

Name of Municipality: TOWN OF ORANGETOWN Date Submitted: _____

2022 LAND USE BOARD APPLICATION

Please check all that apply:

<input type="checkbox"/> Commercial <input type="checkbox"/> Planning Board <input checked="" type="checkbox"/> Zoning Board of Appeals <input type="checkbox"/> Subdivision <input type="checkbox"/> Number of Lots <input type="checkbox"/> Site Plan <input type="checkbox"/> Conditional Use <input type="checkbox"/> Special Permit <input checked="" type="checkbox"/> Variance <input type="checkbox"/> Performance Standards Review <input type="checkbox"/> Use Variance <input type="checkbox"/> Other (specify): _____	<input checked="" type="checkbox"/> Residential <input type="checkbox"/> Historical Board <input type="checkbox"/> Architectural Board <input type="checkbox"/> Consultation <input type="checkbox"/> Pre-Preliminary/Sketch <input type="checkbox"/> Preliminary <input type="checkbox"/> Final <input type="checkbox"/> Interpretation
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PERMIT#: _____
 ASSIGNED _____
 INSPECTOR: _____

Referred from Planning Board: YES / NO
 If yes provide date of Planning Board meeting: _____

Project Name: Leys Residence

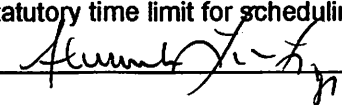
Street Address: 6 Paul Court
Tappan, N.Y. 10983

Tax Map Designation:
Section: 77.11 Block: 02 Lot(s): 44
Section: _____ Block: _____ Lot(s): _____

Directional Location:
On the West side of Paul Court, approximately 70 feet South of the intersection of Carol Lane, in the Town of ORANGETOWN in the hamlet/village of Tappan.

Acreage of Parcel <u>0.23</u> School District <u>South Orangetown Central</u> Ambulance District <u>Tappan</u> Water District <u>Suez</u>	Zoning District <u>R-15 - Group M (*RG)</u> Postal District <u>Tappan</u> Fire District <u>Tappan</u> Sewer District <u>Orangetown</u>
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Project Description: *(If additional space required, please attach a narrative summary.)*
Existing 2-Story Structure Renovation With a New 2nd Floor Addition and New Front Covered Porch

The undersigned agrees to an extension of the statutory time limit for scheduling a public hearing.
Date: 12/28/2021 Applicant's Signature: 

APPLICATION REVIEW FORM

FILL IN WHERE APPLICABLE.

(IF THE FOLLOWING DOES NOT APPLY PLEASE MOVE ON TO THE NEXT PAGE)

If subdivision:

- 1) Is any variance from the subdivision regulations required? N/A
- 2) Is any open space being offered? If so, what amount?
- 3) Is this a standard or average density subdivision?

If site plan:

- 1) Existing square footage N/A
- 2) Total square footage
- 3) Number of dwelling units

If **special permit**, list special permit use and what the property will be used for.

N/A

Environmental Constraints:

Are there **slopes greater than 25%**? If yes, please indicate the amount and show the gross and net area No

Are there **streams** on the site? If yes, please provide the names. No

Are there **wetlands** on the site? If yes, please provide the names and type:

No

Project History:

Has this project ever been reviewed before? No

If so, provide a narrative, including the list case number, name, date, and the board(s) you appeared before, and the status of any previous approvals.

List tax map section, block & lot numbers for all other abutting properties in the same ownership as this project.

N/A



OFFICE OF BUILDING, ZONING, PLANNING,
ADMINISTRATION AND ENFORCEMENT
TOWN OF ORANGETOWN

20 Greenbush Road
Orangeburg, N.Y. 10962

Jane Slavin, R.A.
Director

(845)359-8410

Fax: (845) 359-8526

DENIAL TO THE ZONING BOARD OF APPEALS

Date: January 18, 2021

Applicant: Leyr

Address: 6 Paul Ct, Tappan, NY

RE: Application Made at: same

Chapter 43, Table 3.12, Column 1 RG District, Column 2 Group Q, Column 3 SFR, Column 4 Max FAR
30% with 42% proposed,
1 Variance Required

*Average
Density*

*RF map #4993
Washington News
Subdivision*

Section: 77.11

Block: 2

Lot: 44

Dear Leyr:

Please be advised that the Building Permit Application, which you submitted on

December 29, 2021, has been denied. I have enclosed a Xerox copy of your application, where you will find at the bottom the reason for denial.

In Accordance with Zoning, Chapter 43 Section 10.322 the time to appeal a determination of a Building Inspector or Similar administrative office is thirty (30) days from the filing of such a determination with the Town Clerk.

The Clerk to the Zoning Board of Appeals, Debbie Arbolino, will assist you in the preparation necessary to appear before the board.

