

Name of Municipality: TOWN OF ORANGETOWN Date Submitted: _____

2022 LAND USE BOARD APPLICATION

Please check all that apply:

<input type="checkbox"/> Commercial	<input type="checkbox"/> Residential
<input type="checkbox"/> Planning Board	<input type="checkbox"/> Historical Board
<input checked="" type="checkbox"/> Zoning Board of Appeals	<input type="checkbox"/> Architectural Board
<input type="checkbox"/> Subdivision	<input type="checkbox"/> Consultation
<input type="checkbox"/> Number of Lots	<input type="checkbox"/> Pre-Preliminary/Sketch
<input type="checkbox"/> Site Plan	<input type="checkbox"/> Preliminary
<input type="checkbox"/> Conditional Use	<input type="checkbox"/> Final
<input type="checkbox"/> Special Permit	<input type="checkbox"/> Interpretation
<input type="checkbox"/> Variance	
<input type="checkbox"/> Performance Standards Review	
<input type="checkbox"/> Use Variance	
<input type="checkbox"/> Other (specify): _____	

PERMIT#: BLDR-320-2
ASSIGNED _____
INSPECTOR: Dominick

Referred from Planning Board: YES / NO
If yes provide date of Planning Board meeting: _____

Project Name: O'Brien

Street Address: 173 Washington Ave
Pearl River

Tax Map Designation:
Section: 68.15 Block: 3 Lot(s): 29
Section: _____ Block: _____ Lot(s): _____

Directional Location:
On the Corner side of Washington & Lincoln, approximately _____ feet _____ of the intersection of _____, in the Town of ORANGETOWN in the hamlet/village of Pearl River.

Acreage of Parcel <u>1/3</u>	Zoning District <u>R-15</u>
School District <u>Pearl River</u>	Postal District <u>Pearl River</u>
Ambulance District <u>Pearl River</u>	Fire District <u>Pearl River</u>
Water District <u>Svl2</u>	Sewer District <u>Orangetown</u>

Project Description: *(If additional space required, please attach a narrative summary.)*
single story addition on side of house

The undersigned agrees to an extension of the statutory time limit for scheduling a public hearing.
Date: 2/1/22 Applicant's Signature: [Signature] for Applicant

APPLICATION REVIEW FORM

FILL IN WHERE APPLICABLE.

(IF THE FOLLOWING DOES NOT APPLY PLEASE MOVE ON TO THE NEXT PAGE)

If subdivision:

- 1) Is any variance from the subdivision regulations required? _____
- 2) Is any open space being offered? ____ If so, what amount? _____
- 3) Is this a standard or average density subdivision? _____

If site plan:

- 1) Existing square footage _____
- 2) Total square footage _____
- 3) Number of dwelling units _____

If **special permit**, list special permit use and what the property will be used for.

Environmental Constraints:

Are there **slopes greater than 25%**? If yes, please indicate the amount and show the gross and net area _____

Are there **streams** on the site? If yes, please provide the names. _____

Are there **wetlands** on the site? If yes, please provide the names and type:

Project History:

Has this project ever been reviewed before? _____ **NO** _____

If so, provide a narrative, including the list case number, name, date, and the board(s) you appeared before, and the status of any previous approvals.

List tax map section, block & lot numbers for all other abutting properties in the same ownership as this project.



OFFICE OF BUILDING, ZONING, PLANNING,
ADMINISTRATION AND ENFORCEMENT
TOWN OF ORANGETOWN
20 Greenbush Road
Orangeburg, N.Y. 10962

Jane Slavin, R.A.
Director

(845)359-8410

Fax: (845) 359-8526

DENIAL TO THE ZONING BOARD OF APPEALS

Date: December 23, 2021

Applicant: O'Brien

Address: 173 Washington Street, Pearl River, NY

RE: Application Made at: same

Chapter 43, Table 3.12, R-15 Zoning District, Column 9, Rear Yard required is 25' with 21.8' proposed.

Section: 68.15

Block: 3

Lot: 29

Dear O'Brien:

Please be advised that the Building Permit Application, which you submitted on

Dec. 9, 2021, has been denied. I have enclosed a Xerox copy of your application, where you will find at the bottom the reason for denial.

In Accordance with Zoning, Chapter 43 Section 10.322 the time to appeal a determination of a Building Inspector or Similar administrative office is thirty (30) days from the filing of such a determination with the Town Clerk.

The Clerk to the Zoning Board of Appeals, Debbie Arbolino, will assist you in the preparation necessary to appear before the board.

Sincerely,

12-22-21

Signature of Director
NOTE: PLEASE KEEP FOR YOUR RECORDS
12-31-18-CCC

Date
CC: Rosanna Sfraga
Liz Decort
Debbie Arbolino

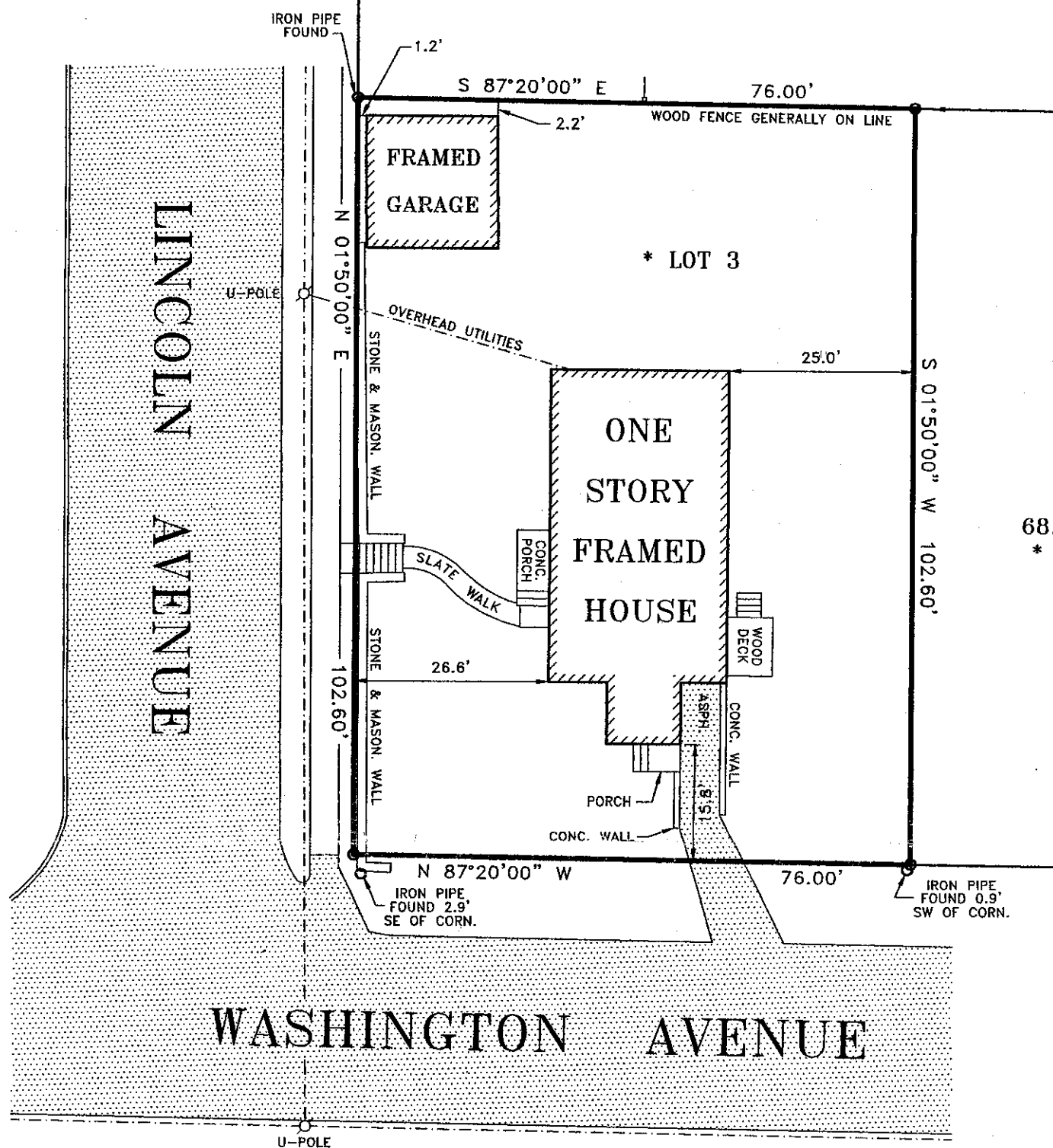
WIS	PRINT KEY	NAME	ADDRESS
2489	68.15-3-24	✓Patrick Harrington	55 Lt Cox Dr,Pearl River, NY 10965✓
2489	68.15-3-25	✓Alexandra Peterson	51 Lt Cox Dr,Pearl River, NY 10965✓
2489	68.15-3-26	✓Marianne Zoubek	141 W Washington Ave,Pearl River, NY 10965✓
2489	68.15-3-27	✓Patrick J Reilly	149 W Washington Ave,Pearl River, NY 10965
2489	68.15-3-28	✓Alan Terhune Jr	157 W Washington Ave,Pearl River, NY 10965
2489	68.15-3-29	✓Eric O'Brien	173 W Washington Ave,Pearl River, NY 10965
2489	68.15-3-30	✓Jeffrey Dehnert	46 Lincoln Av,Pearl River, NY 10965
2489	68.15-3-31	✓Donald Mc Kallen	50 Lincoln Av,Pearl River, NY 10965
2489	68.15-3-32	✓William R Calajoe	54 Lincoln Av,Pearl River, NY 10965
2489	68.15-3-33	✓Kathleen Long	56 Lincoln Ave,Pearl River, NY 10965
2489	68.15-3-34	✓John F Leddy	64 Lincoln Ave,Pearl River, NY 10965
2489	68.15-3-57	✓Brian M Malone	63 Lincoln Ave,Pearl River, NY 10965
2489	68.15-3-58	✓Steven MacAdam Jr	59 Lincoln Ave,Pearl River, NY 10965
2489	68.15-3-59	✓James Doyle	55 Lincoln Av,Pearl River, NY 10965
2489	68.15-3-60	✓James W Parisi	11 Folkstone Dr,East Hampton, NY 11937
2489	68.15-3-61	✓Michael J Lee	177 W Washington Ave,Pearl River, NY 10965
2489	68.15-3-62	✓Zhiyong Shi	9 Ross Ave,Spring Valley, NY 10977
2489	68.15-3-63	✓Equity Trust Company Gregory Yavalidakis	49 Noyes St,Pearl River, NY 10965
2489	68.19-2-3	✓Caimin Clancy	192 W Washington Ave,Pearl River, NY 10965
2489	68.19-2-5	✓Kelly Drummond	170 Burrows Ln,Bauvelt, NY 10913
2489	68.19-2-6	✓Brian Weidel	56 Wilderness Dr,Stony Point, NY 10980
2489	68.19-2-7	✓Gunther T Fischer	166 W Washington Ave,Pearl River, NY 10965
2489	68.19-2-8	✓Selina Moore	156 W Washington Ave,Pearl River, NY 10965
2489	68.19-2-9	✓Diane Barkley	152 W Washington Ave,Pearl River, NY 10965

