

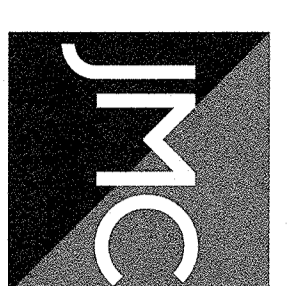
SITE PLAN APPROVAL DRAWINGS

ORANGETOWN SHOPPING CENTER

TAX MAP SECTION 74.10 | BLOCK 1 | LOT 67
 ROCKLAND COUNTY
 1 ORANGEBURG ROAD
 ORANGETOWN, NY 10962

APPLICANT/OWNER:

UB ORANGEBURG, LLC.
 321 BALROAD AVENUE
 GREENWICH, CT 06830
 APPLICANT PHONE: (203) 803 0206



**Site Planner, Civil & Traffic Engineer,
 Surveyor and Landscape Architect:**
 120 BEDFORD ROAD
 ARMONK, NY 10504
 (914) 273-5225

ATTORNEY:

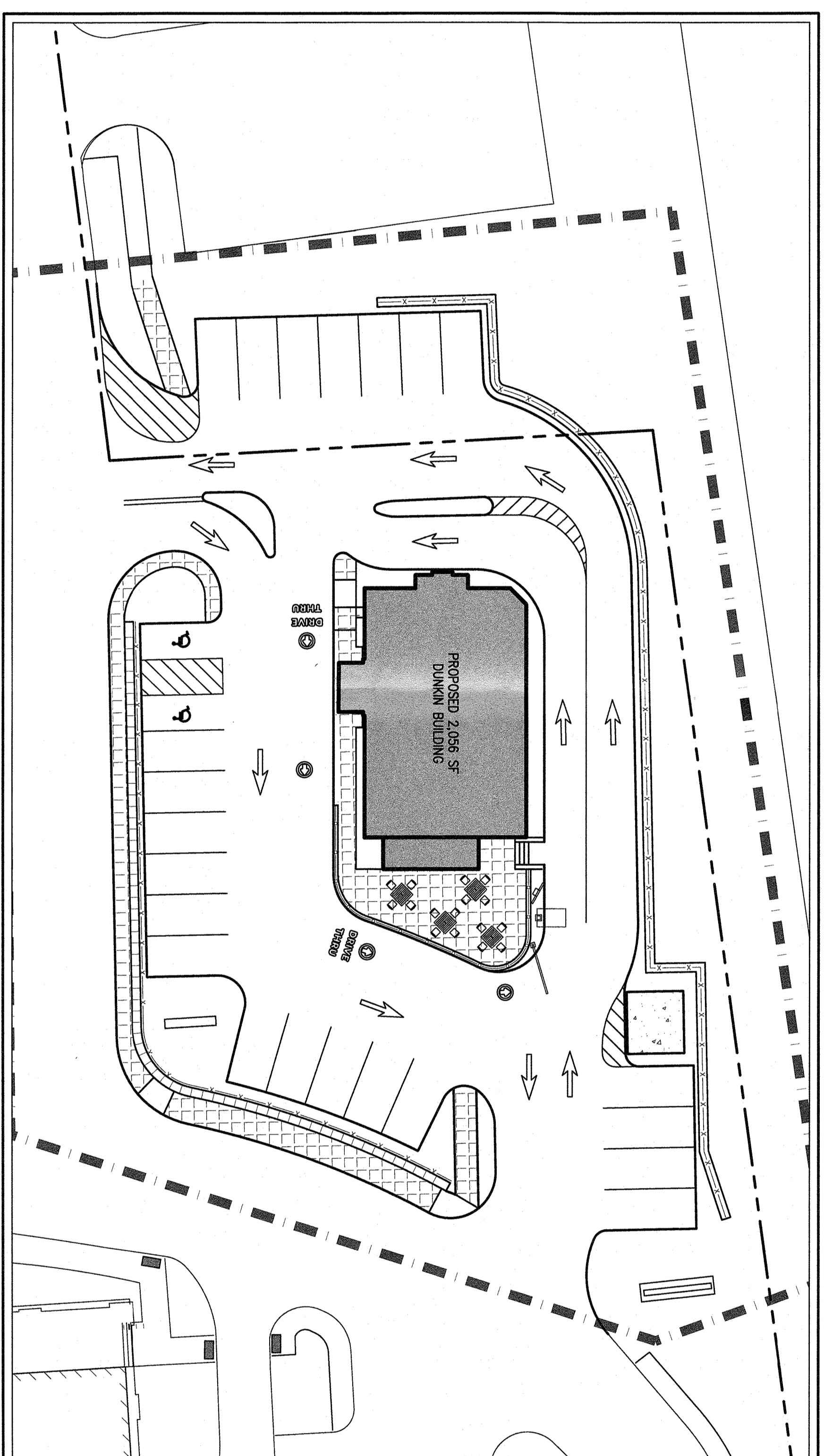
EMANUEL LAW, PC
 4 LAUREL ROAD
 NEW CITY, NY 10956
 ATTORNEY PHONE: (845) 634 4141

ARCHITECT:

GK+A ARCHITECTS
 36 AMES AVENUE
 RUTHERFORD, NJ 07070
 ARCHITECT PHONE: (201) 896 0333

SURVEYOR:

CONTROL POINT ASSOCIATES, INC.
 SUVEYOR PHONE: (908) 993 0500



AREA MAP
 SCALE: 1" = 20'

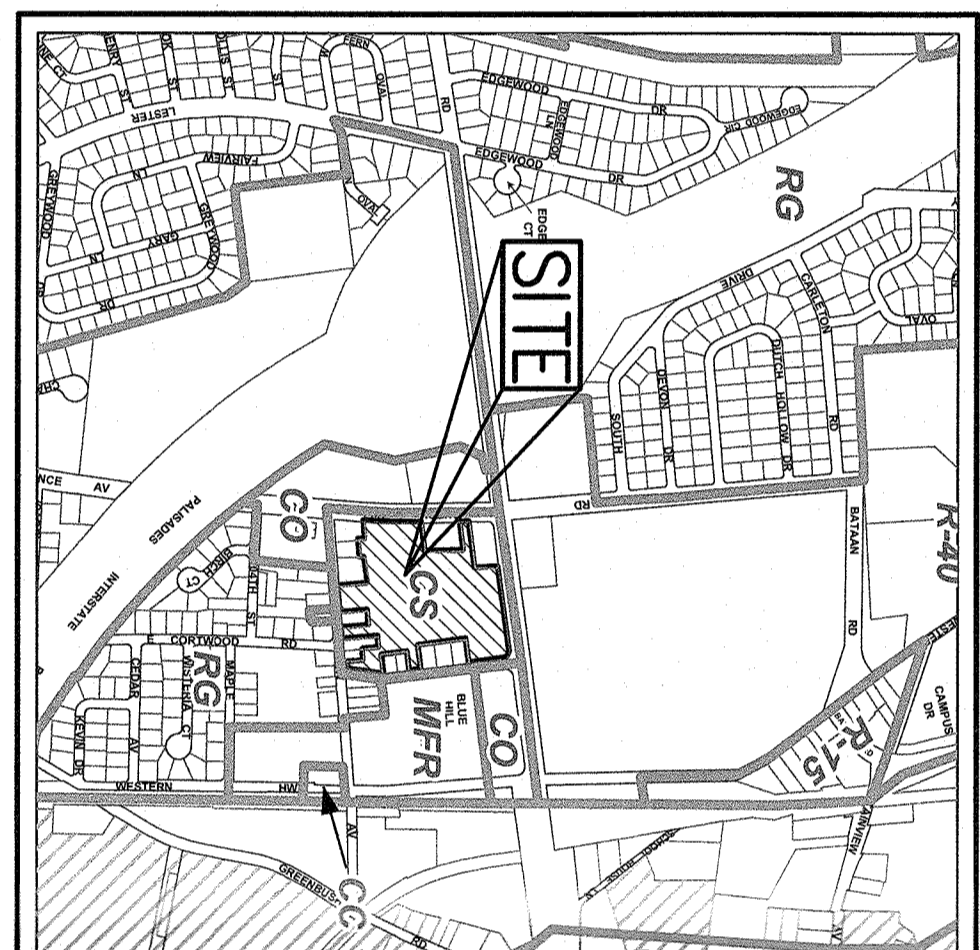
PARKING TABLE

Use	Existing		Previously Approved		Proposed	
	Existing Spaces	Required Spaces/SF	Approved (Retention) 1 Space /100 SF	Required Spaces	Approved (Retention) 1 Space /100 SF	Required Spaces
Off-Street Parking	65,884	1/200	61,800	309	65,884	344
Restroom/office/bank/services	11,616	1/100	15,700	157	11,616	113
Proposed Pad	1/100	2,200	2,200	22	2,056	21
Total Parking				488		478
						378⁽¹⁾

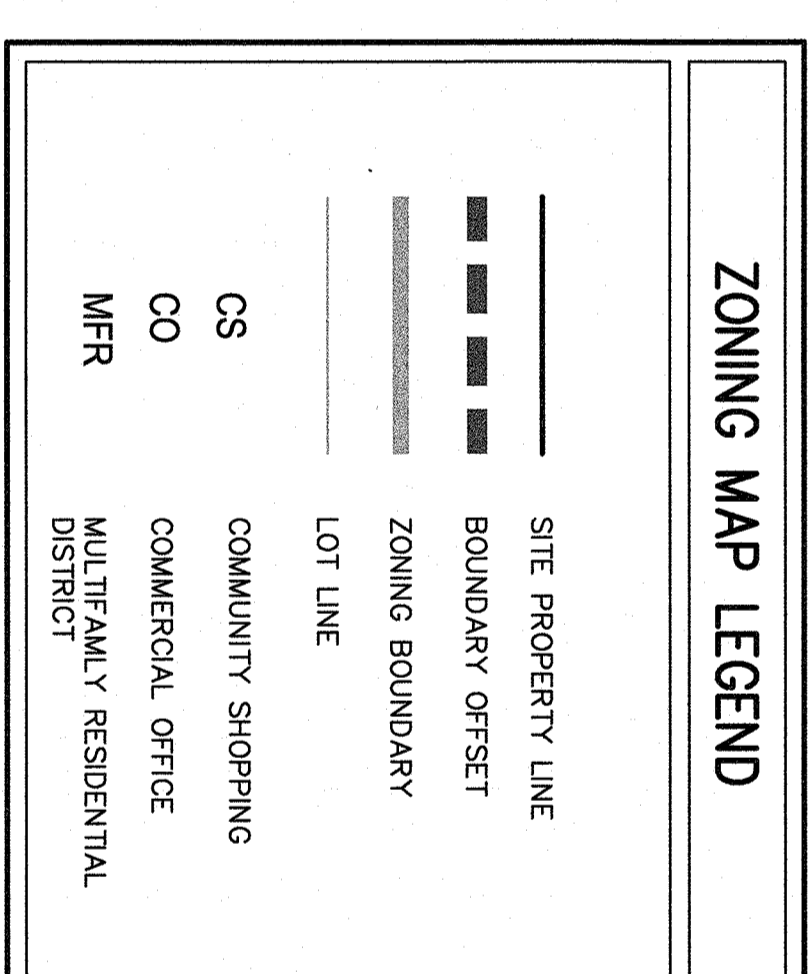
(1) Variance obtained for total parking spaces, per ZBA #14-64. The variance did not provide a breakdown by use, simply a total number of parking spaces permitted.

GENERAL CONSTRUCTION NOTES APPLY TO ALL WORK HEREIN:

1. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL CALL BY THE STATE "1-800-482-7892" TO HAVE UNDERGROUND UTILITIES LOCATED. EXISTING UTILITIES SHALL BE MARKED WITH CODE 753 REQUIREMENTS. NO WORK SHALL COMMENCE UNTIL ALL UTILITIES HAVE BEEN LOCATED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PRESERVATION OF ALL PUBLIC AND PRIVATE UNDERGROUND AND SURFACE UTILITIES AND STRUCTURES AT OR ADJACENT TO THE SITE OF CONSTRUCTION INsofar AS THEY MAY BE ENDANGERED BY THE CONTRACTOR'S OPERATIONS. THIS SHALL BE VERIFIED BY THE CONTRACTOR THROUGH THE BEST AVAILABLE SOURCES, AND IN ANY EVENT, OTHER UTILITIES OR UTILITIES THAT HE DAMAGES, ENCOUNTERED IN THE FIELD, THE CONTRACTOR SHALL, AT HIS OWN EXPENSE, IMMEDIATELY REPAIR OR REPLACE ANY STRUCTURES OR UTILITIES THAT HE DAMAGES, AND SHALL CONSTANTLY PROCEED WITH CAUTION TO PREVENT UNDE INTERPRETION OF UTILITY SERVICE.
2. CONTRACTOR SHALL VERIFY EXISTING UTILITIES DEPTHS AND ADVISE OF ANY CONFLICTS WITH PROPOSED UTILITIES. IF CONFLICTS ARE PRESENT, THE OWNER'S FIELD REPRESENTATIVE, JMC, P.L.C. AND THE APPLICABLE MUNICIPALITY OR AGENCY SHALL BE NOTIFIED IN WRITING. THE EXISTING/PROPOSED UTILITIES RELOCATION SHALL BE DESIGNED BY JMC, P.L.C.
3. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ANY AND ALL LOCAL PERMITS REQUIRED.
4. ALL WORK SHALL BE DONE IN STRICT COMPLIANCE WITH ALL APPLICABLE NATIONAL, STATE, AND LOCAL CODES, STANDARDS, ORDINANCES, RULES, AND REGULATIONS. ALL CONSTRUCTION WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL SAFETY CODES, APPLICABLE SAFETY CODES MEAN THE LATEST EDITION INCLUDING ANY AND ALL AMENDMENTS, REVISIONS, AND ADDITIONS THERE TO. TO THE FEDERAL DEPARTMENT OF LABOR, OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION'S OCCUPATIONAL SAFETY AND HEALTH STANDARDS (OSHA) AND APPLICABLE SAFETY, HEALTH REGULATIONS AND BUILDING CODES FOR CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND AUTHORITIES WITH THE PROVISION OF SECTION 107-05 SAFETY AND HEALTH REQUIREMENTS) OF THE NYSOT STANDARD SPECIFICATIONS. IF THE CONTRACTOR PERFORMS ANY HAZARDOUS CONSTRUCTION PRACTICES, ALL OPERATIONS IN THE AFFECTED AREA SHALL BE DISCONTINUED AND IMMEDIATE ACTION SHALL BE TAKEN TO CORRECT THE SITUATION TO THE SATISFACTION OF THE APPROVAL AUTHORITY HAVING JURISDICTION.
5. CONTRACTOR SHALL MAINTAIN ACCESS TO ALL PROPERTIES AFFECTED BY THE SCOPE OF WORK SHOWN HEREON AT ALL TIMES TO THE SATISFACTION OF THE OWNERS REPRESENTATIVE. RAMPING CONSTRUCTION TO PROVIDE ACCESS MAY BE CONSTRUCTED WITH SUBBASE MATERIAL EXCEPT THAT TEMPORARY ASPHALT CONCRETE SHALL BE PLACED AS DIRECTED BY THE ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING SAFE PEDESTRIAN ACCESS AT ALL TIMES.
6. CONTRACTOR SHALL MAINTAIN THE INTEGRITY OF EXISTING PAVEMENT TO REMAIN.



ZONING MAP
 SCALE: 1" = 1,000'



811 Know what's below. Call before you dig.

UNDERGROUND UTILITY LOCATIONS ARE BASED ON A COMPARISON OF FIELD EVIDENCE, AVAILABLE RECORD PLANS AND/OR UTILITY WORKS. UNDERGROUND INFORMATION CANNOT BE GUARANTEED. VERIFY THE ACTUAL LOCATION OF ALL UTILITIES PRIOR TO EXCAVATION OR CONSTRUCTION.

- JMC Drawing List:**
- SP-1 COVER SHEET
 - SP-2 OVERALL EXISTING CONDITIONS
 - SP-3 EXISTING CONDITIONS
 - SP-4 DEMOLITION PLAN
 - SP-5 OVERALL LAYOUT PLAN
 - SP-6 LAYOUT PLAN
 - SP-7 GRADING PLAN
 - SP-8 UTILITIES PLAN
 - SP-9 UTILITIES PROFILE PLAN
 - SP-10 EROSION AND SEDIMENT CONTROL PLAN
 - SP-11 LANDSCAPING PLAN
 - SP-12 LIGHTING PLAN
 - SP-13 CONSTRUCTION DETAILS
 - SP-14 CONSTRUCTION DETAILS
 - SP-15 CONSTRUCTION DETAILS
 - SP-16 CONSTRUCTION DETAILS
 - SP-17 CONSTRUCTION DETAILS

TABLE OF LAND USE

Parameter	Required	Existing	Provided
Section 74.10, Block 1, Lot 67			
Zone CS - Community Shopping			
Proposed Use: Mix Use			
Min. Lot Area (S.F.)	2,500	461,178	461,178
Maximum Floor Area Ratio	1	0.16	0.17
Min. Lot Width (Feet)	25	463	463
Min. Street Frontage	-	480	480
Orangeburg Road	-	349	349
Dutch Hill Road	-	475	475
Oak Street	-	323	323
Highview Avenue	-	1627	1627
Total Frontage	35	1627	1627
Maximum Building Height (Stories/Feet)	2/35	1 / >35	1 / >35
Min. Yards for Building (feet)			
Front	45	31.6	34.3 ⁽¹⁾
Side	0/12	21	12
Total Side	0/25	-	-
Rear	25	N/A	N/A
Side/Rear adjacent to any 'R' District	15	24	24
Min. Yards for Wall (feet)			
Front	45	-	4.38 ⁽²⁾
Side	12	-	-
Total Side	25	N/A	N/A
Rear	25	N/A	N/A
Side/Rear adjacent to any 'R' District	15	34	34

(1) Variance obtained for front yard setback of new pad building from ZBA #14-64.
 (2) Variance obtained for height of proposed retaining wall greater than 4-1/2 feet located within the required front yard of Orangeburg Road from ZBA #14-64.