Sincerely,

[Signature]
Richard Oliver
Deputy Building Inspector

1.18.22

1.18.22 Deputy

Signature of Director
NOTE: PLEASE KEEP FOR YOUR RECORDS
12-31-18-CCC

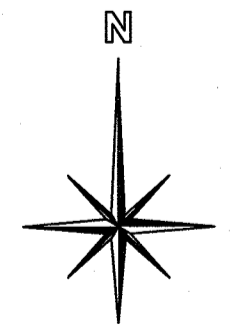
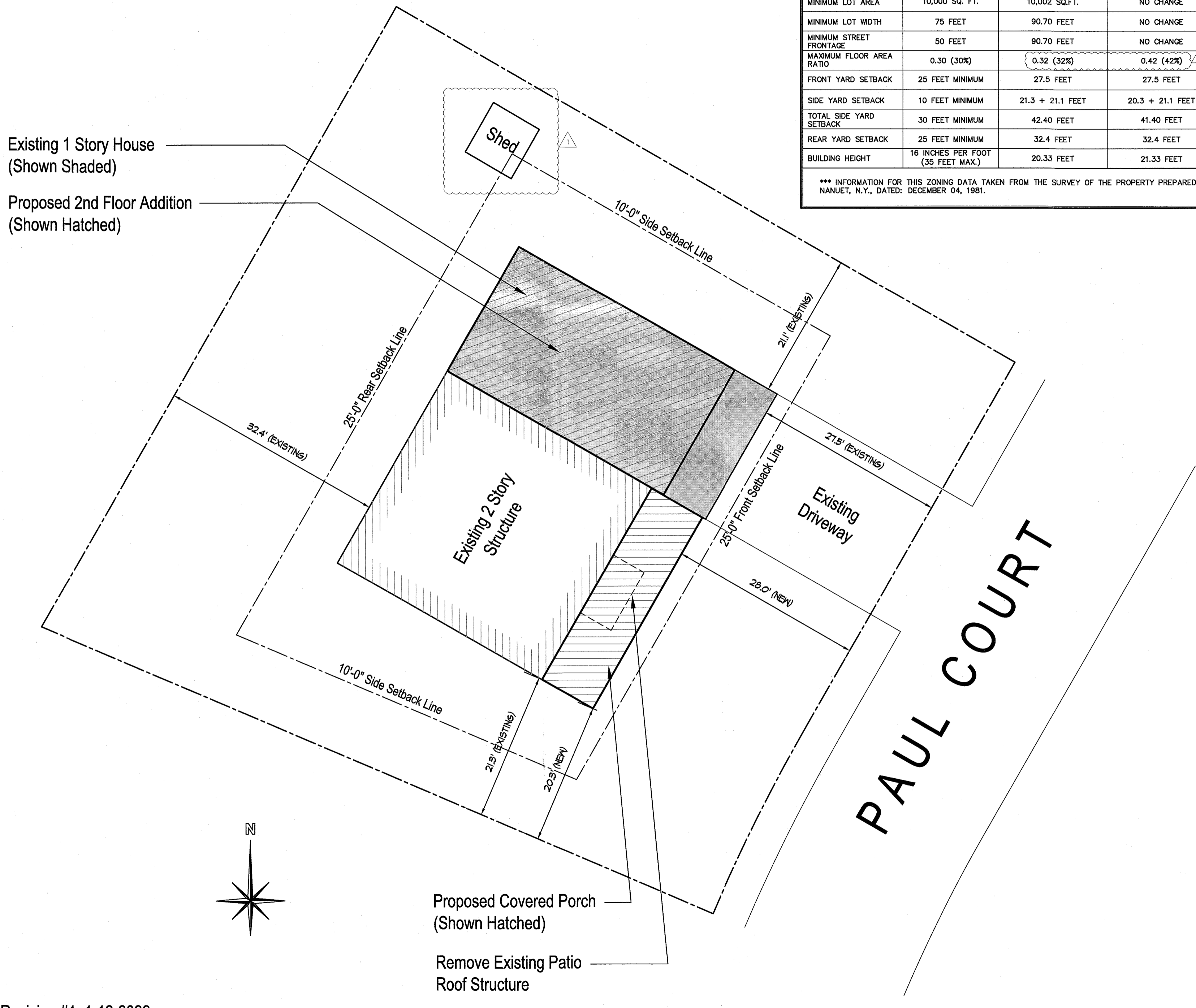
Date
CC: Rosanna Sfraga
Liz Decort
Debbie Arbolino

