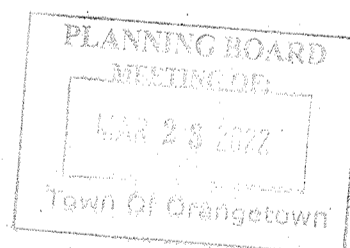


VICINITY MAP
SCALE: 1 IN. = 100 FT.
● - DENOTES FIRE HYDRANT LOCATION

PL 71.05-1-10
N/F
DANIEL & ANNETTE
JAMES

8 FT. WIDE UTILITY
EASEMENT TO TL
71.05-1-9
INSTR. 2008-42441
I.PIN
210.4

TL 66.17-2-22
N/E
FREDA BUCHANAN
I.PIN
194.0



DRAWING LIST

DRAWING No.	TITLE
DRAWING 1	- EXISTING SITE
DRAWING 2	- SITE DEVELOPMENT PLAN
DRAWING 3	- EROSION AND SEDIMENT CONTROL PLAN
DRAWING 4	- DETAILS

LEGEND

- - - - - EXISTING 2' CONTOUR
- - - - - EXISTING 10' CONTOUR
- CBG EXISTING CATCH BASIN GRATE
- + 360.0 EXISTING SPOT ELEVATION
- UP EXISTING UTILITY POLE
- EXISTING WOOD FENCE
- — — — — EXISTING RAILROAD TIE RETAINING WALL

THE EDUCATION LAW OF THE STATE OF NEW YORK PROHIBITS ANY PERSON ALTERING ANYTHING ON THESE DRAWINGS AND/OR THE ACCOMPANYING SPECIFICATIONS, UNLESS IT IS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER. WHERE SUCH ALTERATIONS ARE MADE, THE PROFESSIONAL ENGINEER MUST SIGN, SEAL, DATE AND DESCRIBE THE FULL EXTENT OF THE ALTERATION ON THE DRAWINGS AND/OR IN THE SPECIFICATIONS. (NYS EDUCATION LAW SECTION 7209-2)

STATE OF NEW YORK
RYAN A. NASHER, P.E.
N.Y.S. P.E. LIC. NO. 89066

UNAUTHORIZED ALTERATIONS OR ADDITIONS TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S EMBOSSED SEAL IS A VIOLATION OF SECTION 7209, SUBSECTION 2, OF THE NEW YORK STATE EDUCATION LAW. ONLY COPIES FROM THE ORIGINAL TRACKING OF THIS SURVEY MAP MARKED WITH THE LAND SURVEYOR'S EMBOSSED SEAL SHALL BE CONSIDERED TO BE VALID TRUE COPIES.

CERTIFICATION INDICATED HERE ON SOIDIFY THAT THIS SURVEY WAS PREPARED IN ACCORDANCE WITH THE EXISTING CODE OF PRACTICE FOR LAND SURVEYORS ADOPTED BY THE DELAWARE - HUDSON LAND SURVEYORS ASSOCIATION. SAID CERTIFICATIONS SHALL RUN ONLY TO THOSE NAMED INDIVIDUALS AND/OR INSTITUTIONS FOR WHOM THE SURVEY WAS PREPARED. CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INDIVIDUALS, INSTITUTIONS, THEIR SUCCESSORS AND/OR ASSIGNS OR SUBSEQUENT OWNERS.

STATE OF NEW YORK
JOHN R. ATZL
N.Y.S. P.L.S. LIC. NO. 50228

REVISION	DATE	DESCRIPTION
8	1-31-22	DRAINAGE REVISION PER INFILTRATION TEST
7	4-5-21	PER PB SUBMISSION
6	8-7-20	REMOVE MIDDLE RET. WALL
5	7-2-20	REMOVE PROP. GARAGE & EAST RET. WALL
4	2-10-20	RESUBMISSION
3	8-29-19	ADD PROPOSED FINISHED GRADES
2	7-18-19	REVISED SUBMISSION
1	6-16-17	REV. BULK TABLE FOR ZBA SUBMISSION

