

**Historical Areas Board of Review(HABR)**

Town of Orangetown Building Department  
20 Greenbush Road, Orangeburg, New York 10962

PROPERTY ADDRESS: 656 Oak Tree Road Section/Block/Lot: 78.17-2-9

1. Provide a narrative summary explaining the project and including any facts pertaining to this project which applicant feels would be of interest to the Board;
2. Architectural Plans;
3. It is preferable to the HABR if the Architect would appear at the meeting with the Applicant.
4. Please bring SAMPLES of building materials to the meeting.
5. Materials checklist: (please provide the brand name, type, style, model and color numbers):

	COLOR	MATERIAL	MANUFACTURER
Roof:	Charcoal	Asphalt	GAF Timberline
Siding:	White	Hardie Board & Batten	James Hardie
Shed roof brackets Decorative Siding:	White	PVC	Azek
Soffits & Fascia:	White	Vinyl/Aluminum	Certaiteed
Gutters & Leaders:	White	Aluminum	Aluminum
Windows:	Black	Lifestyle, SDL	Pella
Trim:	White	PVC	Azek
Shutters:	na	na	na
Front Door:	Black	Painted, SDL	Therma Tru
Back Door:	Black	Lifestyle, Multi, SDL	Pella
Garage Door(s):	Black	Carriage style	CHI
Side garage door Other Door(s):	Black	Painted, SDL	Steves Doors and Sons
Front Porch, hanging Lighting:	Black	Metal/Glass	17 Stories
Exterior Wall Sconces Lighting:	Black	Metal/Glass	George Oliver
Stone or Rock being used on Structure:	Bluestone/Oxford	flagging, treads/risers	
Stone or Rock being used on walkway(s):	Shale Gray	Pattern paver stones	Techo Bloc
Porch Columns Other:	White	8" Square, Permacast	HB&G

Name of Municipality: TOWN OF ORANGETOWN Date Submitted: \_\_\_\_\_

**2022 LAND USE BOARD APPLICATION**

*Please check all that apply:*

<input type="checkbox"/> Commercial <input type="checkbox"/> Planning Board <input type="checkbox"/> Zoning Board of Appeals  <input type="checkbox"/> Subdivision <input type="checkbox"/> Number of Lots <input type="checkbox"/> Site Plan <input type="checkbox"/> Conditional Use  <input type="checkbox"/> Special Permit <input type="checkbox"/> Variance <input type="checkbox"/> Performance Standards Review <input type="checkbox"/> Use Variance <input type="checkbox"/> Other (specify): _____	<input checked="" type="checkbox"/> Residential <input checked="" type="checkbox"/> Historical Board <input checked="" type="checkbox"/> Architectural Board  <input type="checkbox"/> Consultation <input type="checkbox"/> Pre-Preliminary/Sketch <input checked="" type="checkbox"/> Preliminary <input checked="" type="checkbox"/> Final <input type="checkbox"/> Interpretation
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PERMIT#: BLDR-468-22  
 ASSIGNED  
 INSPECTOR: Mike

Referred from Planning Board: YES / NO  
 If yes provide date of Planning Board meeting: \_\_\_\_\_

**Project Name:** Comito - 656 Oak Tree Road

**Street Address:** 656 Oak Tree Road, Palisades, NY 10964

**Tax Map Designation:**  
 Section: 78.17 Block: 2 Lot(s): 9  
 Section: \_\_\_\_\_ Block: \_\_\_\_\_ Lot(s): \_\_\_\_\_

**Directional Location:**  
 On the North side of Oak Tree Road, approximately 200 feet East of the intersection of Swan Street, in the Town of Orangetown in the hamlet/village of Palisades.

Acreage of Parcel <u>.52</u> School District <u>S. Orangetown</u> Ambulance District _____ Water District <u>Suez</u>	Zoning District <u>R-40</u> Postal District <u>Palisades</u> Fire District <u>Palisades</u> Sewer District <u>Orangetown</u>
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**Project Description:** *(If additional space required, please attach a narrative summary.)*  
Construction of a single-family residence on vacant land

The undersigned agrees to an extension of the statutory time limit for scheduling a public hearing.  
 Date: \_\_\_\_\_ Applicant's Signature: \_\_\_\_\_

# APPLICATION REVIEW FORM

## FILL IN WHERE APPLICABLE.

( IF THE FOLLOWING DOES NOT APPLY PLEASE MOVE ON TO THE NEXT PAGE )

### If subdivision:

- 1) Is any variance from the subdivision regulations required? \_\_\_\_\_
- 2) Is any open space being offered? \_\_\_\_ If so, what amount? \_\_\_\_\_
- 3) Is this a standard or average density subdivision? \_\_\_\_\_

### If site plan:

- 1) Existing square footage \_\_\_\_\_
- 2) Total square footage \_\_\_\_\_
- 3) Number of dwelling units \_\_\_\_\_

If **special permit**, list special permit use and what the property will be used for.

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### Environmental Constraints:

Are there slopes greater than 25%? If yes, please indicate the amount and show the gross and net area No

Are there streams on the site? If yes, please provide the names. No

Are there wetlands on the site? If yes, please provide the names and type:

No

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### Project History:

Has this project ever been reviewed before? No

If so, provide a narrative, including the list case number, name, date, and the board(s) you appeared before, and the status of any previous approvals.

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List tax map section, block & lot numbers for all other abutting properties in the same ownership as this project.

None

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OFFICE OF BUILDING, ZONING, PLANNING,  
ADMINISTRATION AND ENFORCEMENT  
TOWN OF ORANGETOWN

20 Greenbush Road  
Orangeburg, N.Y. 10962

Jane Slavin, R.A.  
Director

(845)359-8410

Fax: (845) 359-8526

**HISTORICAL AREAS BOARD OF REVIEW REFERRAL LETTER**

Date: January 24, 2022

Applicant: Comito

Address: 645 Oak Tree Rd, Palisades, NY

RE: Application Made at: same

Subject Referral for: Chapter 12 Section 12-4 Paragraph A requires HABR Approval


Section: 78.17 Block: 2 Lot: 9

Dear Comito:

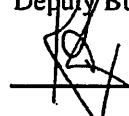
Please be advised that the Building Permit Application, which you submitted on January 11, 2022, has been referred to appear before the H.A.B.R. I have enclosed a copy of your application, where you will find at the bottom the reason for denial.

The Clerk to the Historical Areas Board of Review, Debbie Arbolino, can assist you in the preparation necessary to appear before the board. Please contact her at 845-359-8410 ext. 4331 or [darbolino@orangetown.com](mailto:darbolino@orangetown.com)

Sincerely,

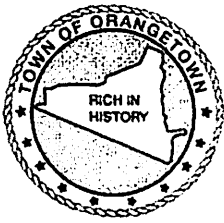
 1.24.22

Richard Oliver  
Deputy Building Inspector

 1.24.22

Signature of Director  
NOTE: PLEASE KEEP FOR YOUR RECORDS  
12-31-18 CCC

Date  
CC: Rosanna Sfraga  
Liz Decort  
Debbie Arbolino



OFFICE OF BUILDING, ZONING, PLANNING,  
ADMINISTRATION AND ENFORCEMENT  
TOWN OF ORANGETOWN

20 Greenbush Road  
Orangeburg, N.Y. 10962

Jane Slavin, R.A.  
Director

(845)359-8410

Fax: (845) 359-8526

**Referral to the ARCHITECTURE AND COMMUNITY APPARANCE**  
**BOARD OF REVIEW**

Date: January 24, 2022 Section: 78.17 Block: 2 Lot: 9

Applicant: Comito

Address: 656 Oak Tree Rd. Palisades, NY

RE: Application Made at: same

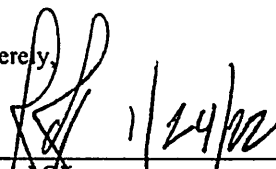
Referred For: **Chapter 2 § 2-4 To review applications for building permits.**

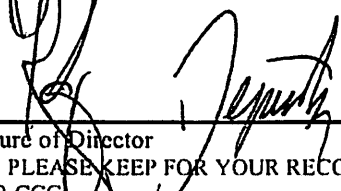

A. Every application for a building permit for the construction, reconstruction or alteration of any structure in excess of 1,000 cubic feet of cubical contents proposed for construction, and every application for the development or subdivision of land, and any such application for a building permit, land use or any other development with the Town of Orangetown filed with the Town Board, Planning Board or Building Inspector shall be referred to the Architecture and Community Appearance Board of Review within seven days of the submission of the application, provided that it conforms in all respects to all other applicable laws and ordinances. This law shall not apply to an application for a single- or two-family residence or residential accessory structure on individual property, except that the Building Inspector, in his discretion, may refer such an application to the Board of Review if it appears, in the light of the standards set forth in § 2-5, that there is a need for such referral.

