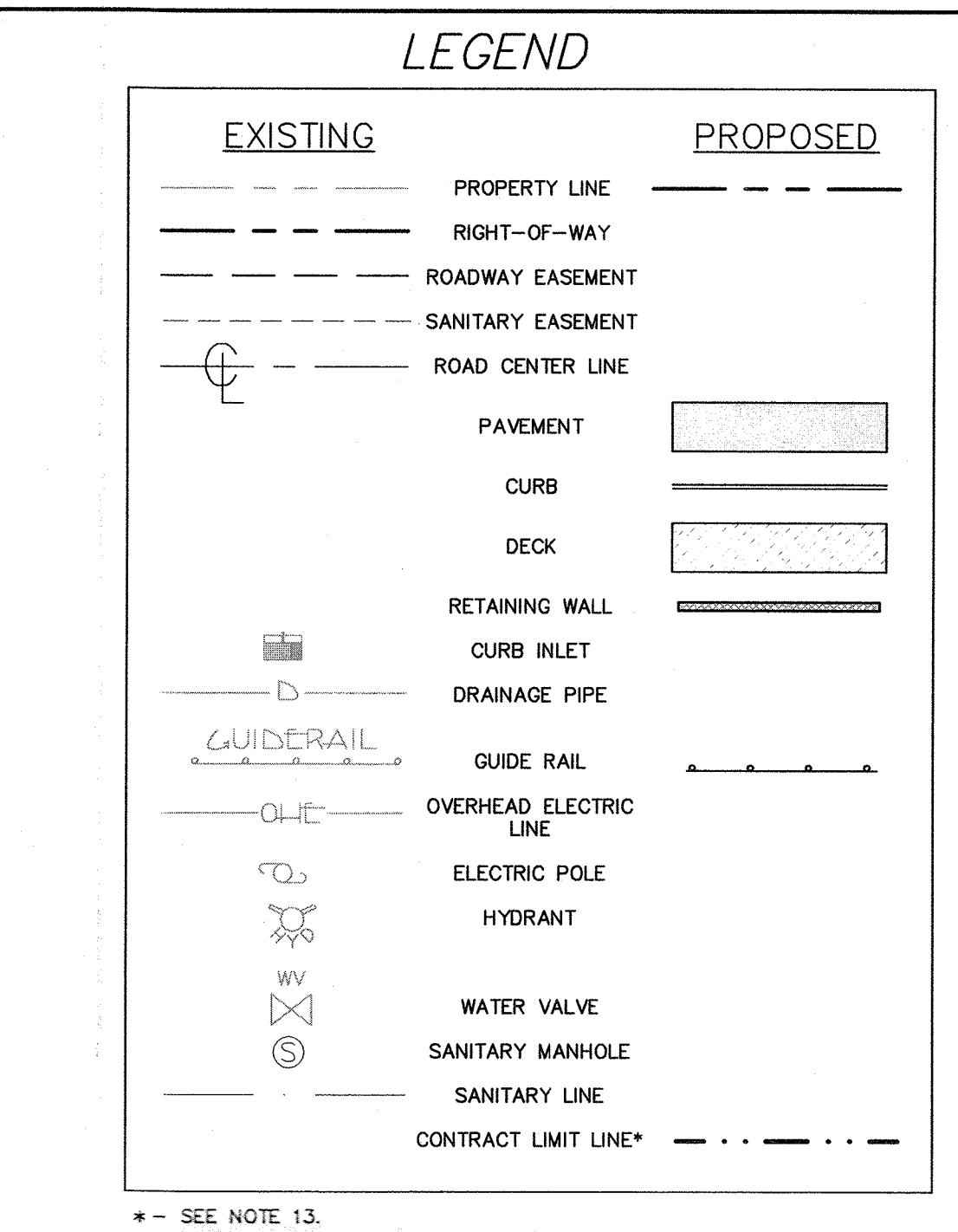
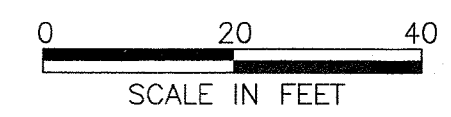


