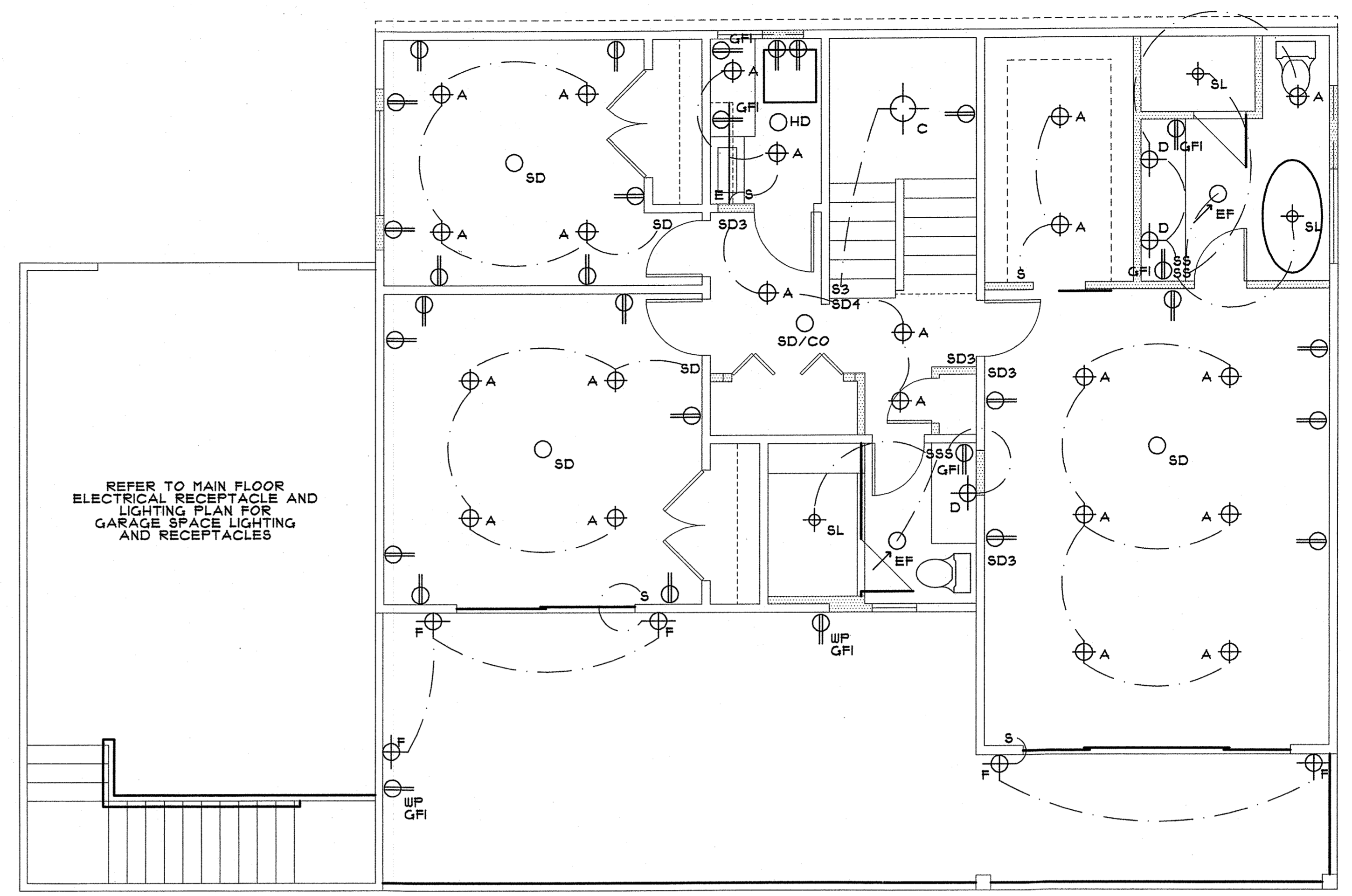
VALID IF SEALED

JOSEPH J. BRUNO, AIA
ARCHITECT

24 PASCACK ROAD