<u>SIAC</u>	<u>PRINT KEY</u>	<u>NAME</u>	<u>ADDRESS</u>
392489	77.11-2-40	John Shea	5 Paul Ct, Tappan, NY 10983
392489	77.11-2-41	Donald F Hepburn	3 Paul Ct, Tappan, NY 10983
392489	77.11-2-42	Joseph Crosby	1 Paul Ct, Tappan, NY 10983
392489	77.11-2-43	John & Katrina Smith	9 Carol Ln, Tappan, NY 10983
392489	77.11-2-44	Patrice Leys	6 Paul Ct, Tappan, NY 10983
392489	77.11-2-45	Keith Lamond	4 Paul Ct, Tappan, NY 10983
392489	77.11-2-46	Diane La Greca <i>Diane La Greca</i>	2 Paul Ct, Tappan, NY 10983
392489	77.11-2-49	Michael S. Guarnieri <i>Michael S. Guarnieri</i>	3 Carol Ln, Tappan, NY 10983
392489	77.11-2-50	Joseph Huber <i>Joseph Huber</i>	5 Carol Ln, Tappan, NY 10983
392489	77.11-2-51	Nataliya Bazhina	7 Carol Ln, Tappan, NY 10983

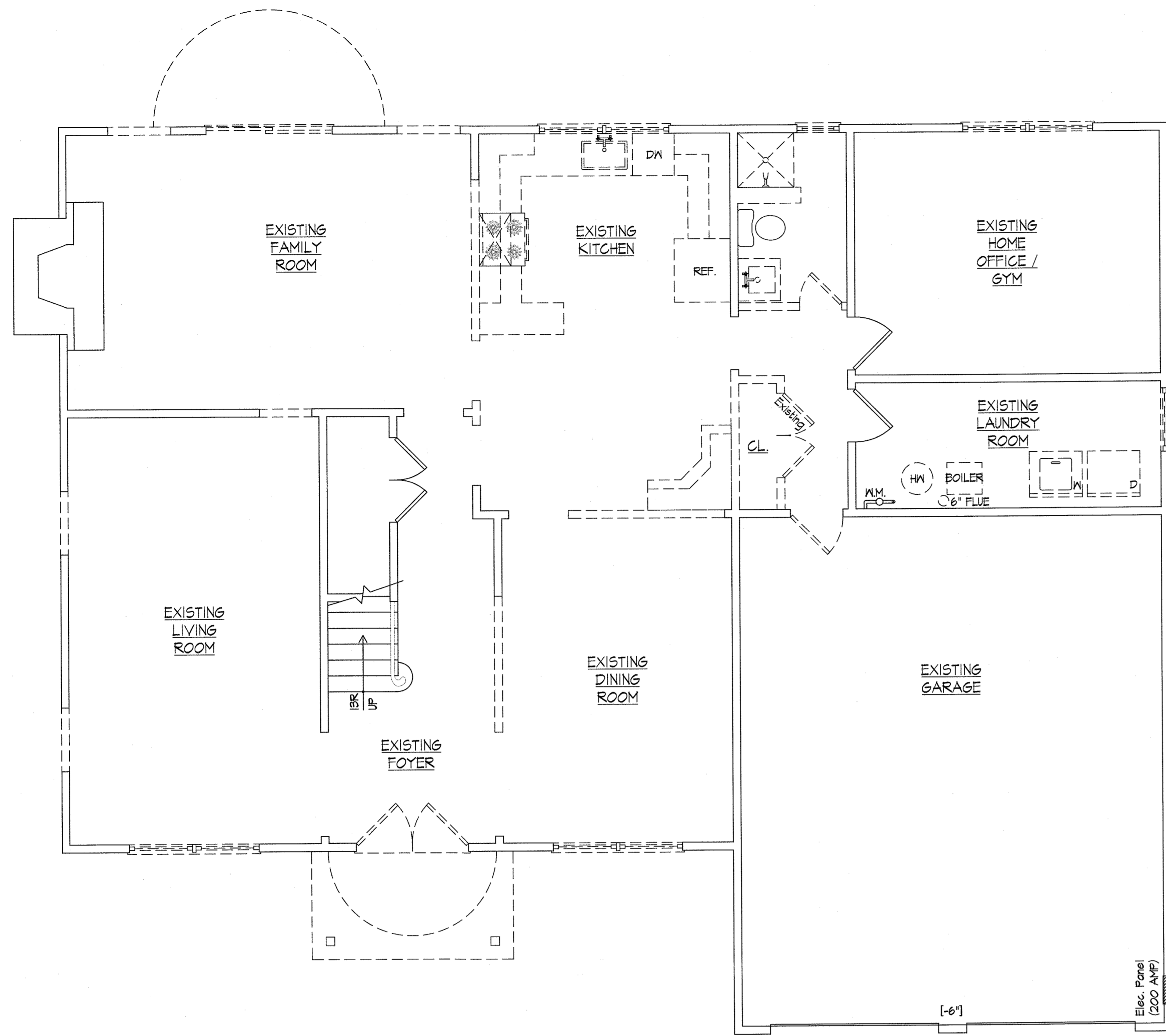
77.11-2-47

ZONING DATA: SECTION: 77.1, LOT: 2, BLOCK: 44					** ZONING MAP SHOWS A R-15 ZONE BUT THIS PROPERTY HAS "AVERAGE DENSITY REQUIREMENTS" AS PER "WASHINGTON MEWS SUBDIVISION", REFERENCE MAP #4993. - RG ZONING BULK REQUIREMENTS USED FOR THE CALCULATIONS **
CATEGORY	REQUIRED / ALLOWED	EXISTING	PROPOSED	COMMENTS	FAR Calculations
MINIMUM LOT AREA	10,000 SQ. FT.	10,002 SQ.FT.	NO CHANGE		Existing: No Cellar: 0 Sq.Ft. Shed: 62 Sq.Ft. First Floor: 2,040 Sq.Ft. Second Floor: 1,109 Sq.Ft. Total: 3,211 Sq.Ft.
MINIMUM LOT WIDTH	75 FEET	90.70 FEET	NO CHANGE		3,211 / 10,002 = 0.32 (32%) *
MINIMUM STREET FRONTAGE	50 FEET	90.70 FEET	NO CHANGE		Proposed: First Floor: 223 Sq.Ft. Second Floor: 741 Sq.Ft. Total: (Exist.+New) 4,175 Sq.Ft.
MAXIMUM FLOOR AREA RATIO	0.30 (30%)	0.32 (32%)	0.42 (42%)	* VARIANCE REQUIRED	4,175 / 10,002 = 0.42 (42%) *
FRONT YARD SETBACK	25 FEET MINIMUM	27.5 FEET	27.5 FEET		* Cellar, Crawspace Area, Main Attic & Garage Attic Not Included in FAR Calculations As Noted in Definitions. (Chapter 43, Article X1, Section 11.2)
SIDE YARD SETBACK	10 FEET MINIMUM	21.3 + 21.1 FEET	20.3 + 21.1 FEET		
TOTAL SIDE YARD SETBACK	30 FEET MINIMUM	42.40 FEET	41.40 FEET		
REAR YARD SETBACK	25 FEET MINIMUM	32.4 FEET	32.4 FEET		
BUILDING HEIGHT	16 INCHES PER FOOT (35 FEET MAX.)	20.33 FEET	21.33 FEET		

*** INFORMATION FOR THIS ZONING DATA TAKEN FROM THE SURVEY OF THE PROPERTY PREPARED BY ADLER, CARUSO & YOUNG, P.C., NANUET, N.Y., DATED: DECEMBER 04, 1981.