O'Brien

LOT AREA
7,796.78 S.F.
OR
0.18 ACRES



N/F
DEHNERT
68.15-3-30
* LOT 6



N/F
DUDEK
68.15-3-28
* LOT 4

GENERAL NOTES:

1. THE PREMISES SHOWN HEREON IS GENERALLY AS DESCRIBED IN DEED LIBER-1064, PAGE-33 RECORDED IN THE ROCKLAND COUNTY CLERK'S OFFICE.
2. SURVEYED AS PER RECORD DESCRIPTIONS, RECORD FILED MAP, AND EXISTING MONUMENTATION.
3. SUBJECT TO ANY EASEMENTS AND/OR RIGHT OF WAYS THAT AN ACCURATE UP TO DATE ABSTRACT OF TITLE MAY SHOW.
4. THE LOCATION OF ANY SUBSURFACE EASEMENTS, RIGHT OF WAYS, ENCROACHMENTS, AND/OR IMPROVEMENTS, IF ANY EXIST, ARE NOT CERTIFIED OR SHOWN HEREON.
5. ALL CERTIFICATIONS HEREON ARE VALID FOR THIS MAP AND COPIES THEREOF ONLY IF SAID MAP OR COPIES BEAR THE ORIGINAL SEAL OF THE SURVEYOR WHOSE SIGNATURE APPEARS HEREON.
6. ANY ALTERATIONS OR ADDITIONS TO THIS SURVEY IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW, EXCEPT AS PER SECTION 7209, SUBDIVISION 2.
- * 7. REFERENCE: 'MAP OF LOTS OF JAY F. WILLIAMS' FILED IN THE ROCKLAND COUNTY CLERK'S OFFICE ON JANUARY 22, 1925 AS MAP #1146, IN BOOK 37.

W.E. JAMES ASSOCIATES



ENGINEERING,
SURVEYING &
PLANNING

8 CHEANDA LANE
WALLKILL, NEW YORK 12589
PHONE: (845) 566-6522 FAX: (845) 566-6525

COPIES OF THIS SURVEY MAP NOT BEARING THE LAND SURVEYOR'S EMBOSSED SEAL SHALL NOT BE CONSIDERED TO BE A TRUE VALID COPY. GUARANTEES OR CERTIFICATIONS INDICATED HEREON SHALL RUN ONLY TO THE PERSON FOR WHOM THE SURVEY IS PREPARED, AND ON HIS BEHALF TO THE TITLE COMPANY, GOVERNMENTAL AGENCY AND LENDING INSTITUTION LISTED HEREON, AND TO THE ASSIGNEES OF THE LENDING INSTITUTION. GUARANTEES OR CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.

I HEREBY CERTIFY THAT THE SURVEY SHOWN HEREON IS BASED ON AN ACTUAL FIELD SURVEY COMPLETED ON: APRIL 14, 2009

CERTIFIED ONLY TO:

1. ERIC O'BRIEN AND KATHLEEN O'BRIEN
2. MUNICIPAL CREDIT UNION, ITS SUCCESSORS AND/OR ASSIGNS
3. FIDELITY NATIONAL TITLE INSURANCE COMPANY
4. GENE A. SHANAHAN

William E. James

WILLIAM E. JAMES, P.E., P.L.S.
NY STATE PROFESSIONAL LAND SURVEYOR LICENSE #050506

PROJECT TITLE:

SURVEY PREPARED FOR
Eric & Kathleen O'Brien

TAX MAP SECTION 68.15, BLOCK 3, LOT 29
TOWN OF ORANGETOWN
ROCKLAND COUNTY, NEW YORK

SCALE:
1" = 20'