TAX LOT SECTION: 75.05-1-6

REFERENCE:
 BEING KNOWN AS LOT #202 ON A MAP ENTITLED: "MINOR SUBDIVISION OF DOWLING HEIGHTS" LOCATED IN UPPER GRAND VIEW, TOWN OF ORANGETOWN, ROCKLAND COUNTY, NEW YORK. FILED IN THE ROCKLAND COUNTY CLERK'S OFFICE ON 6/25/86 AS MAP #5913, BOOK 105, PAGE 70.
 L. 366, P.2601
 L. 456, P.2654
 L. 2001, P.34058
 L. 1999, P.61468
 L. 898, P.1016

CONTOUR DATUM:
 U.S.C.G.S. SOURCE BENCHMARK IS TOP OF SEWER MANHOLE LOCATED APPROXIMATELY 370' NORTH OF NORTHEAST PROPERTY CORNER.



PLANNING BOARD NOTES:

- AT LEAST ONE WEEK PRIOR TO THE COMMENCEMENT OF ANY WORK, INCLUDING THE INSTALLATION OF EROSION CONTROL DEVICES OR THE REMOVAL OF TREES AND VEGETATION, A PRE-CONSTRUCTION MEETING MUST BE HELD WITH THE TOWN OF ORANGETOWN DEPARTMENT OF ENVIRONMENTAL MANAGEMENT AND ENGINEERING, SUPERINTENDENT OF HIGHWAYS AND THE OFFICE OF BUILDING, ZONING AND PLANNING ADMINISTRATION AND ENFORCEMENT. IT IS THE RESPONSIBILITY AND OBLIGATION OF THE PROPERTY OWNER TO ARRANGE SUCH A MEETING.
- THE PLANNING BOARD SHALL RETAIN JURISDICTION OVER LIGHTING, LANDSCAPING, SIGNS AND REFUSE CONTROL.
- ALL LANDSCAPING SHOWN ON THE SITE PLANS SHALL BE MAINTAINED IN A VIGOROUS GROWING CONDITION THROUGHOUT THE DURATION OF THE USE OF THIS SITE. ANY PLANTS NOT SO MAINTAINED SHALL BE REPLACED WITH NEW PLANTS AT THE BEGINNING OF THE NEXT IMMEDIATELY FOLLOWING GROWING SEASON.
- PRIOR TO THE COMMENCEMENT OF ANY SITE WORK, INCLUDING THE REMOVAL OF TREES, THE APPLICANT SHALL INSTALL THE SOIL EROSION AND SEDIMENTATION CONTROL AS REQUIRED BY THE PLANNING BOARD. PRIOR TO THE AUTHORIZATION TO PROCEED WITH ANY PHASE OF THE SITE WORK, THE TOWN OF ORANGETOWN DEPARTMENT OF ENVIRONMENTAL MANAGEMENT AND ENGINEERING (DEME) SHALL INSPECT THE INSTALLATION OF ALL REQUIRED SOIL EROSION AND SEDIMENTATION CONTROL MEASURES. THE APPLICANT SHALL CONTACT DEME AT LEAST 48 HOURS IN ADVANCE FOR AN INSPECTION.
- THE CONTRACTOR'S TRAILER, IF ANY IS PROPOSED, SHALL BE LOCATED AS APPROVED BY THE PLANNING BOARD.
- IF THE APPLICANT, DURING THE COURSE OF CONSTRUCTION, ENCOUNTERS SUCH CONDITIONS AS FLOOD AREAS, UNDERGROUND WATER, SOFT OR SILTY AREAS, IMPROPER DRAINAGE, OR ANY OTHER UNUSUAL CIRCUMSTANCES OR CONDITIONS THAT WERE NOT FORESEEN IN THE ORIGINAL PLANNING, SUCH CONDITIONS SHALL BE REPORTED IMMEDIATELY TO DEME. THE APPLICANT SHALL SUBMIT THEIR RECOMMENDATIONS AS TO THE SPECIAL TREATMENT TO BE GIVEN SUCH AREAS TO SECURE ADEQUATE, PERMANENT AND SATISFACTORY CONSTRUCTION. DEME SHALL INVESTIGATE THE CONDITION(S), AND SHALL EITHER APPROVE THE APPLICANT'S RECOMMENDATIONS TO CORRECT THE CONDITION(S), OR ORDER THE MODIFICATION THEREOF. IN THE EVENT OF THE APPLICANT'S DISAGREEMENT WITH THE DECISION OF DEME, OR IN THE EVENT OF A SIGNIFICANT CHANGE RESULTING TO THE SUBDIVISION PLAN OR SITE PLAN OR ANY CHANGE THAT INVOLVES A WETLAND REGULATED AREA, THE MATTER SHALL BE DECIDED BY THE AGENCY WITH JURISDICTION IN THAT AREA (i.e. WETLANDS - U.S. ARMY CORPS OF ENGINEERS).