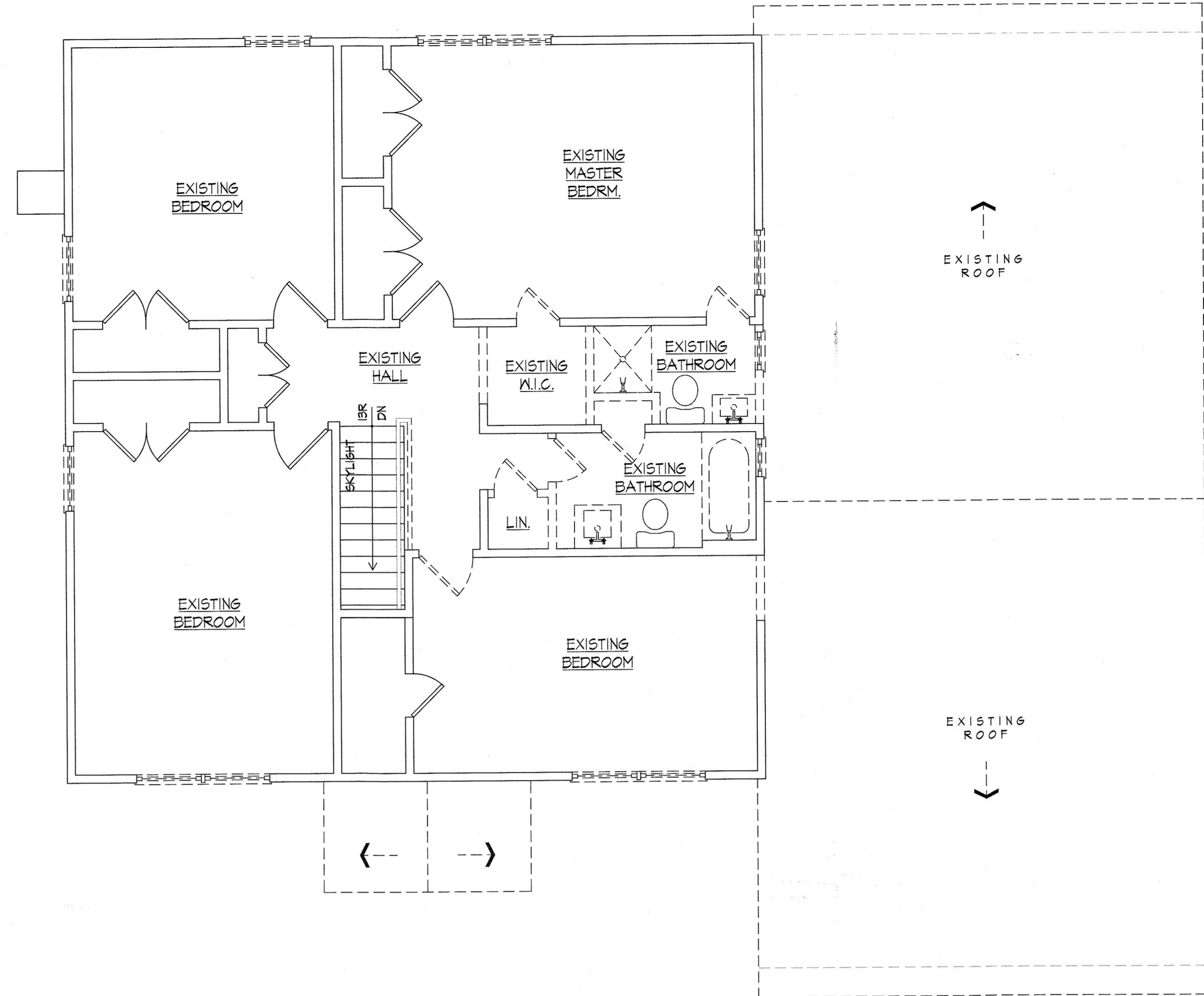


Revision #1: 1-12-2022



DEMOLITION PLAN - FIRST FLOOR
SCALE: 1/4" = 1'-0"

WALL LEGEND	
	EXISTING WALL TO BE REMOVED
	EXISTING WALL TO REMAIN
	EXISTING CEILING ABOVE



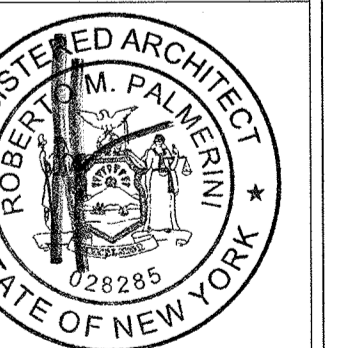
DEMOLITION PLAN - SECOND FLOOR
SCALE: 1/4" = 1'-0"

NOTE: Write dimensions on this drawing and true precedence. DO NOT write dimensions on the drawing. Contractor shall verify and be responsible for all dimensions and conditions on the job and ROAM ARCHITECTURE, PLLC shall be notified of any discrepancies and conditions shown on this drawing.