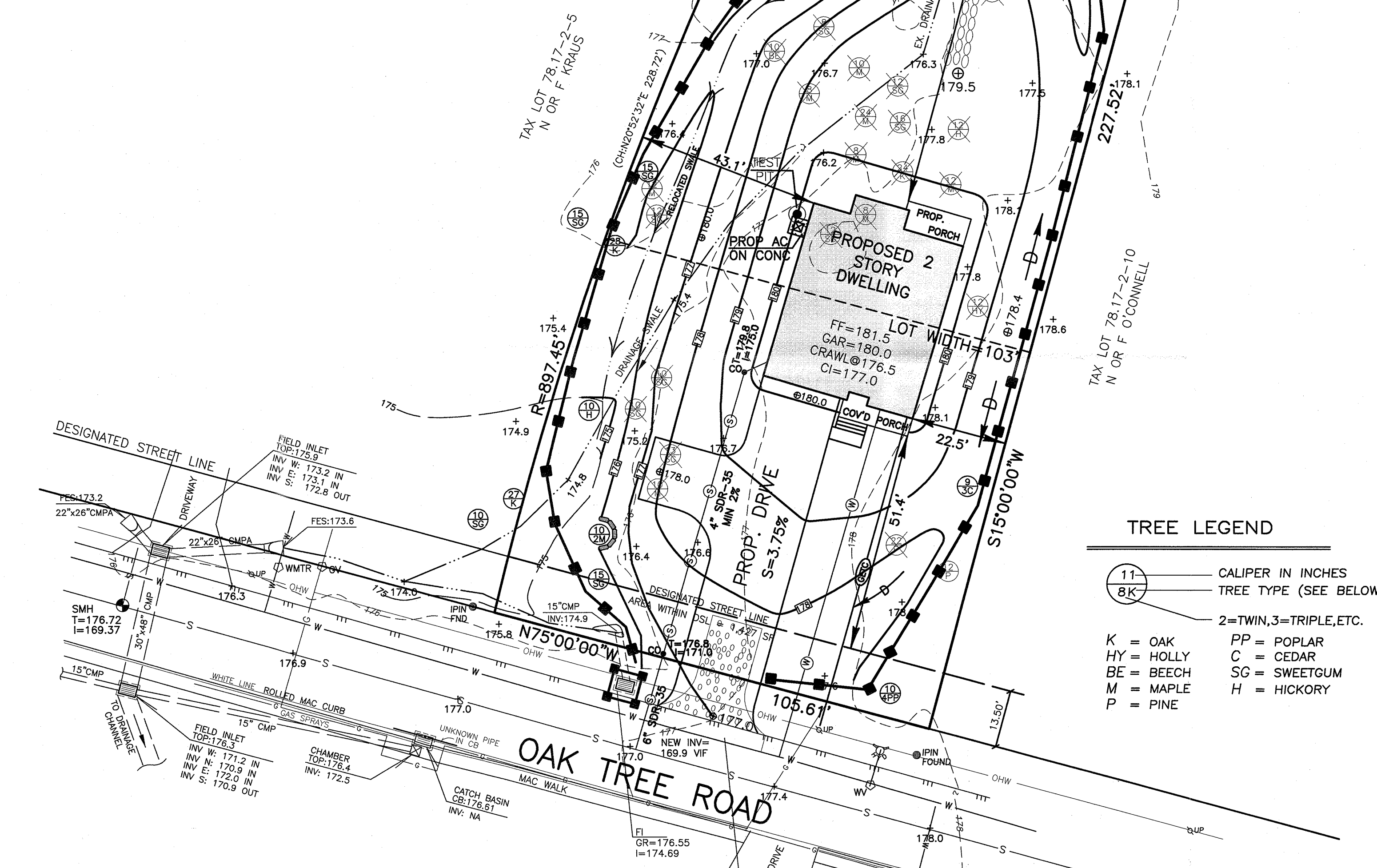
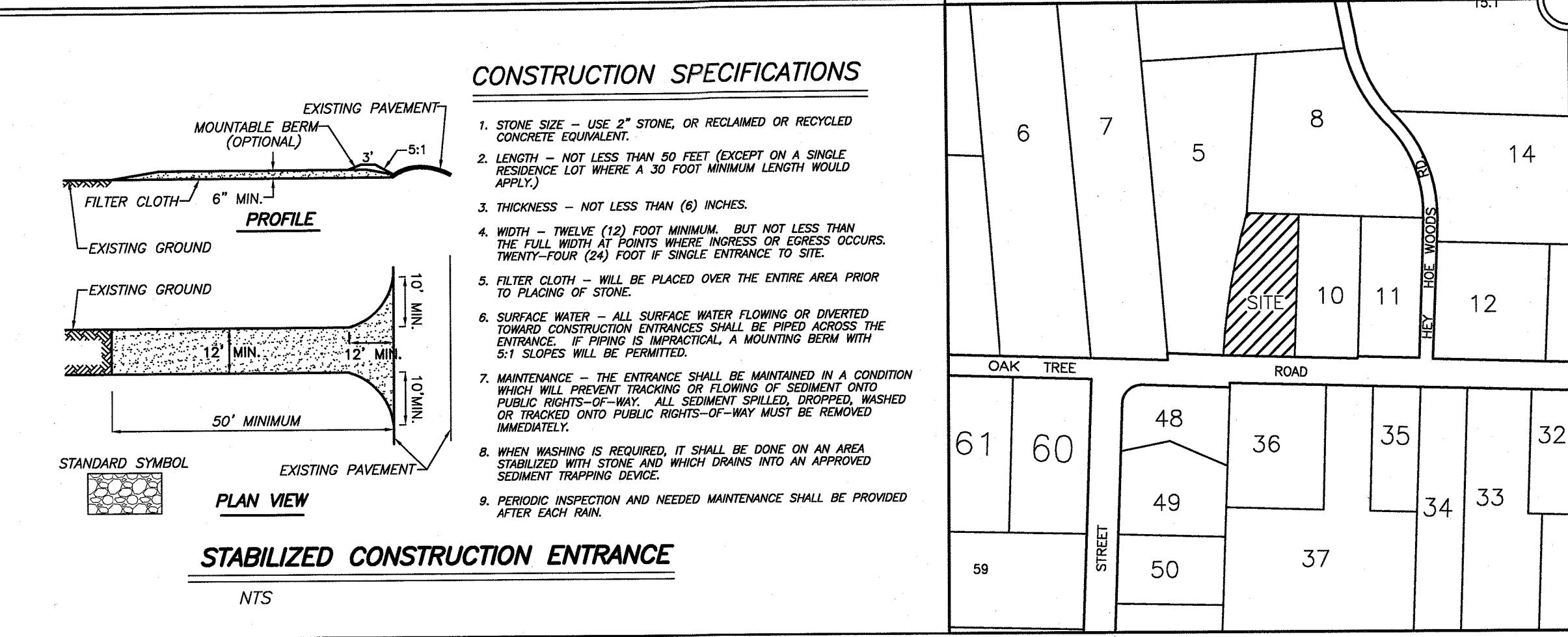
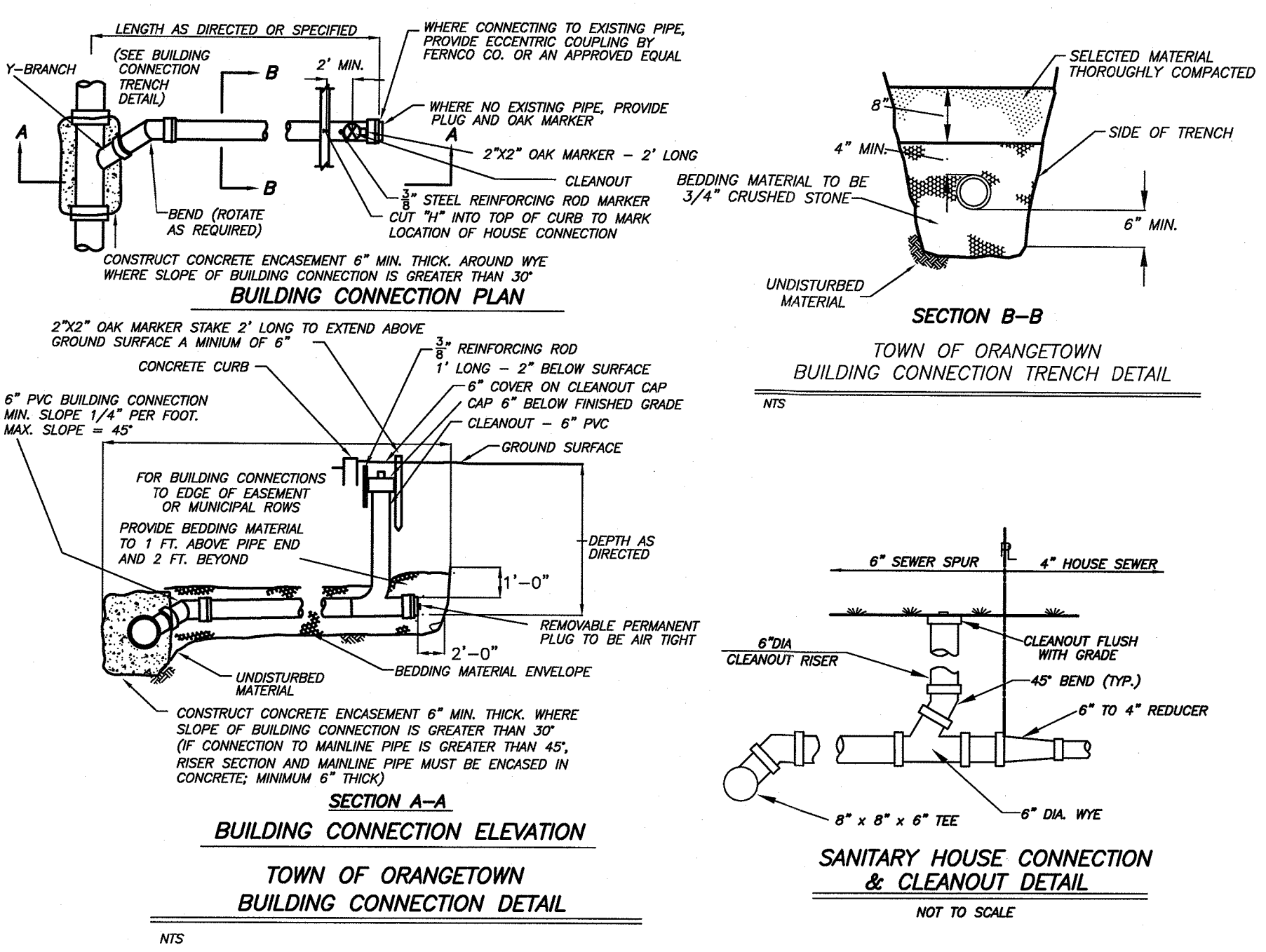
Comments: New Single Family Home

Dear Comito :

Please be advised that the Building Permit Application, which you submitted on January 11, 2022, has been referred to the Orangetown Architecture and Community Appearance Board of Review, ACABOR. I have enclosed a Xerox copy of your application, where you will find at the bottom the reason for referral. The Clerk to the ACABOR, Cheryl Coopersmith, will assist you in the preparation necessary to appear before the board. She can be reached at 845-359-8410 ext. 4330 or CCoopersmith@orangetown.com