DATE:
APRIL 20, 2009

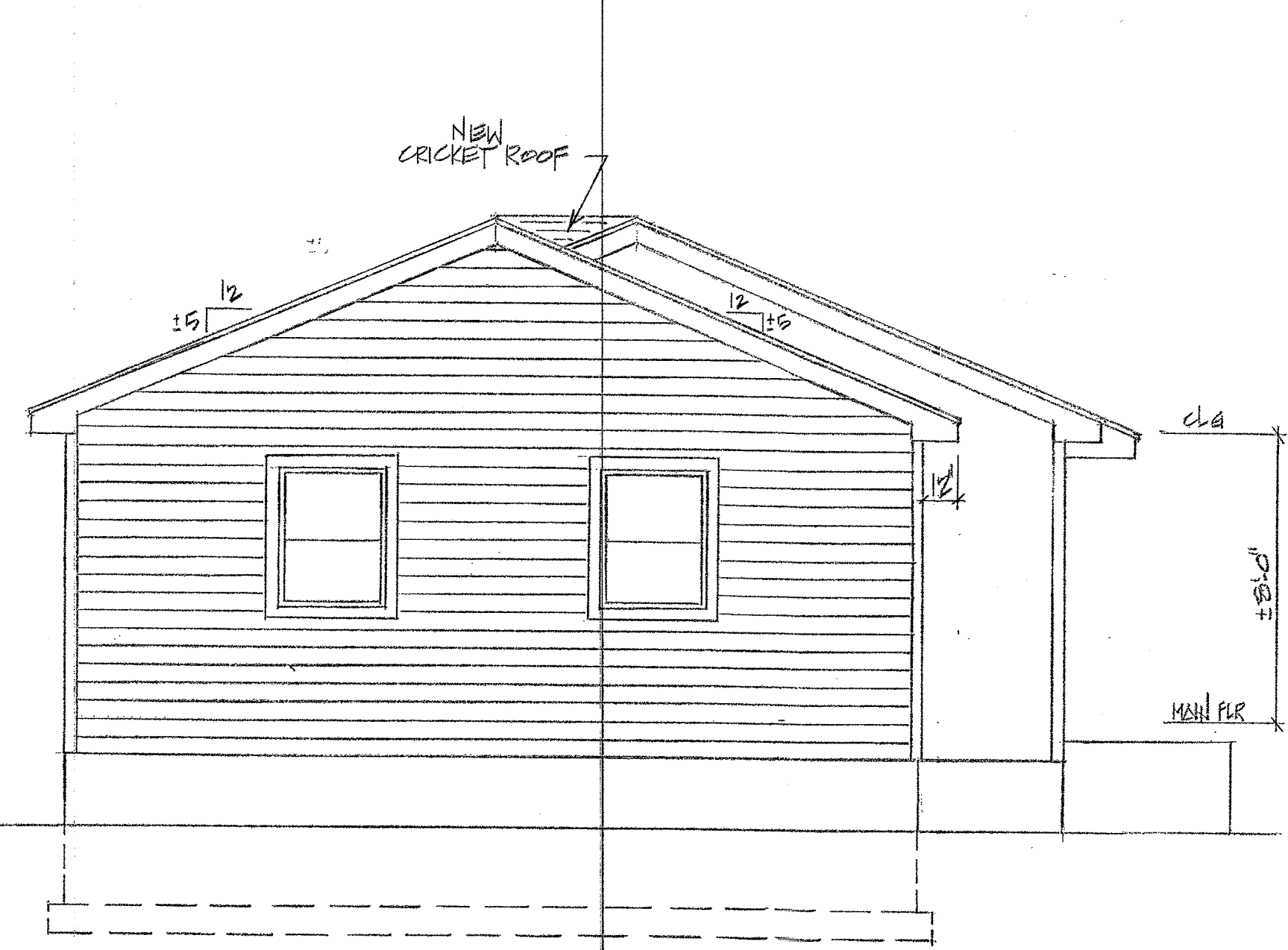
SHEET NO:
1 OF 1

PROJECT CAD REFERENCE:
ROCKLAND COUNTY/TOWN OF ORANGETOWN/WEST WASHINGTON AVENUE/O'BRIEN.DWG

GENERAL SPECIFICATIONS

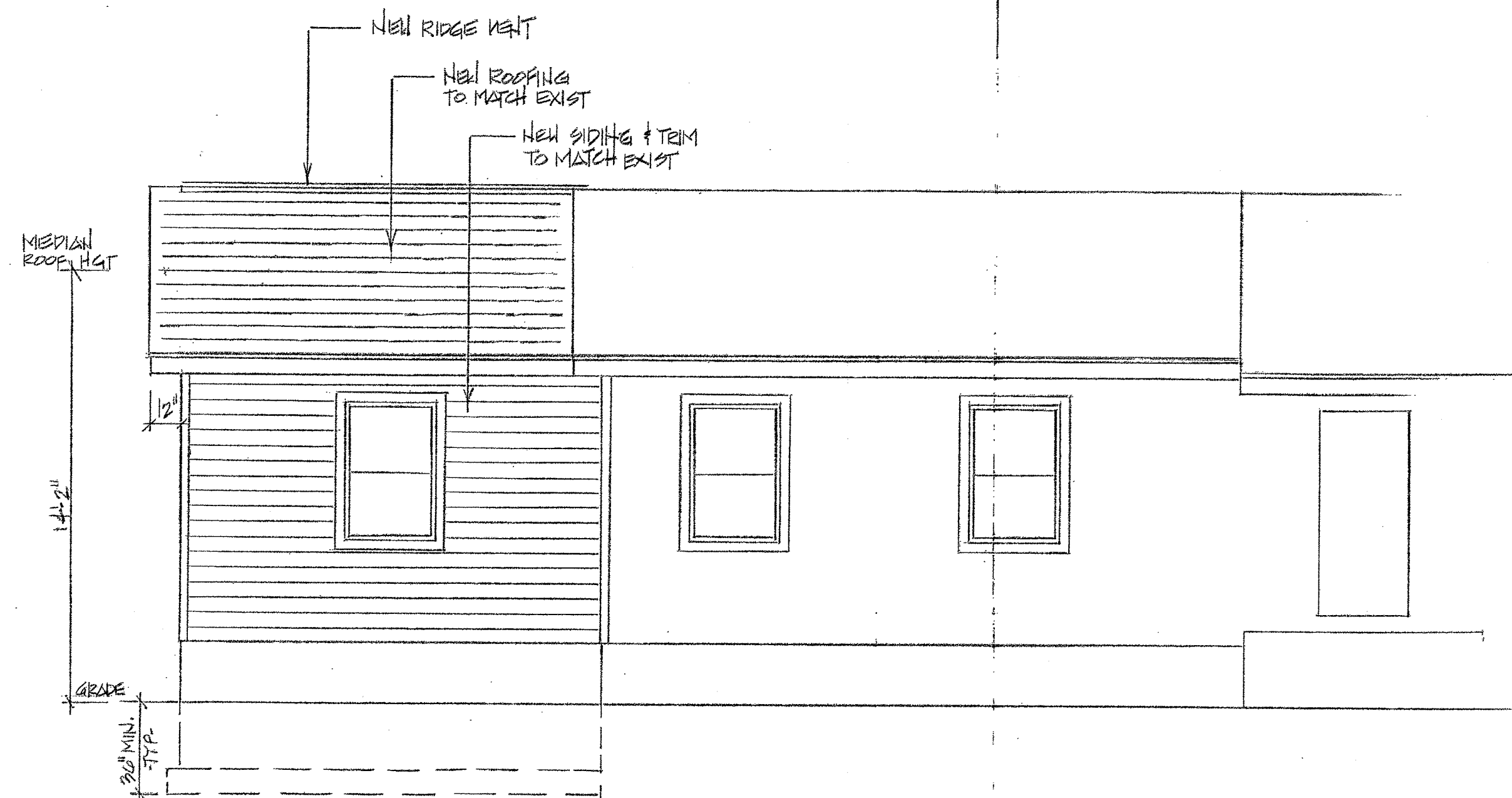
GENERAL NOTES

1. ALL WORK PERFORMED SHALL COMPLY WITH THE BUILDING AND ZONING ORDINANCES OF THE TOWN OF PEARL RIVER AND THE N.Y.S. BUILDING AND ENERGY CODES.
 2. THESE PLANS ARE TO BE USED FOR PERMITS AND CONSTRUCTION GUIDE ONLY. IT IS NOT INTENDED TO BE USED AS A CONTRACT DOCUMENT, UNLESS OTHERWISE INDICATED BY ARCHITECT.
 3. CONTRACTOR OR ANY SUBCONTRACTOR DOING ANY WORK UNDER THIS CONTRACT SHALL CARRY LIABILITY AND PROPERTY DAMAGE INSURANCE AGAINST ACCIDENTS OF ALL KINDS AND SHALL FURNISH OWNER WITH CERTIFICATE OF INSURANCE.
 4. CONTRACTOR SHALL BE RESPONSIBLE FOR CHECKING ALL DIMENSIONS ON THESE PLANS AGAINST FIELD CONDITIONS PRIOR TO CONSTRUCTION AND REPORT ANY DISCREPANCIES TO THE ARCHITECT.
 5. ALL DIMENSIONS AND LOCATIONS AS INDICATED ON THE DRAWINGS SHALL BE CONSIDERED AS REASONABLY CORRECT, BUT IT SHALL BE UNDERSTOOD THAT THEY ARE SUBJECT TO MODIFICATION AS MAY BE NECESSARY OR DESIRABLE AT THE TIME OF INSTALLATION TO MEET ANY UNFORESEEN OR OTHER CONDITION.
 6. ARCHITECT AND RELATED CONSULTANTS HAVE NOT BEEN RETAINED FOR CONSTRUCTION INSPECTION SERVICES OR FOR APPROVAL OF SHOP DRAWINGS. ARCHITECT IS ONLY RESPONSIBLE FOR THESE WORKING DRAWINGS AND THEIR RELATED SPECIFICATIONS. IT REMAINS INCUMBENT ON THE CONTRACTOR TO INFORM THE BUILDING DEPARTMENT OR THE ARCHITECT OF ANY DISCREPANCY OR CHANGE ON APPROVED PLANS AND OF ANY UNFORESEEN DEVELOPMENT THAT MAY OCCUR DURING THE COURSE OF CONSTRUCTION.
 7. ARCHITECT ASSUMES NO RESPONSIBILITY FOR ANY EXISTING STRUCTURE OR ANY UNFORESEEN PROBLEMS PRIOR TO NEW CONSTRUCTION. ARCHITECT ASSUMES NO RESPONSIBILITY FOR ANY NEW CONSTRUCTION AND/OR DEMOLITIONS OPERATIONS AND METHODS.
 8. CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH EXISTING CONDITIONS. ALL DIMENSIONS AND CONDITIONS SHALL BE FIELD VERIFIED. ARCHITECT SHALL BE INFORMED OF ANY DISCREPANCIES, MATCH ALL EXISTING MATERIALS, DIMENSIONS, AND CONDITIONS AS THEY APPLY.
 9. ALL DIMENSIONS ARE APPROXIMATE AND ARE TO BE FIELD VERIFIED PRIOR TO START OF WORK. DO NOT SCALE DIMENSIONS FROM DRAWINGS. WRITTEN DIMENSIONS ARE TO BE FOLLOWED FOR CONSTRUCTION PURPOSES.
 10. ALL CONSTRUCTION & MATERIALS SHALL BE NEW - UNLESS OTHERWISE NOTED. ALL MATERIALS SHALL BE FURNISHED AND INSTALLED BY CONTRACTOR, UNLESS OTHERWISE NOTED.
 11. ALL WORK OF THE VARIOUS TRADES INVOLVED WITH THE CONSTRUCTION OF THIS PROJECT IS TO BE PERFORMED BY CAPABLE AND REPUTABLE CONTRACTORS, LICENSED IN THE STATE OF NEW YORK AND AS REQUIRED BY THE LOCAL GOVERNING AGENCY.
 12. NO WORK SHALL BE STARTED UNTIL A BUILDING PERMIT HAS BEEN SECURED AS REQUIRED BY THE APPLICABLE GOVERNING AGENCY OR AGENCIES.
 13. ALL CONDITIONS AND DIMENSIONS SHALL BE VERIFIED BEFORE START OF ANY WORK AND DISCREPANCIES OR VARIATIONS TO APPROVED PLAN ARE TO BE BROUGHT TO THE ATTENTION OF THE OWNER BEFORE PROCEEDING.
 14. PRIOR TO COMPLETION OF THE WORK, CONTRACTOR SHALL REMOVE FROM THE JOB SITE ALL TOOLS, SURPLUS MATERIALS, EQUIPMENT, SCRAP, DEBRIS, AND WASTE EXCEPT AS OTHERWISE NOTED BY THE OWNER.
- ### SITE NOTES