PARK RIDGE, NEW JERSEY 07654
TELEPHONE/ FACSIMILE 201-307-1115



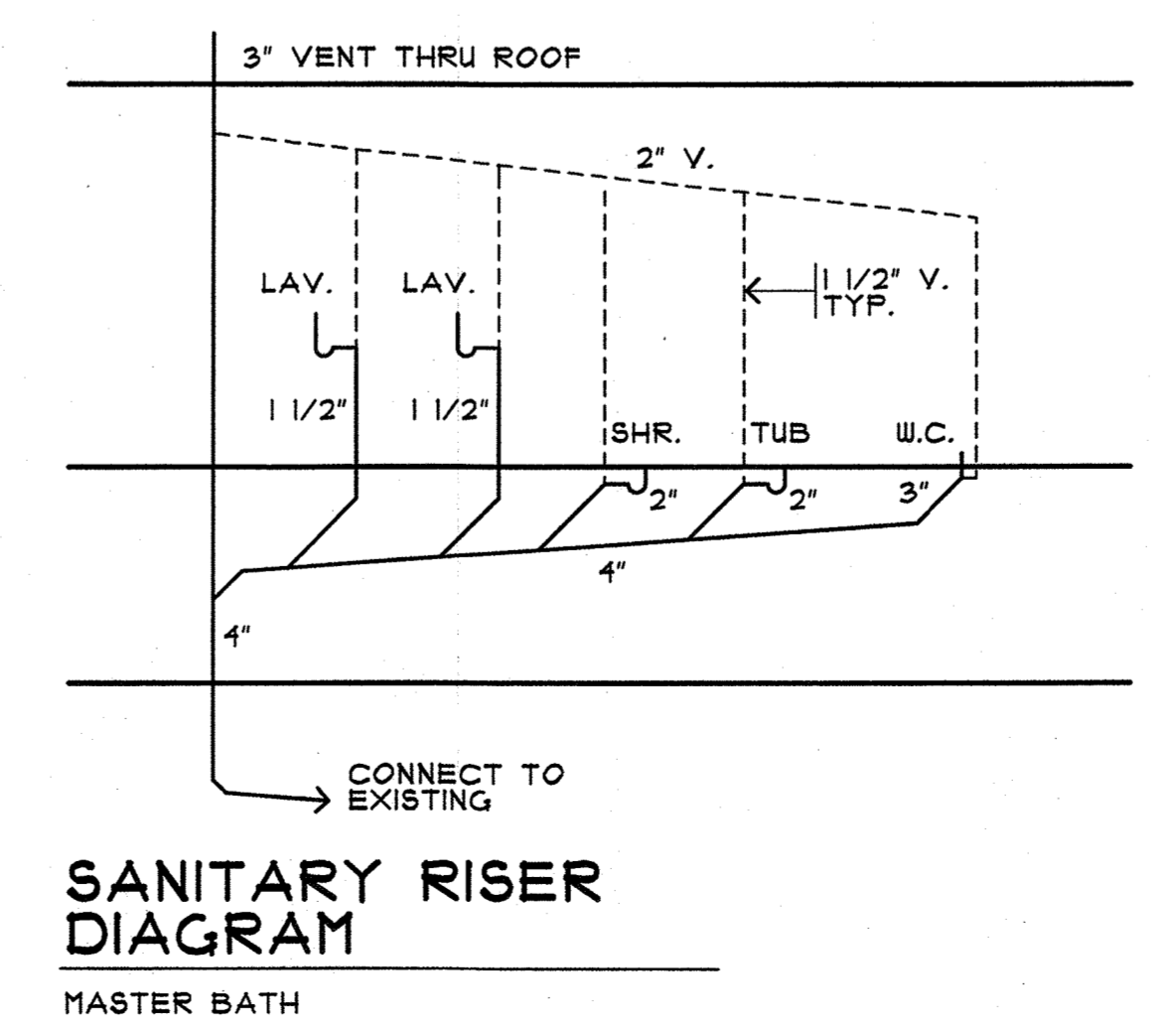
SANITARY RISER DIAGRAM