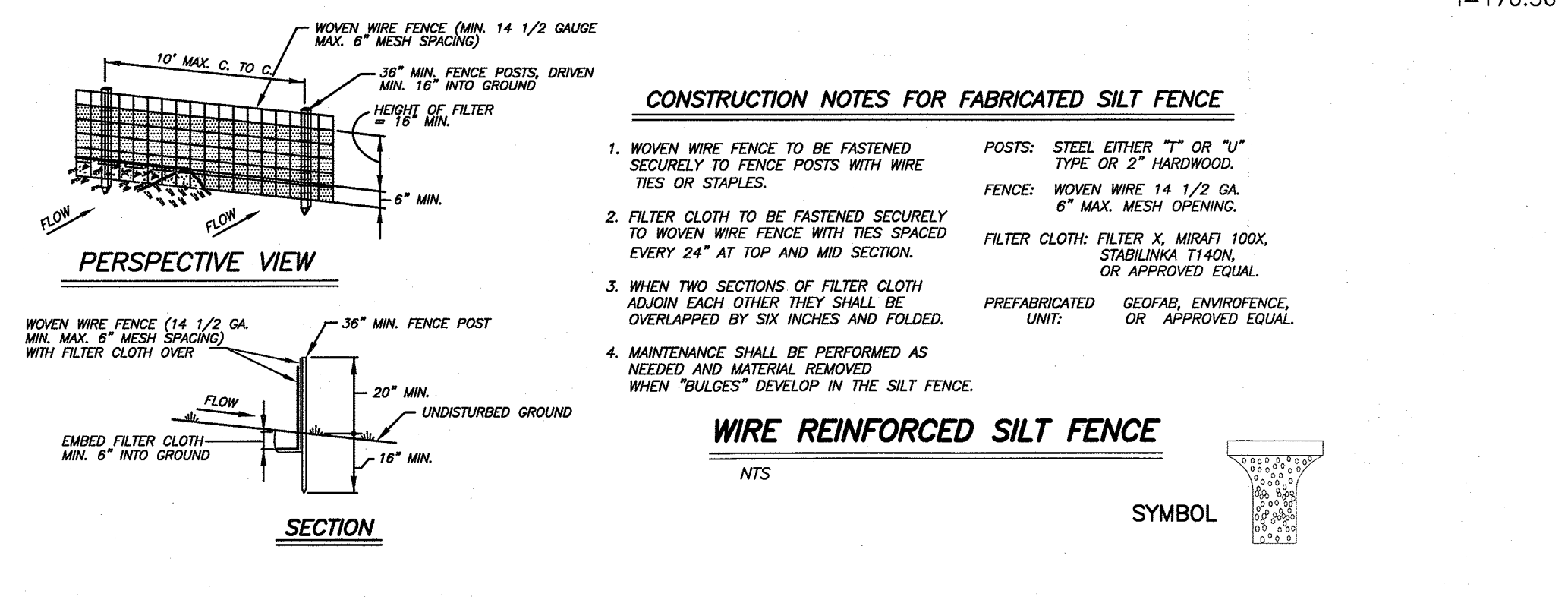
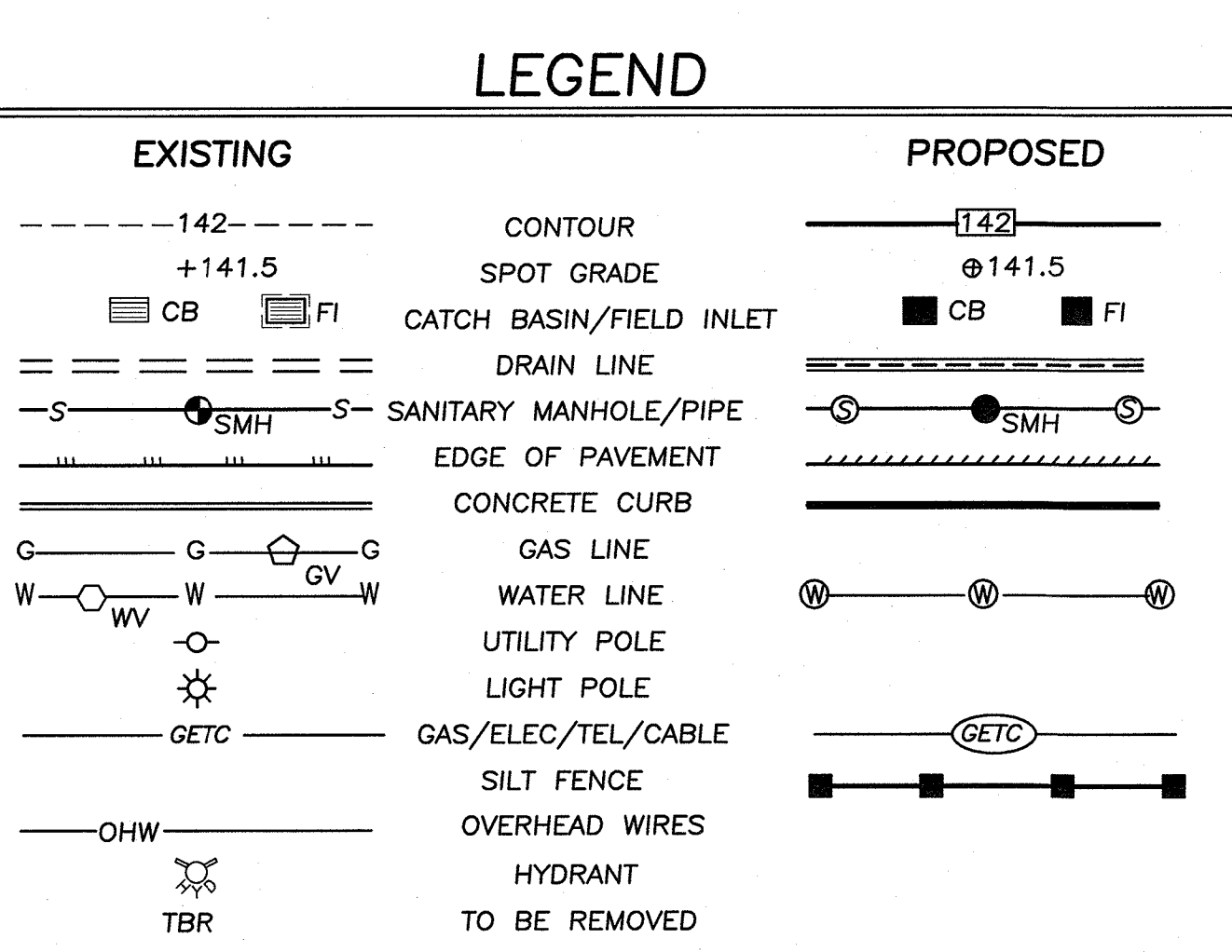
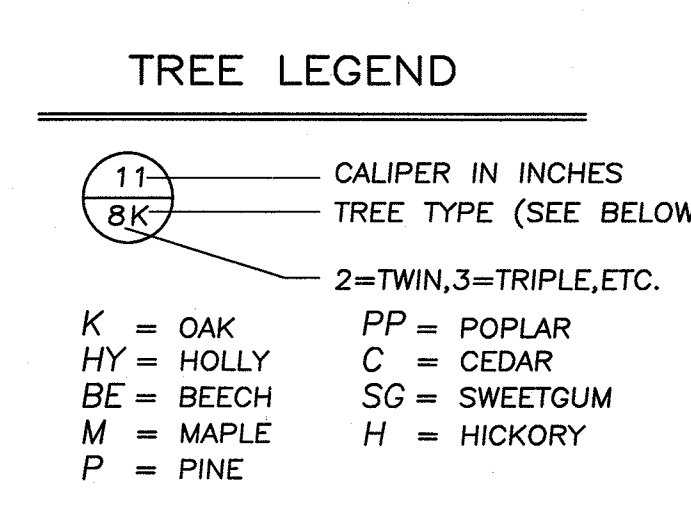
Sincerely,  
  
\_\_\_\_\_  
Richard Oliver  
Deputy Building Inspector

   
\_\_\_\_\_  
Signature of Director  
NOTE: PLEASE KEEP FOR YOUR RECORDS  
8-12-20-CCC  
Date  
Liz Decort  
Cheryl Coopersmith  
CC:



**NOTES:**

- THIS IS A SITE PLAN OF TAX LOT 78.17-2-9 AS SHOWN ON THE TOWN OF ORANGETOWN TAX MAPS.
- RECORD OWNER: 656 OAK TREE ROAD LLC, PO BOX 605, PALISADES NY 10964
- APPLICANT: MARC COMITO, COMITO HOMES LLC, 87 SIXTH AVE, NYACK, NY 10960
- ZONE: R-40
- ALL NEW UTILITIES, INCLUDING ELECTRIC AND TELEPHONE SERVICE SHALL BE INSTALLED UNDERGROUND.
- THIS PLAN DOES NOT CONFLICT WITH THE COUNTY OFFICIAL MAP, AND HAS BEEN APPROVED IN THE MANNER SPECIFIED BY SECTION 239 L&M OF THE GENERAL MUNICIPAL LAW OF THE STATE OF NEW YORK.
- THIS PLAN IS SUBJECT TO DETAILS OF GRADING, ROADS AND UTILITIES AS SHOWN ON CONSTRUCTION PLANS APPROVED BY THE PLANNING BOARD AND FILED WITH THE TOWN CLERK. LOT DRAINAGE SHOWN ON SUCH PLANS SHALL CONSTITUTE EASEMENTS RUNNING WITH THE LAND & SHALL NOT BE DISTURBED.
- ANY EXISTING UTILITIES (POLES, HYDRANTS, ETC.) AFFECTED BY CONSTRUCTION OF THIS SITE PLAN SHALL BE RELOCATED AT THE DEVELOPER'S EXPENSE PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY.
- WATER SUPPLY: SUEZ
- DATUM: NAVD 88
- THE NEW CORNERS OF ALL LOTS SHALL BE MARKED WITH METAL RODS 3/4" IN DIAMETER & AT LEAST 30" IN LENGTH, TO BE INSTALLED AFTER FINAL GRADING.
- ALL AREAS DISTURBED BY ON-SITE GRADING SHOULD BE LIMED AND FERTILIZED PRIOR TO SEEDING. PERMANENT VEGETATION COVER OF DISTURBED AREAS SHALL BE ESTABLISHED ON THE SITE WITHIN (30) DAYS OF THE COMPLETION OF CONSTRUCTION.
- AT LEAST ONE WEEK PRIOR TO THE COMMENCEMENT OF ANY WORK, INCLUDING THE INSTALLATION OF EROSION CONTROL DEVICES OR THE REMOVAL OF TREES & VEGETATION, A PRE-CONSTRUCTION MEETING MUST BE HELD WITH THE TOWN OF ORANGETOWN DEMO, SUPT. OF HIGHWAYS AND THE OFFICE OF BUILDING, ZONING & PLANNING ADMINISTRATION AND ENFORCEMENT. IT IS THE RESPONSIBILITY AND OBLIGATION OF THE PROPERTY OWNER TO ARRANGE SUCH A MEETING.
- PLANS COMPLY WITH STORMWATER MANAGEMENT PHASE II REGULATIONS FOR PROJECTS WITH LESS THAN ONE ACRE OF DISTURBANCE. AN EROSION AND SEDIMENT CONTROL PLAN HAS BEEN PREPARED, AND NO NOI FILING IS REQUIRED.
- ALL LANDSCAPING SHOWN ON THE SUBDIVISION PLANS SHALL BE MAINTAINED IN A VIGOROUS GROWING CONDITION THROUGHOUT THE DURATION OF THE USE OF THIS SITE. ANY PLANTS NOT SO MAINTAINED SHALL BE REPLACED WITH NEW PLANTS AT THE BEGINNING OF THE NEXT IMMEDIATELY FOLLOWING GROWING SEASON.
- PRIOR TO THE COMMENCEMENT OF ANY SITE WORK, INCLUDING THE REMOVAL OF TREES, THE APPLICANT SHALL INSTALL THE SOIL EROSION & SEDIMENTATION CONTROL AS REQUIRED BY THE PLANNING BOARD. PRIOR TO THE AUTHORIZATION TO PROCEED WITH ANY PHASE OF THE SITE WORK, TO THE AUTHORIZATION TO PROCEED WITH ANY PHASE OF THE SITE WORK, THE TOWN D.E.M.E. SHALL INSPECT THE INSTALLATION OF ALL REQUIRED SOIL EROSION & SEDIMENTATION CONTROL MEASURES. THE APPLICANT SHALL CONTACT DEME AT LEAST 48 HOURS IN ADVANCE FOR AN INSPECTION.
- THE TREE PROTECTION AND PRESERVATION GUIDELINES ADOPTED PURSUANT TO SECTION 21-24 OF THE LAND DEVELOPMENT REGULATIONS OF THE TOWN OF ORANGETOWN WILL BE IMPLEMENTED IN ORDER TO PROTECT AND PRESERVE BOTH INDIVIDUAL SPECIMEN TREES AND BUFFER AREAS WITH MANY TREES. STEPS THAT WILL BE TAKEN TO PRESERVE AND PROTECT EXISTING TREES ARE AS FOLLOWS:
  - NO CONSTRUCTION EQUIPMENT SHALL BE PARKED UNDER THE TREE CANOPY.
  - THERE WILL BE NO EXCAVATION OR STOCKPILING OF EARTH UNDERNEATH TREES.
  - TREES DESIGNATED TO BE PRESERVED SHALL BE MARKED CONSPICUOUSLY ON ALL SIDES AT A 5' TO 10' FOOT HEIGHT.
  - THE TREE PROTECTION ZONE FOR TREES DESIGNATED TO BE PRESERVED WILL BE ESTABLISHED BY ONE OF THE FOLLOWING METHODS:
    - ONE (1) FOOT RADIUS FROM TRUNK PER INCH DBH
    - DROP LINE OF THE TREE CANOPY
- THE METHOD CHOSEN SHOULD BE BASED ON PROVIDING THE MAXIMUM PROTECTION ZONE POSSIBLE. A BARRIER OF SNOW FENCE OR EQUAL IS TO BE PLACED AND MAINTAINED ONE YARD BEYOND THE ESTABLISHED TREE PROTECTION ZONE. IF IT IS AGREED THAT THE TREE PROTECTION ZONE OF A SELECTED TREE MUST BE VIOLATED, ONE OF THE FOLLOWING METHODS MUST BE EMPLOYED TO MITIGATE THE IMPACT:
  - LIGHT TO HEAVY IMPACTS - MINIMUM OF EIGHT INCHES OF WOOD CHIPS INSTALLED IN THE AREA TO BE PROTECTED. CHIPS SHALL BE REMOVED UPON COMPLETION OF WORK.
  - LIGHT IMPACTS ONLY - INSTALLATION OF 3/4" INCH OF PLYWOOD OR BOARDS, OR EQUAL OVER THE AREA TO BE PROTECTED. THE BARRIER OR ITS AGENT MAY NOT CHANGE GRADE WITHIN THE TREE PROTECTION ZONE OF A PRESERVED TREE UNLESS SUCH GRADE CHANGE HAS RECEIVED FINAL APPROVAL FROM THE PLANNING BOARD. IF THE GRADE LEVEL IS TO BE CHANGED MORE THAN SIX (6) INCHES TREES DESIGNATED TO BE PRESERVED SHALL BE WELLED AND/OR PRESERVED IN A RAISED BED, WITH THE TREE WELL RADIUS OF THREE (3) FEET LARGER THAN THE TREE CANOPY.
- IF THE APPLICANT, DURING THE COURSE OF CONSTRUCTION, ENCOUNTERS SUCH CONDITIONS AS FLOOD AREAS, UNDERGROUND WATER, SOFT OR SILTY AREAS IMPROPER DRAINAGE, OR ANY OTHER UNUSUAL CIRCUMSTANCES OR CONDITIONS THAT WERE NOT FORESEEN IN THE ORIGINAL PLANNING, SUCH CONDITIONS SHALL BE REPORTED IMMEDIATELY TO DEME. THE APPLICANT SHALL SUBMIT THEIR RECOMMENDATIONS AS TO THE SPECIAL TREATMENT TO BE GIVEN SUCH AREAS TO SECURE ADEQUATE, PERMANENT AND SATISFACTORY CONSTRUCTION. DEME SHALL INVESTIGATE THE CONDITION(S), AND SHALL EITHER APPROVE THE APPLICANT'S RECOMMENDATIONS TO CORRECT THE CONDITIONS, OR ORDER A MODIFICATION THEREOF. IN THE EVENT OF THE APPLICANT'S DISAGREEMENT WITH THE DECISION OF DEME, OR IN THE EVENT OF A SIGNIFICANT CHANGE RESULTING TO THE SUBDIVISION PLAN OR SITE PLAN OR ANY CHANGE THAT INVOLVES A WETLAND REGULATED AREA, THE MATTER SHALL BE DECIDED BY THE AGENCY WITH JURISDICTION IN THAT AREA (i.e. WETLAND-US ARMY CORPS OF ENGINEERS)
- THE CONTRACTOR'S TRAILER, IF ANY IS PROPOSED, SHALL BE LOCATED AS APPROVED BY THE PLANNING BOARD.
- THE PLANNING BOARD SHALL RETAIN JURISDICTION OVER LIGHTING, LANDSCAPING, SIGNS AND REFUSE CONTROL.