- PERMANENT VEGETATION COVER OF DISTURBED AREAS SHALL BE ESTABLISHED ON THE SITE WITHIN THIRTY (30) DAYS OF THE COMPLETION OF CONSTRUCTION.
- PRIOR (AT LEAST 14 DAYS) TO THE PLACING OF ANY ROAD SUB-BASE, THE APPLICANT SHALL PROVIDE THE TOWN OF ORANGETOWN SUPERINTENDENT OF HIGHWAYS AND DEME WITH A PLAN AND PROFILE OF THE GRADED ROAD TO BE PAVED IN ORDER THAT THESE DEPARTMENTS MAY REVIEW THE DRAWINGS CONFORMANCE TO THE APPROVED CONSTRUCTION PLANS AND THE TOWN STREET SPECIFICATIONS.
- THE PLANNING BOARD SHALL RETAIN JURISDICTION OVER LIGHTING, LANDSCAPING, SIGNS AND REFUSE CONTROL.
- TREE PROTECTION:** THE TREE PROTECTION AND PRESERVATION GUIDELINES ADOPTED PURSUANT TO SECTION 21-24 OF THE LAND DEVELOPMENT REGULATIONS OF THE TOWN OF ORANGETOWN WILL BE IMPLEMENTED IN ORDER TO PROTECT AND PRESERVE BOTH INDIVIDUAL SPECIMEN TREES AND BUFFER AREA WITH MANY TREES. STEPS THAT WILL BE TAKEN TO RESERVE AND PROTECT EXISTING TREES TO REMAIN ARE AS FOLLOWS:
 - NO CONSTRUCTION EQUIPMENT SHALL BE PARKED UNDER THE TREE CANOPY.
 - THERE WILL BE NO EXCAVATION OR STOCKPILING OF EARTH UNDERNEATH THE TREES.
 - TREES DESIGNATED TO BE PRESERVED SHALL BE MARKED CONSPICUOUSLY ON ALL SIDES AT 5 TO 10 FOOT HEIGHT.
 - THE TREE PROTECTION ZONE FOR TREES DESIGNATED TO BE PRESERVED WILL BE ESTABLISHED BY ONE OF THE FOLLOWING METHODS:
 - ONE (1) FOOT RADIUS FROM TRUNK PER INCH DBH
 - DRIP LINE OF THE TREE CANOPY
 THE METHOD CHOSEN SHOULD BE BASED ON PROVIDING THE MAXIMUM PROTECTION ZONE POSSIBLE. A BARRIER OF SNOW FENCE OR EQUAL IS TO BE PLACED AND MAINTAINED ONE YARD BEYOND THE ESTABLISHED TREE PROTECTION ZONE. IF IT IS AGREED THAT THE TREE PROTECTION ZONE OF A SELECTED TREE MUST BE VIOLATED, ONE OF THE FOLLOWING METHODS MUST BE EMPLOYED TO MITIGATE THE IMPACT.
 - LIGHT TO HEAVY IMPACTS MINIMUM OF EIGHT INCHES OF WOOD CHIPS INSTALLED IN THE AREA TO BE PROTECTED. CHIPS SHALL BE REMOVED UPON COMPLETION OF WORK.
 - LIGHT IMPACTS ONLY INSTALLATION OF 3/4 INCH OF PLYWOOD OR BOARDS, OR EQUAL, OVER THE AREA TO BE PROTECTED. THE BUILDER OR ITS AGENT MAY NOT CHANGE GRADE WITHIN THE TREE PROTECTOR ZONE OF PRESERVED TREE UNLESS SUCH GRADE CHANGE HAS RECEIVED FINAL APPROVAL FROM THE PLANNING BOARD. IF THE GRADE LEVEL IS TO BE CHANGED MORE THAN SIX (6) INCHES, TREES DESIGNATED TO BE PRESERVED SHALL BE WELLED AND/OR PRESERVED IN A RAISED BED, WITH THE TREE WELL A RADIUS OF THREE (3) FEET LARGER THAN THE TREE CANOPY.
- STORMWATER MANAGEMENT PHASE II REGULATIONS: ADDITIONAL CERTIFICATION, BY AN APPROPRIATE, LICENSED OR CERTIFIED DESIGN PROFESSIONAL SHALL BE REQUIRED FOR ALL MATTERS BEFORE THE PLANNING BOARD INDICATING THAT THE DRAWINGS AND PROJECT ARE IN COMPLIANCE WITH THE STORMWATER MANAGEMENT PHASE II REGULATIONS.
- ALL RETAINING WALLS SHALL BE DESIGNED BY NEW YORK STATE PROFESSIONAL ENGINEER.
- THE "CONTRACT LIMIT LINE" IS A TERM UTILIZED THE ORANGETOWN PLANNING BOARD TO DEFINE AN AREA WITHIN WHICH NO WORK TO BE PERFORMED AND TREES MUST BE PROTECTED DURING CONSTRUCTION.