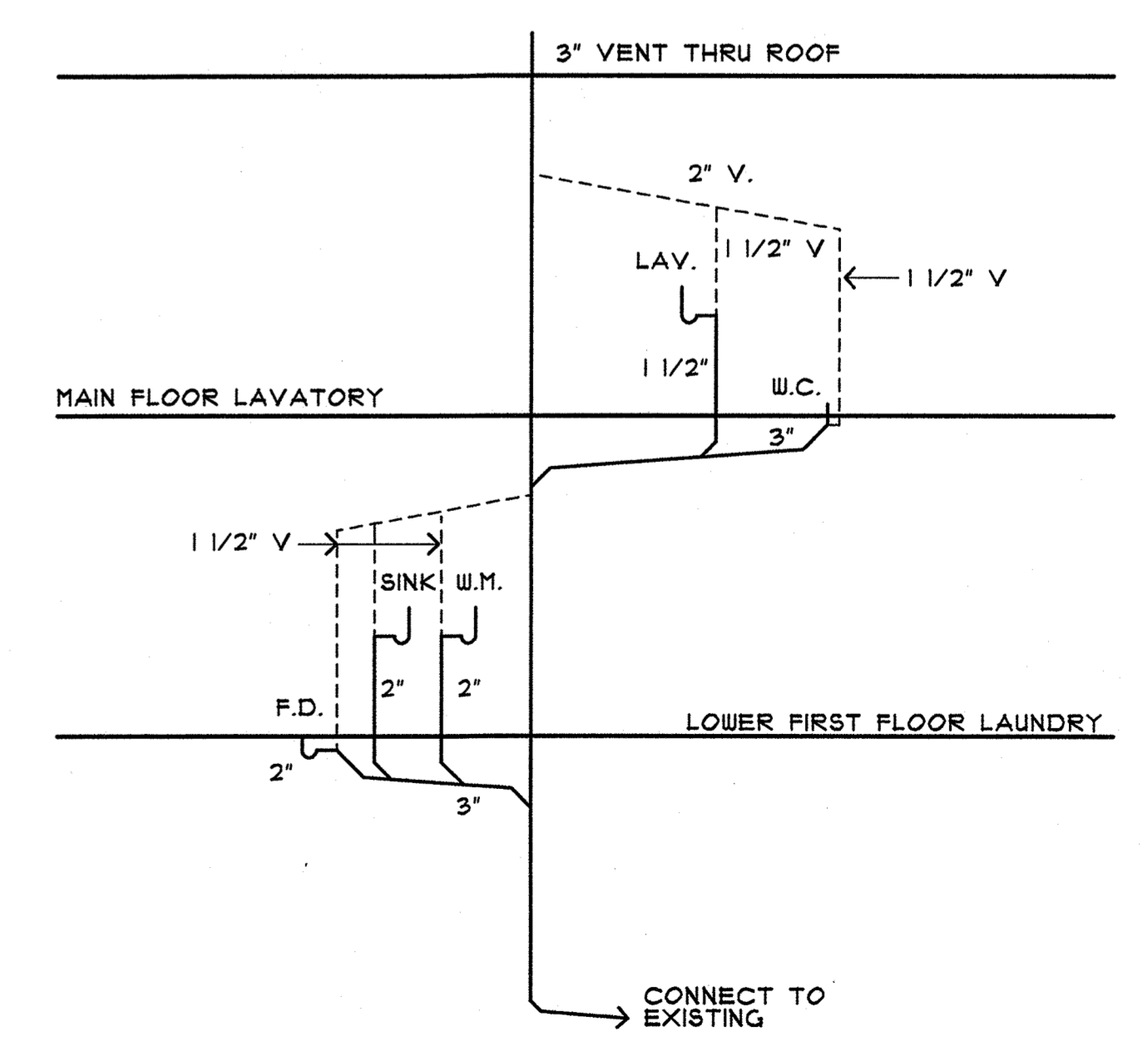
LOWER FIRST FLOOR ELECTRICAL RECEPTACLE and LIGHTING PLAN
SCALE: 1/4" = 1'-0"