**BULK REGULATIONS ZONE R-40 GROUP E**

	MIN LOT AREA	MIN LOT WIDTH	MIN STREET FRONTAGE	MIN FRONT YARD	MIN SIDE YARD	TOTAL SIDE YARDS	MIN REAR YARD	MAX BLDG HEIGHT	MAX F.A.R.
REQUIRED	40,000 SF	150'	100'	50'	20' #	40' #	50'	8' FT @51'=34' MAX	0.15
PROVIDED	21,764 SF	103'	105.61'	51.4'	22.5'±	65.6'±	109.0'±	28.3'±	0.146 (per archt)

PRE-EXISTING NON CONFORMING CONDITION  
 # SIDE YARD OF 30' AND 80' TOTAL REDUCED PER SECTION 5.21(a), FOR LOTS WITH LESS THAN 110 FEET IN LOT WIDTH, SIDE YARDS SHALL BE NO LESS THAN 20 FEET.

AREA BREAKDOWN  
 AREA = 22,478 SF GROSS  
 - 714 SF 50% ROAD WIDENING  
 21,764 SF NET FOR ZONING

**GDANSKI CONSULTANTS, INC.**  
 633 WOODMONT LANE  
 SLOATSBURG, NEW YORK, 10974

**DATE**  
 12/21/21  
 01/06/22  
 01/27/22

**REVISIONS**  
 REV DWLG  
 REV DWLG  
 AC UNIT NEW YORK

**DESIGNED** JAG  
**DRAWN** LDW  
**CHECKED** PC  
**APPROVED** JAG

**PAUL GDANSKI, PE**  
 NYS LIC. 075890

**JAY A. GREENWELL, PLS, LLC**  
 LAND PLANNING - LAND SURVEYING  
 85 LAFAYETTE AVENUE, SUFFERN, NEW YORK 10901  
 PHONE 845-357-0830 FAX 845-357-0756  
 © 2021 JAY A. GREENWELL, PLS, LLC

**PLOT PLAN FOR COMITO**  
 656 OAK TREE ROAD  
 PALISADES, TOWN OF ORANGETOWN  
 ROCKLAND COUNTY, NEW YORK

**JAY A. GREENWELL, PLS, LLC**  
 LAND PLANNING - LAND SURVEYING  
 85 LAFAYETTE AVENUE, SUFFERN, NEW YORK 10901  
 PHONE 845-357-0830 FAX 845-357-0756  
 © 2021 JAY A. GREENWELL, PLS, LLC

**TAX LOT #**  
 78.17-2-9

**FILE**  
 22148SURV

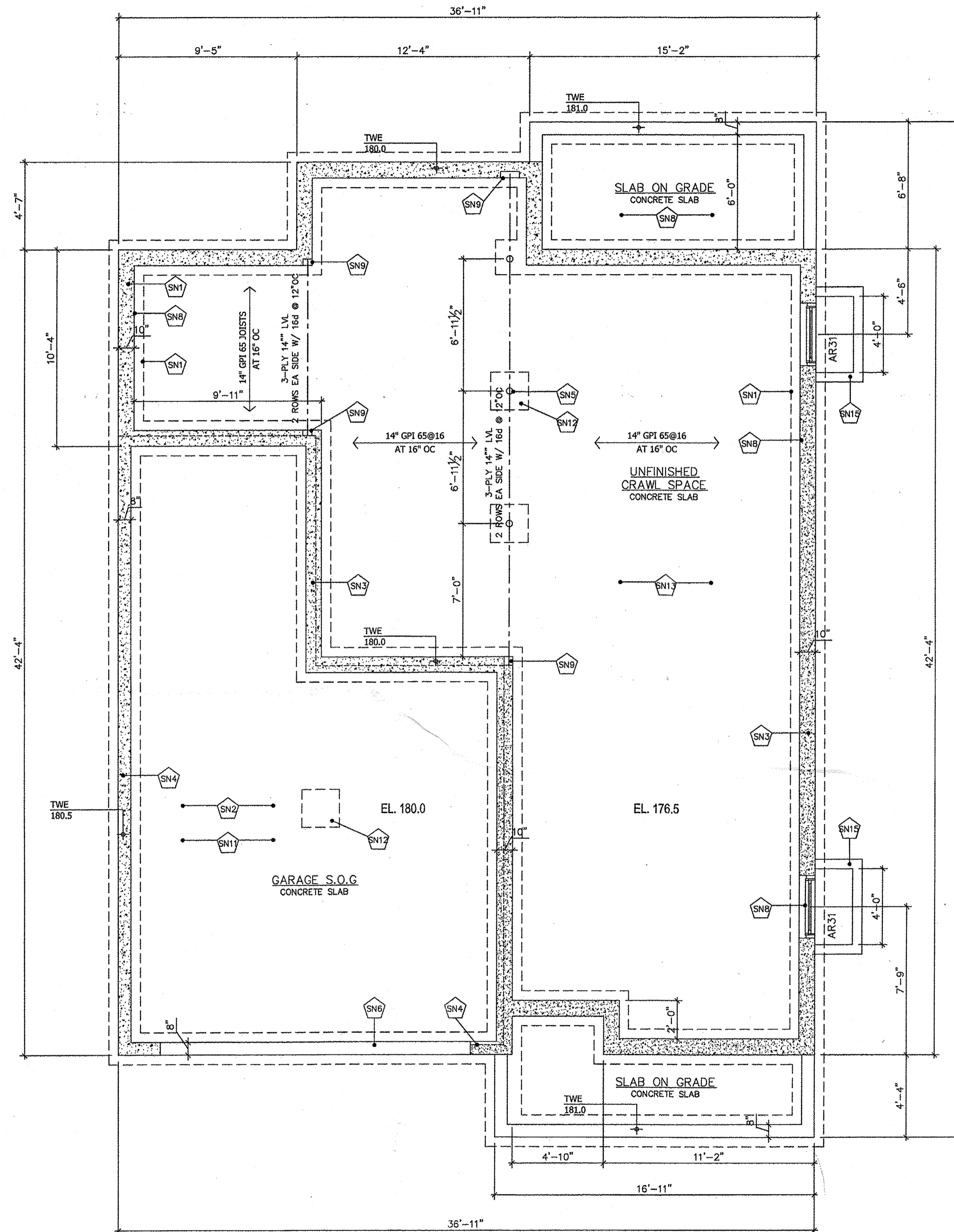
**SCALE**  
 1"=20'

**DATE**  
 10/07/21

**JOB NO.**  
 22148

**SHEET NOTES (SN):**

- NEW 22" WIDE X 12" DEEP CONCRETE FOOTING ON UNDISTURBED EARTH REINFORCED WITH 2 - #4 REBARS CONTINUOUS. SET FOOTING MINIMUM 36" BELOW GRADE. TYPICAL.
- NEW 4" THICK 3000PSI CONCRETE SLAB REINFORCED WITH 6X6 #11 WWF OVER 4 MIN POLY VAPOR BARRIER OVER 4" CRUSHED STONE ON UNDISTURBED EARTH.
- NEW 10" CONCRETE FOUNDATION WALL ON 24" WIDE X 12" DEEP CONCRETE FOOTING. SET FOOTING MINIMUM 36" BELOW GRADE. TYPICAL.
- NEW 8" CONCRETE FOUNDATION WALL ON 24" WIDE X 12" CONCRETE FOOTING. SET FOOTING MINIMUM 36" BELOW GRADE. TYPICAL.
- 3.5 DIA. CONCRETE FILLED LALLY COLUMN. BEAR COLUMN ON 7" X 7" X 1/2" STEEL PLATE ON 24" SQUARE CONCRETE FOOTING. X 12" DEEP CONCRETE FOOTING ON UNDISTURBED SOIL.
- GARAGE DOOR MASONRY OPENING. LOWER FOUNDATION WALL TO PLACE SLAB OVER DOOR OPENING.
- 4" DIA. PERF RADON VENT AROUND PERIMETER OF SLAB. PROVIDE 2 - 3" DIA. VTR FOR RADON VENT.
- SEAL ALL RIMS AND BANDS JOIST THROUGHOUT WITH MINIMUM 2"/R14 SPRAY FOAM. INSULATE NEW FLOOR JOISTS ABOVE THROUGHOUT WITH R-38 FIBERGLASS BATTS. PROVIDE AND INSTALL INSULATION SUPPORT WIRES AT 24" OC.
- SET GIRDERS ON STEEL BEARING PLATE IN BEAM POCKET AT FOUNDATION WALL. TYPICAL.
- LINE OF PERIMETER SLAB INSULATION. REFER TO DETAIL XXX.
- BACKFILL UNDER GARAGE SLAB WITH CRUSHED STONE COMPACTED IN 12" LIFTS. DO NOT BACKFILL UNDER GARAGE SLAB WITH SOIL.
- NEW 24" X 24" X 12" DEEP CONCRETE FOOTING SET ON UNDISTURBED SOIL. TYPICAL AT LALLY COLUMNS.
- NEW 2" THICK 3000PSI CONCRETE SLAB REINFORCED WITH 6X6 #11 WWF OVER 4 MIN POLY VAPOR BARRIER OVER 4" CRUSHED STONE ON UNDISTURBED EARTH. INSTALL AN INSULATED MINIMUM R-10 WEATHERSTRIPPED ACCESS HATCH TO THE CRAWLSPACE. HATCH OPENING TO BE 24"W X 36" HIGH.
- SET WINDOW HEADS AT XXX FT AFF AT CRAWLSPACE. TYPICAL.
- 6" CMU WINDOW WELL AS REQUIRED AT BASEMENT WINDOWS. SET BOTTOM OF WELL MINIMUM 6" BELOW WINDOW SILL. WELL BASE TO HAVE DRAIN SET IN 4" CRUSHED STONE. CONNECT DRAIN TO FOOTING DRAIN SYSTEM.