No.	Revision	Date	By
1.	SITE PLAN APPROVAL SUBMISSION	01/21/2022	DJC

JMC Planning, Engineering, Landscape Architecture & Land Surveying, PLLC
 120 BEDFORD ROAD - ARMONK, NY 10504
 www.jmcpic.com

John Meyer Consulting, Inc.
 120 BEDFORD ROAD - ARMONK, NY 10504
 www.jmcpic.com

ANY ALTERATION OF PLANS, SPECIFICATIONS, PLATS AND OF A LICENSED PROFESSIONAL ENGINEER OR LICENSED LAND SURVEYOR IS A VIOLATION OF WORK STATE EDUCATION LAW, EXCEPT AS PROVIDED FOR BY SECTION 728 SUBSECTION 2.

Other: RA
 Scale: NOT TO SCALE
 Date: 09/20/2021
 Project#: 1210

SP-1



LEGEND

	EXISTING PROPERTY LINE
	ADJACENT PROPERTY LINE
	EXISTING EASEMENT LINE
	EXISTING WETLAND LINE AND DELINEATION
	EXISTING BUILDING OVERHANG
	EXISTING BUILDING LINE
	EXISTING PAVEMENT EDGE
	EXISTING CURB LINE
	EXISTING CONTOUR
	EXISTING INDEX CONTOUR
	EXISTING STONE WALL
	EXISTING RETAINING WALL
	EXISTING GATE POST
	EXISTING FENCE
	EXISTING TREE AND DESIGNATION
	EXISTING TREE LINE
	EXISTING DIRECTIONAL ARROW
	EXISTING PLANT
	EXISTING PARKING WITH NUMBER OF SPACES
	EXISTING ACCESSIBLE PARKING WITH NUMBER OF SPACES
	EXISTING PEDESTRIAN CROSSING
	EXISTING STORM DRAIN LINE AND SIZE
	EXISTING SANITARY LINE AND SIZE
	EXISTING WATER LINE
	EXISTING GAS LINE
	EXISTING OVERHEAD WIRES
	EXISTING DRAIN INLET
	EXISTING MANHOLE
	EXISTING FIRE HYDRANT
	EXISTING GAS VALVE
	EXISTING WATER VALVE
	EXISTING UTILITY POLE
	EXISTING LIGHT POLE
	EXISTING SIGN
	EXISTING LOCATION AND DESIGNATION

NOTES

- EXISTING CONDITIONS REPORTED ON THIS PLAN HAVE BEEN TAKEN FROM SURVEY FILES, TYPICAL, TRUCKING & UTILITY SERVICES, PREPARED BY CONTROL POINT ASSOCIATES, INC. DATED 01/29/2016.

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STATE OF NEW YORK
OFFICE OF THE SURVEYOR
 LICENSE NO. 15210
 DATE: 08/29/2021
 SCALE: 1" = 40'
 SHEET: 1 OF 47
 PROJECT: SP-2
 DRAWING NO. SP-2
 DATE: 08/29/2021

OVERALL EXISTING CONDITIONS MAP
ORANGETOWN SHOPPING CENTER
 1 ORANGETOWN ROAD
 ORANGETOWN, NY 10962

JMC
 JMC Planning, Engineering, Landscape Architecture & Land Surveying, PLLC
 JMC Site Development Consultants, LLC
 John Meyer Consulting, Inc.
 120 BEDFORD ROAD • ARMONK, NY 10504
 voice 914.273.5225 • fax 914.273.2102
 www.jmcpllc.com

APPLICANT
 URSTADT BIDDLE PROPERTIES
 321 RAILROAD AVENUE
 GREENWICH, CT 06830

ARCHITECT:
 STUDIO ARCHITECTURE-NEW YORK
 297 KNOLLWOOD ROAD SUITE 209
 WHITE PLAINS, NY 10607

No.	Revision	Date	By
1.	SITE PLAN APPROVAL SUBMISSION	01/21/2022	DJG

Previous Editions Obsolete



LEGEND

- EXISTING PROPERTY LINE
- ADJACENT PROPERTY LINE
- EXISTING EASEMENT LINE
- EXISTING RETAINING WALL AND SLOPE
- EXISTING BUILDING OVERLAP
- EXISTING BUILDING LINE
- EXISTING PARKING EDGE
- EXISTING CURB LINE
- EXISTING INDEX CONTOUR
- EXISTING STONE WALL
- EXISTING RETAINING WALL
- EXISTING CURB WALL
- EXISTING FENCE
- EXISTING TREE AND DESIGNATION
- EXISTING TREE LINE
- EXISTING DIRECTIONAL ARROWS
- EXISTING PAINT
- EXISTING PARKING WITH NUMBER OF SPACES
- EXISTING ACCESSIBLE PARKING WITH NUMBER OF SPACES
- EXISTING FOOTSTRAIL CROSSING
- EXISTING STORM DRAIN LINE AND SIZE
- EXISTING SANITARY LINE AND SIZE
- EXISTING WATER LINE
- EXISTING GAS LINE
- EXISTING OVERHEAD WIRING
- EXISTING RAIN GUTTER
- EXISTING MANHOLE
- EXISTING FIRE HYDRANT
- EXISTING GAS VALVE
- EXISTING WATER VALVE
- EXISTING UTILITY POLE
- EXISTING LIGHT POLE
- EXISTING SIGN
- BORING LOCATION AND DESIGNATION

NOTES

- EXISTING CONDITIONS SHOWN ON THIS PLAN HAVE BEEN TAKEN FROM SURVEY TITLES, AERIAL PHOTOGRAPHS, AND UTILITY SURVEYS PREPARED BY CONSULTING ENGINEERS, AND DATED 03/09/2006.

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DATE: 08/20/2021
SCALE: 1" = 20'
PROJECT: 1510
SHEET: SP-3
DATE: 08/20/2021

EXISTING CONDITIONS MAP

ORANGETOWN SHOPPING CENTER
1 ORANGEBURG ROAD
ORANGETOWN, NY 10962

JMC

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APPLICANT: **URSTADT BIDDLE PROPERTIES**
321 RAILROAD AVENUE
GREENWICH, CT 06830

ARCHITECT: **STUDIO ARCHITECTURE-NEW YORK**
297 KNOLLWOOD ROAD SUITE 209
WHITE PLAINS, NY 10607

No.	Revision	Date	By
1.	SITE PLAN APPROVAL SUBMISSION	01/21/2022	DVG

Previous Editions Obsolete

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MATCHLINE AREA 'A'

ORANGEBURG ROAD

377 7989
JMC PLANNING, ENGINEERING, LANDSCAPE ARCHITECTURE & LAND SURVEYING, PLLC
120 BEDFORD ROAD • ARMONK, NY 10504
voice 914.273.5225 • fax 914.273.2102
www.jmcpllc.com

LEGEND	
	EXISTING PROPERTY LINE
	ADJACENT PROPERTY LINE
	EXISTING EASEMENT LINE
	EXISTING WETLAND LINE AND DELINEATION
	EXISTING BUILDING OVERHANG
	EXISTING BUILDING LINE
	EXISTING PAVEMENT EDGE
	EXISTING CURB LINE
	EXISTING CONTOUR
	EXISTING STONE WALL
	EXISTING RETAINING WALL
	EXISTING GATE POST
	EXISTING FENCE
	EXISTING TREE AND DESIGNATION
	EXISTING TREE TO BE REMOVED
	EXISTING TREE LINE
	EXISTING DIRECTIONAL ARROWS
	EXISTING PAVEMENT TO BE REMOVED
	EXISTING PARKING WITH NUMBER OF SPACES
	EXISTING HANDICAP PARKING WITH NUMBER OF SPACES
	EXISTING PEDESTRIAN CROSSING
	EXISTING STORM DRAIN LINE AND SIZE
	EXISTING SANITARY LINE AND SIZE
	EXISTING WATER LINE
	EXISTING GAS LINE
	EXISTING OVERHEAD WIRES
	EXISTING DRAIN INLET
	EXISTING MANHOLE
	EXISTING FIRE HYDRANT
	EXISTING GAS VALVE
	EXISTING WATER VALVE
	EXISTING UTILITY POLE
	EXISTING LIGHT POLE
	EXISTING SIGN
	EXISTING LOCATION AND DESIGNATION
	EXISTING FEATURE TO BE REMOVED
	PROPOSED SANITARY LINE

NOTES

- EXISTING CONDITIONS SHOWN ON THIS PLAN HAVE BEEN TAKEN FROM CONTROL POINT ASSOCIATES, INC. DATED 07/09/2016.

ANY ALTERATION OF PLANS, SPECIFICATIONS, DETAILS AND REPORTS BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER OR ARCHITECT WITHOUT HIS OR HER SIGNATURE IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW AND SECTION 2208 SUBSECTION 2 OF THE PROFESSIONAL SERVICE LAW.

SP-4

Scale: 1" = 20'

Date: 08/20/2021

Project No: 13210

Sheet No: 3-4

08/20/21

DEMOLITION PLAN

ORANGETOWN SHOPPING CENTER

1 ORANGEBURG ROAD
ORANGETOWN, NY 10962

JMC

JMC Planning, Engineering, Landscape Architecture & Land Surveying, PLLC
JMC Site Development Consultants, LLC

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120 BEDFORD ROAD • ARMONK, NY 10504
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APPLICANT
URSTADT BIDDLE PROPERTIES
321 RAILROAD AVENUE
GREENWICH, CT 06830

ARCHITECT
STUDIO ARCHITECTURE-NEW YORK
297 KNOLLWOOD ROAD SUITE 209
WHITE PLAINS, NY 10607

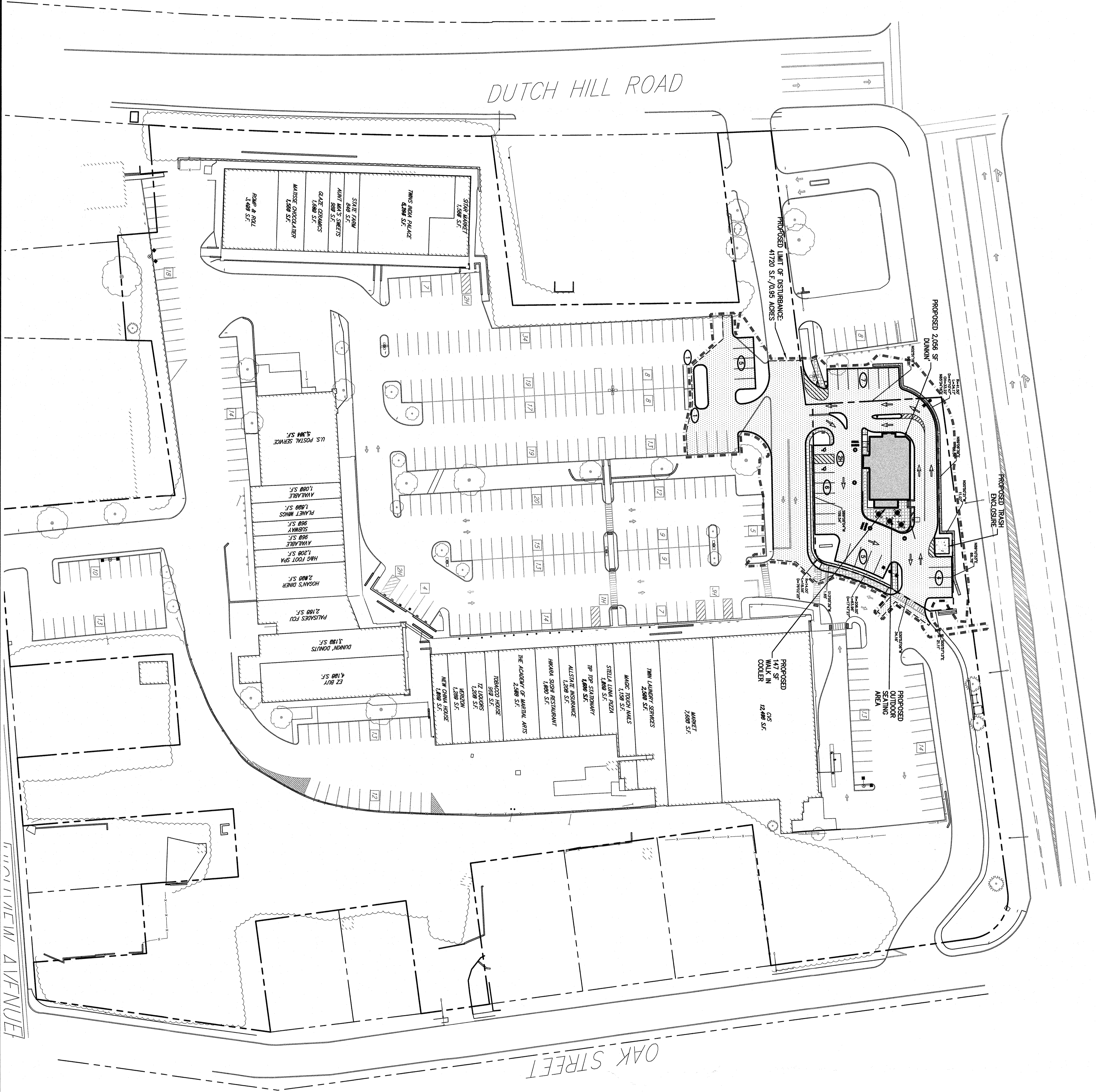
No.	Revision	Date	By
1.	SITE PLAN APPROVAL SUBMISSION	01/21/2022	DJG

Previous Editions Obsolete

PARKING TABLE

Use	Previously Approved		Proposed				
	Existing Spaces	Required Spaces/SF	Approved (Restaurant) 1 Space / 100 SF	Required Spaces	Proposed (Restaurant) 1 Space / 100 SF	Required Spaces	Proposed Spaces
Off-Street Parking							
Retail/office/Bank/services	65,884	1/200	61,800	309	65,884	344	
Restaurant	11,616	1/100	15,700	157	11,616	113	
Proposed Pad		1/100	2,200	22	2,056	21	
Total Parking			488	378		478	378⁽¹⁾

(1) Variance obtained for total parking spaces, per ZBA #14-64. The variances did not provide a breakdown by use, simply a total number of parking spaces permitted.



LEGEND	
	EXISTING PROPERTY LINE
	ADJACENT PROPERTY LINE
	EXISTING SETBACK LINE
	EXISTING EASEMENT LINE
	EXISTING ROADWAY CENTER LINE
	EXISTING RAMPART POLE
	EXISTING CURB LINE
	EXISTING DIRECTIONAL ARROWS
	EXISTING PAINT
	EXISTING PARKING WITH NUMBER OF SPACES
	EXISTING ACCESSIBLE PARKING WITH NUMBER OF SPACES
	EXISTING PEDESTRIAN CROSSING
	EXISTING UTILITY POLE
	EXISTING LIGHT POLE
	EXISTING SIGN
	PROPOSED BUILDING LINE
	PROPOSED CONCRETE CURB
	PROPOSED SIDEWALK LINE
	PROPOSED PARKING SPACES WITH NUMBER OF SPACES
	PROPOSED ACCESSIBLE PARKING WITH NUMBER OF SPACES
	PROPOSED CONCRETE SIDEWALK
	PROPOSED MASONRY CONCRETE SIDEWALK & CURB
	PROPOSED DEEP CURB AND RAMP
	PROPOSED HEAVY DUTY PAVEMENT
	PROPOSED RETAINING WALL
	PROPOSED SIGN LOCATION & DESIGNATION
	PROPOSED CURB
	PROPOSED PARKING
	PROPOSED SINGLE ROW LIGHTING STANDARD
	PROPOSED DOUBLE ROW LIGHTING STANDARD
	PROPOSED CONCRETE PAD

NOTES:
 1. EXISTING CONDITIONS SHOWN ON THIS PLAN HAVE BEEN TAKEN FROM THE SURVEY OF THE PROPERTY BY JMC PLANNING, ENGINEERING, LANDSCAPE ARCHITECTURE & LAND SURVEYING, PLLC. CONTROL POINT ASSOCIATES, INC. DATED 07/09/2016.