LOT AREA CALCULATION

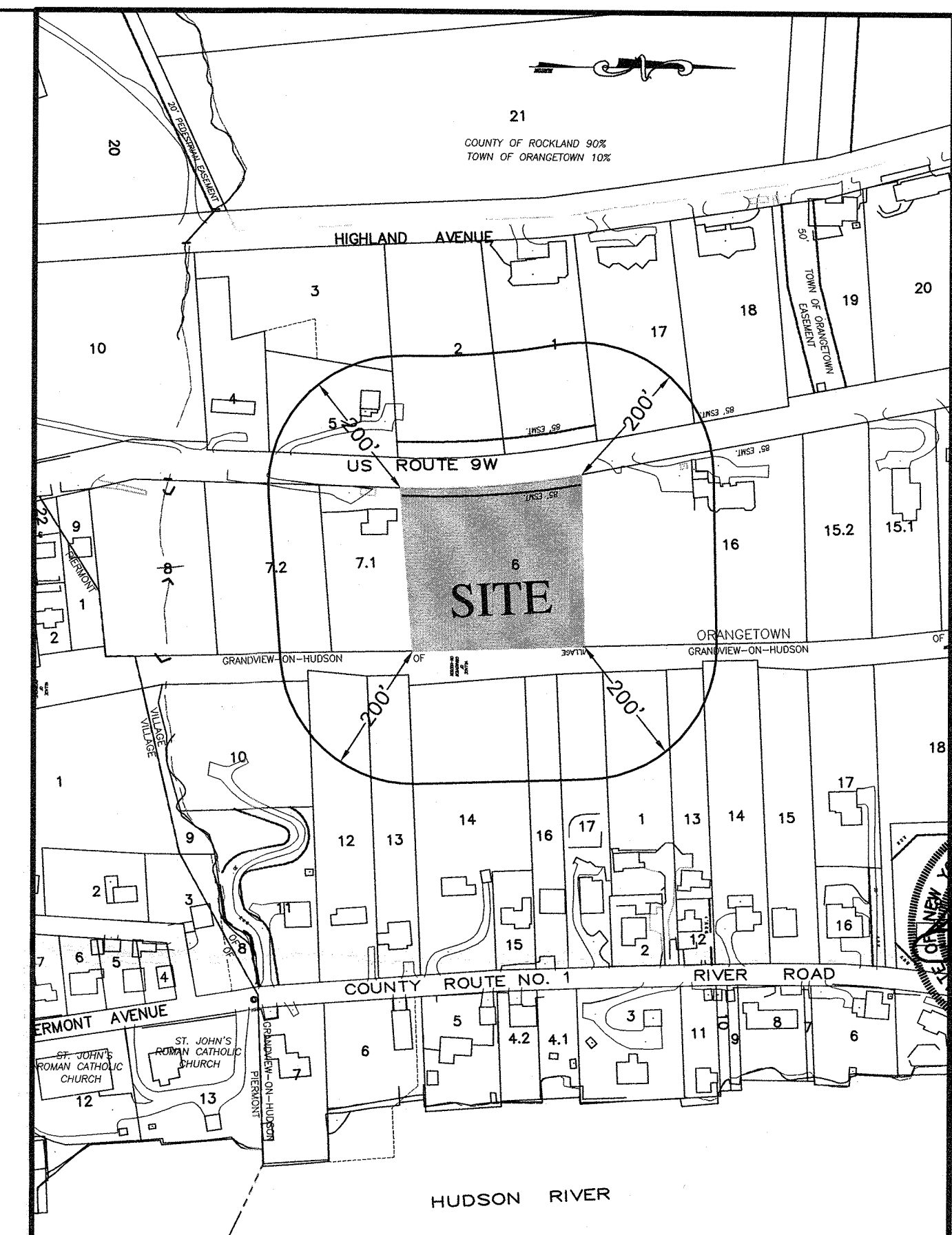
GROSS LOT AREA = 67,062 S.F.
 AREA WITHIN STREET WIDENING EASEMENT = 4,531 S.F.
 50% OF AREA IN STREET WIDENING = 4,531/2 = 2,265.5 S.F.
 AREA WITH SLOPES GREATER THAN 25% = 53,213.1 S.F.
 50% OF AREA WITH SLOPES GREATER THAN 25% = 53,213.1 S.F./2 = 26,606.5 S.F.
 NET LOT AREA = 67,062 S.F. - 2,265.5 S.F. (STREET) - 26,606.5 S.F. (STEEP SLOPES) = 38,190.0 S.F.