**(A) BASEMENT PLAN**  
 1/4" = 1'-0"

**GENERAL NOTES:**

- DO NOT SCALE DRAWINGS, USE INDICATED DIMENSIONS ONLY.
- ALL WORK SHALL CONFORM TO LOCAL AND NEW YORK STATE CODE REQUIREMENTS. NO WORK SHALL COMMENCE UNTIL A BUILDING PERMIT HAS BEEN ISSUED AS REQUIRED BY THE LOCAL BUILDING DEPARTMENT.
- ALL NEW EXTERIOR WALL ARE 2X6 STUDS AT 16" OC UNLESS OTHERWISE NOTED. ALL INTERIOR STUDS ARE 2X4 STUDS AT 16" OC UNLESS OTHERWISE NOTED.
- DOUBLE UP JOISTS UNDER PARALLEL PARTITIONS.
- ALL WOOD IN CONTACT WITH MASONRY & CONCRETE SHALL BE PRESSURE TREATED WITH WOOD PRESERVATIVE.
- ALL WALL BASE PLATES SHALL BE IN A MINIMUM 3" BEAD OF CAULK OR SEALANT. ALL PENETRATIONS THROUGH THE CEILING AND EXTERIOR WALLS SHALL BE AIR SEALED WITH EXPANDING FOAM AND/OR SILICONE CAULK.
- WINDOWS ARE 200 SERIES ANDERSON. UNITS TO BE LOW-E COATED WITH INSULATING GLASS & ARGON GAS. PROVIDE ALL OPERATING UNITS WITH SCREENS. UNIT NUMBERS ARE INDICATED ON PLANS.
- FLASH ALL WINDOW ROUGH OPENINGS WITH A PEE & STICK TYPE MEMBRANE FLASHING. FLASH SILLS TO CREATE A DRAIN PAN PITCHED TO THE EXTERIOR SIDE.
- SEAL AROUND ALL DOOR AND WINDOW ROUGH OPENINGS WITH MINIMALLY EXPANDING FOAM. FOLLOW MANUFACTURERS PRECAUTIONS.
- ALL FASTENERS, NAILS AND HANGERS WHICH COME IN CONTACT WITH PRESSURE TREATED LUMBER SHALL BE HOT-DIPPED GALVANIZED STAINLESS STEEL.
- INSTALL HANGERS AND CONNECTORS BY SIMPSON STRONG-TIE (SST) AS NOTED ON THE DRAWINGS. INSTALL ALL CONNECTORS WITH NAILS OR SCREWS AS SPECIFIED BY SIMPSON STRONG-TIE. DO NOT SUBSTITUTE CONNECTORS OR FASTENERS. ALL FASTENER COATINGS SHALL MATCH THE EXTERIOR COATING OF THE SPECIFIED HANGER. HDG TO HDG AND STAINLESS TO STAINLESS.
- INSTALL BETTER HEADER (BH) SANDWICH PLATE SYSTEM STEEL FLITCH PLATE GIRDERS WHERE INDICATED ON THE DRAWINGS. BEAR BETTER HEADER GIRDERS ON STRUCTURAL COLUMNS AT EACH END AS INDICATED ON THE DRAWINGS.
- REFER TO THE SPECIFICATIONS FOR ADDITIONAL INFORMATION.

CONSTRUCTION LEGEND	
	NEW CONSTRUCTION
	EXISTING WALLS TO BE DEMOLISHED
	EXISTING MASONRY WALL
	SHEET NOTES: SEE NOTES THIS SHEET
	HARDWIRED SMOKE DETECTOR
	CARBON MONOXIDE DETECTOR

MAR 8 2022

**COMITO HOMES LLC**

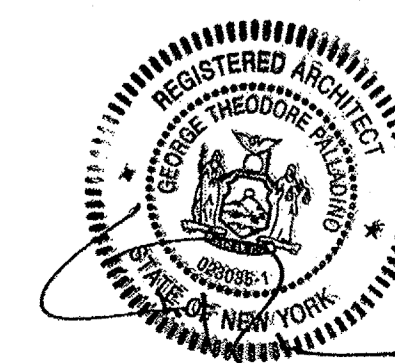
656 OAK TREE ROAD  
 PALISADES, NY 10964

**G.PALLADINO LLC**  
 ARCHITECTURE  
 28 EAST STREET  
 WEST NYACK, NEW YORK  
 10994  
 201-240-5987

NY LICENSE # 028085

**BASEMENT FLOOR PLAN**

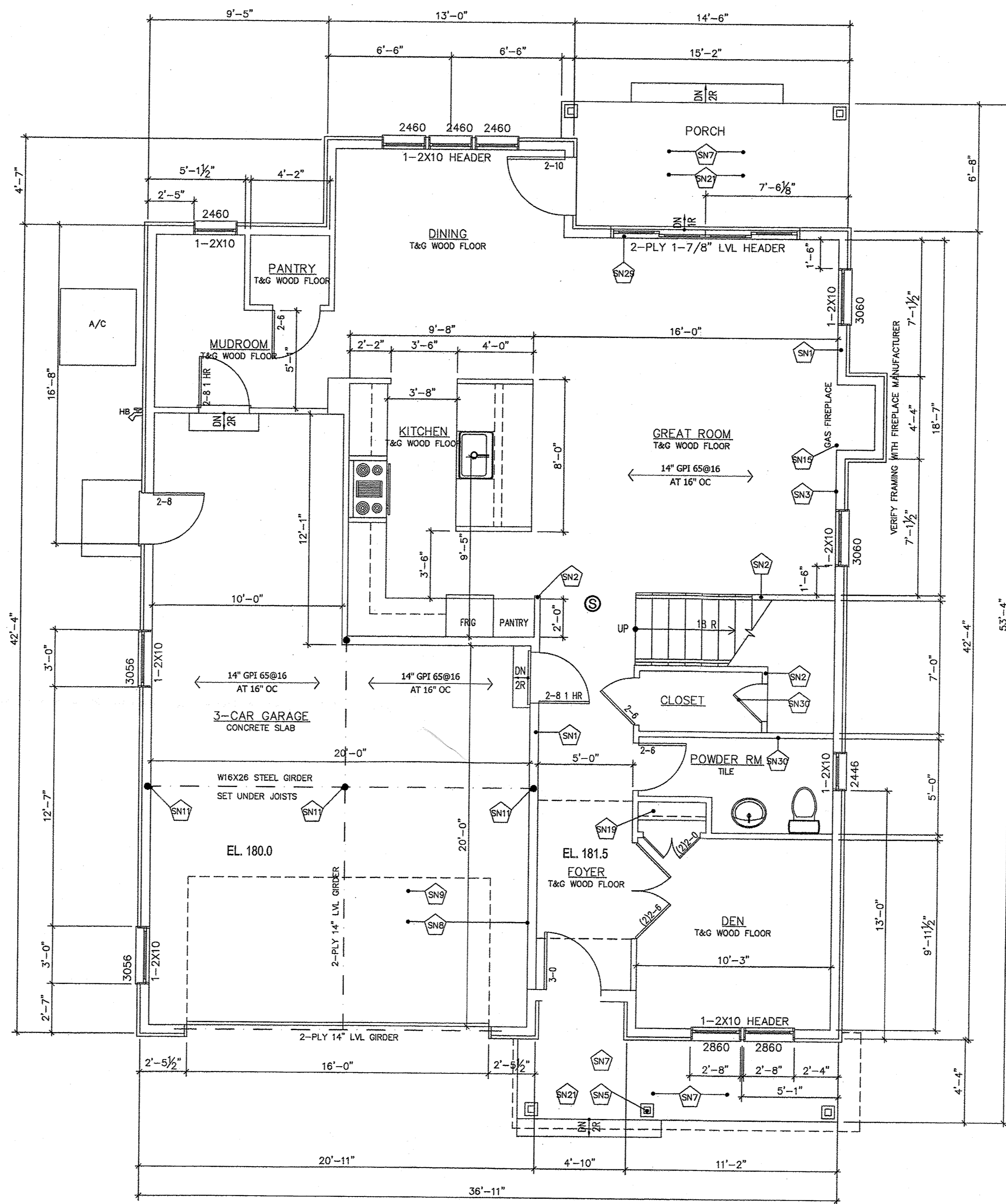
SCALE AS SHOWN  
 DATE FEBRUARY 9, 2022  
 JOB NO. 1018  
 REVISIONS: SHEET NO.  
 CONST. ISSUE



**A-1**

**SHEET NOTES (SN):**

- 2X6 EXTERIOR STUD WALL. SPACE STUDS AT 16" OC. INSULATE EXTERIOR WALLS WITH UNFACED HIGH DENSITY R-21 FIBERGLASS BATTS. FINISH STUD WALLS WITH 1/2" GYPSUM BOARD THROUGHOUT.
- INSTALL 1/2" GYPSUM BOARD OVER 2X4 STUDS 16" OC AT INTERIOR WALLS THROUGHOUT.
- PRIME ALL EXTERIOR GYPSUM BOARD WALL & CEILING SURFACES WITH BENJAMIN MOORE VAPOR BARRIER PRIMER SEALER 2060.
- PROVIDE AND INSTALL SIMPSON STRONG-TIE (SST) HANGERS FOR ALL JOIST TO BEAM CONNECTIONS.
- 4X4 TREATED STRUCTURAL POST. INSTALL WITH SIMPSON STRONG TIE ABU POST BASES AND BCS POST CAPS AT POST TO GIRDER CONNECTION.
- NEW STAIR WITH OAK TREADS AND PAINT GRADE RISERS. STAIRS TO BE A MINIMUM 36" WIDE & RISERS TO BE A MAXIMUM 7.75" IN ACCORDANCE WITH IRC. INSTALL GUARDRAILS AND HANDRAILS THROUGHOUT. AS CHOSEN BY THE OWNER TO COMPLY WITH IRC.
- INSTALL CEILING AT PORCH OVER 2X6 CEILING JOISTS AT 16" OC. PAINT FINISH CEILING AS CHOSEN BY OWNER.
- INSTALL 1 LAYER OF 5/8" FIRE CODE TYPE X GYPSUM BOARD AT GARAGE WALLS AND CEILING TO MAINTAIN A 1 HOUR FIRE SEPARATION FROM HOUSE.
- INSULATE SECOND FLOOR JOIST ABOVE GARAGE WITH R-38 BATTS.
- INSTALL SOUND INSULATION AT WALLS BETWEEN BEDROOMS & BATHROOMS.
- 4" DIA. CONCRETE FILLED LALLY COLUMN AT EACH END OF STEEL GIRDERS. BEAR COLUMN ON 8"X8"X1/2" STEEL PLATE ON TOP OF CONCRETE FOUNDATION.
- 3.5"X5.25" PARALLAM PSL POST AT EACH END OF GIRDERS AND WHERE INDICATED. INSTALL ALL PARALLAM POSTS WITH SST CAPS AND BASES AND PROVIDE CONTINUOUS SOLID BEARING TO FOUNDATION WALL BELOW. TYPICAL.
- 8" SQUARE COLUMN WITH TUSCAN CAP AND BASE. PROVIDE 3.5"X3.5" PSL POST AT CENTER OF COLUMNS. CONNECT TO GIRDERS AND HEADERS WITH SIMPSON TIE (SST) CAPS.
- 3.5"X3.5" PARALLAM PSL POST UNDER POST LOAD FROM ABOVE. PROVIDE CONTINUOUS SOLID BEARING TO FOUNDATION WALL BELOW.
- INSTALL A MENDOTA DXV42 OR AS CHOSEN BY OWNER, ZERO CLEARANCE GAS FIRED FIREPLACE. INSTALL IN STRICT ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS AND IRC. PROVIDE AND INSTALL FIREPROOF SURROUND AND MANTLE AS CHOSEN BY OWNER. REFER TO MANUFACTURER FOR FRAMING DIMENSIONS.
- INSTALL TEMPERED GLASS SURROUND AT SHOWER. TYPICAL.
- INSTALL FULL HEIGHT CEMENT BACKER BOARD AT TUB & SHOWER SURROUNDS. TYPICAL.
- CONSTRUCT A 25" X 54" ACCESS HATCH OPENING TO ATTIC. PROVIDE AND INSTALL A WEATHER-STRIPPED / SEALED HATCH TO CLOSE OPENING. DOUBLE UP FRAMING AT HATCH OPENING. INSTALL FLAT STUD ALONG REGULAR STUD TO CREATE A VERTICAL STRONG-BACK AT BRACKET LOCATIONS.
- INSTALL ROD & SHELVES AT ALL CLOSETS. TYPICAL.
- INSULATE RAFTERS AND COLLAR TIES WITH FULL DEPTH SPRAY APPLIED POLYURETHANE INSULATION R-49.
- INSTALL GUARDRAILS AND HANDRAILS AT STAIRS AS REQUIRED BY IRC.
- 2" BLUESTONE PAVERS ON CONCRETE SLAB AT PORCH, PORCH STEPS, AND REAR PATIO.
- 2X6 COLLAR BEAMS FASTENED TO EXISTING RAFTERS 16" OC.
- INSTALL 36" HIGH GUARDRAIL AT BALCONIES. TYPICAL.
- INSTALL 4" DIA. GALVANIZED DRYER VENT. VENT DIRECTLY TO THE EXTERIOR. DO NOT INSTALL FLEX DUCT.
- LAUNDRY UTILITY HOOKUP.
- INSTALL SOLID WOOD BLOCKING AT WALLS FOR BATH ACCESSORIES. TYPICAL.
- INSTALL MOLD RESISTANT GYPSUM BOARD IN ALL BATHROOMS WALLS AND CEILING EXCEPT SHOWER AND TUB AREAS.
- NEW SLIDING DOORS. OWNER TO PROVIDE.
- 2"WX3"H ACCESS PANEL TO CRAWL SPACE.