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OVERALL LAYOUT PLAN
 ORANGETOWN SHOPPING CENTER
 1 ORANGETOWN ROAD
 ORANGETOWN, NY 10962

JMC
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 JMC Site Development Consultants, LLC
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ARCHITECT:
 STUDIO ARCHITECTURE-NEW YORK
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 WHITE PLAINS, NY 10607

No.	Revision	Date	By
1.	SITE PLAN APPROVAL SUBMISSION	01/21/2022	DJG

SP-5

DATE: 08/29/2021
 SCALE: 1" = 40'
 DRAWING NO: SP-5
 SHEET NO: 5 OF 5
 LAYOUT

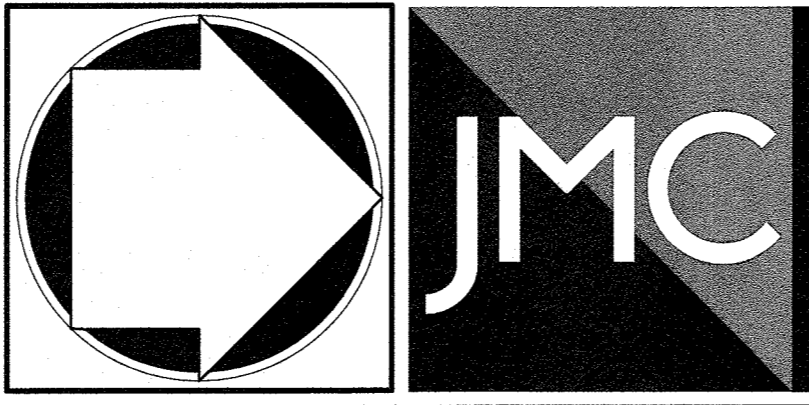
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Drawn: SR	Approved: RA
Scale: 1" = 20'	Date: 08/29/21
Project No: 15210	Sheet No: SP-6
Client: JMC	Site: Orangetown Shopping Center

LAYOUT PLAN
ORANGETOWN SHOPPING CENTER
 1 ORANGETOWN ROAD
 ORANGETOWN, NY 10962



JMC Planning, Engineering, Landscape Architecture & Land Surveying, PLLC
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APPLICANT: **URSTADT BIDDLE PROPERTIES**
 321 RAILROAD AVENUE
 GREENWICH, CT 06830

ARCHITECT: **STUDIO ARCHITECTURE-NEW YORK**
 297 KNOLLWOOD ROAD SUITE 209
 WHITE PLAINS, NY 10607

No.	Revision	Date	By
1.	SITE PLAN APPROVAL SUBMISSION	01/21/2022	DJG

LEGEND

[Symbol]	EXISTING PROPERTY LINE
[Symbol]	ADJACENT PROPERTY LINE
[Symbol]	EXISTING SETBACK LINE
[Symbol]	EXISTING EASEMENT LINE
[Symbol]	EXISTING ROWWAY CENTER LINE
[Symbol]	EXISTING PAVEMENT EDGE
[Symbol]	EXISTING CURB LINE
[Symbol]	EXISTING DIRECTIONAL ARROWS
[Symbol]	EXISTING PAINT
[Symbol]	EXISTING PARKING WITH NUMBER OF SPACES
[Symbol]	EXISTING ACCESSIBLE PARKING WITH NUMBER OF SPACES
[Symbol]	EXISTING PEDESTRIAN CROSSING
[Symbol]	EXISTING LIGHT POLE
[Symbol]	EXISTING LIGHT POLE
[Symbol]	EXISTING SIGN
[Symbol]	PROPOSED BUILDING LINE
[Symbol]	PROPOSED CONCRETE CURB
[Symbol]	PROPOSED SAWDUST LINE
[Symbol]	PROPOSED PARKING SPACES WITH NUMBER OF SPACES INDICATED (ONLY TO SHOW SPACES)
[Symbol]	PROPOSED CONCRETE SIDEWALK
[Symbol]	PROPOSED MANHOLE CONCRETE SIDEWALK & CURB
[Symbol]	PROPOSED DRIVE CURB AND BUMP
[Symbol]	PROPOSED HEAVY DUTY PAVEMENT (DESIGN BY OTHERS)
[Symbol]	PROPOSED RETAINING WALL (DESIGN BY OTHERS)
[Symbol]	TRAFFIC SIGN LOCATION & DESCRIPTION
[Symbol]	PROPOSED CURBING
[Symbol]	PROPOSED PARKING
[Symbol]	PROPOSED SINGLE AND LIGHTING STANDARDS
[Symbol]	PROPOSED DOUBLE AND LIGHTING STANDARDS
[Symbol]	PROPOSED CONCRETE PAD

NOTES:
 1. EXISTING CONDITIONS SHOWN ON THIS PLAN HAVE BEEN TAKEN FROM

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ORANGEBURG ROAD

MATCHLINE
AREA 'A'

SEC. 74.10
REVISED OWNER
BROWNE, LLC

SEC. 74.10
REVISED OWNER
BROWNE, LLC

LEGEND	
	EXISTING PROPERTY LINE
	ADJACENT PROPERTY LINE
	EXISTING EASEMENT LINE
	EXISTING PAVEMENT EDGE
	EXISTING CURB LINE
	EXISTING CONTOUR
	EXISTING SPOT GRADE
	EXISTING DRAIN INLET
	EXISTING MANHOLE
	EXISTING UTILITY POLE
	EXISTING LIGHT POLE
	EXISTING SIGN
	PROPOSED CONCRETE CURB
	PROPOSED CONCRETE SIDEWALK
	PROPOSED RAMP CURB AND RAMP
	PROPOSED INDEX GRADE
	PROPOSED MINOR GRADE
	PROPOSED SPOT GRADE
	PROPOSED SWAMING STREAM MANHOLE
	PROPOSED STORM DRAIN MANHOLE
	PROPOSED TYPE 1 DRAIN INLET
	PROPOSED TYPE 2 DRAIN INLET
	PROPOSED RETAINING WALL (DESIGNED BY OTHERS)
	PROPOSED LANE OF DISTURBANCE
	EXISTING FEATURE TO BE REMOVED
	PROPOSED TYPE 1 DRAIN INLET TO BE DONE BY TENANT
	PROPOSED CURBING TO BE DONE BY TENANT
	PROPOSED CONCRETE PAD TO BE DONE BY TENANT

NOTES
1. EXISTING CONDITIONS DERIVED ON THIS PLAN HAVE BEEN TAKEN FROM SURVEY TITLED "PARTIAL TOPOGRAPHIC & UTILITIES SURVEY" PERFORMED BY CONSULTING ENGINEER JOHN MEYER CONSULTING, INC. DATED 07/29/2021.

ANY ALTERATION OF PLANS, SPECIFICATIONS, OR CONDITIONS OF CONTRACT SHALL BE THE RESPONSIBILITY OF THE CLIENT. THE ENGINEER OR ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS IN THE PLANS, SPECIFICATIONS, OR CONDITIONS OF CONTRACT, EXCEPT AS PROVIDED FOR BY SECTION 1720B SUBSECTION 2.

SP-7

Scale: 1" = 20'

Date: 09/21/2021

Project: 15210

Sheet: 9-7

Drawn by: [Signature]

Checked by: [Signature]

GRADING PLAN

ORANGETOWN SHOPPING CENTER
1 ORANGEBURG ROAD
ORANGETOWN, NY 10962

JMC

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APPLICANT
URSTADT BIDDLE PROPERTIES
321 RAILROAD AVENUE
GREENWICH, CT 06830

ARCHITECT:
STUDIO ARCHITECTURE—NEW YORK
297 KNOLLWOOD ROAD SUITE 209
WHITE PLAINS, NY 10607

No.	Revision	Date	By
1.	SITE PLAN APPROVAL SUBMISSION	01/21/2022	DJG

Previous Editions Obsolete



LEGEND

---	EXISTING PROPERTY LINE
---	ADJACENT PROPERTY LINE
---	EXISTING EASEMENT LINE
---	EXISTING EASEMENT EDGE
---	EXISTING CURB LINE
---	EXISTING STORM DRAIN LINE AND SIZE
---	EXISTING WATER LINE
---	EXISTING GAS LINE
---	EXISTING SANITARY LINE
---	EXISTING DRAIN INLET
---	EXISTING MANHOLE
---	EXISTING FIRE HYDRANT
---	EXISTING GAS VALVE
---	EXISTING WATER VALVE
---	EXISTING UTILITY POLE
---	EXISTING LIGHT POLE
---	EXISTING SIGN
---	PROPOSED CONCRETE CURB
---	PROPOSED EASEMENT LINE
---	PROPOSED CONCRETE SIDEWALK
---	PROPOSED DROP CURB AND RAMP
---	PROPOSED SANITARY SINKS MANHOLE
---	PROPOSED STORM DRAIN MANHOLE
---	PROPOSED TYPE C DRAIN INLET
---	PROPOSED TYPE U DRAIN INLET
---	PROPOSED TYPE L DRAIN INLET
---	PROPOSED STORM DRAIN LINE & SIZE
---	PROPOSED WATER LINE & SIZE
---	PROPOSED SANITARY SINKS LINE & SIZE
---	PROPOSED GAS LINE
---	PROPOSED ELECTRIC/TELEPHONE/CABLE
---	PROPOSED FIRE ALARM BELL
---	PROPOSED FEATURE TO BE REWORKED (AS SHOWN BY OTHERS)
---	EXISTING FEATURE TO BE REWORKED
---	PROPOSED TYPE D DRAIN INLET TO BE DONE BY TITANIUM
---	PROPOSED TYPE E DRAIN INLET TO BE DONE BY TITANIUM
---	PROPOSED TYPE F DRAIN INLET TO BE DONE BY TITANIUM
---	PROPOSED TYPE G DRAIN INLET TO BE DONE BY TITANIUM
---	PROPOSED TYPE H DRAIN INLET TO BE DONE BY TITANIUM
---	PROPOSED TYPE I DRAIN INLET TO BE DONE BY TITANIUM
---	PROPOSED TYPE J DRAIN INLET TO BE DONE BY TITANIUM
---	PROPOSED TYPE K DRAIN INLET TO BE DONE BY TITANIUM
---	PROPOSED TYPE L DRAIN INLET TO BE DONE BY TITANIUM
---	PROPOSED TYPE M DRAIN INLET TO BE DONE BY TITANIUM
---	PROPOSED TYPE N DRAIN INLET TO BE DONE BY TITANIUM
---	PROPOSED TYPE O DRAIN INLET TO BE DONE BY TITANIUM
---	PROPOSED TYPE P DRAIN INLET TO BE DONE BY TITANIUM
---	PROPOSED TYPE Q DRAIN INLET TO BE DONE BY TITANIUM
---	PROPOSED TYPE R DRAIN INLET TO BE DONE BY TITANIUM
---	PROPOSED TYPE S DRAIN INLET TO BE DONE BY TITANIUM
---	PROPOSED TYPE T DRAIN INLET TO BE DONE BY TITANIUM
---	PROPOSED TYPE U DRAIN INLET TO BE DONE BY TITANIUM
---	PROPOSED TYPE V DRAIN INLET TO BE DONE BY TITANIUM
---	PROPOSED TYPE W DRAIN INLET TO BE DONE BY TITANIUM
---	PROPOSED TYPE X DRAIN INLET TO BE DONE BY TITANIUM
---	PROPOSED TYPE Y DRAIN INLET TO BE DONE BY TITANIUM
---	PROPOSED TYPE Z DRAIN INLET TO BE DONE BY TITANIUM

NOTES

- EXISTING CONDITIONS SHOWN ON THIS PLAN HAVE BEEN TAKEN FROM SURVEY POINT ASSOCIATES, INC. DATED 01/09/2016.

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No.	Revision	Date	By
1.	SITE PLAN APPROVAL SUBMISSION	01/21/2022	D.J.G.

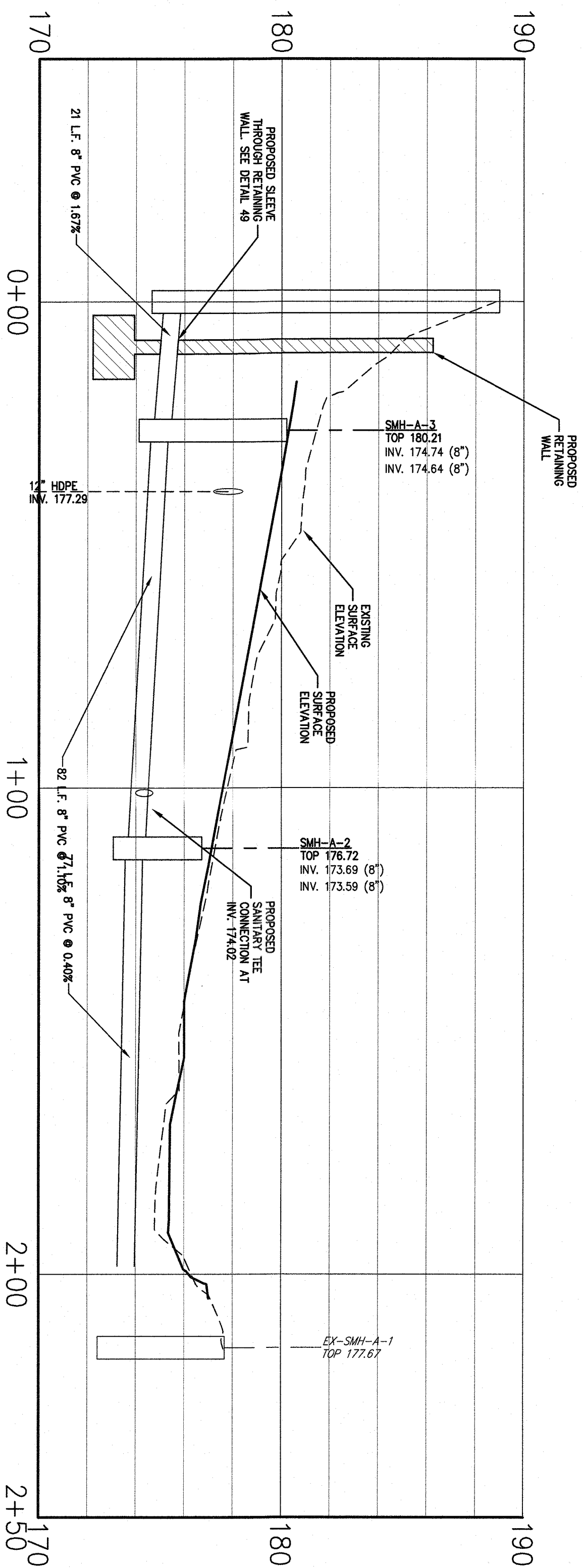
Scale: 1" = 20'
Date: 08/20/2021
Project No: 13210
Drawing No: 3-8
Title: UTILITIES PLAN

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STATE OF NEW YORK
OFFICE OF THE STATE ENGINEER
SECTION 2208 SUBSECTION 2

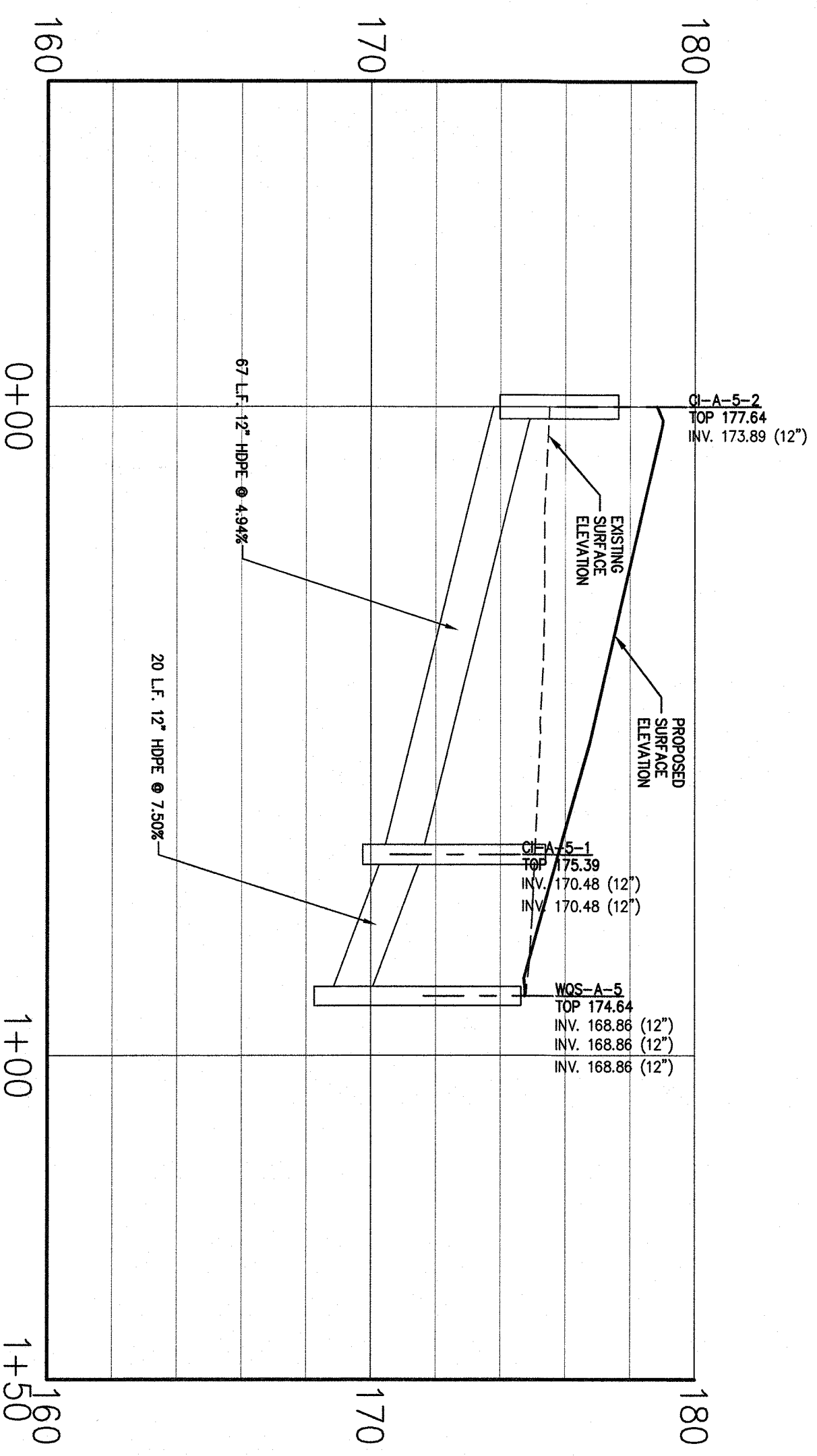
UTILITIES PLAN
ORANGETOWN SHOPPING CENTER
1 ORANGETOWN ROAD
ORANGETOWN, NY 10962