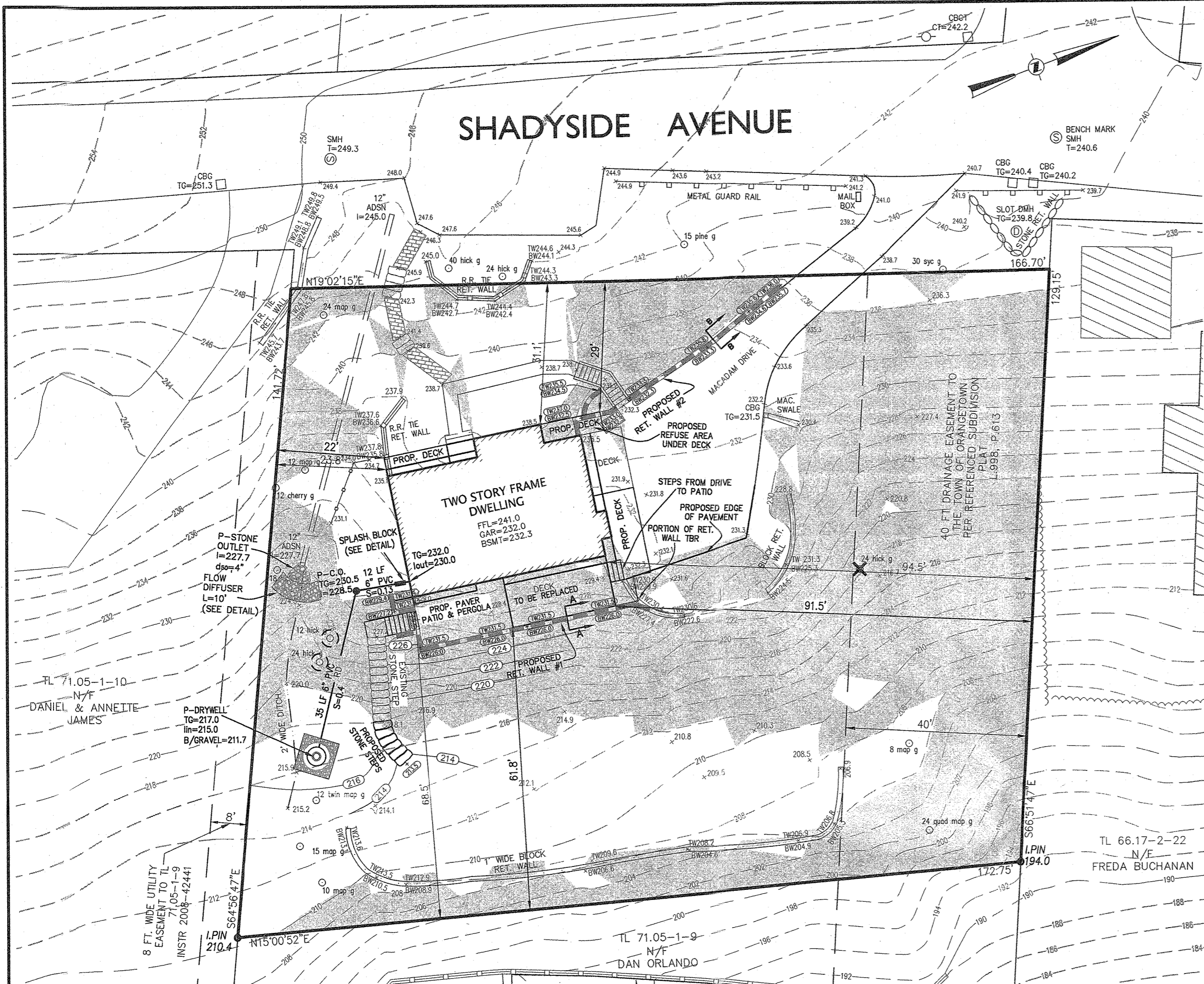
AN&Z
ATZL, NASHER & ZIGLER P.C.
ENGINEERS-SURVEYORS-PLANNERS
232 North Main Street
New City, New York 10956
Tel: (845) 634-4694
Fax: (845) 634-5543
E-mail: info@anzny.com
Web: www.ANZNY.com

PROJECT:
MANDELL RESIDENCE

TOWN OF ORANGETOWN
ROCKLAND COUNTY, NEW YORK

TITLE:
EXISTING SITE

DRAWN BY: LF	CHECKED BY: JRA
DATE: APRIL 17, 2017	SCALE: 1 IN. = 20 FT.
PROJECT NO: 4326	DRAWING NO: 1



NOTES:

- PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL FOLLOW UNDERGROUND UTILITIES CALL CENTER GUIDELINES.
- ALL UTILITIES, INCLUDING ELECTRIC AND TELEPHONE SERVICE SHALL BE INSTALLED UNDERGROUND.
- NO BUILDING PERMIT WILL BE ISSUED UNTIL SEWAGE DISPOSAL ARRANGEMENTS HAVE BEEN APPROVED BY THE ROCKLAND COUNTY HEALTH DEPARTMENT AND/OR THE TOWN OF ORANGETOWN.
- LOT DRAINAGE ON THIS PLAN SHALL CONSTITUTE EASEMENTS RUNNING WITH THE LAND AND SHALL NOT BE DISTURBED.
- ANY EXISTING UTILITIES (POLES, HYDRANTS, ETC.) AFFECTED BY CONSTRUCTION OF THIS SITE PLAN SHALL BE RELOCATED AT THE DEVELOPERS EXPENSE PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY.
- NO OPEN BURNING DURING CONSTRUCTION WITHOUT SPECIFIC PERMISSION FROM NEW YORK STATE DEPARTMENT OF HEALTH.
- DATUM: U.S.G.S.—BENCHMARK—SMH SHADYSIDE AVENUE OPPOSITE NORTHWEST CORNER OF TAX LOT 71.05-1-8.
- NO BUILDING PERMIT SHALL BE ISSUED UNTIL RESULTS OF TEST PITS HAVE BEEN SUBMITTED TO THE BUILDING DEPARTMENT.
- DURING THE COURSE OF CONSTRUCTION, ALL STORM DRAIN INLETS SHALL BE PROTECTED WITH A HAY BALE FILTER (SEE DETAIL).
- ALL AREAS DISTURBED BY ONSITE GRADING SHOULD BE LIMED AND FERTILIZED PRIOR TO SEEDING.
- THE NEW CORNERS OF ALL LOTS SHALL BE MARKED WITH METAL RODS 3/4" IN DIAMETER, AND AT LEAST 30" IN LENGTH (TO BE INSTALLED AFTER FINAL GRADING). SAID PINS SHOWN THUS:
- THIS SITE PLAN IS SUBJECT TO DETAILS OF GRADING, ROADS AND UTILITIES AS SHOWN ON CONSTRUCTION DRAWINGS APPROVED BY THE PLANNING BOARD AND FILED WITH THE TOWN CLERK.
- SIDEWALKS AND CURBS SHALL BE INSTALLED IN ACCORDANCE WITH HIGHWAY DEPARTMENT SPECIFICATIONS.
- TEMPORARY SEDIMENT ENTRAPMENT AREAS SHALL BE PROVIDED AS SHOWN TO INTERCEPT AND CLARIFY SILT LADEN RUNOFF FROM THE SITE. THESE MAY BE EXCAVATED OR MAY BE CREATED UTILIZING EARTHEN BERMS, RIP-RAP OR CRUSHED STONE DAMS, HAY BALES, OR OTHER SUITABLE MATERIALS. DIVERSION SWALES, BERMS OR THE CHANNELIZATION SHALL BE CONSTRUCTED TO INSURE THAT ALL SILT LADEN WATERS ARE DIRECTED INTO THE ENTRAPMENT AREAS, WHICH SHALL NOT BE PERMITTED TO FILL IN, BUT SHALL BE CLEANED PERIODICALLY DURING THE COURSE OF CONSTRUCTION. THE COLLECTED SILT SHALL BE DEPOSITED IN AREAS SAFE FROM FURTHER EROSION.
- ALL DISTURBED AREAS, EXCEPT ROADWAYS, WHICH WILL REMAIN UNFURNISHED FOR MORE THAN THIRTY (30) DAYS SHALL BE TEMPORARILY SEEDDED WITH 1/2 LB. OF RYE GRASS OR MULCH WITH 100 LBS. OF STRAW OR HAY PER 1,000 SQUARE FEET. ROADWAYS SHALL BE STABILIZED AS RAPIDLY AS PRACTICABLE BY THE INSTALLATION OF THE BASE COURSE.
- SILT THAT LEAVES THE SITE IN SPITE OF THE REQUIRED PRECAUTIONS SHALL BE COLLECTED AND REMOVED AS DIRECTED BY APPROPRIATE MUNICIPAL AUTHORITIES.
- AT THE COMPLETION OF THE PROJECT ALL TEMPORARY SILTATION DEVICES SHALL BE REMOVED AND THE AFFECTED AREAS REGRADED, PLANTED, OR TREATED IN ACCORDANCE WITH THE APPROVED SITE PLANS.
- PERMANENT VEGETATION COVER SPECIFICATIONS:
LAWN AREA — PER 1,000 S.F.
15 LBS. 10-6-4 50 % SLOW RELEASE FERTILIZER
70 LBS. GRANULATE LIMESTONE
4 LBS. SEED MIXTURE
40 % KENTUCKY BLUE
40 % RED FESCUE
20 % PERENNIAL RYEGRASS
- THIS PLAN DOES NOT CONFLICT WITH THE COUNTY OFFICIAL MAP AND HAS BEEN APPROVED IN THE MANNER SPECIFIED BY SECTION 239 L&M OF THE GENERAL MUNICIPAL LAW.
- CERTIFICATE OF OCCUPANCY SHALL NOT BE REQUESTED FROM THE TOWN OF ORANGETOWN BUILDING DEPARTMENT UNTIL RESULTS OF INFILTRATION AND EXFILTRATION TESTS FOR SANITARY SEWERS ARE CERTIFIED BY A NEW YORK STATE LICENSED PROFESSIONAL ENGINEER AND APPROVED BY THE DIRECTOR, DIVISION OF SEWERS.
- AT LEAST ONE WEEK PRIOR TO THE COMMENCEMENT OF ANY WORK, INCLUDING THE INSTALLATION OF EROSION CONTROL DEVICES OR THE REMOVAL OF TREES AND VEGETATION, A PRECONSTRUCTION MEETING MUST BE HELD WITH THE TOWN OF ORANGETOWN DEPARTMENT OF ENVIRONMENTAL MANAGEMENT AND ENGINEERING, SUPERINTENDENT OF HIGHWAYS AND THE OFFICE OF BUILDING, ZONING AND PLANNING ADMINISTRATION AND ENFORCEMENT. IT IS THE RESPONSIBILITY AND OBLIGATION OF THE PROPERTY OWNER TO ARRANGE SUCH A MEETING.