ISSUE	DATE	DESCRIPTION
1	12-28-2021	For ZBA Submission

RENOVATION & ADDITIONS FOR:
LEYS RESIDENCE
6 Paul Court
Tappan, NY 10983

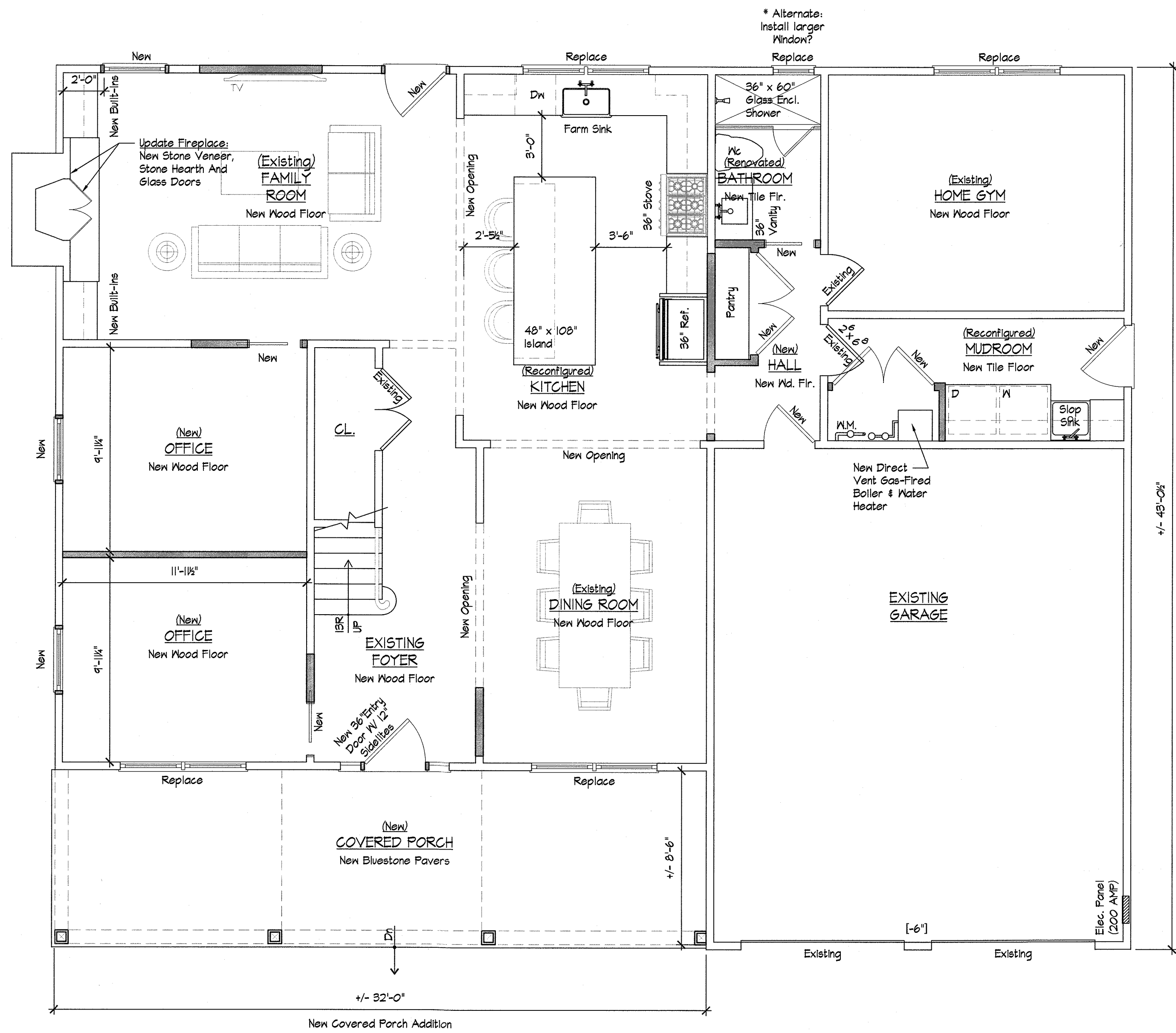
DEMOLITION PLAN