ELECTRICAL LEGEND

- | | | | | | |
|-----|--|------|---|---------|---|
| ⊕ A | RECESSED LED DOWNLIGHT 4" APERTURE. 2100K. DL = DAMP LOCATION. | ○ HD | HEAT DETECTOR | ⊕ SL | RECESSED LED SHOWER LIGHT. 2100 K |
| ⊕ B | RECESSED LED ADJUSTABLE DOWNLIGHT | ○ SD | SMOKE DETECTOR | ⊕ PORC. | PORCELAIN LAMP HOLDER |
| ⊕ C | SURFACE MOUNTED CEILING FIXTURE BY OWNER
CEILING FAN MOUNTING | ○ CO | CARBON MONOXIDE DETECTOR | ⊕ PL | PENDANT LIGHT BY OWNER |
| ⊕ D | WALL SCONCE BY OWNER | TV | CABLE TELEVISION JACK. COORD. LOCATIONS WITH OWNER. | ⊕ CL | RECESSED CLOSET LIGHT WITH LENS. |
| E | LED UNDERCABINET LIGHT | T | TELEPHONE JACK | ○ EF | 225 CFM EXHAUST FAN. VENT TO EXTERIOR. PROVIDE HOODED CAP WITH BACKDRAFT DAMPER. |
| ⊕ F | EXTERIOR WALL SCONCE RATED FOR WET LOCATION. BY OWNER. | J | JUNCTION BOX | ⊕ | DUPLEX ELECTRICAL RECEPTACLE |
| G | LED CLOSET LIGHT w/ LENS. REFER TO PLAN FOR LENGTH | KP | ALARM KEYPAD | ⊕ | QUADRUPLEX ELECTRICAL RECEPTACLE |
| H | DUAL HEAD ADJUSTABLE FLOODLIGHT w/ MOTION SENSOR. | C | CABLE MODEM JACK | ⊕ GFI | DUPLEX ELECTRICAL RECEPTACLE. GROUND FAULT PROTECTED. (WF INDICATES WEATHERPROOF) |
| □ | 24" x 48" SURFACE MOUNTED LED FIXTURE | CH | DOOR CHIME BY OWNER. | S | SINGLE POLE SWITCH |
| | | B | CHIME BUTTON BY OWNER. CONNECT TO EXISTING CHIME. | S3 | THREE WAY SWITCH |
| | | | | S4 | FOUR WAY SWITCH |
| | | | | SP | SINGLE POLE SWITCH w/ PILOT LIGHT |
| | | | | SD | DIMMER SWITCH |
| | | | | FCS | FAN CONTROL SWITCH |



SANITARY RISER DIAGRAM
MASTER BATH



SANITARY RISER DIAGRAM

ALTERATIONS TO THE

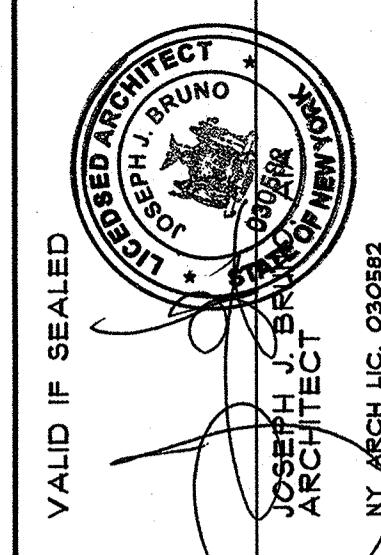
MAURO RESIDENCE
1079 ROUTE 9W SOUTH
NYACK (ORANGETOWN) NEW YORK

DRAWN BY: JJB
CHECKED BY: ME

DATE: 02/10/21

REVISIONS:

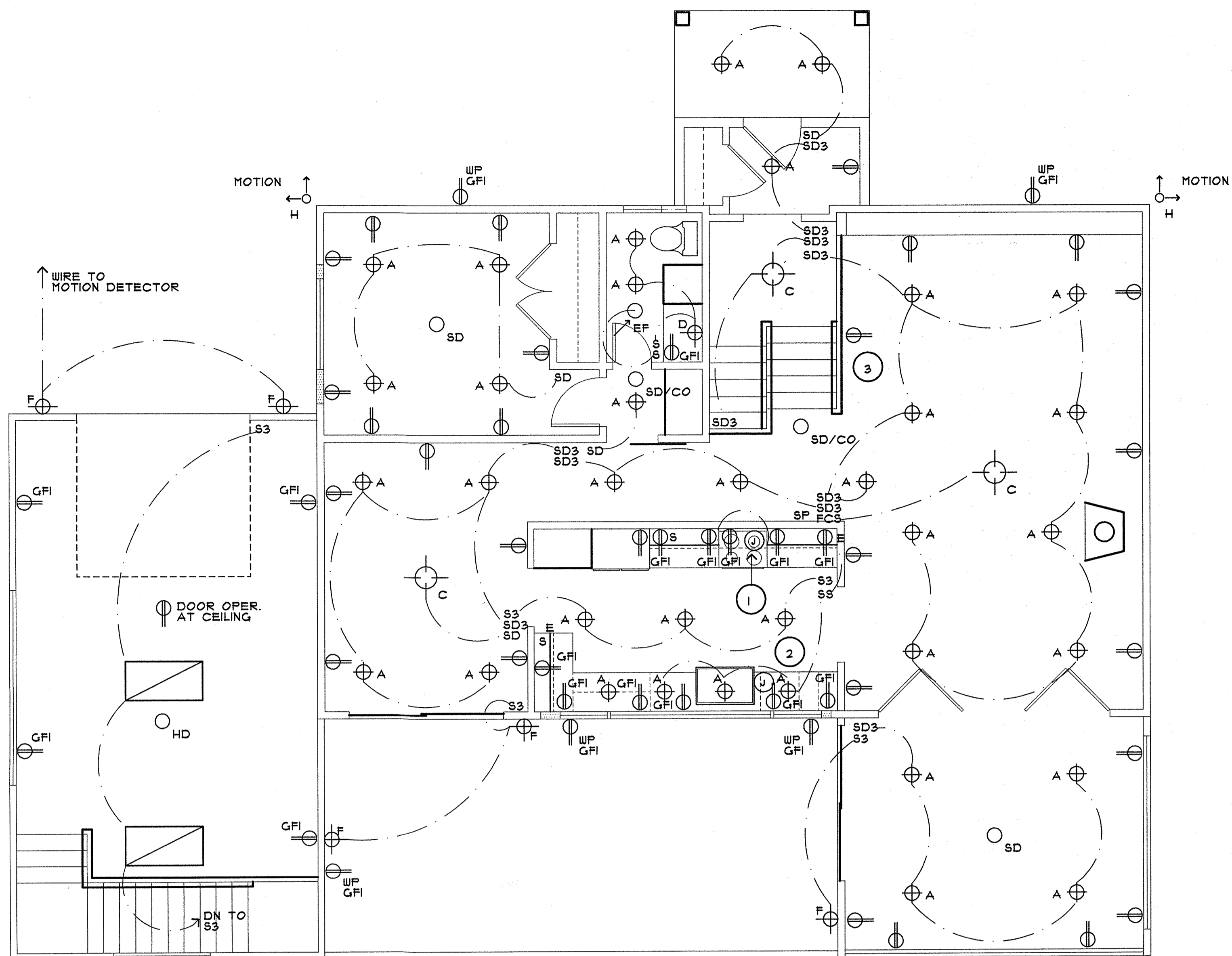
SHEET NO:
A12 OF 13



VALID IF SEALED

JOSEPH J. BRUNO
ARCHITECT
NEW YORK, NY

JOSEPH J. BRUNO, AIA
ARCHITECT
24 PASCACK ROAD
PARK RIDGE, NEW JERSEY 07654
TELEPHONE/ FACSIMILE 201-507-1115



MAIN FLOOR ELECTRICAL RECEPTACLE and LIGHTING PLAN

SCALE: 1/4" = 1'-0"

- 1 VENT KITCHEN EXHAUST TO EXTERIOR. PROVIDE HOODED CAP WITH BACKDRAFT DAMPER. PROVIDE MAKEUP AIR IF FAN EXCEEDS 400 CFM.
- 2 POWER SUPPLY BELOW COUNTERTOP FOR DISHWASHER.
- 3 RECESSED FLOOR RECEPTACLE WITH FLUSH COVER.

ELECTRICAL LEGEND

- A RECESSED LED DOWNLIGHT 4" APERTURE. 2100K. DL = DAMP LOCATION.
- B RECESSED LED ADJUSTABLE DOWNLIGHT
- C SURFACE MOUNTED CEILING FIXTURE BY OWNER
CEILING FAN MOUNTING
- D WALL SCONCE BY OWNER
- E LED UNDERCABINET LIGHT
- F EXTERIOR WALL SCONCE RATED FOR WET LOCATION. BY OWNER.
- G LED CLOSET LIGHT w/ LENS. REFER TO PLAN FOR LENGTH
- MOTION H DUAL HEAD ADJUSTABLE FLOODLIGHT w/ MOTION SENSOR.
- 24" x 48" SURFACE MOUNTED LED FIXTURE