LOT AREA CALCULATION:

GROSS AREA	- 50% OF 25%+ SLOPE	NET AREA
22,790 SQ.FT.	6,300 SQ.FT.	16,490 SQ.FT.

SLOPE LEGEND:

SLOPE = 25%+

TREE LEGEND

- DENOTES TREE TO REMAIN
- ⊗ DENOTES TREE TO BE REMOVED
- ⊙ DENOTES TREE PROTECTION

OWNER & APPLICANT

EDUARD MANDELL
26 SHADYSIDE AVE.
NYACK, NY 10960

TAX MAP REFERENCE

TOWN OF ORANGETOWN
SECTION 71.05, BLOCK 1, LOT 8

LOT AREA:

22,790 SQ.FT. (GROSS)
(NET)

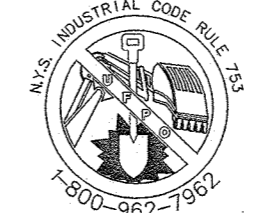
SUBDIVISION REFERENCE:

SUBDIVISION ENTITLED "MARK VANDERBILT" FILED IN ROCKLAND COUNTY CLERK'S OFFICE ON FEBRUARY 20, 1973, BOOK 85, PAGE 26, MAP NO. 4373.

REVISION	DATE	DESCRIPTION
8	1-31-22	DRAINAGE REVISION PER INFILTRATION TEST
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6	8-7-20	REMOVE MIDDLE RET. WALL
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4	2-10-20	RESUBMISSION
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1	6-16-17	REV. BULK TABLE FOR ZBA SUBMISSION

DISTRICTS:

- SCHOOL DISTRICT — NYACK UNION FREE SCHOOL DISTRICT
- FIRE DISTRICT — UPPER GRANDVIEW
- WATER DISTRICT — UPPER GRANDVIEW
- SEWER DISTRICT — ORANGETOWN SEWER DISTRICT
- LIGHTING DISTRICT — UPPER GRANDVIEW



CALL BEFORE YOU DIG OR DRILL OR BLAST
NO LESS THAN 48 HOURS IN ADVANCE
IT'S THE LAW!

UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY FROM AVAILABLE INFORMATION. THE CONTRACTOR SHALL CALL THE LOCAL UNDERGROUND UTILITIES PROTECTIVE ORGANIZATION TO HAVE ALL UNDERGROUND UTILITIES MARKED IN THE FIELD PRIOR TO ANY CLEARING OR ANY CONSTRUCTION. THE CONTRACTOR SHALL ALSO VERIFY THE LOCATION, SIZE, AND INVERT OF ALL UTILITIES PRIOR TO ANY CONSTRUCTION. ANY UTILITY FOR WHICH NO EVIDENCE CAN BE SEEN ON THE SURFACE OF THE LANDS MAY NOT BE SHOWN ON THIS DRAWING.

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"CERTIFICATES INDICATED HEREON SIGNIFY THAT THIS SURVEY WAS PREPARED IN ACCORDANCE WITH THE EXISTING CODE OF PRACTICE FOR LAND SURVEYING ADOPTED BY THE DEPARTMENT OF STATE — HIGHER EDUCATION ASSOCIATION. SAID CERTIFICATIONS SHALL RUN ONLY TO THOSE NAMED INDIVIDUALS WHOSE NAMES ARE INDICATED ON THE SURVEY MAP. CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INDIVIDUALS. INSTITUTIONS, THEIR SUCCESSORS AND/OR ASSIGNS OR SUBSEQUENT OWNERS."

STATE OF NEW YORK
RYAN A. NASHER
N.Y.S. P.E. LIC. NO. 89066

STATE OF NEW YORK
JOHN R. ATZL
N.Y.S. P.L.S. LIC. NO. 50228

EXISTING IMPERVIOUS COVERAGE TABLE:

BUILDING:	1,232 SQ. FT.
MACADAM PAVEMENT:	1,492 SQ. FT.
PATIO, STEPS & WALK:	354 SQ. FT.
RETAINING WALLS:	298 SQ. FT.
TOTAL COVERAGE:	3,376 SQ. FT.

PROPOSED IMPERVIOUS COVERAGE TABLE:

BUILDING:	1,232 SQ. FT.
MACADAM PAVEMENT:	1,649 SQ. FT.
PATIO, STEPS & WALK:	917 SQ. FT.
RETAINING WALLS:	305 SQ. FT.
TOTAL COVERAGE:	4,103 SQ. FT.

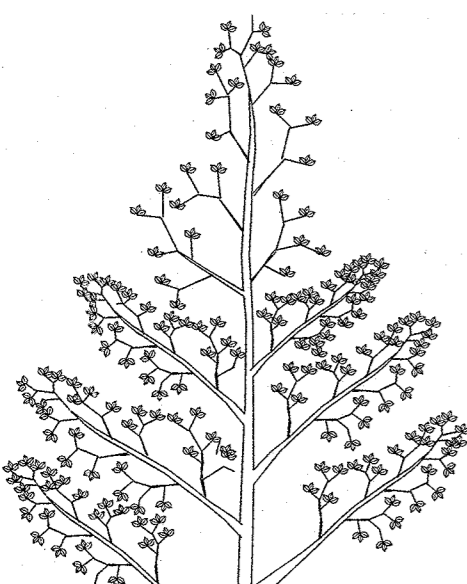
BULK REQUIREMENTS:

ZONE R-22 USE GROUP "I"	REQUIRED	EXISTING	PROPOSED
MAXIMUM FLOOR AREA RATIO	0.20	0.15	0.15
MINIMUM LOT AREA	22,500 SQ.FT.	22,790 SQ.FT. G 16,490 SQ.FT. N *	22,790 SQ.FT. G 16,490 SQ.FT. N *
MINIMUM LOT WIDTH	125 FT.	166 FT.	166 FT.
MINIMUM STREET FRONTAGE	75 FT.	168 FT.	168 FT.
MINIMUM FRONT YARD	40 FT.	31.1 FT. *	29 FT. **
MINIMUM SIDE YARD	25 FT.	23.8 FT. *	22 FT. **
MINIMUM TOTAL SIDE YARD	60 FT.	119.1 FT.	113.5 FT.
MINIMUM REAR YARD	45 FT.	61.8 FT.	70 FT. GARAGE
MAXIMUM BUILDING HEIGHT	9 IN./FT. FROM DESIGNATED STREET LINE	29 FT.	29 FT. TO HIGHEST POINT OF ROOF

* EXISTING NON-COMFORMING
** VARIANCE GRANTED BY ZONING BOARD OF APPEALS ON JUNE 17, 2020, AS ZBA#20-25.