DATE: 12-21-2021
DRAWN BY: RP
SCALE: 1/4" = 1'-0"
JOB NO.: 2021.13

MAR 2 2022

ZBA-1



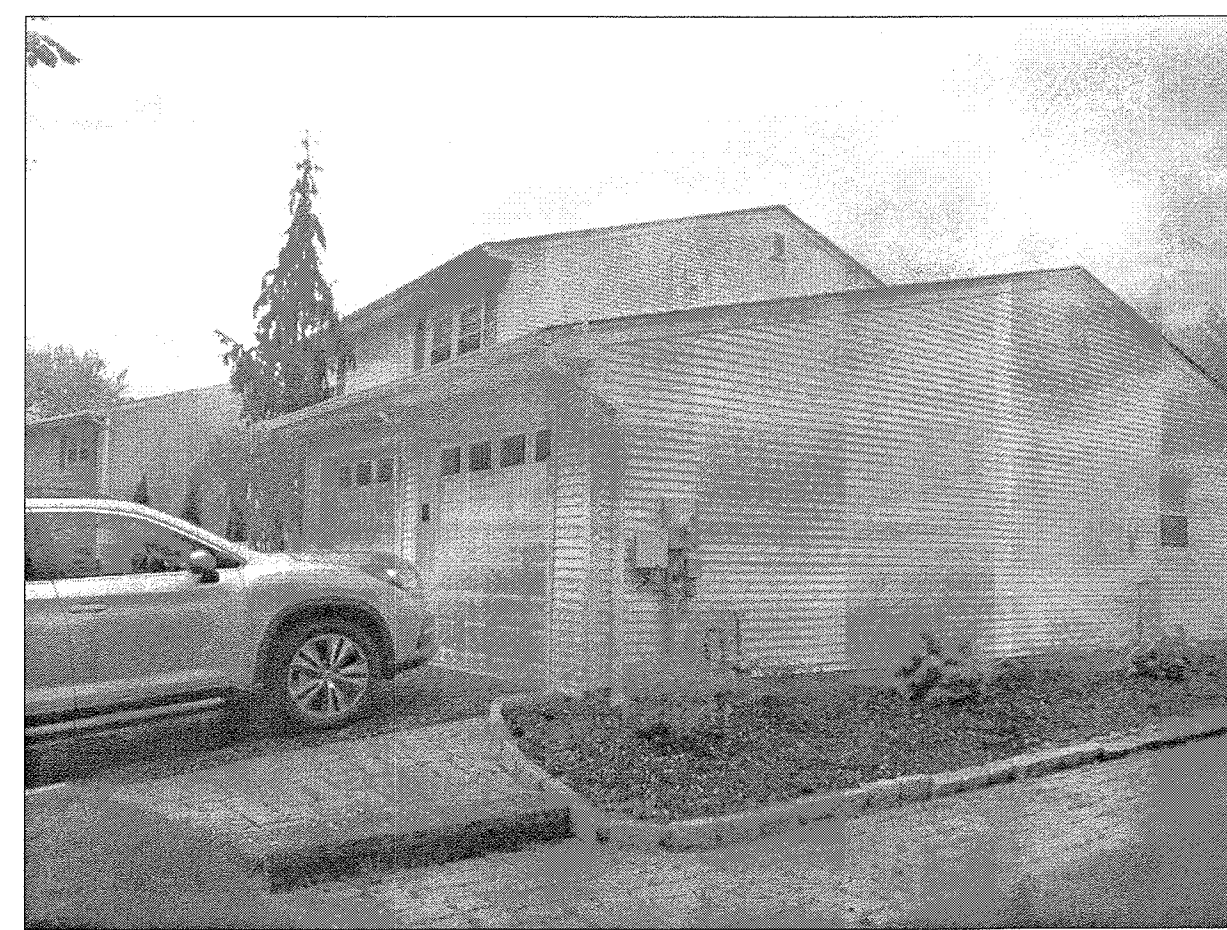
PROPOSED FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