15. CONTRACTOR/OWNER IS RESPONSIBLE FOR NOTIFYING ALL UTILITY COMPANIES AND VERIFYING LOCATION OF SAME UTILITY COMPANIES LINES, SERVICES AND OTHER POSSIBLE EQUIPMENT OF UTILITY COMPANY.
 16. ALL EXISTING CONDITIONS INDICATED ON THE PLANS TO BE REMOVED OR RELOCATED ARE TO BE SO EXECUTED IN A MANNER THAT WILL NOT DISTURB ADJOINING AREAS OR CONDITIONS WHICH ARE TO REMAIN.
 17. EXTREME CAUTION IS TO BE TAKEN DURING EXCAVATION AND/OR DEMOLITION. CONTRACTOR TO OBSERVE ANY VARIATIONS OR UNFORESEEN DISCREPANCIES IN THE PLANS AND REPORT IMMEDIATELY TO THE OWNER.
 18. ALL FOOTINGS TO REST ON VIRGIN SOIL HAVING A MINIMUM BEARING CAPACITY OF 3,000 P.S.F. AT 2'-0" MINIMUM BELOW THE FINISHED GRADE.
 19. EARTH UNDER CONCRETE SLAB BE THOROUGHLY COMPACTED AND CLEANED OF DEBRIS, WASTE AND OTHER MATTER. THE SUB-GRADE SHALL BE BROUGHT TO A TRUE PLANE & COMPACTED TO SOILD BEARING. ALL FILL MATERIAL SHALL BE SOIL OR SOIL-ROCK MIXTURE FREE FROM ORGANIC MATTER AND OTHER OBJECTIONABLE MATERIAL. IT SHALL CONTAIN NO ROCKS OR LUMPS OVER SIX INCHES IN GREATEST DIMENSION AND NOT MORE THAN 10% OF THE ROCKS OR LUMPS SHALL BE LARGER THAN 3" IN GREATEST DIMENSION.
 20. DO NOT BACKFILL UNTIL MAIN FLOOR SYSTEMS, INCLUDING SLABS AND FLOOR DECKING, ARE INSTALLED.
 21. BACKFILL AGAINST 8" FOURED CONCRETE WALLS SHALL BE A MAXIMUM OF 7'-0" AND 12" CONCRETE BLOCK WALLS MAXIMUM 6'-0" ABOVE SLAB TO ADJACENT GRADE.
 22. TOP 6" OF NEWLY GRADED AREAS IS TO BE TOP SOIL RAKED FREE FROM DEBRIS, STICKS, STONES OVER 2" IN SIZE AND OBJECTIONABLE MATERIAL.
 23. GENERAL CONTRACTOR OR OWNER SHALL FIELD VERIFY ALL INVERT ELEVATIONS AND SEWER CONDITIONS INDICATED PRIOR TO CONSTRUCTION. ARCHITECT ASSUMES NO RESPONSIBILITY FOR INFORMATION CONTAINED IN SURVEYS ON SEWER DEPT. RECORDS.
 24. FOOTING DRAINS TO BE PROVIDED WHERE REQUIRED AND APPROPRIATE THEY SHALL BE LAD IN GRAVEL BED AND PROTECTED AT TOP WITH FILTER FABRIC AND PROVIDE POSITIVE OUTFLOW TO STORM DRAIN OR DRY WELL.
 25. FINISHED GRADE AND DRIVEWAY SHALL PITCH AWAY FROM THE BUILDING, SO THAT ALL SURFACE WATER FLOWS AWAY FROM IT.
 26. INSTALLATION OF GAS METERS SHALL BE IN STRICT ACCORDANCE WITH LOCAL UTILITY COMPANY SPECIFICATIONS.
 27. INSTALLATION OF ELECTRIC METERS SHALL BE PERFORMED IN STRICT ACCORDANCE WITH LOCAL UTILITY COMPANY SPECIFICATIONS.
 28. FINISHED GRADE HEIGHT SHALL BE MINIMUM 6" BELOW ADJACENT FRAMING AND MAXIMUM 6" ABOVE LOCAL CODES.
- ### CONCRETE AND MASONRY
29. NEW POURED CONCRETE TO BE MINIMUM 3000 P.S.I. COMPRESSIVE STRENGTH IN 28 DAYS. 60 BAGS OF CEMENT MIN. PER CUBIC YARD OF CONCRETE AND MAXIMUM 7 1/2 GALLONS OF WATER PER BAG OF CEMENT. 4 1/4 GALLONS OF WATER PER 100 POUND BAG OF CEMENT FOR AIR ENTRAINED CONCRETE. SUBMIT TESTING REPORTS PERFORMED BY APPROVED TESTING LABORATORY, AS REQUIRED BY LOCAL OFFICIALS.
 30. CONCRETE DESIGN, MATERIALS, AND METHODS OF CONSTRUCTION SHALL COMPLY WITH THE APPLICABLE STANDARD 38 RATIO OF THE AMERICAN CONCRETE INSTITUTE. ALL MASONRY OR CONCRETE ANCHORS AND FASTENERS OF ANY KIND, TO BE GALVANIZED OR ZINC COATED.
 31. BLOCK FOUNDATION WALLS TO BE REINFORCED HORIZONTALLY WITH DUB-Q WALL EVERY SECOND COURSE AND VERTICALLY WITH #4 #5 RE-BARS EVERY FOUR FEET (BLOCK SHALL BE FILLED SOLID WITH CONCRETE AROUND REINFORCING BARS). TOP COURSE OF BLOCK SHALL BE FILLED SOLID WITH CONCRETE AND 5/8" DIAMETER ANCHOR BOLTS SHALL BE PLACED 4'-0" TO 6'-0" O.C.