LEGEND

- 362--- EXISTING 2' CONTOUR
- 360--- EXISTING 10' CONTOUR
- CBG EXISTING CATCH BASIN GRATE
- + 360.0 EXISTING SPOT ELEVATION
- UP EXISTING UTILITY POLE
- — — EXISTING WOOD FENCE
- — — EXISTING RAILROAD TIE RETAINING WALL
- — — PROPOSED CONTOUR
- — — PROPOSED ROOF DRAIN
- — — PROPOSED SILT FENCE
- — — PROPOSED RETAINING WALL



TREE PROTECTION DETAIL
N.T.S.

A TREE PROTECTION PROGRAM WILL BE IMPLEMENTED IN ORDER TO PROTECT AND PRESERVE BOTH INDIVIDUAL SPECIMEN TREES AND BUFFER AREAS. WITH MANY TREES, STEPS WHICH WILL BE TAKEN TO PRESERVE AND PROTECT EXISTING TREES, ARE AS FOLLOWS:

- NOTES:**
- NO CONSTRUCTION EQUIPMENT SHALL BE PARKED UNDER THE TREE CANOPY.
 - THERE WILL BE NO EXCAVATION OR STOCKPILING OF EARTH UNDERNEATH THE TREES.
 - TREES TO BE PRESERVED SHALL BE MARKED CONSPICUOUSLY ON ALL SIDES.
 - TREES TO BE SAVED ARE TO BE PROTECTED WITH A 4 FOOT HIGH ORANGE SNOW FENCE PLACED AT THE DRIP LINE OR AT 80% CRITICAL ROOT MASS WHICHEVER IS GREATER.
 - NO EARTH FILLS GREATER THAN 6" IN DEPTH WILL BE MADE BENEATH TREES TO BE PRESERVED.
 - IN FILL AREAS, TREES WILL BE PRESERVED IN TREE WELLS OR THROUGH THE USE OF RETAINING WALLS PLACED AT THE DRIP LINE OR AT 80% CRITICAL ROOT MASS WHICHEVER IS GREATER.
 - IN CUT AREAS, TREES WILL BE PRESERVED WITH RETAINING WALLS AT THE DRIP LINE OR AT 80% CRITICAL ROOT MASS WHICHEVER IS GREATER.

OWNER OR REPRESENTATIVES APPROVAL FOR FILING

OWNER OR REPRESENTATIVE _____ DATE _____

AN&Z
ATZL, NASHER & ZIGLER P.C.
ENGINEERS-SURVEYORS-PLANNERS
232 North Main Street
New York, New York 10956
Tel: (845) 634-4694
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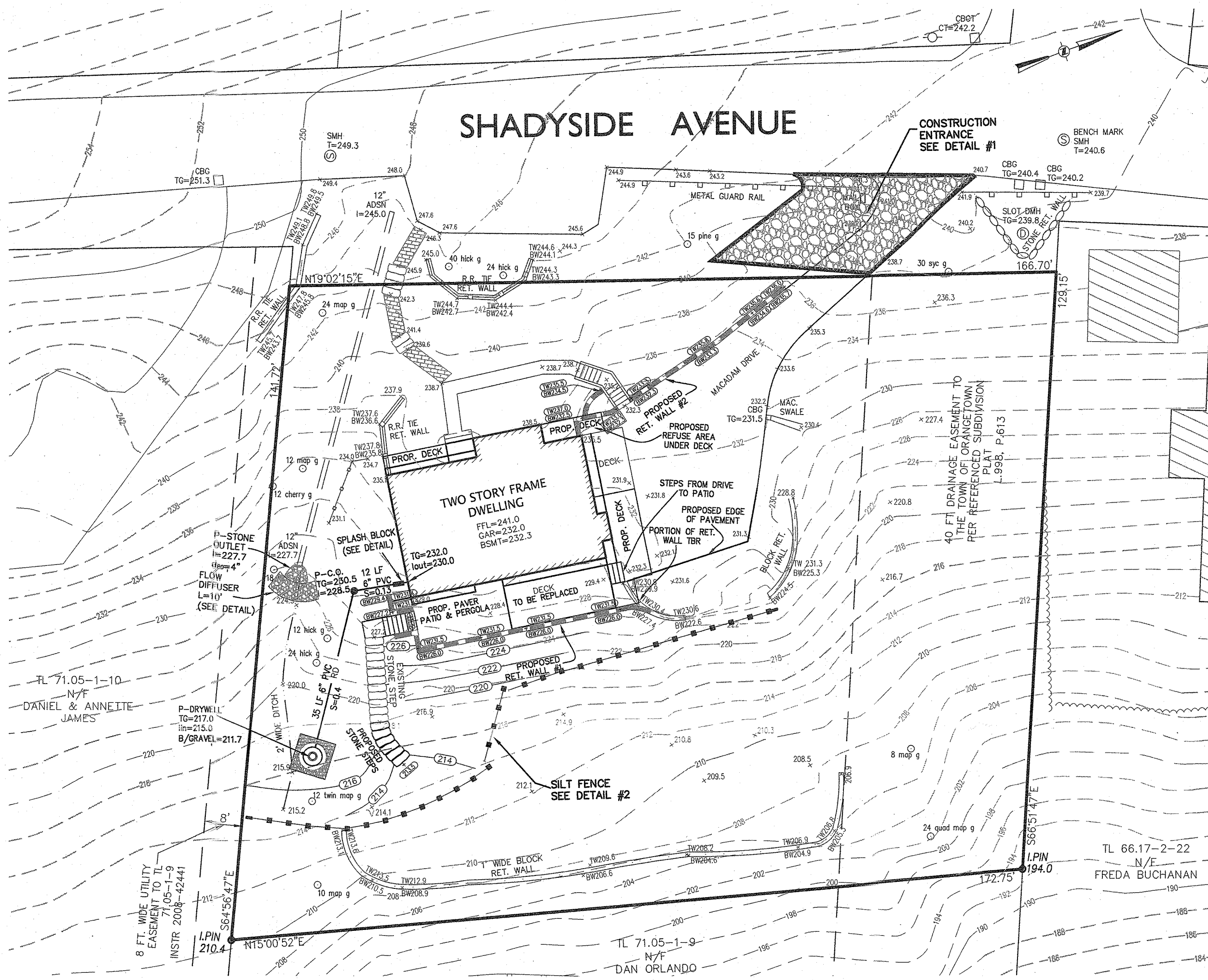
PROJECT: **MANDELL RESIDENCE**