SP-8



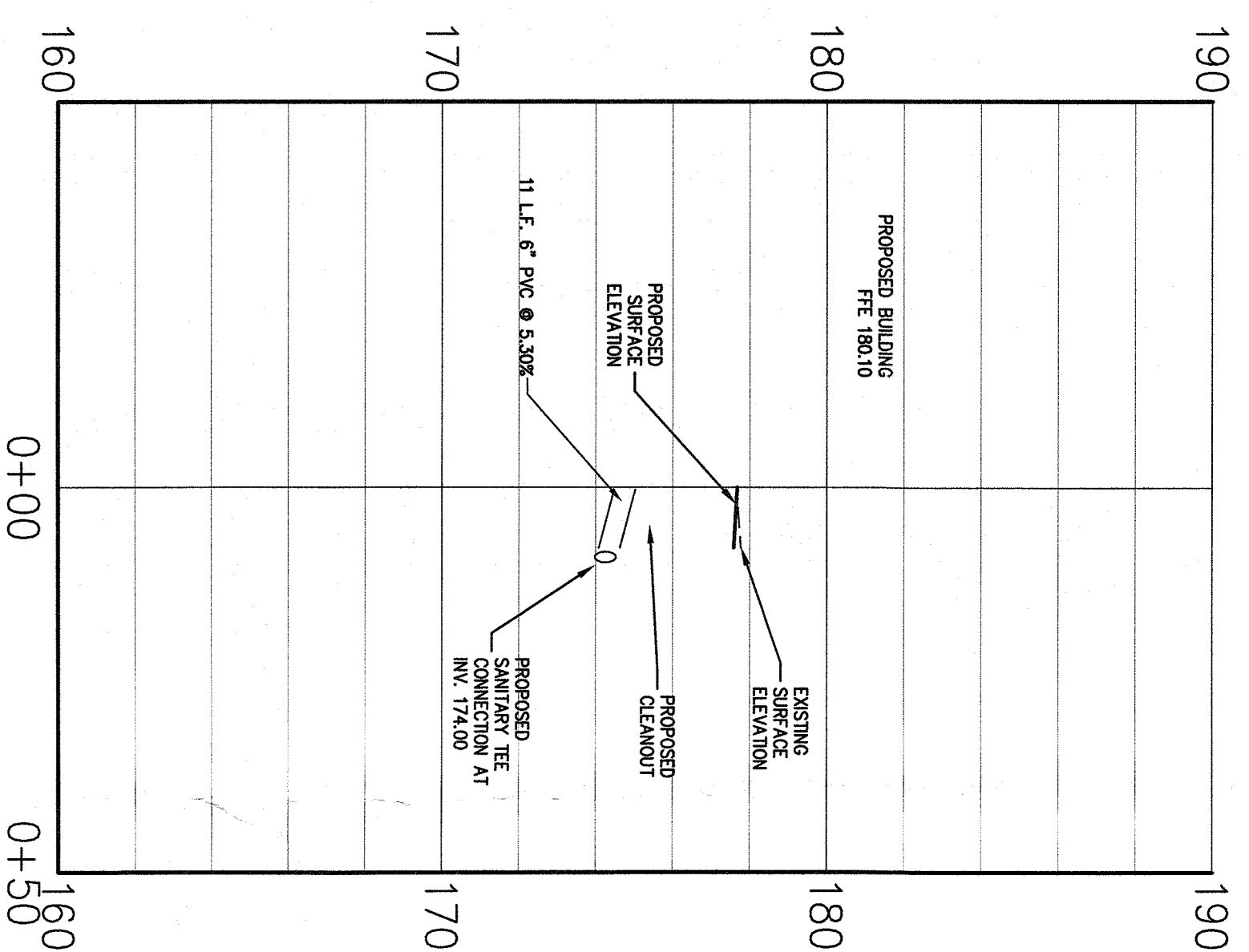
SMH-A-4 TO EX-SMH-A-1 PROFILE

Horizontal Scale: 1" = 4'
Vertical Scale: 1" = 20'



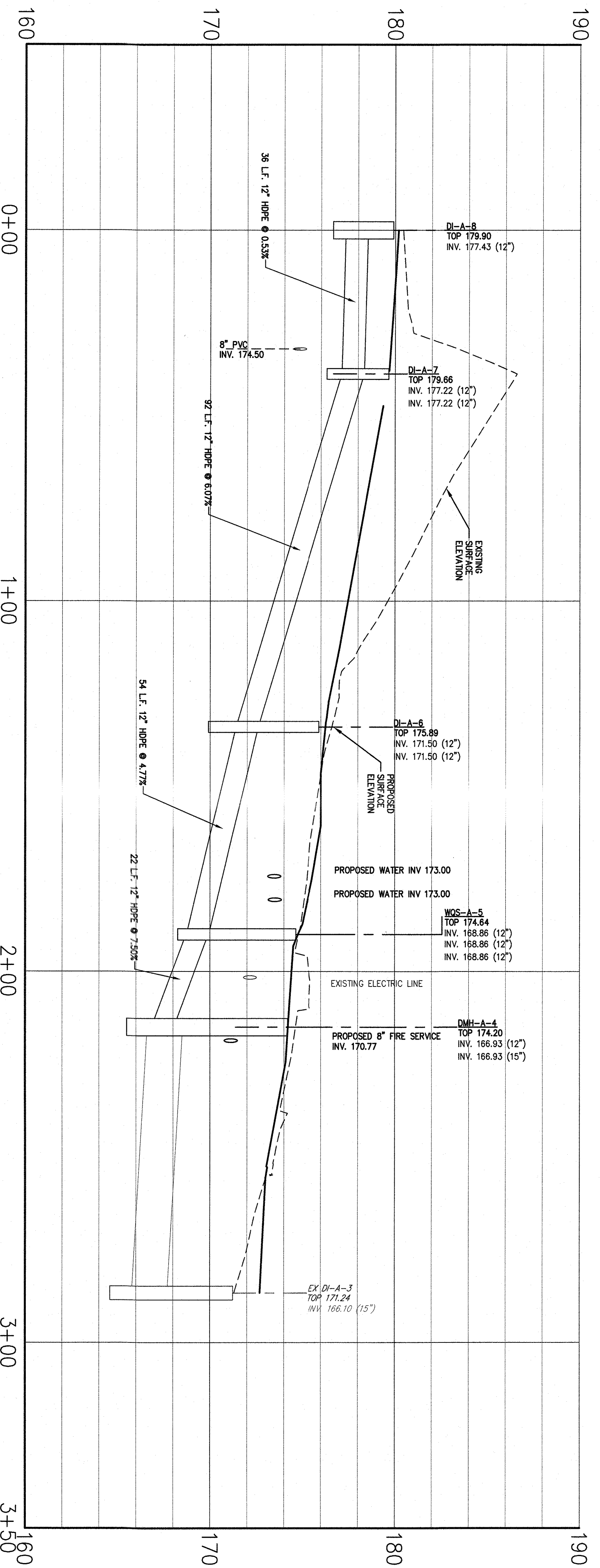
CI-A-5-2 TO WAS-A-5 PROFILE

Horizontal Scale: 1" = 4'
Vertical Scale: 1" = 20'



BLDG CONNECTION TO 8 INCH MAIN CONNECTION PROFILE

Horizontal Scale: 1" = 4'
Vertical Scale: 1" = 20'



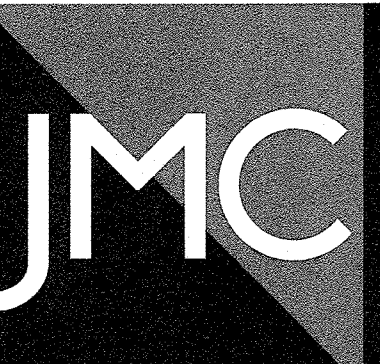
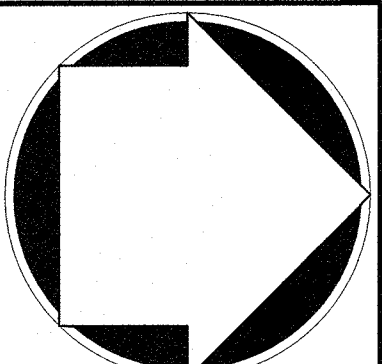
DI-A-8 TO EX DI-A-3 PROFILE

Horizontal Scale: 1" = 4'
Vertical Scale: 1" = 20'

ANY ALTERATION OF PLANS, SPECIFICATIONS, PARTS AND REPORTS BEYOND THE SEAL AND SIGNATURE OF THE REGISTERED PROFESSIONAL ENGINEER OR LICENSED LAND SURVEYOR IS A VIOLATION OF SECTION 2203 OF THE NEW YORK STATE ENGINEERING AND SURVEYING LAW. ANY SUCH VIOLATION IS SUBJECT TO PROSECUTION BY SECTION 7208, SUBSECTION 2.



UTILITY PROFILE PLAN
ORANGETOWN SHOPPING CENTER
1 ORANGETOWN ROAD
ORANGETOWN, NY 10962



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ARCHITECT
STUDIO ARCHITECTURE-NEW YORK
297 KNOLLWOOD ROAD SUITE 209
WHITE PLAINS, NY 10607

No.	Revision	Date	By
1.	SITE PLAN APPROVAL SUBMISSION	01/21/2022	DJG
<i>Previous Editions Obsolete</i>			

SP-9
Drawing No. SP-9
Date: 09/20/2021
Project No. 12010
Scale: 1" = 20'
Checked: JR
Approved: RA



PLANT SCHEDULE						
TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT COND.	REMARKS
ACE SUN	2	Acer rubrum Red Sunbelt	Red Sunbelt Maple	3" - 3 1/2" CAL.	B & B	
GT	6	Quercus tinctoria Morris 'Stalderman'	Stalderman Honeylocust	3" - 3 1/2" CAL.	B & B	
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT COND.	REMARKS
ILE SH4	19	Ilex glabra 'Shanrock'	hobby	3" - 4" Height	B & B	
SHRUB AREAS	QTY	BOTANICAL NAME	COMMON NAME	CONT.	ROOT COND.	REMARKS
CV2	124	Comarostaphylis verticillata	Verticillata Rock Spray Comarostaphylis	2 gal	Container	
LIN PAS	50	Juniperus horizontalis 'Parsonii'	Parson's Juniper	2 gal	Container	
BEN HAM	57	Pennisetum setosum 'Hammer'	Hammer Dwarf Fountain Grass	2 gal	Container	
SED M13	55	Sedum 'Autumn Joy'	Autumn Joy Sedum	2 gal	Container	PERENNIALS

LEGEND	
	EXISTING PROPERTY LINE
	ADJACENT PROPERTY LINE
	EXISTING SETBACK LINE
	EXISTING WETLAND BUFFER
	EXISTING WETLAND OPENING
	EXISTING BUILDING OUTLINE
	EXISTING PAVEMENT DOCK
	EXISTING CURB LINE
	EXISTING STONE WALL
	EXISTING RETAINING WALL
	EXISTING CURB WALL
	EXISTING FENCE
	EXISTING TREE AND DESIGNATION
	EXISTING TREE LINE
	EXISTING UTILITY POLE
	EXISTING LIGHT POLE
	EXISTING SIGN
	PROPOSED BUILDING LINE
	PROPOSED CONCRETE CURB
	PROPOSED SIDEWALK
	PROPOSED CONCRETE APRON
	PROPOSED HITCH RAIL
	PROPOSED RETAINING WALL
	PROPOSED FENCE
	PROPOSED DOUBLE AND LIGHTING STANDARD
	PROPOSED SIGN
	2'-4" WIDE YELLOW LINES 8" O.C.
	12' WIDE WHITE STOP LINE
	TRAFFIC SIGN LOCATION & DESIGNATION
	PROPOSED DECIDUOUS TREE
	PROPOSED FLOWERING TREE
	PROPOSED EVERGREEN TREE
	PROPOSED SHRUB/PERENNIAL
	PROPOSED SHRUB MASSING
	EXISTING TREE LINE TO BE REMOVED

- NOTES:**
- ALL PLANT MATERIAL SPECIFIED ON THE DRAWINGS SHALL BE FIRST QUALITY NURSERY GROWN STOCK CENTERED TRUE TO THEIR GENUS, SPECIES AND VARIETY. ALL OF WHICH SHALL CONFORM TO THE AMERICAN STANDARD FOR PLANT MATERIALS (ANSI Z60.1-2010) AND THE NEW YORK STATE STANDARD FOR PLANT MATERIALS (NYSDOT SECTION 7200 OF THE NEW YORK STATE EDUCATION LAW, SECTION 7209 SUBSECTION 2).
 - ALL AREAS OF THE SITE NOT COVERED BY THIS PLAN SHALL BE PLANTED WITH TREES, SHRUBS OR GRASS COVER, SHALL BE LAWN.

ANY ALTERATION OF PLANS WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT SHALL BE AT THE USER'S RISK. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE ARCHITECT'S LIABILITY IS LIMITED TO THE PROFESSIONAL SERVICES RENDERED. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE ARCHITECT'S LIABILITY IS LIMITED TO THE PROFESSIONAL SERVICES RENDERED.

DATE: 06/20/2021
 SCALE: 1" = 20'
 DRAWING NO: SP-11
 SHEET NO: 13/20
 USER: [Name]