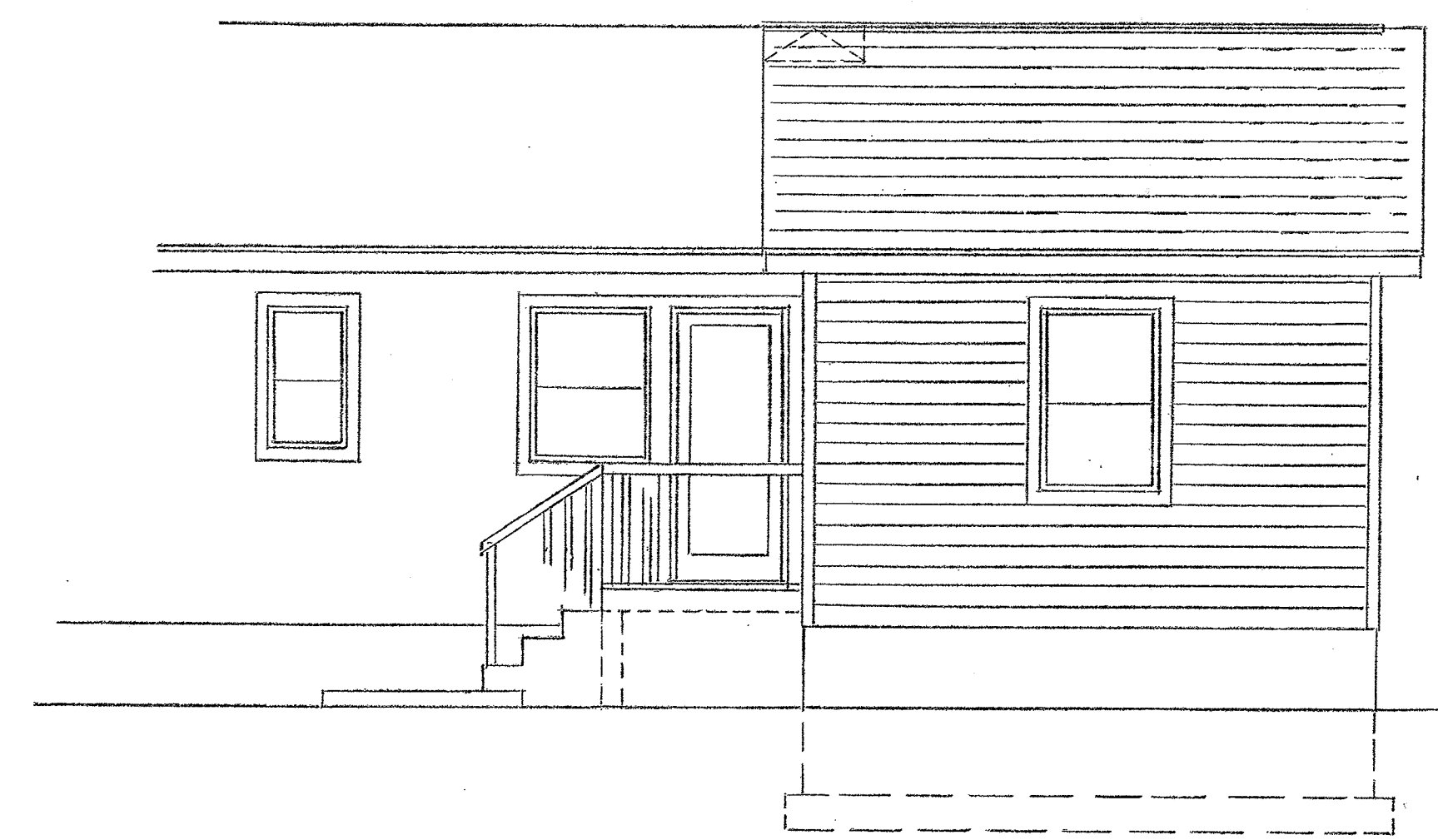


REAR ELEVATION

SCALE: 1/4"=1'-0"



LEFT SIDE ELEVATION



RIGHT SIDE ELEVATION

ENERGY CODE

TABLE R602.1
INSULATION AND PENETRATION REQUIREMENTS BY COMPONENTS [ROCKLAND/CORNING: CLIMATE ZONE 5]

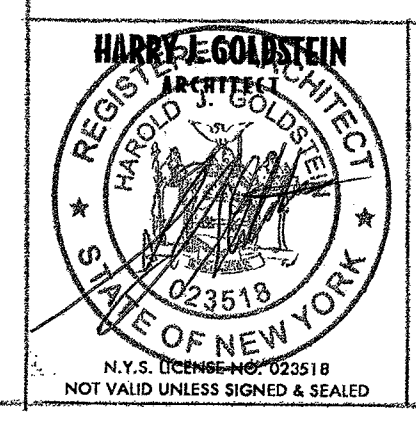
CLIMATE ZONE	FENESTRATION U-FACTOR	SKYLIGHT U-FACTOR	GLAZED FENESTRATION U-FACTOR	CEILING U-FACTOR	WOOD ROOF U-FACTOR	MASS FLOOR U-FACTOR	BASEMENTS U-FACTOR	SLAB U-FACTOR	CRACK SPACE U-FACTOR
4 except Marine	0.35	0.50	0.40	49	20 or 13 x 5.8	8/13	19	10/13	10.2 ft
5 and Marine	0.32	0.50	NR	49	13 x 5.8	15/17	30 or 15/18	10.2 ft	15/19

TABLE R602.2
INSULATION AND PENETRATION REQUIREMENTS BY COMPONENTS [ROCKLAND/CORNING: CLIMATE ZONE 5]

CLIMATE ZONE	FENESTRATION U-FACTOR	SKYLIGHT U-FACTOR	GLAZED FENESTRATION U-FACTOR	CEILING U-FACTOR	WOOD ROOF U-FACTOR	MASS FLOOR U-FACTOR	BASEMENTS U-FACTOR	SLAB U-FACTOR	CRACK SPACE U-FACTOR
4 except Marine	0.35	0.50	0.40	49	20 or 13 x 5.8	8/13	19	10/13	10.2 ft
5 and Marine	0.32	0.50	NR	49	13 x 5.8	15/17	30 or 15/18	10.2 ft	15/19