**GENERAL NOTES:**

- DO NOT SCALE DRAWINGS. USE INDICATED DIMENSIONS ONLY.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO THE START OF THE WORK. A COMPLETE SET OF THE MOST RECENTLY DOB APPROVED DRAWINGS SHALL BE MAINTAINED AT THE JOB SITE AT ALL TIMES.
- ALL WORK SHALL CONFORM TO LOCAL AND NEW YORK STATE CODE REQUIREMENTS. NO WORK SHALL COMMENCE UNTIL A BUILDING PERMIT HAS BEEN ISSUED AS REQUIRED BY THE LOCAL BUILDING DEPARTMENT.
- ALL WORK SHALL BE IN COMPLIANCE TO LOCAL ZONING AND SETBACK REQUIREMENTS.
- ALL DIMENSIONS ARE TO FACE OF STUD UNLESS OTHERWISE INDICATED. ALL INTERIOR WALLS ARE 2X4 STUDS AT 16" OC UNLESS OTHERWISE INDICATED.
- ALL WOOD IN CONTACT WITH MASONRY & CONCRETE SHALL BE PRESURE TREATED WITH WOOD PRESERVATIVE.
- ALL WALL BASE PLATES SHALL BE IN A MINIMUM 3/8" BEAD OF CAULK OR SEALANT. ALL PENETRATIONS THROUGH THE CEILING AND EXTERIOR WALLS SHALL BE AIR SEALED WITH EXPANDING FOAM AND/OR SILICONE CAULK.
- WINDOWS ARE 200 SERIES ANDERSON. UNITS TO BE LOW-E COATED WITH INSULATING GLASS & ARGON GAS. PROVIDE ALL OPERATING UNITS WITH SCREENS. UNIT NUMBERS ARE INDICATED ON PLANS.
- FLASH ALL WINDOW ROUGH OPENINGS WITH A PEE & STICK TYPE MEMBRANE FLASHING. FLASH SILLS TO CREATE A DRAIN PAN PITCHED TO THE EXTERIOR SIDE.
- SEAL AROUND ALL DOOR AND WINDOW ROUGH OPENINGS WITH MINIMALLY EXPANDING FOAM. FOLLOW MANUFACTURERS PRECAUTIONS.
- ALL FASTENERS, NAILS AND HANGERS WHICH COME IN CONTACT WITH PRESURE TREATED LUMBER SHALL BE HOT-DIPPED GALVANIZED STAINLESS STEEL.
- INSTALL HANGERS AND CONNECTORS BY SIMPSON STRONG-TIE (SST) AS NOTED ON THE DRAWINGS. INSTALL ALL CONNECTORS WITH NAILS OR SCREWS AS SPECIFIED BY SIMPSON STRONG-TIE. DO NOT SUBSTITUTE CONNECTORS OR FASTENERS. ALL FASTENER COATINGS SHALL MATCH THE EXTERIOR COATING OF THE SPECIFIED HANGER. HDG TO HDG AND STAINLESS TO STAINLESS.
- INSTALL BETTER HEADER (HB) SANDWICH PLATE SYSTEM STEEL FLITCH PLATE GIRDERS WHERE INDICATED ON THE DRAWINGS. BEAR BETTER HEADER GIRDERS ON STRUCTURAL COLUMNS AT EACH END AS INDICATED ON THE DRAWINGS.
- INSTALL TRUS JOIST MACMILLAN 1.8E PARALLAM PSL COLUMNS WHERE NOTED ON THE DRAWINGS. ALL STRUCTURAL COLUMNS TO HAVE CONTINUOUS SOLID BEARING TO FOUNDATION WALL BELOW.
- INSTALL BOISE "VERSA-LAM" 2.0 3100LB LAMINATED STRUCTURAL LUMBER BEAMS IN SOLID WIDTHS AS INDICATED ON THE DRAWINGS. DO NOT NOTCH BEAMS. PROVIDE MINIMUM 3" SOLID BEARING AT ENDS UNLESS OTHERWISE INDICATED.
- REFER TO THE SPECIFICATIONS FOR ADDITIONAL INFORMATION.

CONSTRUCTION LEGEND	
	NEW CONSTRUCTION
	EXISTING WALLS TO BE DEMOLISHED
	NEW FOUNDATION WALL
	SHEET NOTES: SEE NOTES THIS SHEET
	HARDWIRED SMOKE DETECTOR
	CARBON MONOXIDE DETECTOR

**COMITO HOMES LLC**

656 OAK TREE ROAD  
PALISADES, NY 10964

NY LICENSE # 028085

**G.PALLADINO LLC**  
ARCHITECTURE  
28 EAST STREET  
WEST NYACK, NEW YORK  
10994  
201-240-5987

**FIRST FLOOR PLAN**

**A** FIRST FLOOR PLAN  
A2 1/4" = 1'-0"

SCALE AS SHOWN  
DATE FEBRUARY 9, 2022  
JOB NO. 1018  
REVISIONS: SHEET NO.  
CONST. ISSUE

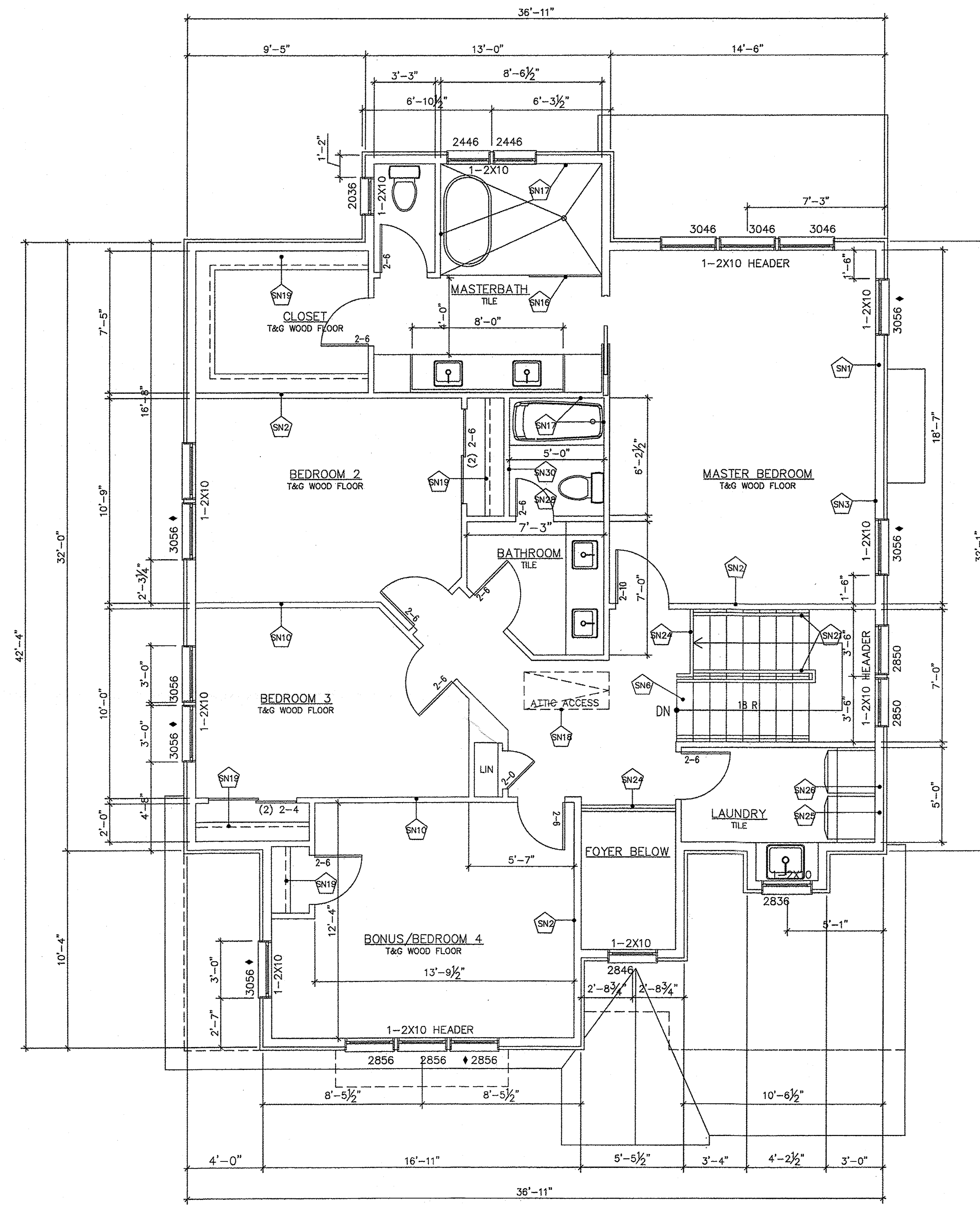


**A-2**



**SHEET NOTES (SN):**

- 2X6 EXTERIOR STUD WALL. SPACE STUDS AT 16" OC. INSULATE EXTERIOR WALLS WITH UNFACED HIGH DENSITY R-21 FIBERGLASS BATTS. FINISH STUD WALLS WITH 1/2" GYPSUM BOARD THROUGHOUT.
- INSTALL 3/8" GYPSUM BOARD OVER 2X4 STUDS 16" OC AT INTERIOR WALLS THROUGHOUT.
- PRIME ALL EXTERIOR GYPSUM BOARD WALL & CEILING SURFACES WITH BENJAMIN MOORE VAPOR BARRIER PRIMER SEALER 2060.
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- INSULATE SECOND FLOOR JOIST ABOVE GARAGE WITH R-38 BATTS.
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- 8" SQUARE COLUMN WITH TUSCAN CAP AND BASE. PROVIDE 3.5"x3.5" PSL POST AT CENTER OF COLUMNS. CONNECT TO GIRDERS AND HEADERS WITH SIMPSON TIE (SST) CAPS.
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- NEW SLIDING DOORS. OWNER TO PROVIDE.
- 2"WX3'H ACCESS PANEL TO CRAWL SPACE.