LANDSCAPING PLAN
ORANGETOWN SHOPPING CENTER
 1 ORANGEBURG ROAD
 ORANGETOWN, NY 10962

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 GREENWICH, CT 06830

ARCHITECT: **STUDIO ARCHITECTURE-NEW YORK**
 297 KNOLLWOOD ROAD SUITE 209
 WHITE PLAINS, NY 10607

No.	Revision	Date	By
1.	SITE PLAN APPROVAL SUBMISSION	01/21/2022	DJG

Previous Editions Obsolete

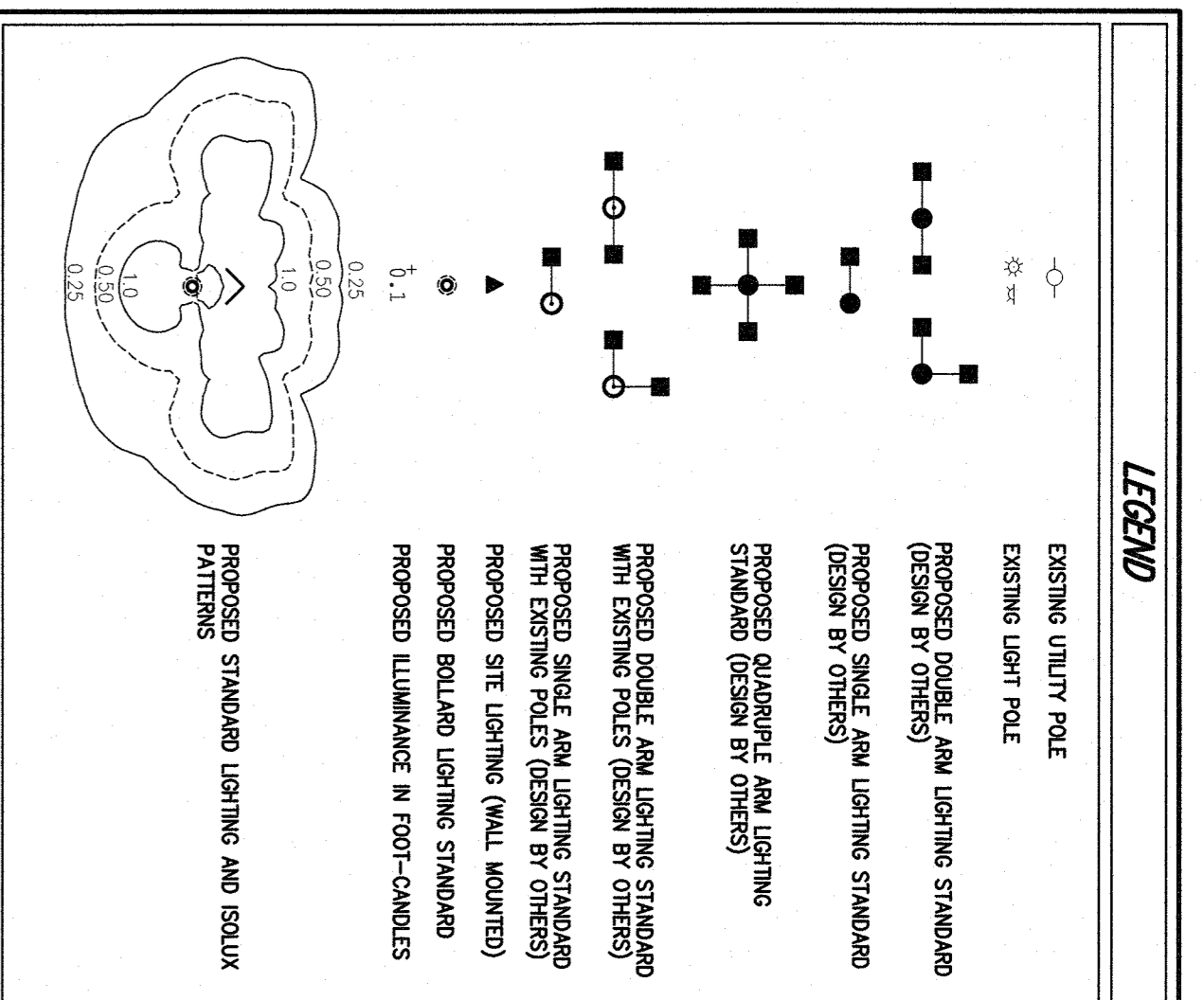


ORANGEBURG ROAD

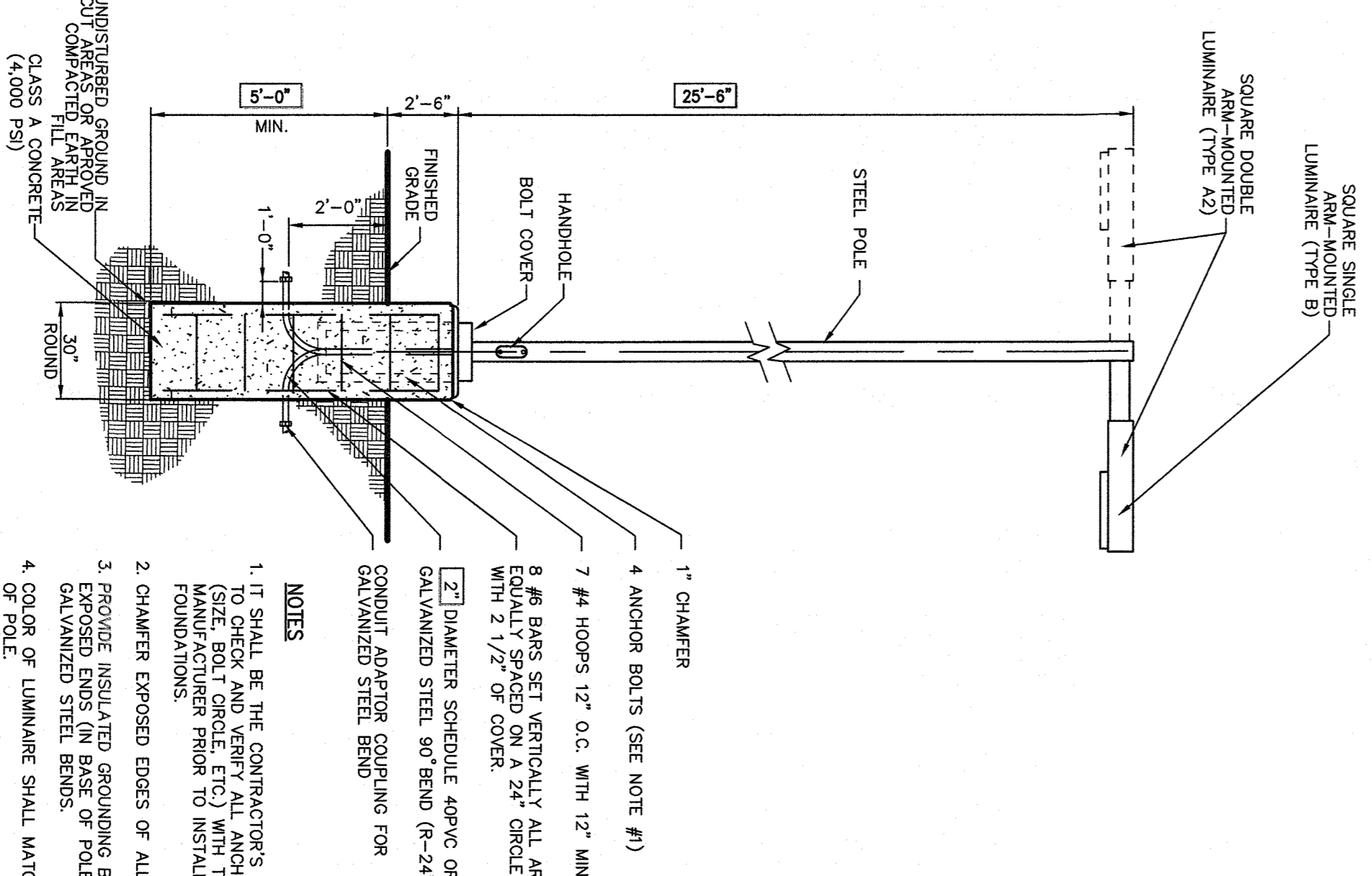
- TWIN LAUNDRY SERVICES
2,500 S.F.
- MAGIC TOUCH NAILS
1,158 S.F.
- MARELLA LUNA PIZZA
1,400 S.F.
- TIP TOP STATIONARY
1,600 S.F.
- ALLSTATE INSURANCE
1,208 S.F.
- HIKARA SUSHI RESTAURANT
1,000 S.F.
- THE ACADEMY OF MARTIAL ARTS
2,588 S.F.
- TOBACCO HOUSE
900 S.F.
- MATCHLINE 'A'

Luminaire Schedule	Label	Description	Quantity	Height	Footcandle
A2	ALESTYRO D10 20@150'	BACKLASH	27288	15.0'	2.7
B	ALESTYRO D10 20@150'	POLE MOUNT	2807	15.0'	2.8

Calculation Summary	Label	Unit	Avg	Max	Min	Avg/ft	Max/ft	Min/ft	Project	Height
Chamber	FC	fc	2.77	12.8	0.0	N/A	N/A	10	10	10
Typical Parking Area	FC	fc	3.33	12.8	0.0	6.60	26.60	10	10	10



- NOTES:**
- ALL LIGHTS AND ARMS SHALL BE INSTALLED UNDERGROUND IN CONCORD. CONDUIT SHALL BE 1/2" DIA. (2) FEET OF COVER. MINIMUM SIZE OF CONDUIT SHALL BE 1/2" (2) INCH DIAMETER.
 - GROUND WIRING SHALL BE #12 COPPER CONDUCTORS. THE MIN. CONDUIT SHALL BE AS SHOWN ON THE DRAWINGS.



- NOTES:**
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE EXISTING UTILITIES (SEE SITE SURVEY) AND TO OBTAIN ALL NECESSARY PERMITS FROM THE MANUFACTURER PRIOR TO INSTALLATION OF THE CHAMBER EXPOSED EDGES OF ALL FOUNDATIONS.
 - PROVIDE INSULATING BEARING ON GALVANNEZED STEEL BRND (SEE NOTE #1) TO ALL FOUNDATIONS.
 - CHAMBER EXPOSED EDGES OF ALL FOUNDATIONS. COLOR OF LUMINAIRE SHALL MATCH COLOR OF POLE.
 - ANY ALTERATION OF PLANS, SPECIFICATIONS, PLANS AND REPORTS BEHIND THE SEAL OF AN ARCHITECT, ENGINEER OR LICENSED LAND SURVEYOR IS A VIOLATION OF SECTION 7208 OF THE NEW YORK STATE ELECTION LAW EXCEPT AS PROVIDED FOR BY SECTION 7208 SUBSECTION 2.

LIGHTING STANDARD
(Arm Mounted)

Project: SP-12
Date: 06/07/2016
Scale: 1" = 20'
Drawing No: SP-12
Title: LIGHTING PLAN

LIGHTING PLAN
ORANGETOWN SHOPPING CENTER
1 ORANGEBURG ROAD
ORANGETOWN, NY 10962

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297 KNOLLWOOD ROAD SUITE 209
WHITE PLAINS, NY 10607

No.	Revision	Date	By
1.	SITE PLAN APPROVAL SUBMISSION	01/21/2022	DVG

CONNECTOR AT EXISTING MANHOLE
(SANITARY SEWER)

11

NOTES:
1. DROP CONNECTION SHALL BE USED WHEN INCLUDING SANITARY SEWER IS MORE THAN 2'-0" DEEPER THAN THE OUTGOING SEWER.
2. PIPE SIZE OF DROP CONNECTION SHALL BE THE SAME SIZE AS LATERAL WITH 6" MINIMUM DIAMETER.

UTILITY NOTES

12

NOTES PERTAINING TO DRAIN INLETS

- STEPS WILL NOT BE REQUIRED IN WETTER AREAS THAN 10% (4) FEET IN DEPTH. STEPS WILL BE REQUIRED IN AREAS FROM (4) FEET OR GREATER IN DEPTH. CENTERS FOR DRAIN INLETS SHALL BE LOCATED FROM FINISHED GRADE TO INSIDE BOTTOM OF STRUCTURE (INCLUDING SUMP) AS APPROVED.
- WHEN STEPS ARE REQUIRED, STEPS SHALL COMPLY WITH THE SAME REQUIREMENTS OF ASTM STANDARD C-478, ARTICLE 1.3 ENTITLED "MANHOLE STEPS & LADDERS".
- FOR MASONRY STRUCTURES, THE FIRST COURSE OF MASONRY SHALL BE SET IN THE CONCRETE FOUNDATION BEFORE THE CONCRETE HAS SET. CONCRETE FOUNDATION SHALL BE CLASS "Y" (4000 PSI) AND THE STRUCTURE SHALL BE CLASS "X" (4000 PSI) CONCRETE.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO FINISH AND CONSTRUCT THE PROPER SIZE STRUCTURE INCLUDING THE NECESSARY OPENINGS TO ACCOMMODATE THE WORK AS SHOWN ON THE PLANS OR ORDERED BY THE ENGINEER. AT NO ADDITIONAL COST TO THE OWNER.
- ALL NECESSARY PATCHING FOR DRAIN STRUCTURES SHALL BE ACCOMPLISHED BY THE SQA/CHEMICAL CORP.
- FOUNDATIONS FOR PRECAST CONCRETE STRUCTURES SHALL BE SET ON A COMPACTED LAYER OF APPROVED GRANULAR STONE HAVING A MINIMUM COMPACTED THICKNESS OF 6" (6) INCHES.
- ALL PIPES SHALL BE CUT FLUSH WITH THE INSIDE WALL OF THE STRUCTURE.
- PROVIDE APPROVED CONCRETE TOP SLAB FOR OVERSIZED DRAIN INLETS WITH PROPER SIZE OPENING TO ACCOMMODATE INSTALLATION OF FRAME & GRADE.
- FOR MASONRY STRUCTURES GREATER THAN 10" (10) FEET IN DEPTH, THICKNESS OF MASONRY WALLS SHALL BE INCREASED TO THREE (3) INCHES.
- FOR ALL STRUCTURES GREATER THAN 10 FEET IN DEPTH, STRUCTURES SHALL PROVIDE MINIMUM INSIDE DIMENSIONS OF 4 FEET X 4 FEET.

NOTES PERTAINING TO MANHOLES

- PRECAST CONCRETE MANHOLES SHALL COMPLY WITH ASTM STANDARD C-478, MANHOLE JOINTS SHALL COMPLY WITH ASTM STANDARD C-443.
- FOR PRECAST CONCRETE MANHOLES 6" (6) FEET OR LESS IN HEIGHT, TOP CONE SECTION SHALL BE REPLACED WITH PRECAST REINFORCED CONCRETE SLAB (6" MIN. THICKNESS) WITH OPENING OF SUFFICIENT SIZE TO ACCOMMODATE MANHOLE CASING.
- FOR MANHOLES 10 FEET OR MORE IN DEPTH, MANHOLE DIAMETER SHALL BE 18" (18) INCHES.
- TEMPORARY MANHOLE FLOORS SHALL BE SLOPED TOWARD OUTFALL PIPE.
- INLET MANHOLES FOR PRECAST CONCRETE MANHOLES SHALL BE CONSTRUCTED OF CONCRETE.

NOTES PERTAINING TO PRECAST CONCRETE STRUCTURES FOR STORM DRAINS, SANITARY SEWERS AND WATER LINES

- ALL PRECAST CONCRETE STRUCTURES SHALL BE DESIGNED TO ACCOMMODATE AN H-20 DESIGN LOAD.
- STEPS SHALL BE LOCATED WITHIN STRUCTURE TO AVOID PLACEMENT OVER PIPES WHEN PRACTICABLE.

DOGHOUSE MANHOLE

8

SEWER LINE COVER
(DIAMETER VARIATION)

NOTES:
1. LOCATION OF FINISH UNDERGROUND MAY VARY FROM THAT AS SHOWN AND EXCEPT THE STRUCTURE. SEE 5" STORM DRAIN WHEN SHOWN.
2. SEE NOTES PERTAINING TO DRAIN INLETS UNDER UTILITY NOTES ON DRAWING 5-13.

DRAIN INLET (TYPE C)
(with sump-with finger underdrains)

9

NOTE:
1. LOCATION OF FINISH UNDERGROUND MAY VARY FROM THAT AS SHOWN AND EXCEPT THE STRUCTURE. SEE 5" STORM DRAIN WHEN SHOWN.
2. SEE NOTES PERTAINING TO DRAIN INLETS UNDER UTILITY NOTES ON DRAWING 5-13.

DRAIN INLET (TYPE D)
(with sump-with finger underdrains)

10

NOTE:
1. PRECAST CONCRETE TOP SLAB AND REINFORCED PRECAST CONCRETE STRUCTURE SHALL BE DESIGNED TO ACCOMMODATE AN H-20 DESIGN LOAD.
2. LOCATION OF FINISH UNDERGROUND MAY VARY FROM THAT AS SHOWN AND EXCEPT THE STRUCTURE. SEE 5" STORM DRAIN WHEN SHOWN.
3. SEE NOTES PERTAINING TO DRAIN INLETS UNDER UTILITY NOTES ON DRAWING 5-13.

CONNECTOR AT EXISTING MANHOLE
(SANITARY SEWER)

11

NOTES:
1. DROP CONNECTION SHALL BE USED WHEN INCLUDING SANITARY SEWER IS MORE THAN 2'-0" DEEPER THAN THE OUTGOING SEWER.
2. PIPE SIZE OF DROP CONNECTION SHALL BE THE SAME SIZE AS LATERAL WITH 6" MINIMUM DIAMETER.

UTILITY NOTES

12

NOTES PERTAINING TO DRAIN INLETS

- STEPS WILL NOT BE REQUIRED IN WETTER AREAS THAN 10% (4) FEET IN DEPTH. STEPS WILL BE REQUIRED IN AREAS FROM (4) FEET OR GREATER IN DEPTH. CENTERS FOR DRAIN INLETS SHALL BE LOCATED FROM FINISHED GRADE TO INSIDE BOTTOM OF STRUCTURE (INCLUDING SUMP) AS APPROVED.
- WHEN STEPS ARE REQUIRED, STEPS SHALL COMPLY WITH THE SAME REQUIREMENTS OF ASTM STANDARD C-478, ARTICLE 1.3 ENTITLED "MANHOLE STEPS & LADDERS".
- FOR MASONRY STRUCTURES, THE FIRST COURSE OF MASONRY SHALL BE SET IN THE CONCRETE FOUNDATION BEFORE THE CONCRETE HAS SET. CONCRETE FOUNDATION SHALL BE CLASS "Y" (4000 PSI) AND THE STRUCTURE SHALL BE CLASS "X" (4000 PSI) CONCRETE.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO FINISH AND CONSTRUCT THE PROPER SIZE STRUCTURE INCLUDING THE NECESSARY OPENINGS TO ACCOMMODATE THE WORK AS SHOWN ON THE PLANS OR ORDERED BY THE ENGINEER. AT NO ADDITIONAL COST TO THE OWNER.
- ALL NECESSARY PATCHING FOR DRAIN STRUCTURES SHALL BE ACCOMPLISHED BY THE SQA/CHEMICAL CORP.
- FOUNDATIONS FOR PRECAST CONCRETE STRUCTURES SHALL BE SET ON A COMPACTED LAYER OF APPROVED GRANULAR STONE HAVING A MINIMUM COMPACTED THICKNESS OF 6" (6) INCHES.
- ALL PIPES SHALL BE CUT FLUSH WITH THE INSIDE WALL OF THE STRUCTURE.
- PROVIDE APPROVED CONCRETE TOP SLAB FOR OVERSIZED DRAIN INLETS WITH PROPER SIZE OPENING TO ACCOMMODATE INSTALLATION OF FRAME & GRADE.
- FOR MASONRY STRUCTURES GREATER THAN 10" (10) FEET IN DEPTH, THICKNESS OF MASONRY WALLS SHALL BE INCREASED TO THREE (3) INCHES.
- FOR ALL STRUCTURES GREATER THAN 10 FEET IN DEPTH, STRUCTURES SHALL PROVIDE MINIMUM INSIDE DIMENSIONS OF 4 FEET X 4 FEET.

NOTES PERTAINING TO MANHOLES

- PRECAST CONCRETE MANHOLES SHALL COMPLY WITH ASTM STANDARD C-478, MANHOLE JOINTS SHALL COMPLY WITH ASTM STANDARD C-443.
- FOR PRECAST CONCRETE MANHOLES 6" (6) FEET OR LESS IN HEIGHT, TOP CONE SECTION SHALL BE REPLACED WITH PRECAST REINFORCED CONCRETE SLAB (6" MIN. THICKNESS) WITH OPENING OF SUFFICIENT SIZE TO ACCOMMODATE MANHOLE CASING.
- FOR MANHOLES 10 FEET OR MORE IN DEPTH, MANHOLE DIAMETER SHALL BE 18" (18) INCHES.
- TEMPORARY MANHOLE FLOORS SHALL BE SLOPED TOWARD OUTFALL PIPE.
- INLET MANHOLES FOR PRECAST CONCRETE MANHOLES SHALL BE CONSTRUCTED OF CONCRETE.

NOTES PERTAINING TO PRECAST CONCRETE STRUCTURES FOR STORM DRAINS, SANITARY SEWERS AND WATER LINES

- ALL PRECAST CONCRETE STRUCTURES SHALL BE DESIGNED TO ACCOMMODATE AN H-20 DESIGN LOAD.
- STEPS SHALL BE LOCATED WITHIN STRUCTURE TO AVOID PLACEMENT OVER PIPES WHEN PRACTICABLE.

DROP CONNECTION MH A-4
(EXISTING SEWER PIPE)

13

NOTES:
1. DROP CONNECTION SHALL BE USED WHEN INCLUDING SANITARY SEWER IS MORE THAN 2'-0" DEEPER THAN THE OUTGOING SEWER.
2. PIPE SIZE OF DROP CONNECTION SHALL BE THE SAME SIZE AS LATERAL WITH 6" MINIMUM DIAMETER.

SANITARY SEWER SERVICE CONNECTION

14

NOTES:
1. ALL SERVICE LINES SHALL HAVE A MINIMUM OF 1% (1) PER FT. OF GRADE.
2. REMAINING OR AS DIRECTED BY THE OWNER'S FIELD REPRESENTATIVE.
3. WHERE SERVICE LINES ARE TO BE SLOPED, CONTRACTOR SHALL.
4. MINIMUM APPROVED MATERIAL AND PREPARED UNDER CONTRACTOR SHALL.
5. ALL SERVICE LINES SHALL BE 18" (18) INCHES IN DIAMETER.
6. THE NAME OF CONNECTION MAY BE EXCEEDED TO 22.5' IF APPROVED BY THE OWNER'S FIELD REPRESENTATIVE AND DESIGNER MUST BE APPROVED.
7. SANITARY SEWER SERVICE LINE INCLUDING TRENCH SHALL BE 18" (18) INCHES.

SP-14

DATE: 8/29/2022

PROJECT: 1210

SCALE: NOT TO SCALE

APPROVED BY: RA

CONSTRUCTION DETAILS

ORANGETOWN SHOPPING CENTER

1 ORANGETOWN ROAD
ORANGETOWN, NY 10962

JMC

JMC Planning, Engineering, Landscape Architecture & Land Surveying, PLLC
JMC Site Development Consultants, LLC

John Meyer Consulting, Inc.