O'BRIEN RESIDENCE
ONE-STORY ADDITION

173 W WASHINGTON AVE.
PEARL RIVER, NEW YORK



HARRY J. GOLDSTEIN
ARCHITECT
DESIGN & DEVELOPMENT

4 REGINA ROAD
MOUNTAIN VIEW, NEW YORK 10952
(914) 356-7942 (914) 393-5787

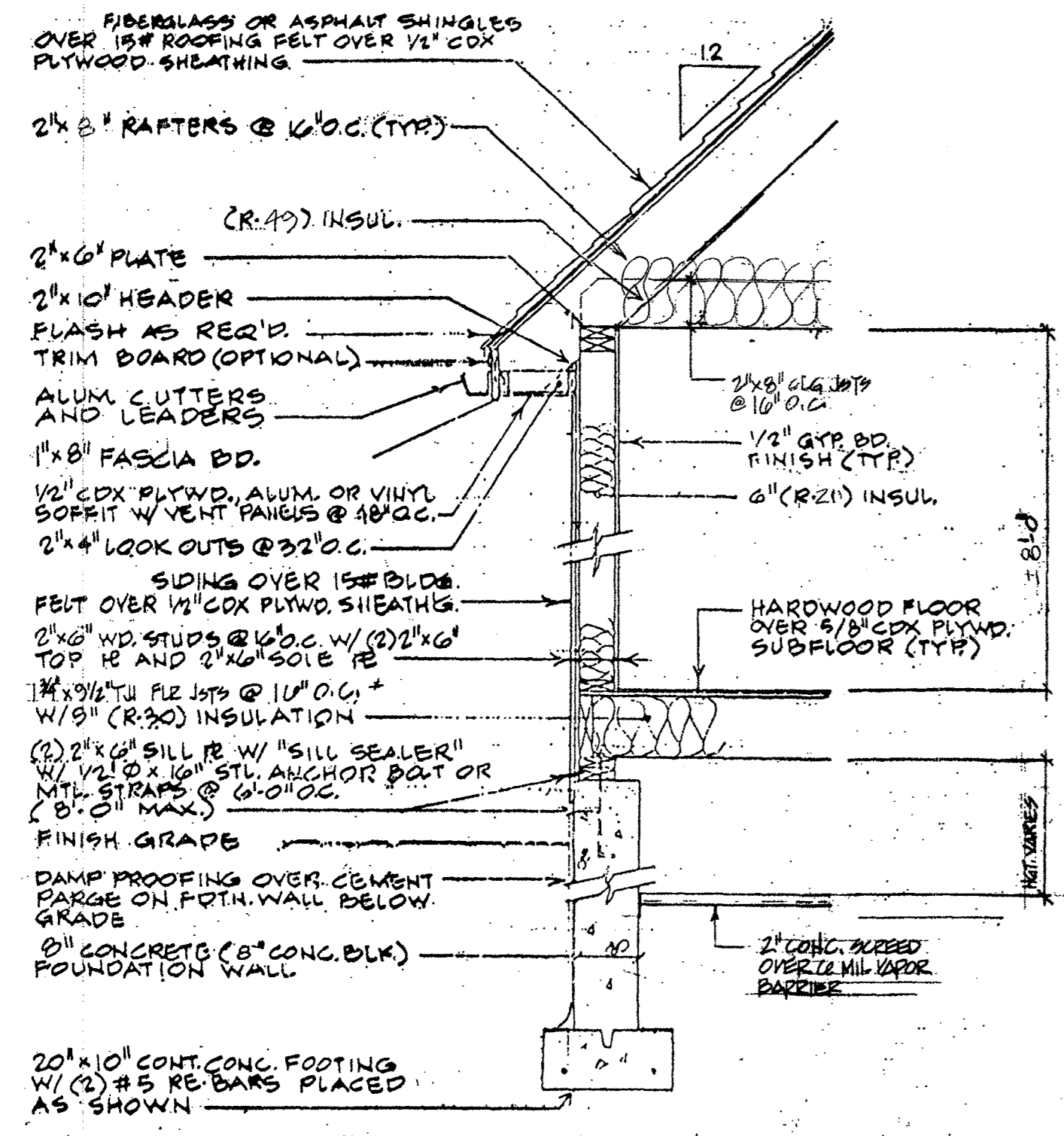
PROJECT #10653
AUGUST 27, 2021

1
OF
2

LOT AREA
7,796.78 S.F.
OR
0.18 ACRES

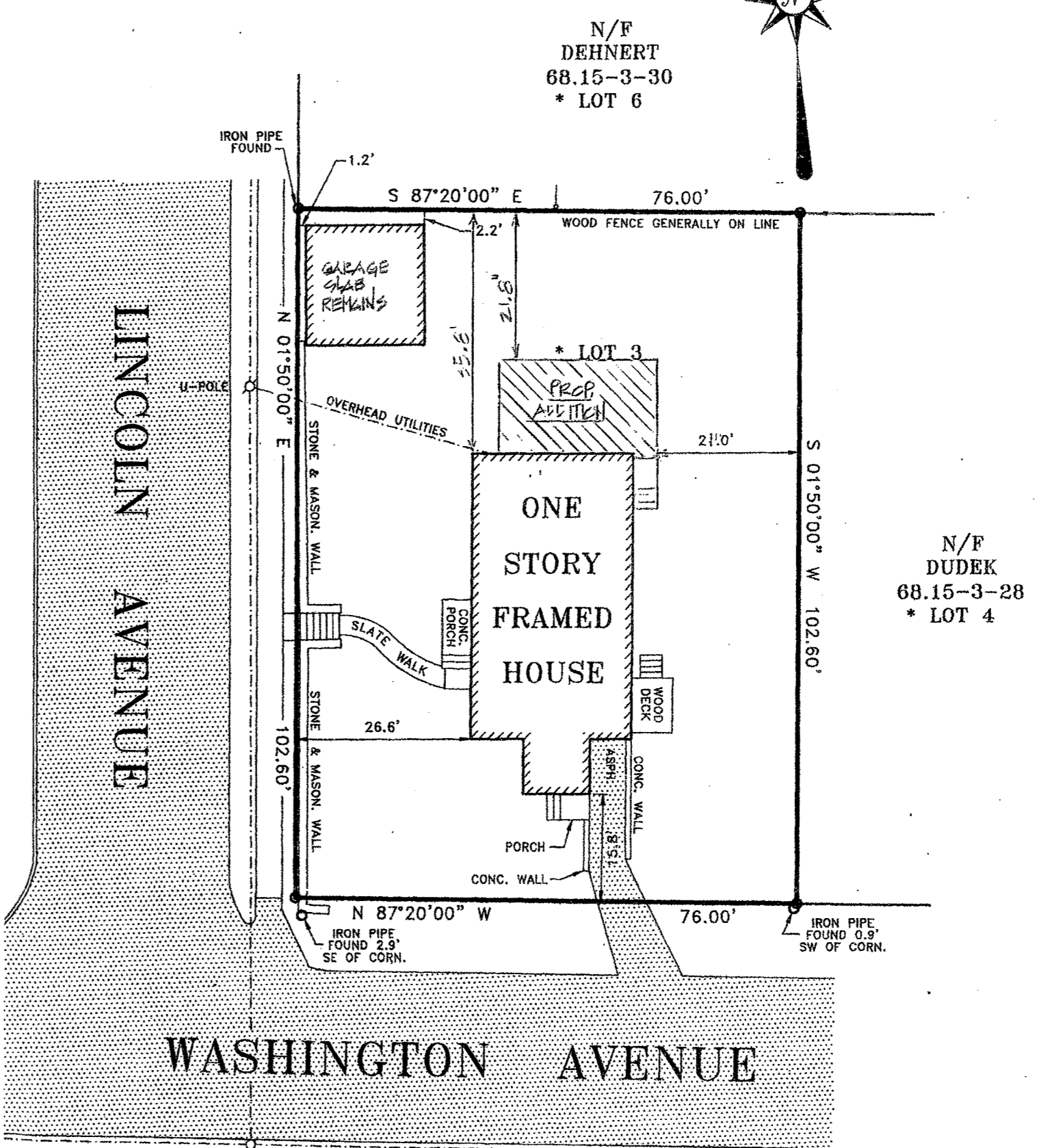
BULK REGULATIONS

ZONING BULK REQUIREMENTS			
Zone: RG	Group: Q	Use: SINGLE-FAMILY RES.	
	Required	Existing	Proposed
Floor area ratio	0.30	0.143	0.186
Lot area	10,000	7,796.78	7,796.78
Lot width	75	76	76
Street frontage	50	76	76
Front yard setback	25	26.6/15.8	26.6/15.8
Side yard setback	10	25.0	21.0
Total side yard setback	30	N.A.	N.A.
Rear yard setback	25	35.8	21.8
Maximum building height	1'-4"	10'-8"	10'-8"



TYPICAL WALL SECTION

SCALE: 1/2" = 1'-0"