**A** SECOND FLOOR PLAN  
**A3** 1/4" = 1'-0"

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	SHEET NOTES. SEE NOTES THIS SHEET
	HARDWIRED SMOKE DETECTOR
	CARBON MONOXIDE DETECTOR

**COMITO HOMES LLC**

656 OAK TREE ROAD  
 PALISADES, NY 10964

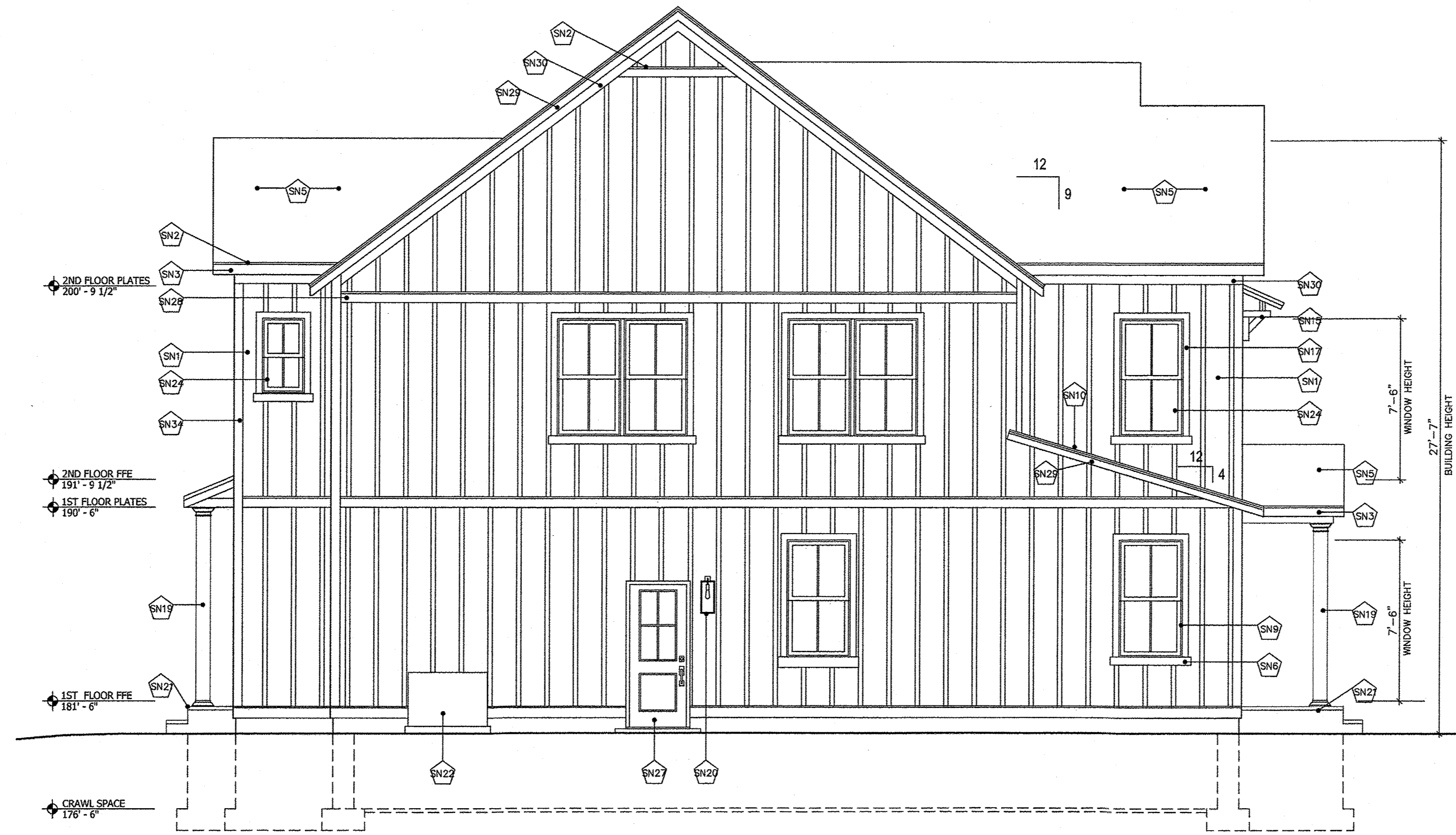
**G.PALLADINO LLC**  
 ARCHITECTURE  
 28 EAST STREET  
 WEST NYACK, NEW YORK  
 10994  
 201-240-5987

**SECOND FLOOR PLAN**

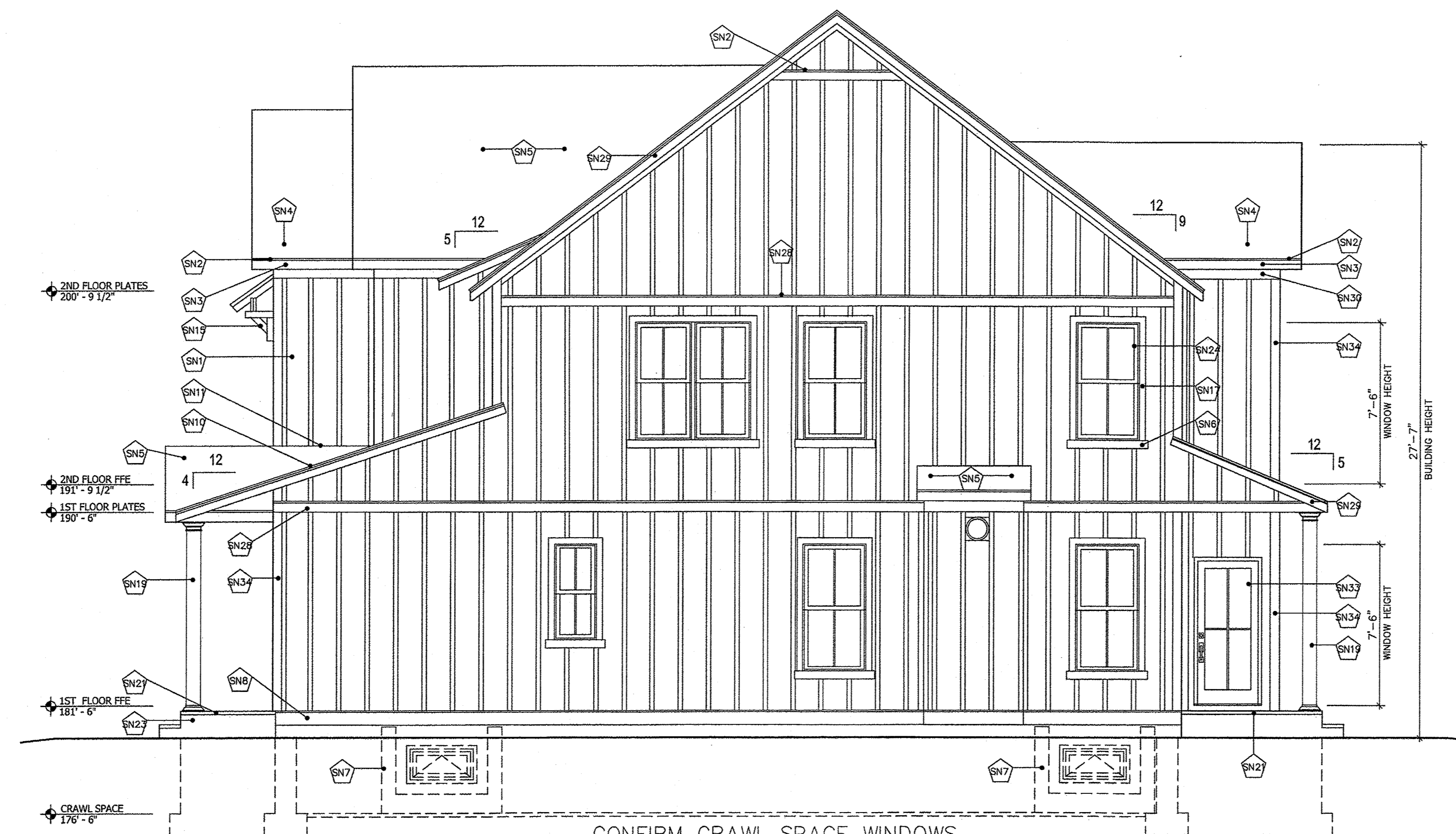
SCALE AS SHOWN  
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**A-3**



**(A) WEST ELEVATION**  
 A4 1/4" = 1'-0"



**(B) EAST ELEVATION**  
 A4 1/4" = 1'-0"

CONFIRM CRAWL SPACE WINDOWS

**SHEET NOTES (SN):**

1. HARDIE 'SMOOTH' VERTICAL WHITE SIDING PANELS WITH HARDIE SMOOTH BATTEN BOARDS AT 16" OC OVER HOUSEWRAP ON 5/8" OSB SHEATHING. INSTALL 'Z' FLASHING AT ALL HORIZONTAL JOINTS IN SIDING. TYPICAL.
2. CONTINUOUS ALUMINUM DRIP EDGE AT ROOF EDGES. PROVIDE GUTTERS AT EAVES.
3. AZEK 3/4" X 6 FASCIA OVER CONTINUOUS 2X6 SUB-FASCIA RIPPED TO 5" TO CREATE RECESS FOR SOFFIT.
4. RUN 2 COURSES OF 36" WIDE ICE SHIELD ALONG EAVES OF ROOF. TYPICAL THROUGHOUT.
5. GAF TIMBERLINE HDZ CHARCOAL HIGH DEFINITION SHINGLES OVER 15# ROOFING FELT ON 5/8" CDX SHEATHING OVER 2X12 RAFTERS AT 16" OC.
6. AZEK 3/4" X 5 SYNTHETIC WINDOW TRIM AT SILL. PAINT ALL TRIM IN COLOR AS CHOSEN BY OWNER.
7. 6" CMU WINDOW WELL AT BASEMENT WINDOWS. SET BOTTOM OF WELL MINIMUM 6" BELOW WINDOW SILL. WELL BASE TO HAVE DRAIN SET IN 4" CRUSHED STONE. CONNECT DRAIN TO FOOTING DRAIN SYSTEM.
8. AZEK 3/4" X 8 SYNTHETIC WATER TABLE TRIM.
9. FLASH ALL WINDOW ROUGH OPENINGS WITH A BUTYL PEEL & STICK TYPE FLEX MEMBRANE WRAP TO CREATE A DRAIN PAN PITCHED TO THE EXTERIOR SIDE. FLASH THE WINDOW SILLS AND JAMBS TO THE EXTERIOR HOUSEWRAP. TYPICAL THROUGHOUT.
10. CONSTRUCT CRICKET AT WALL/ROOF INTERSECTION TO PROPERLY DIRECT WATER DRAINAGE AWAY FROM WALL. FLASH WALL BEHIND SIDING WITH BUTYL FLASHING & RUN UP WALL MINIMUM 12".
11. FLASH WALL TO INTERSECTION WITH ALUMINUM FLASHING. TYPICAL.
12. ROOF AT PORCH/DINING ROOM IS DIFFERENT PITCH THAN FRONT PORCH. SET ROOF LINE AT WALL BASED ALIGNING FASCIA BOARD.
13. RUN THE EXTERIOR CONTINUOUS INSULATION CONTINUOUS UP WALLS BEHIND PORCH ROOFS. REFER TO DETAILS.
14. EVERLAST 1" STANDING SEAM 'EVERLOC' METAL ROOFING OVER HIGH TEMPERATURE ICE SHIELD ON 1/2" CDX PLYWOOD SHEATHING ON 2X6 RAFTERS AT 16" OC.
15. 4X4 PRESSURE TREATED BRACKET. WRAP W/ SYNTHETIC AZEK TRIM AS DIRECTED BY OWNER.
16. INSTALL BEADED CEILING AT FRONT AND REAR PORCH. TYPICAL.
17. 1X4 AZEK TRIM AT WINDOW JAMBS AND DOOR.
18. PELLA LIFESTYLE SERIES 6'10" FOUR PANEL FIXED VENT-VENT FIXED - 4 PANEL (OXXO) 11782
19. HB&G PERMACAST 8" PLAIN, SQUARE COLUMN WITH TUSCAN CAP BASE. PRIME & PAINT AS SPECIFIED BY MANUFACTURER.
20. PATIO LIGHT. REFER TO ELECTRICAL SHEETS.
21. 2" BLUESTONE PAVERS ON CONCRETE SLAB AT PORCH, PORCH STEPS, AND REAR PATIO.
22. AC CONDENSING UNIT. SCREEN WITH LANDSCAPING PLANTS.
23. PANJIA ONYX
24. PELLA LIFESTYLE SDL, BLACK DOUBLE HUNG WINDOWS WITH SIMULATED DIVIDED LIGHTS WITH WHITE TRIM. TYPICAL.
25. ARTISAN BLACK SCONE LIGHTS. REFER TO ELECTRICAL SHEETS.
26. THERMA TRU BLACK SMOOTH STAR STYLE NO. S2103-SDL W/SIDE LIGHT STYLE NUMBER S2103SL-SDL
27. STEVE'S DOOR - BLACK, MODEL: DIRECT GLAZED SMOOTH FIBERGLASS 1/2 LITE 4 LITE.
28. AZEK 3/4" X 4 SPAN BREAKERS.
29. AZEK 3/4" X 6 FOR ALL RAKERS.
30. AZEK 3/4" X 6 FRIEZE BOARD UNDER SOFFITS.
31. CHI OVERHEAD DOORS, CARRIAGE COLLECTION: OVERLAY CARRIAGE HOUSE, FIBERGLASS OVERLAY, MODEL 5830, COLOR: BRONZE
32. BEAM AND POST WRAPPED WITH AZEK TRIM.
33. PELLA LIFESTYLE DOOR (34"x82"), STANDARD BLACK ENDURACLAD W INSULATED TEMPERED LOW-E.
34. AZEK 3/4" X 5" TRIM ON ALL CORNERS