120 BEDFORD ROAD • ARMONK, NY 10504
voice 914.273.5225 • fax 914.273.2102
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APPLICANT: URSTADT BIDDLE PROPERTIES
321 RAILROAD AVENUE
GREENWICH, CT 06830

ARCHITECT: STUDIO ARCHITECTURE-NEW YORK
297 KNOLLWOOD ROAD SUITE 209
WHITE PLAINS, NY 10607

No.	Revision	Date	By
1.	SITE PLAN APPROVAL SUBMISSION	01/21/2022	DJG

Previous Editions Obsolete

PAVEMENT RESURFACING

NOTES:

- THICKNESSES INDICATED REFER TO COMPACTED MEASURE.
- ITEM NUMBERS REFER TO DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS.

NEW YORK STATE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS

SITE PAVEMENT

NOTES:

- THICKNESSES INDICATED REFER TO COMPACTED MEASURE.
- MATERIAL AND MIX/TECH NUMBERS REFER TO DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS.

NEW YORK STATE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS

CLEANOUT W/O MANHOLE

NOTES:

- ALL PIPE MATERIAL FOR CLEANOUT TO BE POLYVINYL CHLORIDE PIPE.
- FOR HEIGHT OF CLEANOUT SEE PLAN.

PAVEMENT KEYING

NOTE:

- THE CONTRACTOR SHALL PROVIDE PAVEMENT KEYS AS SHOWN IN THIS DETAIL. PAVEMENT KEYS SHALL BE CONSTRUCTED WITH PAVEMENT KEYS WITH CASTINGS THAT CANNOT BE RESET. KEYS SHALL BE SAW CUT AND PAVEMENT SHALL BE REMOVED IN ACCORDANCE WITH THE DIMENSIONS SHOWN OR AS ORDERED BY THE OWNER'S FIELD REPRESENTATIVE.

SEPARATION OF WATER AND SANITARY SEWER/STORM DRAIN LINES

NOTES:

- MINIMUM CONDITIONS:
 - WHENEVER A WATER MAIN MUST CROSS OVER OR UNDER A SANITARY SEWER OR STORM DRAIN, THE PIPES SHALL BE Laid TO PROVIDE A VERTICAL SEPARATION BETWEEN THEM OF AT LEAST 18 INCHES, AS MEASURED FROM THE BOTTOM OF THE LOWER PIPE TO THE TOP OF THE UPPER PIPE.
 - PERMITTED AT THE POINT OF CROSSING, NO JOINTS WILL BE PERMITTED AT THE POINT OF CROSSING.
 - IF DURING CONSTRUCTION IT IS FOUND THAT THE REQUIRED SEPARATION OF WATER MAIN, SANITARY SEWER, OR STORM DRAIN FROM SANITARY SEWER OR STORM DRAIN CANNOT BE MAINTAINED, THE CONTRACTOR OR HIS AUTHORIZED REPRESENTATIVE SHALL PROVIDE AN ALTERNATIVE SEPARATION CRITERIA SHALL BE OBTAINED FROM THE ENCOUNTERING APPROVAL OR ALTERNATIVE SEPARATION FROM THE ENCOUNTERING APPROVAL.
- WATER MAIN CROSSING UNDER SANITARY SEWERS:
 - VERTICAL SEPARATION OF 18 INCHES MUST BE PROVIDED.
 - APPROPRIATE SPECIFICATIONS MUST BE PROVIDED FOR THE SANITARY SEWER TO PREVENT EXCESSIVE DEFLECTION UNDER LOADS.
 - FULL LENGTH OF WATER PIPE MUST BE CENTERED AT THE POINT OF CROSSING, NO JOINTS WILL BE PERMITTED AT THE POINT OF CROSSING.

WATER MAIN OVER SANITARY SEWER OR STORM DRAIN

NOTES:

- VERTICAL SEPARATION OF 18 INCHES MUST BE PROVIDED.
- APPROPRIATE SPECIFICATIONS MUST BE PROVIDED FOR THE SANITARY SEWER TO PREVENT EXCESSIVE DEFLECTION UNDER LOADS.
- FULL LENGTH OF WATER PIPE MUST BE CENTERED AT THE POINT OF CROSSING, NO JOINTS WILL BE PERMITTED AT THE POINT OF CROSSING.
- IF DURING CONSTRUCTION IT IS FOUND THAT THE REQUIRED SEPARATION OF WATER MAIN, SANITARY SEWER, OR STORM DRAIN FROM SANITARY SEWER OR STORM DRAIN CANNOT BE MAINTAINED, THE CONTRACTOR OR HIS AUTHORIZED REPRESENTATIVE SHALL PROVIDE AN ALTERNATIVE SEPARATION CRITERIA SHALL BE OBTAINED FROM THE ENCOUNTERING APPROVAL OR ALTERNATIVE SEPARATION FROM THE ENCOUNTERING APPROVAL.

POTHOLE REPAIR DETAIL

NOTES:

- SHOULD A PAVEMENT BASE FAILURE OCCUR AS DETERMINED BY THE ON-SITE REPRESENTATIVE, THE SURFGRADE MATERIAL SHALL BE REMOVED AND REPLACED WITH A NEW 1 1/2\"/>
- CONTRACTOR SHALL PERFORM A NEAT SAW CUT LINE, AS INDICATED ABOVE.
- THICKNESS OF ASPHALT CONCRETE INDICATED REFER TO COMPACTED MEASURE.

TRENCH PAVEMENT REPLACEMENT

NOTES:

- THICKNESS INDICATED REFERS TO COMPACTED MEASURE.

CAST-IN-PLACE CONCRETE CURB

NOTES:

- INSTALL 1/2\"/>
- EXPANSION JOINTS SHALL BE INSTALLED AT 20 FEET INTERVALS, UNLESS OTHERWISE SPECIFIED BY THE ARCHITECT.
- LENGTH OF CURB SEGMENTS AT CLOSURES MAY BE VARIED BUT SHALL NOT BE LESS THAN 10 FEET (9) FEET.
- CONCRETE SHALL BE PLACED TO SPREADER OR CONCRETE PAVEMENT MATCH TO EXPANSION JOINTS.

CONSTRUCTION DETAILS

ORANGETOWN SHOPPING CENTER

1 ORANGETOWN ROAD
ORANGETOWN, NY 10962

ANY ALTERATION OF PLANS, SPECIFICATIONS, OR CONDITIONS OF A LICENSED PROFESSIONAL ENGINEER OR LICENSED LAND SURVEYOR OR A LICENSED PROFESSIONAL ARCHITECT OR LANDSCAPE ARCHITECT WITHOUT THE WRITTEN CONSENT OF THE PROFESSIONAL PERSONNEL OF JMC PLANNING, ENGINEERING, LANDSCAPE ARCHITECTURE & LAND SURVEYING, PLLC IS PROHIBITED.

DATE: 8/20/2021
PROJECT: 15210

CONSTRUCTION DETAILS

ORANGETOWN SHOPPING CENTER

1 ORANGETOWN ROAD
ORANGETOWN, NY 10962

ANY ALTERATION OF PLANS, SPECIFICATIONS, OR CONDITIONS OF A LICENSED PROFESSIONAL ENGINEER OR LICENSED LAND SURVEYOR OR A LICENSED PROFESSIONAL ARCHITECT WITHOUT THE WRITTEN CONSENT OF THE PROFESSIONAL PERSONNEL OF JMC PLANNING, ENGINEERING, LANDSCAPE ARCHITECTURE & LAND SURVEYING, PLLC IS PROHIBITED.

DATE: 8/20/2021
PROJECT: 15210

TRENCH PAVEMENT REPLACEMENT

NOTES:

- THICKNESS INDICATED REFERS TO COMPACTED MEASURE.

WHERE ROCK IS ENCOUNTERED IN TRENCH BOTTOM, UNDERCUT MINIMUM OF 6\"/>

WHERE UNSUITABLE MATERIAL IS ENCOUNTERED IN TRENCH BOTTOM, UNDERCUT AS DIRECTED BY OWNER'S FIELD REPRESENTATIVE.

90° PARKING
(SINGLE STRIPING - CURBED ISLAND AND CURBED END)

27

LANDSCAPE AREA
CURB
OUTSIDE RADIUS (SEE NOTE 2)
OUTSIDE RADIUS (SEE NOTE 2)
4" WIDE PAINTED LINES
9'-0" (Varies)
18'-0"

NOTES:
1. COLOR OF PAINT SHALL BE [XXXXXX]
2. OUTSIDE RADII MAY VARY DEPENDING ON SHAPE OF ISLAND. RADII SHALL BE AS SHOWN ON LAYOUT PLAN.

REDI ROCK GRAVITY WALL

23

SECTION VIEW

PRECAST CONCRETE BLOCKS
REINFORCING WALL BLOCKS
3"

NOTES:
1. PRECAST RETAINING WALLS TO FOLLOW MANUFACTURERS SPECIFICATIONS AND BE DESIGNED BY A PROFESSIONAL ENGINEER.

90° PARKING
(SINGLE STRIPING - CURBED END)

28

ONE 4" WIDE PAINTED LINE
OUTSIDE RADIUS (SEE NOTE 2)
OUTSIDE RADIUS (SEE NOTE 2)
4" WIDE PAINTED LINES
9'-0"

NOTES:
1. COLOR OF PAINT SHALL BE [XXXXXX]
2. OUTSIDE RADII MAY VARY DEPENDING ON SHAPE OF ISLAND. RADII SHALL BE AS SHOWN ON LAYOUT PLAN.

CONCRETE SIDEWALK

24

SECTION A-A
PLAN

CONTRACTION JOINT (TYPICAL)
PRECAST EXPANSION JOINT (SEE NOTE 2)
1/2" RADIUS
4" THICK CLASS A CONCRETE (4,000 PSI)
6" THICK 3/4" CRUSHED STONE BASE
APPROVED COMPACTED SUBGRADE
6" 10/10 WELDED WIRE FABRIC

NOTES:
1. SIDEWALK CROSS SLOPE SHALL BE 1% MIN. TO 2% MAX.
2. PROVIDE 1/2" PRECAST EXPANSION JOINTS AT 20' INTERVALS UNLESS OTHERWISE DIRECTED.
3. REINFORCING SHALL NOT EXTEND THROUGH EXPANSION JOINTS.
4. SIDEWALK SHALL HAVE LIGHT BROOK FINISH.

PEDESTRIAN CROSSING

30

12" WIDE WHITE LINE
4" WIDE WHITE LINE (BOTH SIDES)

DROP CURB & RAMP (TYPE A)
WITH DETECTABLE WARNING

25

SECTION A-A
ELEVATION

3" CURB LANDING (SEE NOTE 7)
DETECTABLE WARNING PANELS (SEE NOTES 1, 2 & 3)
6" THICK 3/4" CRUSHED STONE BASE
APPROVED COMPACTED SUBGRADE
6" 10/10 WELDED WIRE FABRIC
6" CLASS A CONCRETE (4,000 PSI)
PAVEMENT
NOTE 5

NOTES:
1. RAMPS SHALL HAVE CURB IN PLACE DETECTABLE/FRICTE WARNING SURFACE TILES AS MANUFACTURED BY ARMO-TILE (OR APPROVED EQUAL). RAMPS SHALL BE CONSTRUCTED TO A MINIMUM CLEARANCE OF 48" MIN. TO THE TOP OF THE CURB.
2. DETECTABLE WARNING PANELS SHALL BE 24" WIDE BY 24" HIGH. A MINIMUM OF 12" CLEARANCE SHALL BE MAINTAINED FROM THE CURB TO THE DETECTABLE WARNING PANELS.
3. DETECTABLE WARNING PANELS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS.
4. THE WELLS, SPACES, ETC. SHALL BE MAINTAINED AT ALL TIMES TO PREVENT OBSTRUCTION.
5. CURB AND RAMP SHALL BE MAINTAINED AT ALL TIMES TO PREVENT OBSTRUCTION.
6. CURB AND RAMP SHALL BE MAINTAINED AT ALL TIMES TO PREVENT OBSTRUCTION.
7. WHEN LAYING OF RAMPS ADJACENT TO A DOWNWAY THEN THE MINIMUM DOWNWAY WALKING AREA SHALL BE AT LEAST THE WIDTH OF THE MANUAL SWING DOORS = 48" MIN.
8. CONTRACTOR TO ENSURE 1% OF CURB WALKERS' SLOPE OF RAMP.

BUILDING PERIMETER MONOLITHIC CURB & SIDEWALK

29

12" WIDE WHITE LINE
4" WIDE WHITE LINE (BOTH SIDES)

DROP CURB & RAMP (TYPE B)
WITH DETECTABLE WARNING

26

SECTION A-A
ELEVATION

24" CURB LANDING (SEE NOTE 7)
DETECTABLE WARNING PANELS (SEE NOTES 1, 2 & 3)
6" THICK 3/4" CRUSHED STONE BASE
APPROVED COMPACTED SUBGRADE
6" 10/10 WELDED WIRE FABRIC
6" CLASS A CONCRETE (4,000 PSI)
PAVEMENT
NOTE 5

NOTES:
1. RAMPS SHALL HAVE CURB IN PLACE DETECTABLE/FRICTE WARNING SURFACE TILES AS MANUFACTURED BY ARMO-TILE (OR APPROVED EQUAL). RAMPS SHALL BE CONSTRUCTED TO A MINIMUM CLEARANCE OF 48" MIN. TO THE TOP OF THE CURB.
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8. CONTRACTOR TO ENSURE 1% OF CURB WALKERS' SLOPE OF RAMP.

PAVEMENT TEXT & ARROWS
(NH-SIZE)

31

ENLARGED ARROWS FOR PAVEMENT MARKINGS

CONSTRUCTION DETAILS

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1 ORANGEBOUR ROAD
ORANGETOWN, NY 10962

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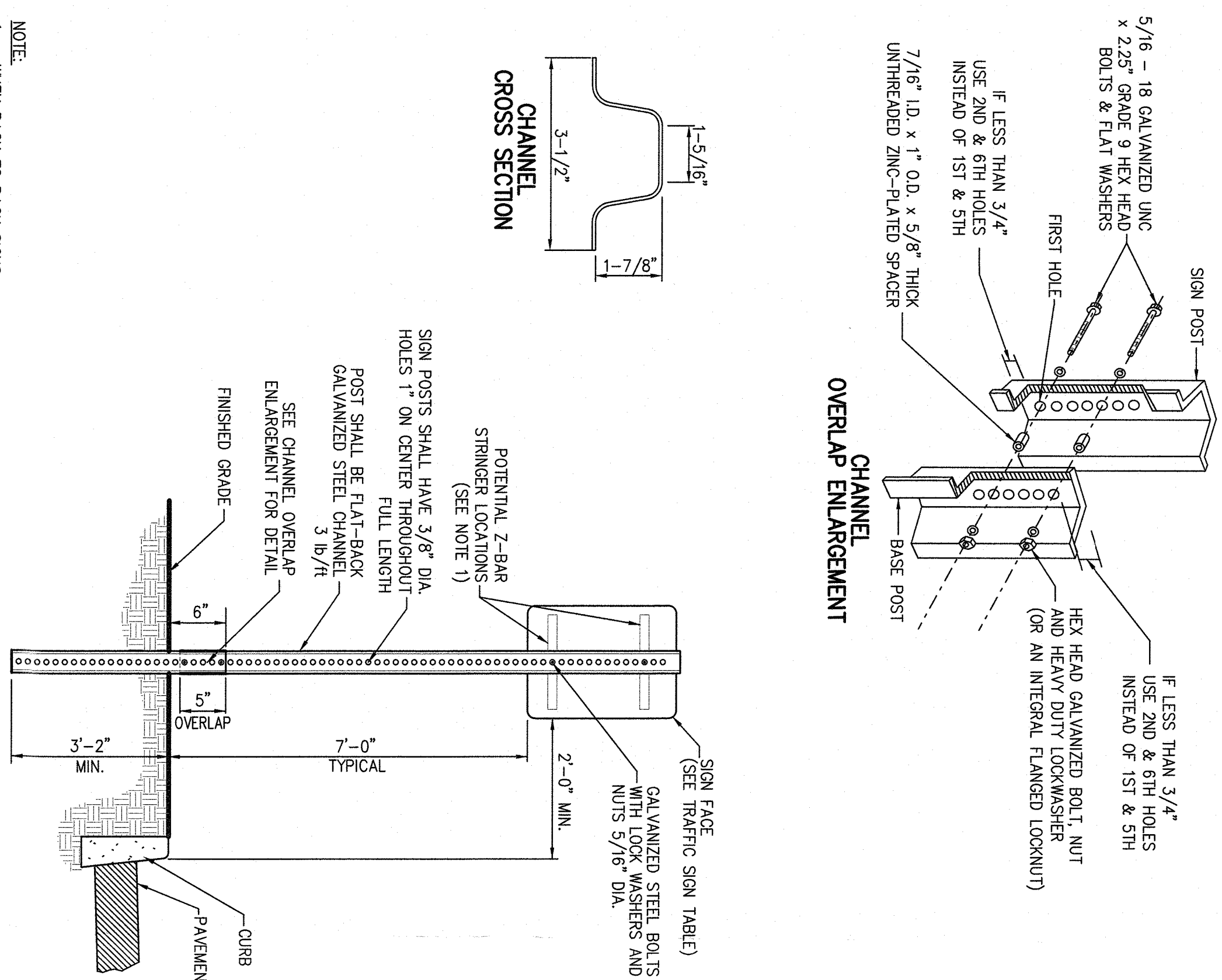
ARCHITECT: **STUDIO ARCHITECTURE-NEW YORK**
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WHITE PLAINS, NY 10607

No.	Revision	Date	By
1.	SITE PLAN APPROVAL SUBMISSION	01/21/2022	DVG

Previous Editions Obsolete

ANY ALTERATION OF PLANS SPECIFICATIONS, PLATS AND OF ANY KIND BY ANY PROFESSIONAL ENGINEER OR LICENSED LAND SURVEYOR IS A VIOLATION OF NEW YORK STATE EDUCATION LAW, EXCEPT AS PROVIDED FOR BY SECTION 7208, SUBSECTION 2.