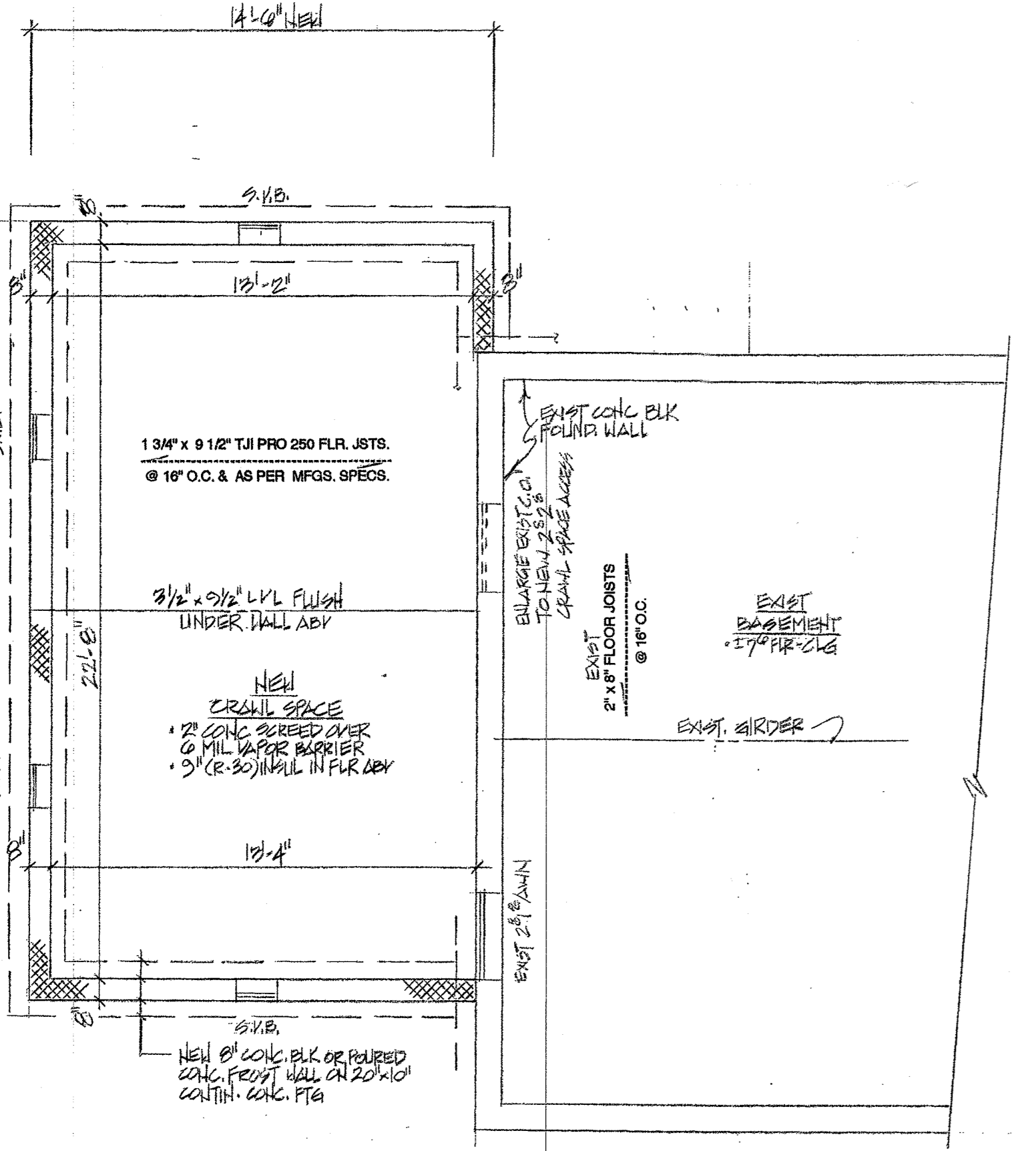
PLOT PLAN

SCALE: 1" = 20'

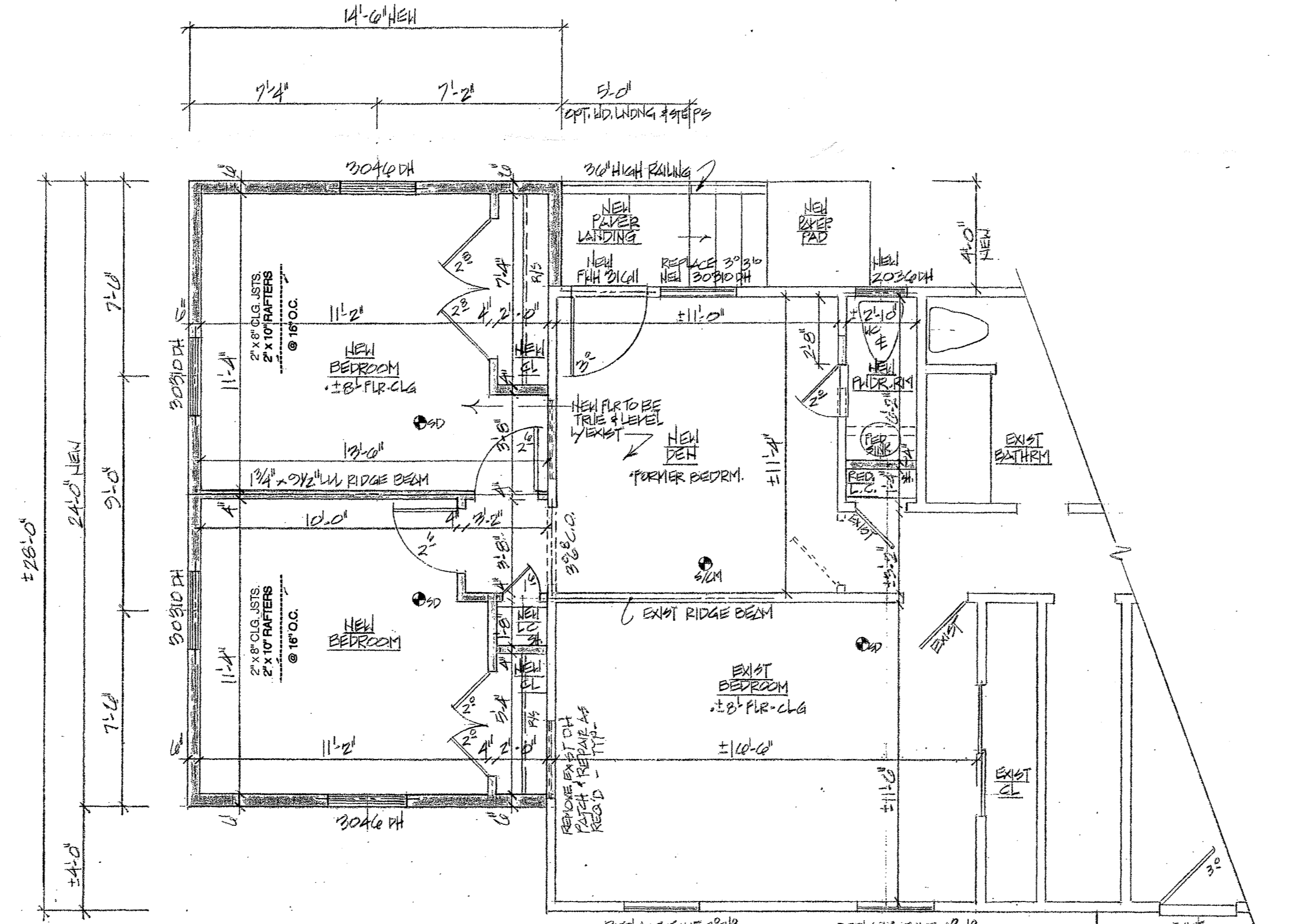
NOTE: THE ABOVE PLOT PLAN OF A PROPOSED ONE-STORY ADDITION IS BASED ON A SURVEY ORIGINALLY DRAWN BY W.E. JAMES LAND SURVEYOR, ON 4/20/09