- HD HEAT DETECTOR
- SD SMOKE DETECTOR
- CO CARBON MONOXIDE DETECTOR
- TV CABLE TELEVISION JACK. COORD. LOCATIONS WITH OWNER.
- T TELEPHONE JACK
- J JUNCTION BOX
- KP ALARM KEYPAD
- C CABLE MODEM JACK
- CH DOOR CHIME BY OWNER.
- B CHIME BUTTON BY OWNER. CONNECT TO EXISTING CHIME.

- SL RECESSED LED SHOWER LIGHT. 2100 K
- PORC. PORCELAIN LAMP HOLDER
- PL PENDANT LIGHT BY OWNER
- CL RECESSED CLOSET LIGHT WITH LENS.
- EF 225 CFM EXHAUST FAN. VENT TO EXTERIOR. PROVIDE HOODED CAP WITH BACKDRAFT DAMPER.
- DUPLEX ELECTRICAL RECEPTACLE
- QUADRUPLEX ELECTRICAL RECEPTACLE
- GFI DUPLEX ELECTRICAL RECEPTACLE. GROUND FAULT PROTECTED. (W/P INDICATES WEATHERPROOF)
- S SINGLE POLE SWITCH
- S3 THREE WAY SWITCH
- S4 FOUR WAY SWITCH
- SP SINGLE POLE SWITCH w/ PILOT LIGHT
- SD DIMMER SWITCH
- FCS FAN CONTROL SWITCH

ALTERATIONS TO THE

MAURO RESIDENCE

1079 ROUTE 9W SOUTH
NYACK (ORANGETOWN) NEW YORK

DRAWN BY: JJB
CHECKED BY: ME

DATE: 02/10/21

REVISIONS:

SHEET NO:
A13 OF 13