Scale: **NOT TO SCALE**
Date: **6/20/2021**
Project No: **1520**
Sheet No: **SP-16**



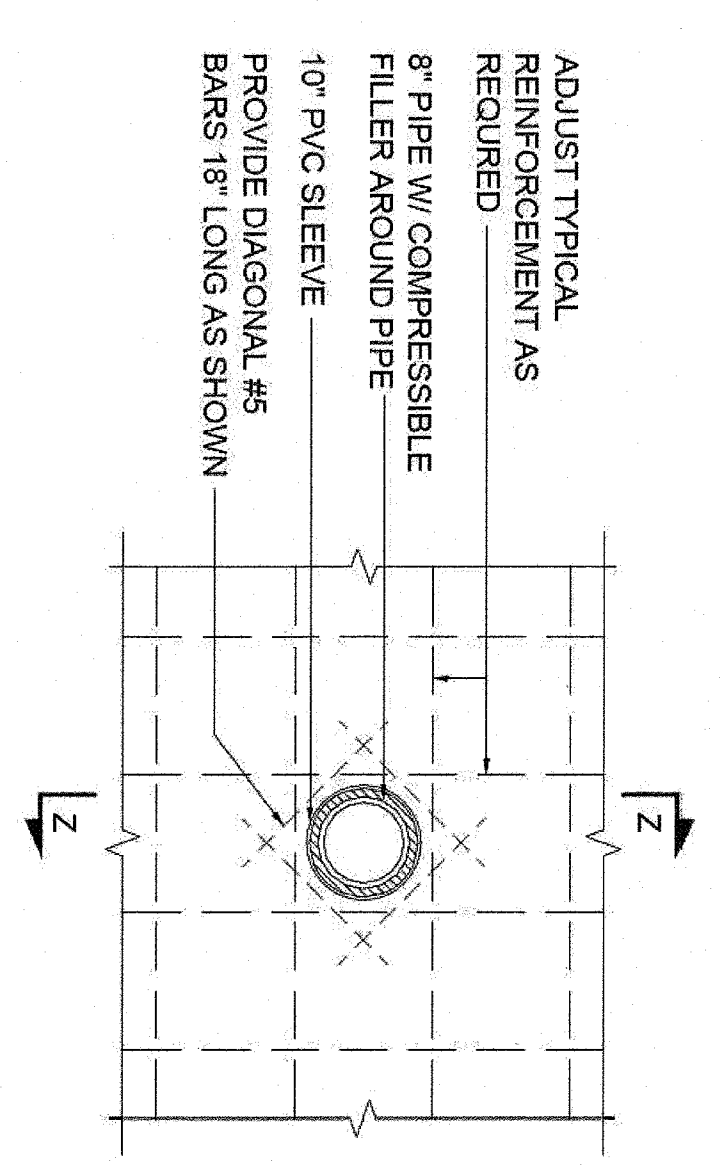
NOTE:
1. CHANNEL BACK TO BACK SIGNS ARE DESIGNATED TO SHARE ONE POST. SIGNS SHALL BE AFFIXED TO POST USING ALUMINUM OR STAINLESS STEEL Z-BAR STRIPPERS.

TRAFFIC SIGN POST
(BREAKAWAY STEEL CHANNEL)

32

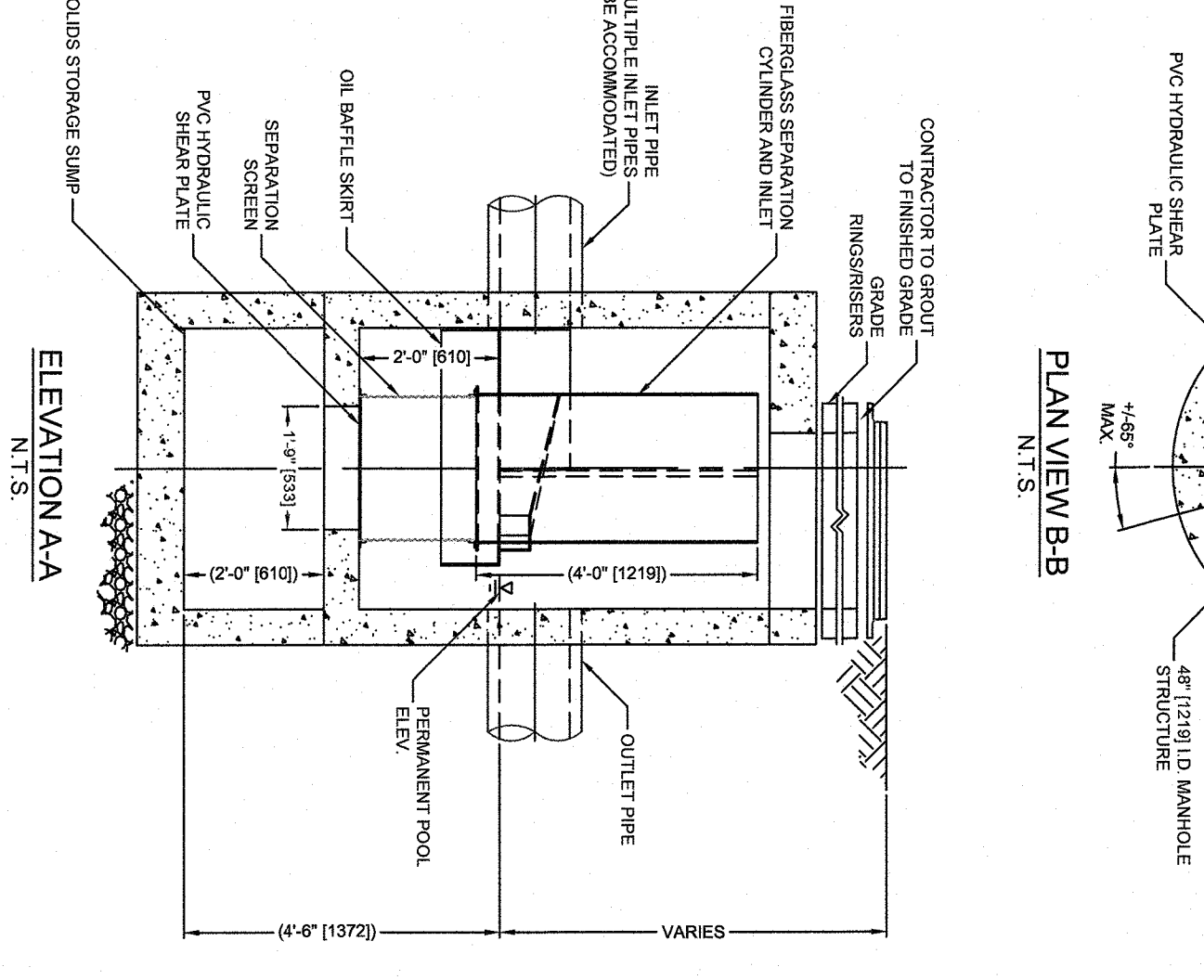
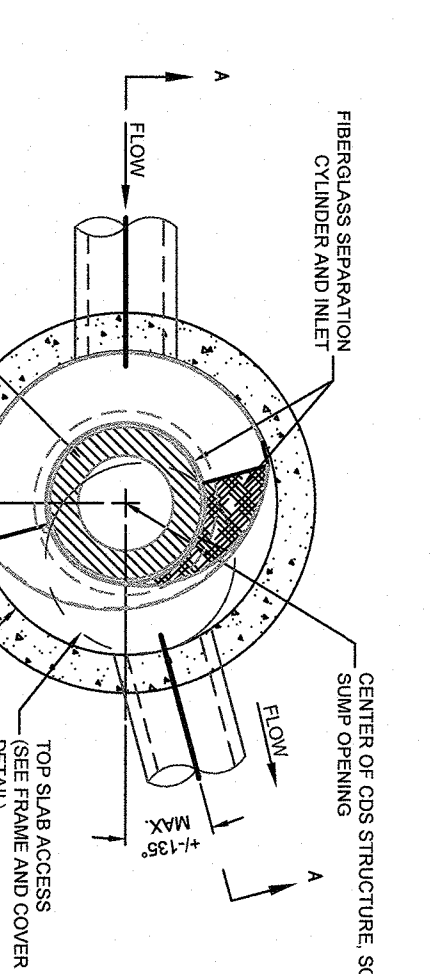
TYPICAL SLEEVE THROUGH RETAINING WALL DETAIL

33



WATER QUALITY STRUCTURE CDS2015-4-C (WQS-A-5)

34



CDS2015-4-C DESIGN NOTES

1. CONSTRUCTION TO MATCH THE WATER TREATMENT PLANT CONSTRUCTION. ALL MATERIALS, METHODS, AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE DESIGN AND CONSTRUCTION DETAILS SHOWN ON THE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

2. THE STRUCTURE SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE DESIGN AND CONSTRUCTION DETAILS SHOWN ON THE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

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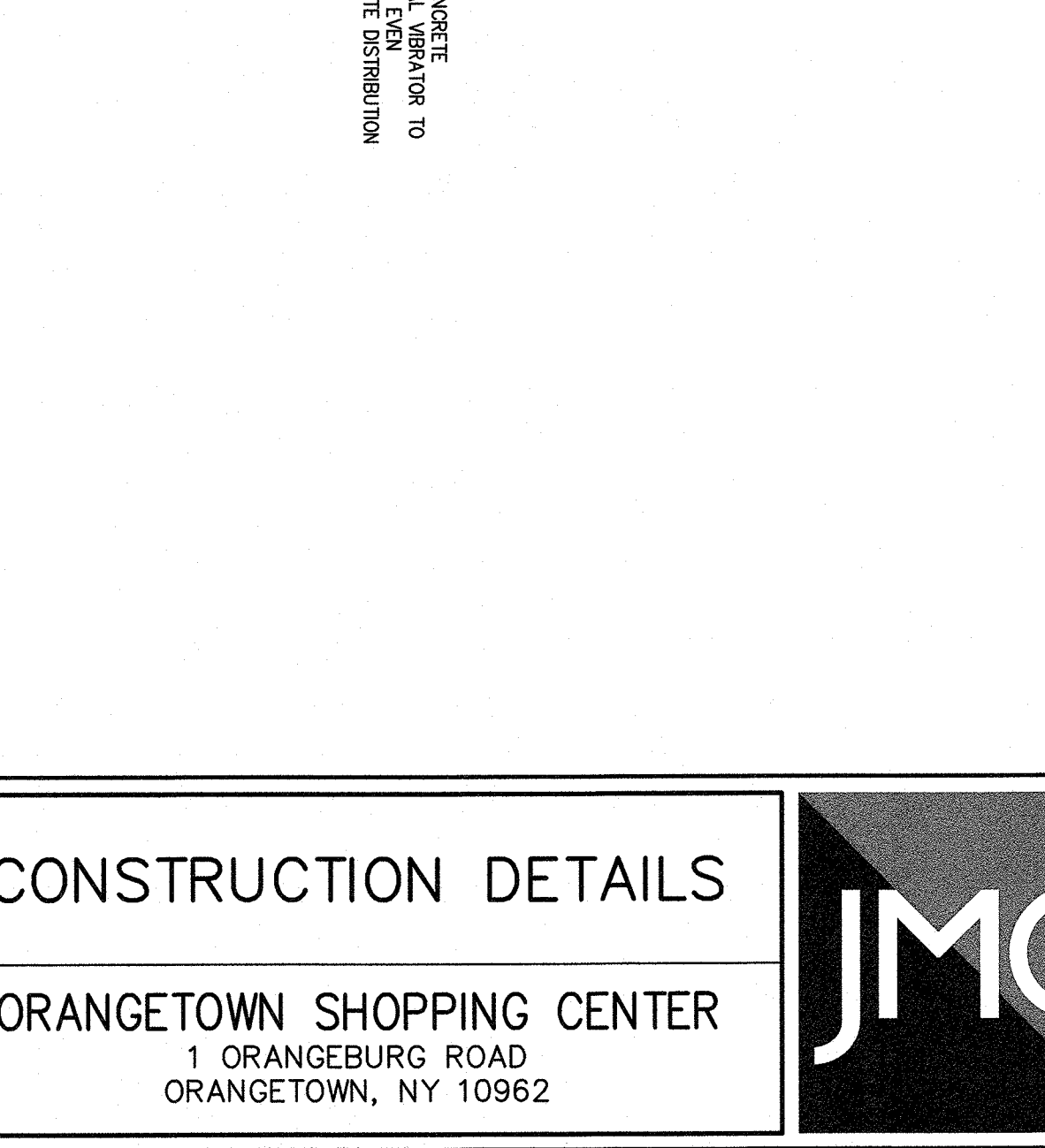
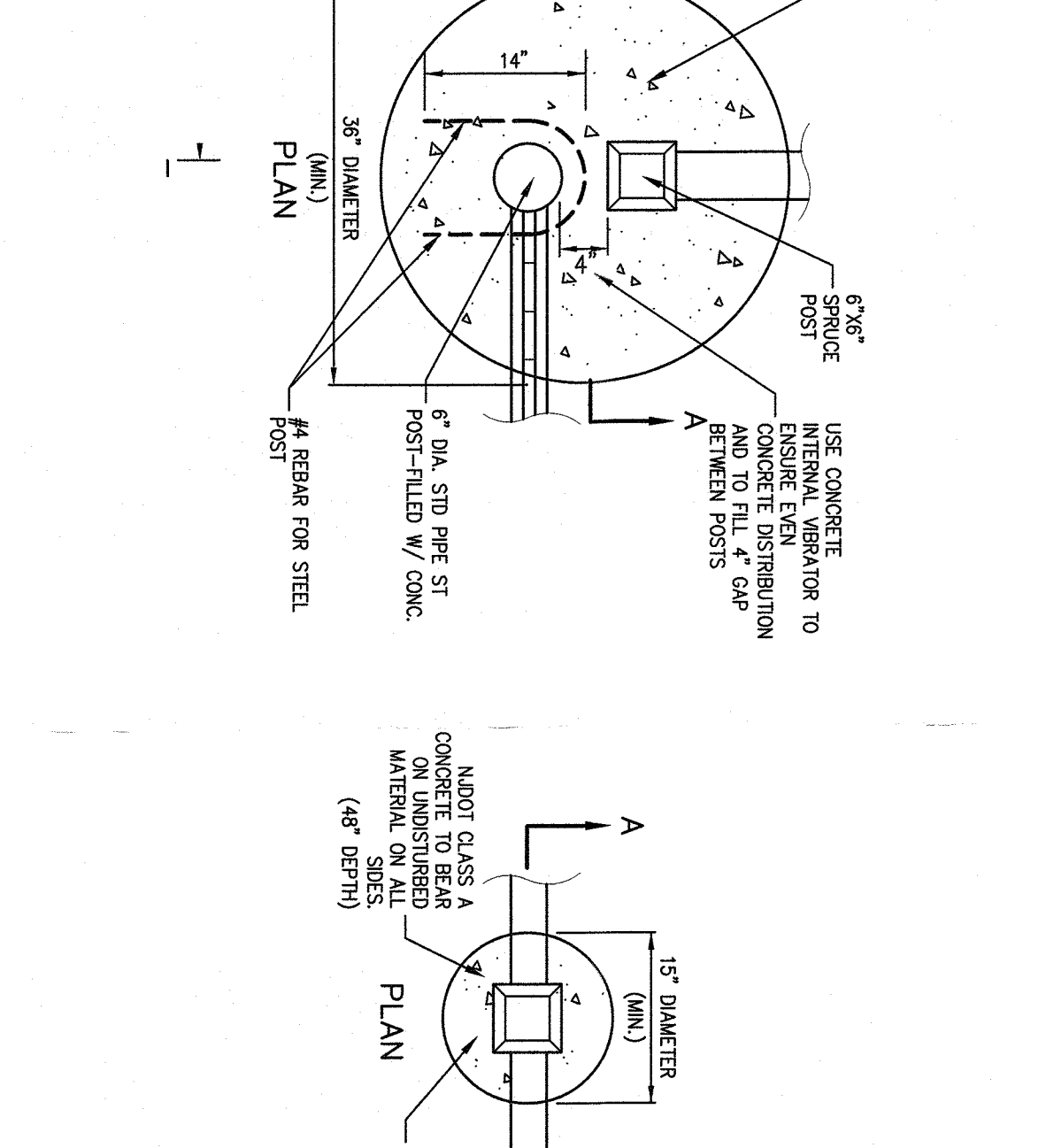
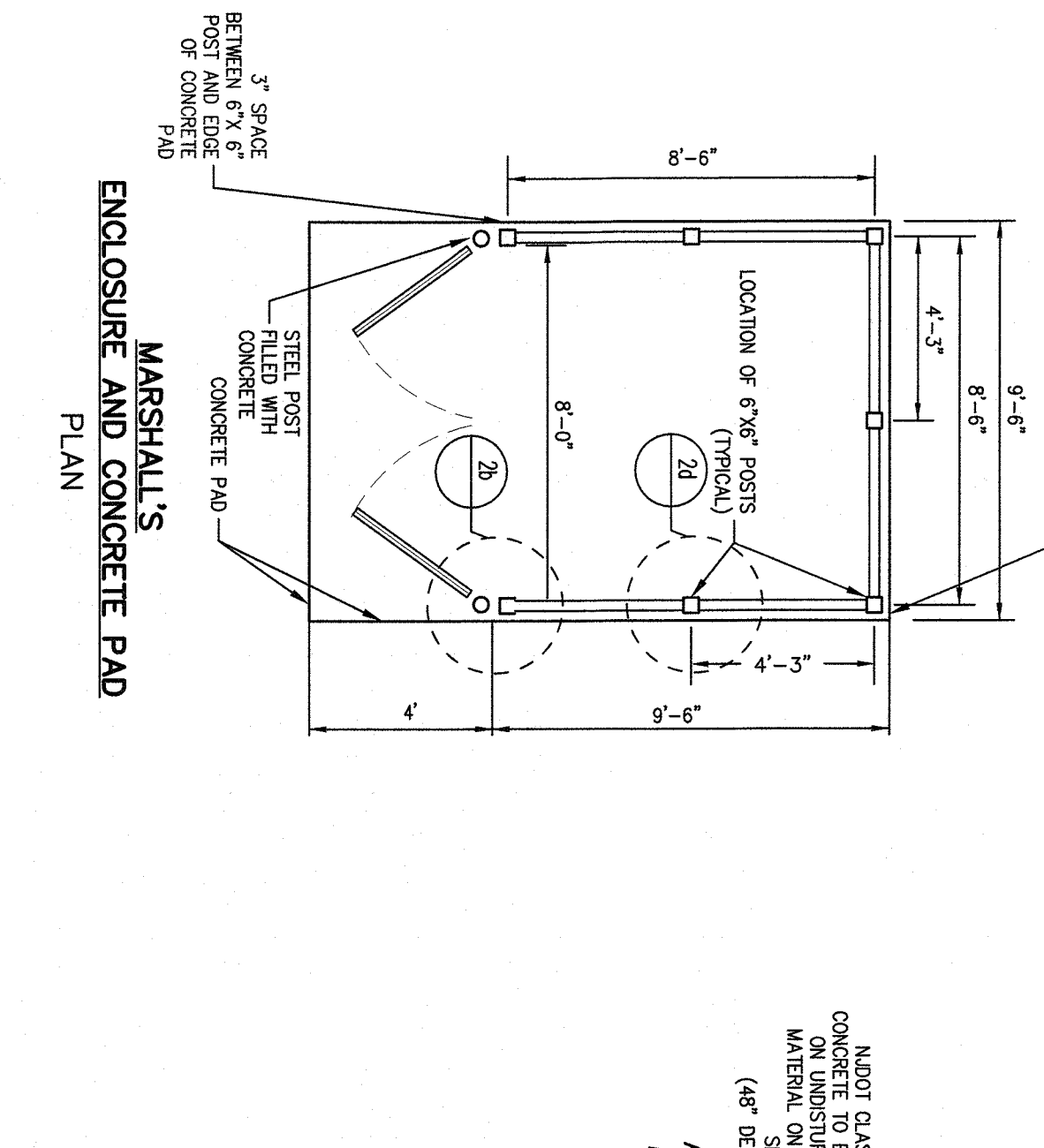
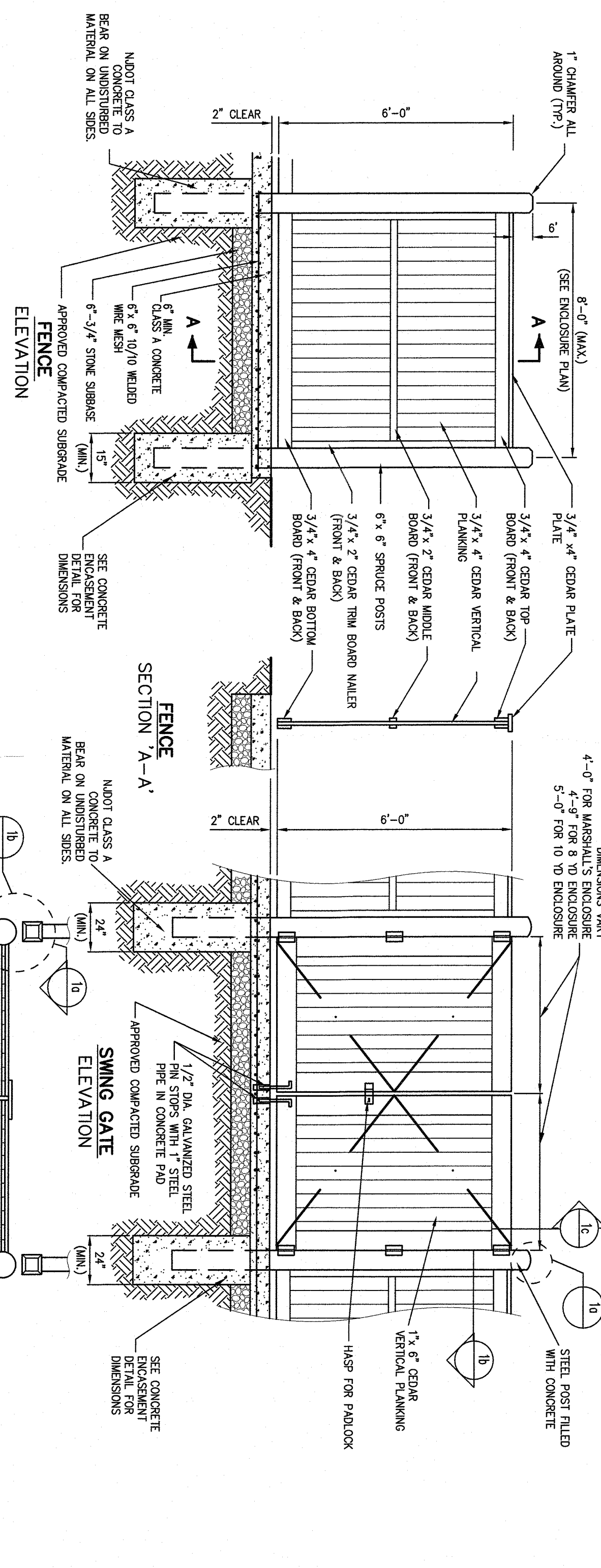
SITE SPECIFIC DATA REQUIREMENTS