GENERAL SPECS. CONTINUED

- FRAMING**
- 32. ALL LUMBER MATERIALS USED IN THE BUILDING SHALL BE GOOD, SOUND, DRY MATERIAL, FREE FROM ROT, LARGE AND LOOSE KNOTS, SHAKES, AND OTHER IMPERFECTIONS. WHERE THE STRENGTH MAY BE IN DOUBT, THE TYPE OF LUMBER INDICATED ON DRAWINGS SHALL BE USED. SILL POSTS, LINTELS AND DAPERS SHALL BE HEAVY-PINE OR OTHER EXCEPT IF NOTED OTHERWISE. HEREINAFTER IN THIS SPECIFICATION OR ON THE DRAWINGS, THE UNIT STRESS FOR HEAVY-PINE SHALL BE:
 - FIBER STRESS (F_b) = 1,600 PSI
 - HORIZONTAL SHEAR (F_v) = 90 PSI
 - MODULUS OF ELASTICITY (E) = 1,400,000 PSI
- 33. ALL WALL PLATES IN CONTACT WITH CONCRETE OR MASONRY WALLS, SLABS, ETC. SHALL BE PRESSURE-TREATED LUMBER (UNLESS OTHERWISE NOTED). SILL SEAL SHALL BE INSTALLED WHERE REQUIRED BY SITE CONDITIONS AND BUILDING CODES.
- 34. DOUBLE JOISTS SHALL BE INSTALLED UNDER ALL PARTITIONS RUNNING PARALLEL WITH SPANS AND AROUND ALL FLOOR OPENINGS. DOUBLE STUDS SHALL BE INSTALLED AROUND ALL WALL OPENINGS. ONE ROW OF SOLID BRICKS AT MID-HEIGHT WITH ALL INTERIOR BEARING WALLS. DOUBLE FRAMING AROUND ALL SKYLIGHTS, ROOF AND FLOOR TRUSSES (TOP AND LVL) (MACRO LAM) TO BE INSTALLED IN STRICT COMPLIANCE WITH MANUFACTURER'S SPECIFICATIONS. FLOOR JOISTS SHALL RECEIVE CROSSBRACING AT 7' O.C. MAXIMUM SPACING.
- 35. INTERIOR SUBFLOOR SHALL BE 3/4" TONGUE AND GROOVE SHEATHING GLEED AND NAIL TO OVER PREPARED FLOOR TRUSSES OR TWO LAYERS OF 1/2" PLYWOOD LAM AND NAIL TO EACH OTHER. ONE ROW OF SOLID BRICKS AT MID-HEIGHT WITH ALL INTERIOR BEARING WALLS. DOUBLE FRAMING AROUND ALL SKYLIGHTS, ROOF AND FLOOR TRUSSES (TOP AND LVL) (MACRO LAM) TO BE INSTALLED IN STRICT COMPLIANCE WITH MANUFACTURER'S SPECIFICATIONS. FLOOR JOISTS SHALL RECEIVE CROSSBRACING AT 7' O.C. MAXIMUM SPACING.
- 36. EXTERIOR DECKS SHALL BE 2" X 8" WOOD FRAMING. INTERIOR PARTITIONS SHALL BE 2" X 4" WOOD FRAMING. STUDS SHALL BE PLACED AT 16" ON CENTER (UNLESS OTHERWISE NOTED) AND RECEIVE BLOCKING AT MID-HEIGHT AS REQUIRED. STUDS AT CABLE ENDS UNDER CATHEDRAL CEILING SHALL RUN FULL HEIGHT FROM SOLE PLATE TO ROOF AND SHALL RECEIVE SOLID BLOCKING AT 8' ABOVE FLOOR. ALL BEARING WALLS AND PARTITIONS SHALL RECEIVE BLOCKING AT MID-HEIGHT.
- 37. HEADERS OVER ALL DOORS, WINDOWS, AND OTHER OPENINGS UNDER 8' 0" SHALL BE 2" X 10" OR 2" X 12" HEADERS IN EXTERIOR WALLS, UNLESS OTHERWISE NOTED.
- 38. ALL EXTERIOR DECKS SHALL BE FRAMED WITH PRESSURE-TREATED LUMBER (UNLESS OTHERWISE NOTED). LUMBER SHALL HAVE THE FOLLOWING MINIMUM STRENGTH: F-1600 PINE AND F-1200,000 PSI AND SHALL BE SOUTHERN YELLOW PINE OR APPROVED EQUAL. GALVANIZED HEAVY DUTY NAILS SHALL BE PROVIDED AT BASE OF ALL WOOD COLLUMS. DECK JOISTS SHALL RECEIVE DIAGONAL CROSS BRACE OR DIAGONAL BRACING. DECKING AND NAILS TO BE NON-TOXIC LUMBER, I.E. ABOUSALS FOR CEDAR OR EQUAL. RAILINGS TO BE CONSTRUCTED AT 36" HEIGHT AND WITH MAXIMUM 8" SPHERE OPENING, AS PER CODES.
- 39. ROOFING MATERIAL SHALL BE MINIMUM 30 YEAR FIBERGLASS SHINGLES (CONTAINING CORNING OR APPROVED EQUAL) OVER 15/16" ROOFING FELT. VALLEY FLASHING AND OTHER APPROPRIATE FLASHING SHALL BE PROVIDED AS REQUIRED. ICE AND WATER SHIELD SHALL BE INSTALLED AS REQUIRED.
- 40. FASCIA BOARDS SHALL BE SCARFED AT A 45 DEGREE ANGLE OR 90 DEGREE ANGLE. FASCIA BOARDS SHALL BE COMMON PINE WRAPPED IN ALUMINUM, UNLESS OTHERWISE NOTED.
- 41. ALUMINUM GUTTERS AND LEADERS SHALL BE PROVIDED AS REQUIRED. SPLASH BLOCKS SHALL BE PROVIDED AT OUTLETS UNLESS OTHER PROVISIONS FOR WATER DISPERSION ARE PROVIDED. ALL WATER MUST DRAIN AWAY FROM STRUCTURE SO AS NOT TO CONTRIBUTE TO GROUND WATER SEEPAGE AT FOUNDATION.
- 42. WINDOWS SHALL BE SIZE, TYPE AND RISE, AS INDICATED ON PLANS, WITH SCREENS AND HARDWARE PROVIDED. GLAZING LESS THAN 18" ABOVE FLOOR SHALL BE TEMPERED GLASS. OPTIONS SUCH AS GLAZING, GRILLS, COLORS, ETC., SHALL BE SELECTED BY OWNER AND/OR BUILDER PRIOR TO CONSTRUCTION. HEAD HEIGHT SHALL BE 8' - 0", UNLESS OTHERWISE NOTED.
- 43. EXTERIOR DOORS TO BE OF THE MANUFACTURER, TYPE, SIZE, AND STYLE AS INDICATED ON THE DRAWINGS. ANY MANUFACTURER'S OPTIONS SHALL BE THE RESPONSIBILITY OF THE OWNER/CONTRACTOR UNLESS OTHERWISE INDICATED ON THE DRAWINGS. ALL DOORS SHALL BE 6" - 8" HEIGHT UNLESS OTHERWISE NOTED. PROVIDE WEATHER STRIP SADDLE ON ALL EXTERIOR DOORS. PROVIDE ALUMINUM SADDLE ON ALL INTERIOR PINE SONNET GARAGE DOORS.



FOUNDATION PLAN



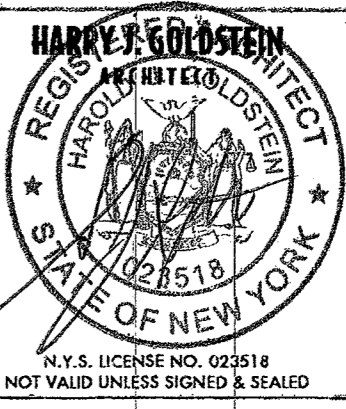
MAIN FLOOR PLAN

NOTE: ALL HEADERS ARE TO BE (2) 2" X 10" UNLESS OTHERWISE INDICATED

EXIST. S.F.: 1112; NEW S.F.: 338
TOTAL MAIN FLR. S.F.: 1450

SCALE: 1/4" = 1'-0"

O'BRIEN RESIDENCE
ONE-STORY ADDITION
173 W WASHINGTON AVE.
PEARL RIVER, NEW YORK



HARRY J. GOLDSTEIN
ARCHITECT
DESIGN & DEVELOPMENT

4 REGINA ROAD
MONSEY, NEW YORK 10952
(845) 356-7942 (914) 393-5747

PROJECT DATES
AUGUST 27, 2021

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