WALL LEGEND

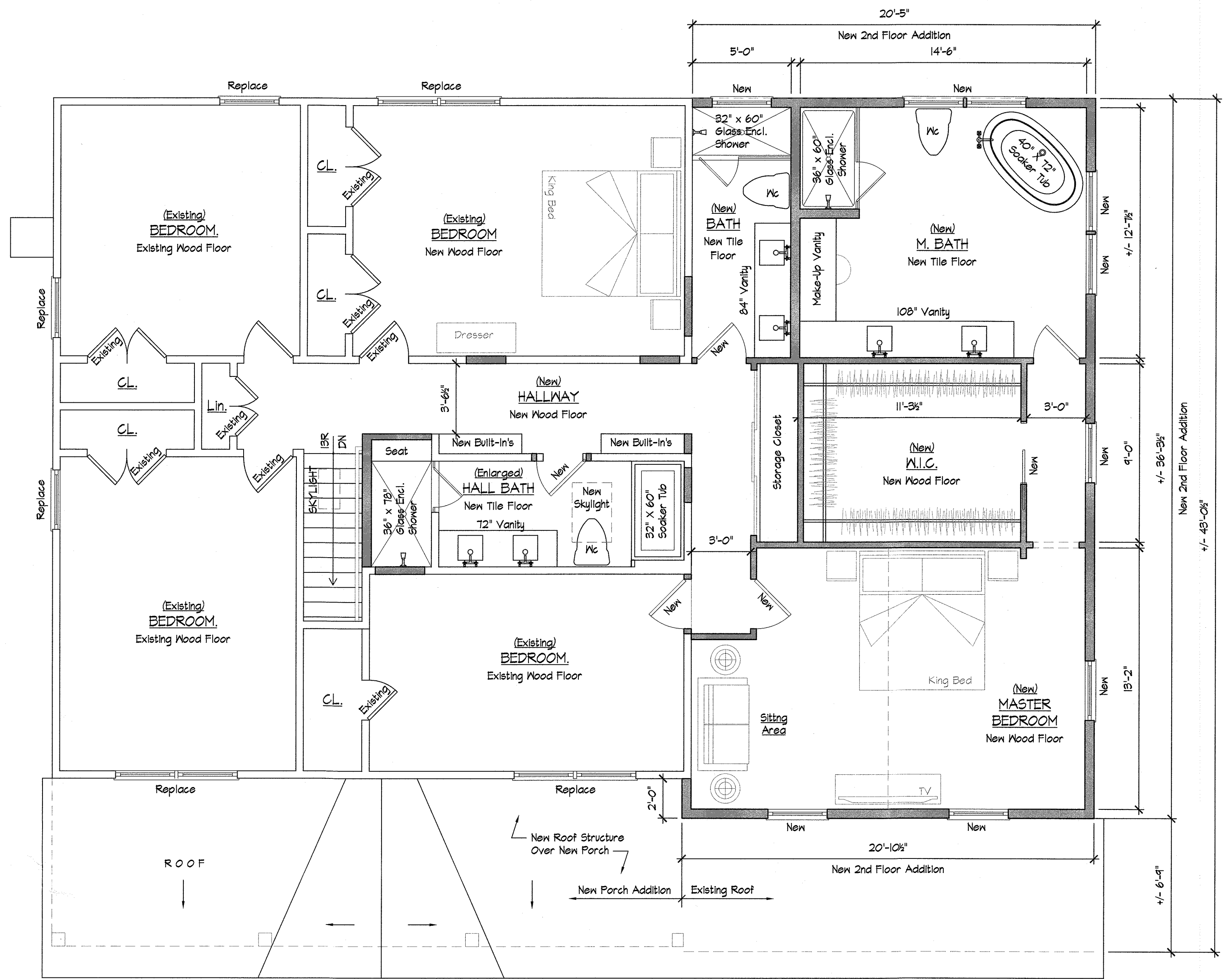
	EXISTING WALL TO REMAIN
	EXISTING CEILING ABOVE
	NEW CEILING ABOVE
	NEW STUD WALL
	NEW FOUNDATION WALL
	NEW LOW WALL