ITEM	REQUIREMENT	STATUS
1	PERMITS	NOT STARTED
2	CONTRACT	NOT STARTED
3	INSURANCE	NOT STARTED
4	BOND	NOT STARTED
5	UTILITY LOCATIONS	NOT STARTED
6	ADDITIONAL NOTES	NOT STARTED

CONTECH
ENGINEERING SOLUTIONS LLC

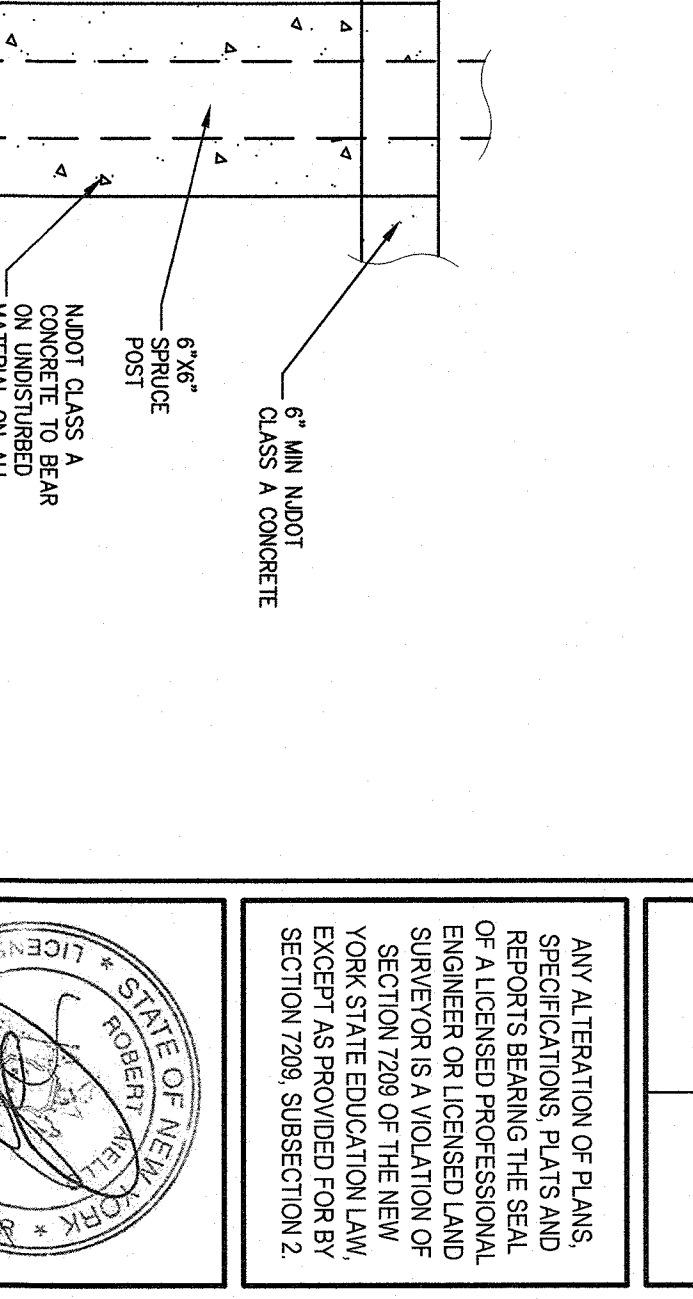
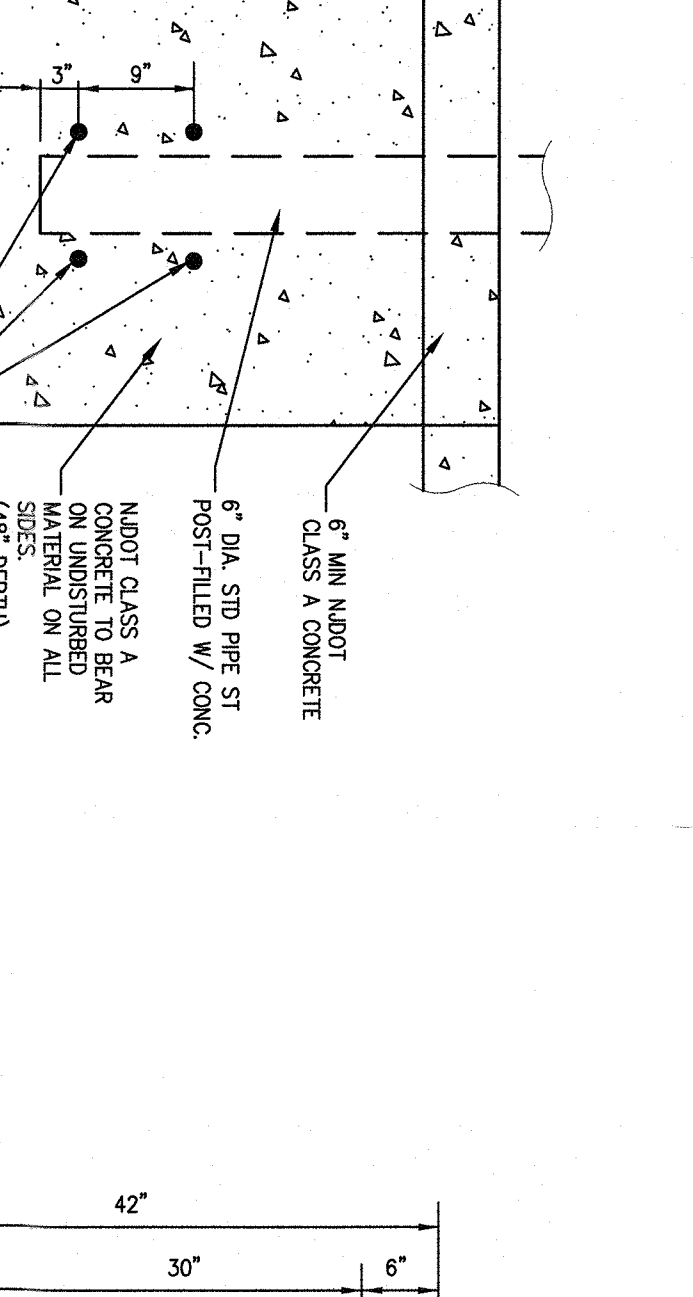
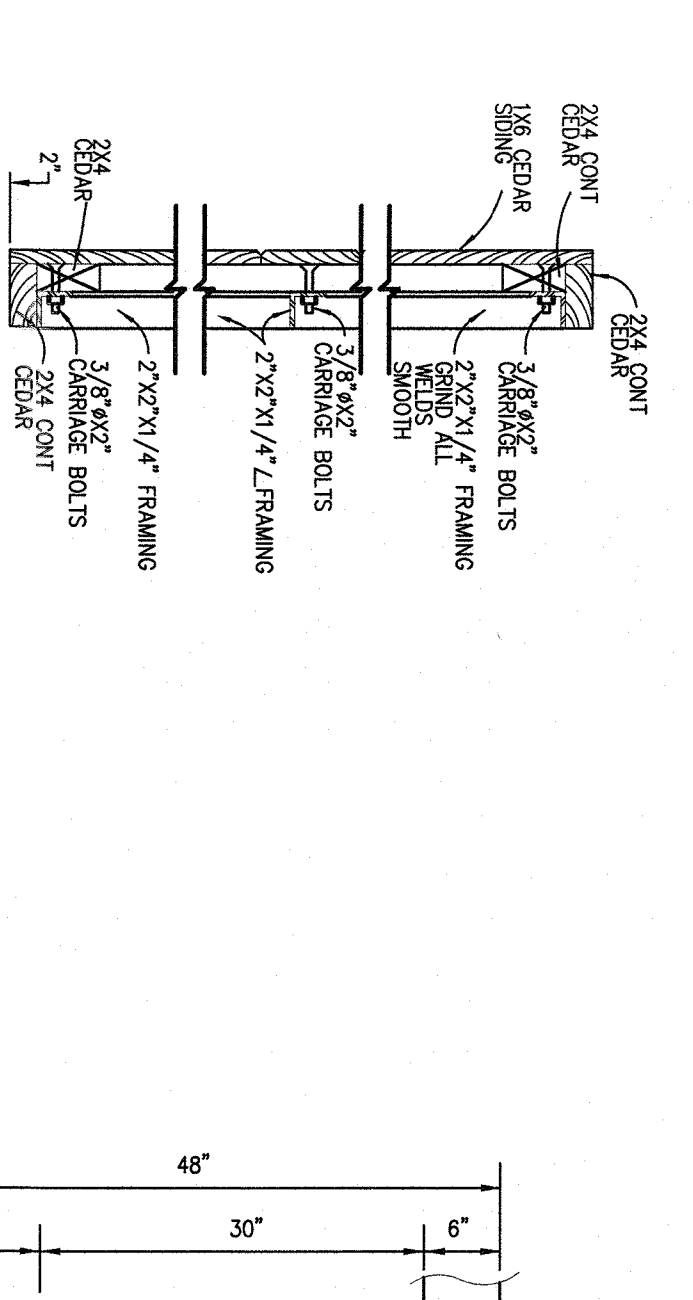
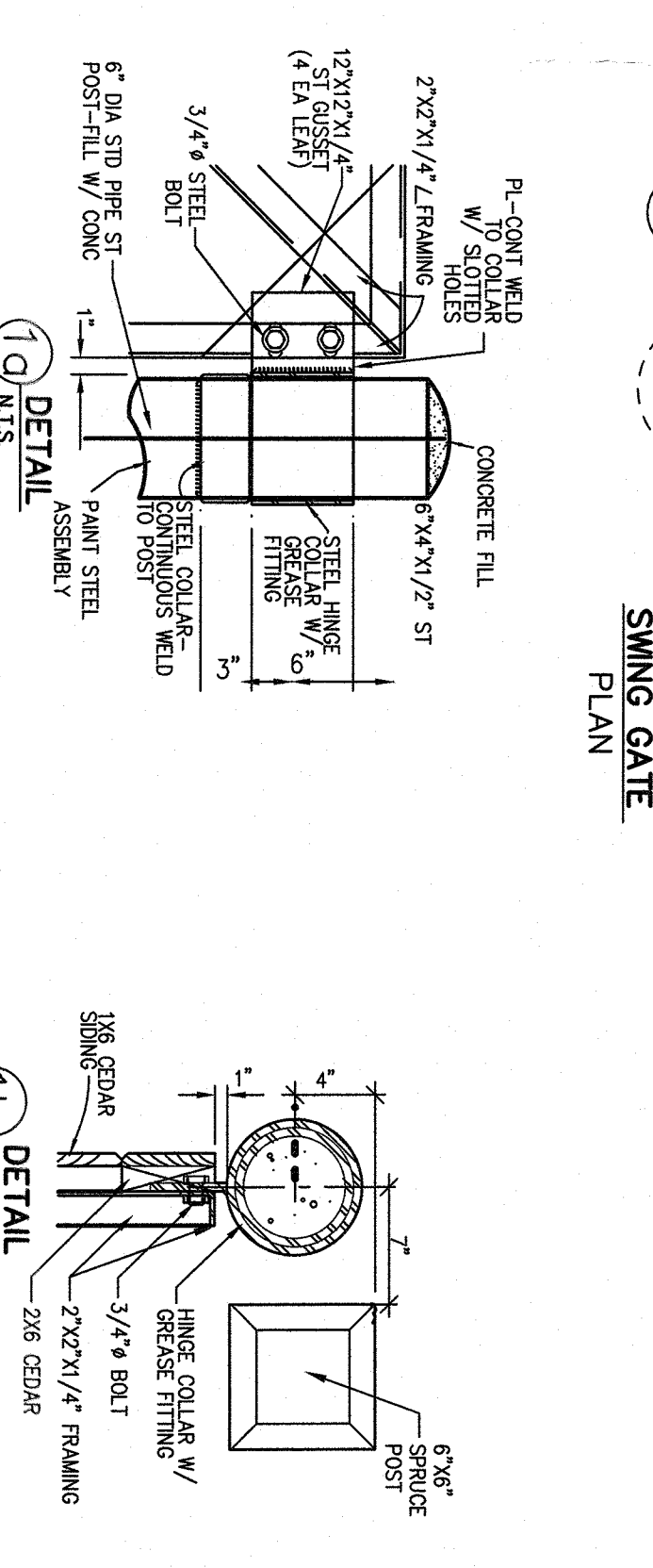
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CDS2015-4-C
INLINE CDS
STANDARD DETAIL



NOTES:

1. METAL FRAMES, GLASS, BOLTS, SCREWS, ETC. SHALL BE STAINLESS STEEL OR GALVANIZED STEEL.
2. ALL TUBING TO BE PRESURE TREATED WITH WOOD PRESERVATIVE FOR BEAR ON UNDISTURBED MATERIAL ON ALL SIDES.
3. SEE SITE LAYOUT PLANS FOR LOCATION.



TRASH ENCLOSURE WITH CONCRETE PAD
(WOOD)

35

CONSTRUCTION DETAILS

ORANGETOWN SHOPPING CENTER
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ORANGETOWN, NY 10962

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Previous Edition obsolete