TOWN OF ORANGETOWN
ROCKLAND COUNTY, NEW YORK

TITLE: **SITE DEVELOPMENT PLAN**

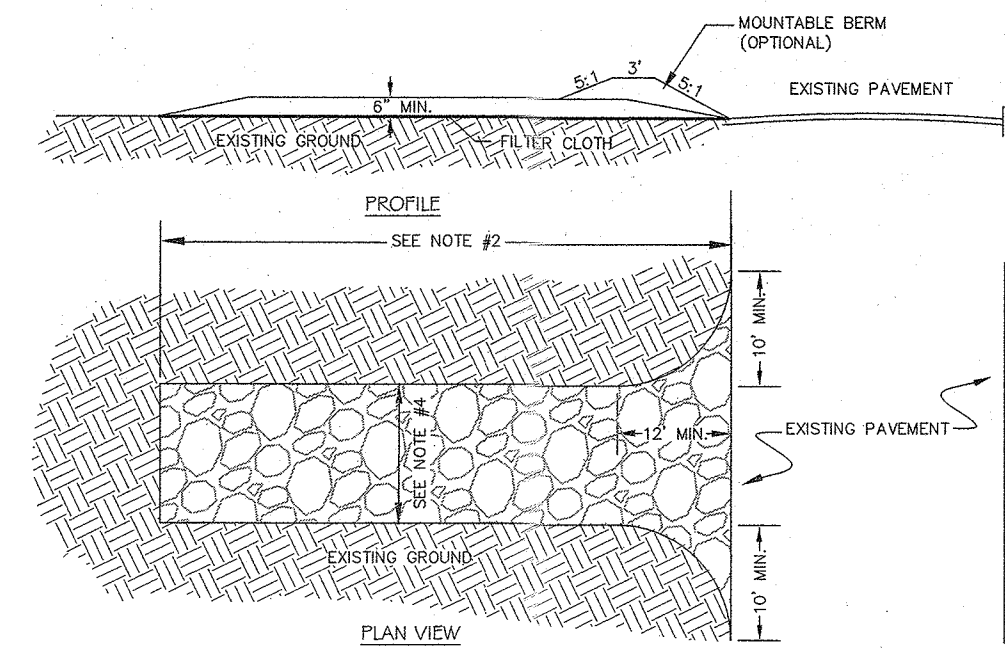
DRAWN BY: LF	CHECKED BY: JRA
DATE: APRIL 17, 2017	SCALE: 1 IN. = 20 FT.
PROJECT NO:	DRAWING NO:

4326 2



SPECIFICATIONS FOR CONSTRUCTION ENTRANCE

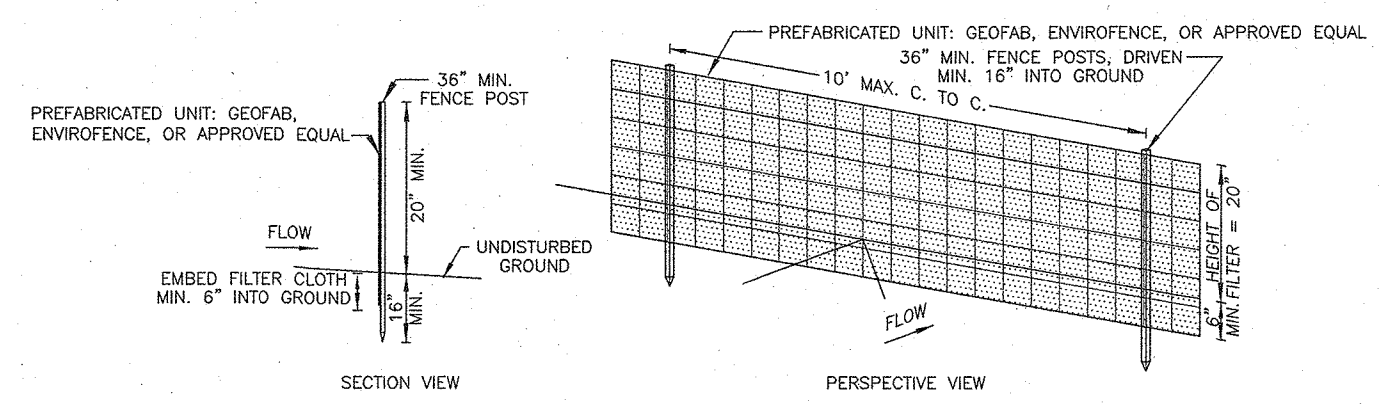
1. STONE SIZE - USE 2" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
2. LENGTH - NOT LESS THAN 50 FT. (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FT. MINIMUM LENGTH WOULD APPLY).
3. THICKNESS - NOT LESS THAN 6 IN..
4. WIDTH - 12 FT. MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS AND EGRESS OCCUR. 24 FT. IF SINGLE ENTRANCE TO SITE.
5. FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO THE PLACEMENT OF STONE.
6. SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
7. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAYS. ALL SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO PUBLIC RIGHT-OF-WAYS MUST BE REMOVED IMMEDIATELY.
8. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS TO AN APPROVED SEDIMENT TRAPPING DEVICE.
9. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.



CONSTRUCTION ENTRANCE DETAIL #1
N.T.S.

CONSTRUCTION NOTES FOR PRE FABRICATED SILT FENCE

- PREFABRICATED UNIT: GEOFAB, ENVIROFENCE, OR APPROVED EQUAL
1. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED.
 2. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

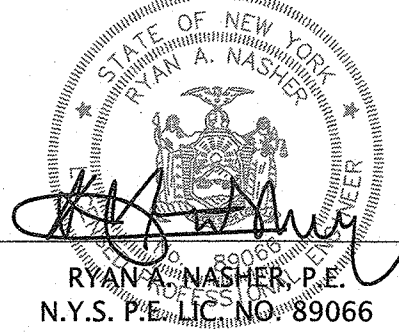


SILT FENCE DETAIL #2
N.T.S.

LEGEND

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- EXISTING WOOD FENCE
- EXISTING RAILROAD TIE RETAINING WALL
- PROPOSED CONTOUR
- PROPOSED ROOFDRAIN
- PROPOSED CONSTRUCTION ENTRANCE
- PROPOSED SILT FENCE
- PROPOSED RETAINING WALL

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Web: www.ANZNY.com

PROJECT: **MANDELL RESIDENCE**

TOWN OF ORANGETOWN
ROCKLAND COUNTY, NEW YORK

TITLE: **EROSION AND SEDIMENT CONTROL PLAN**

DRAWN BY: LF	CHECKED BY: JRA
DATE: APRIL 17, 2017	SCALE: 1 IN. = 20 FT.
PROJECT NO: 4326	DRAWING NO: 3