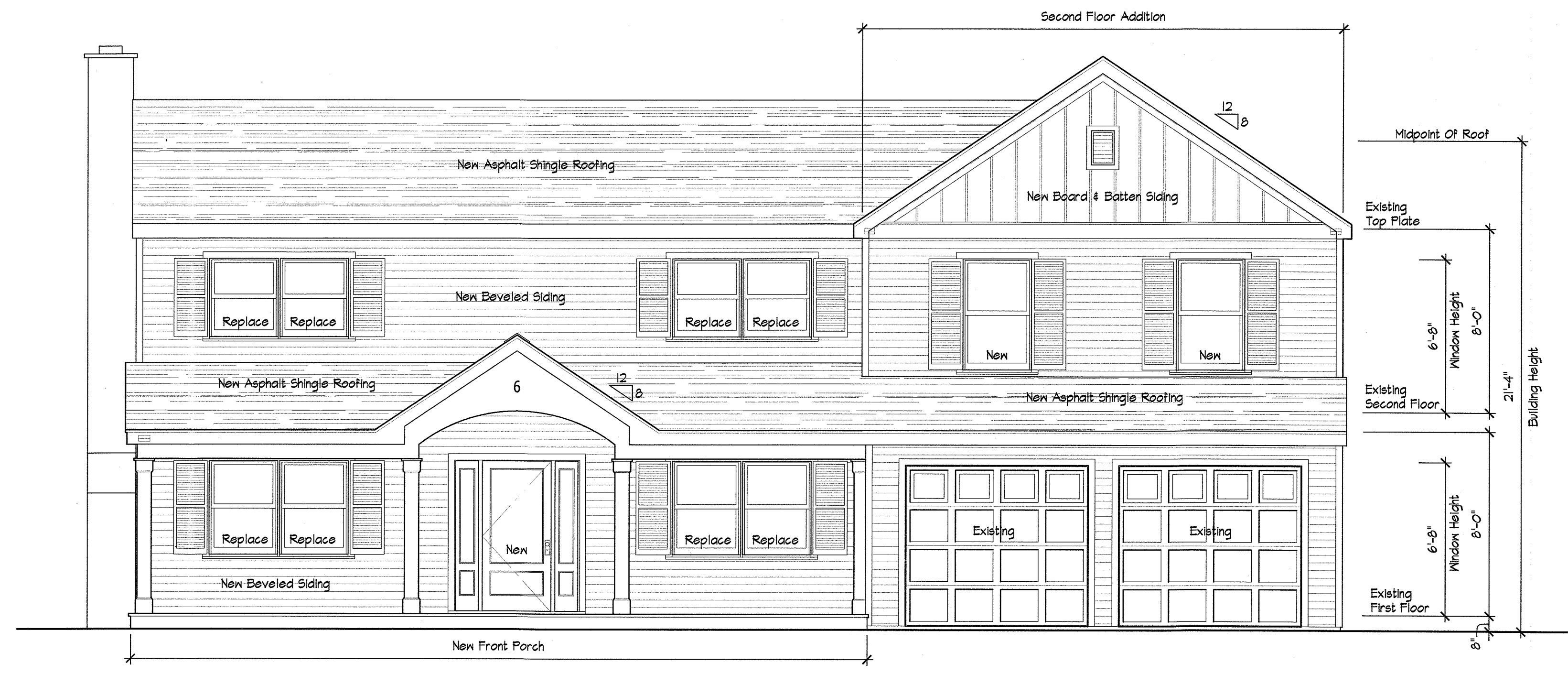
EXIST. FRONT ELEVATION
SCALE: N.T.S. EAST FAÇADE



EXIST. RIGHT SIDE ELEVATION
SCALE: N.T.S. NORTH FAÇADE



PROPOSED SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"



PROPOSED FRONT ELEVATION
SCALE: 1/4" = 1'-0"

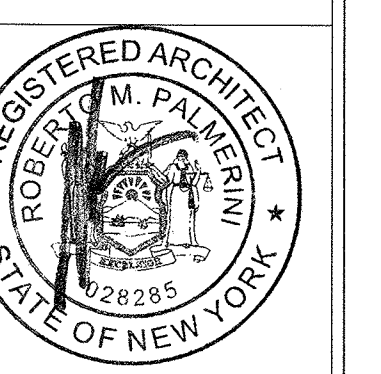
NOTE: Within dimensions on this drawing shall have precedence. DO NOT SCALE dimensions directly off of this drawing. Contractor shall verify and be responsible for all job and ROAM ARCHITECTURE, PLLC shall be notified of any variations from the dimensions and conditions shown on this drawing.

RECORD OF ISSUES

ISSUE	DATE	DESCRIPTION
1	12-28-2021	FOR ZBA SUBMISSION

RENOVATION & ADDITIONS FOR:
LEYS RESIDENCE
6 Paul Court
Tappan, NY 10983

PROPOSED DESIGN



DATE: 12-21-2021
DRAWN BY: RP
SCALE: 1/4"=1'-0"
JOB NO.: 2021.13

ZBA-2