FLOOR AREA RATIO CALCULATION

FLOOR AREA = 7,414 S.F.*
 *SEE ARCHITECTURAL DRAWING, BY GEORGE PALLADINO, SHEET A-101, DATED 7/9/21 FOR FLOOR AREA CALCULATION.
 FLOOR AREA RATIO = 7,414 S.F. / 38,190 S.F. = 0.194 OR 0.19

IMPERVIOUS AREA

IMPERVIOUS AREA = 9,144.48 S.F.



VICINITY MAP
 SCALE: 1" = 200'

TABLE OF BULK REQUIREMENTS

ZONE: R-22 DISTRICT SINGLE FAMILY DETACHED RESIDENCE - USE GROUP 1

	MAXIMUM FLOOR AREA RATIO	MINIMUM LOT AREA (Sq. Ft.)	MINIMUM LOT WIDTH (Ft.)	MINIMUM STREET FRONTAGE (Ft.)	REQUIRED FRONT YARD (Ft.)	REQUIRED SIDE YARD (Ft.)	TOTAL SIDE YARD (Ft.)	REQUIRED REAR YARD (Ft.)	MAXIMUM BUILDING HEIGHT (PER FOOT FROM LOT LINE)
REQUIRED	0.20	22,500	125	75	40	25	60	45	9' x 25' (front yard) = 18'-9"
PROVIDED	0.19	NET LOT AREA 38,190	272.8	274.9	25	52.52	136.84	140.94	51

— VARIANCE REQUIRED

DATE: _____

REV. _____

DESCRIPTION: _____

TOWN OF ORANGETOWN

LEONARD JACKSON ASSOCIATES

CONSULTING ENGINEERS

26 FRENCH MEMORIAL DRIVE, POMONA, NEW YORK 10970

Phone: (845) 354-4382 fax: (845) 354-4401

LJA

867 ROUTE 9W
 TOWN OF ORANGETOWN
 ROCKLAND COUNTY, NEW YORK
 LAYOUT PLAN

Job number: 21017

Drawn by: MAK

Date: 8/13/21

Scale: 1" = 20'

Drawing Number: 2