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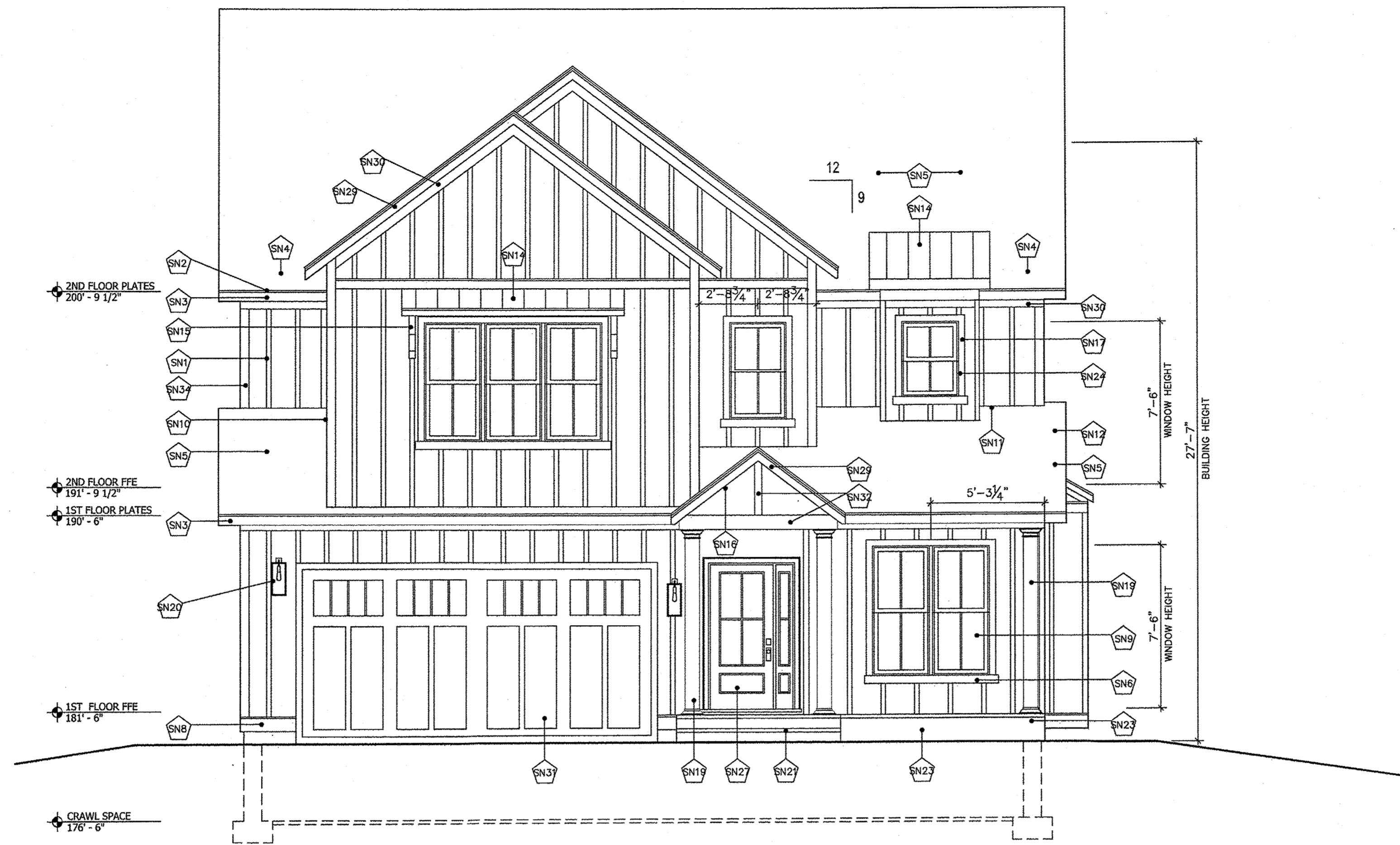
NY LICENSE # 028086

**EXTERIOR ELEVATIONS**

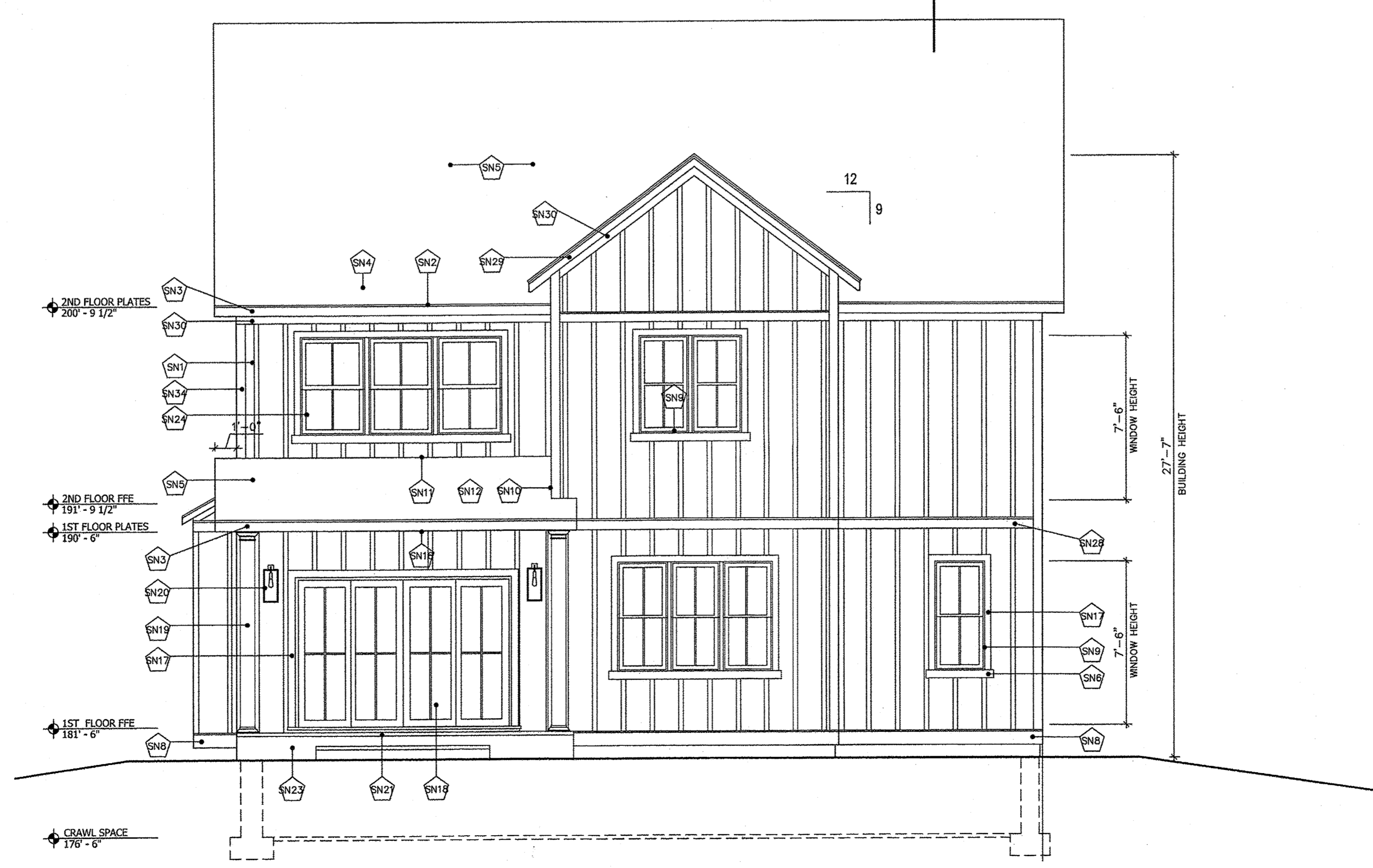
SCALE AS SHOWN  
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**A-4**



**C SOUTH ELEVATION**  
 A5 1/4" = 1' - 0"



**D NORTH ELEVATION**  
 A5 1/4" = 1' - 0"

- SHEET NOTES (SN):**
- HARDIE 'SMOOTH' VERTICAL WHITE SIDING PANELS WITH HARDIE SMOOTH BATTEN BOARDS AT 16" OC OVER HOUSEWRAP ON 1/2" OSB SHEATHING. INSTALL 'Z' FLASHING AT ALL HORIZONTAL JOINTS IN SIDING. TYPICAL.
  - CONTINUOUS ALUMINUM DRIP EDGE AT ALL ROOF EDGES. PROVIDE GUTTERS AT EAVES.
  - AZEK 1/2" X 6 FASCIA OVER CONTINUOUS 2X6 SUB-FASCIA RIPPED TO 5" TO CREATE RECESS FOR SOFFIT.
  - RUN 2 COURSES OF 36" WIDE ICE SHIELD ALONG EAVES OF ROOF. TYPICAL THROUGHOUT.
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  - STEVE'S DOOR - BLACK, MODEL: DIRECT GLAZED SMOOTH FIBERGLASS 1/2 LITE 4 LITE.
  - AZEK 1/2" X 4 SPAN BREAKERS.
  - AZEK 1/2" X 6 FOR ALL RAKERS.
  - AZEK 1/2" X 6 FRIEZE BOARD UNDER SOFFITS.
  - CHI OVERHEAD DOORS, CARRIAGE COLLECTION: OVERLAY CARRIAGE HOUSE, FIBERGLASS OVERLAY, MODEL 5830, COLOR: BRONZE
  - BEAM AND POST WRAPPED WITH AZEK TRIM.
  - PELLA LIFESTYLE DOOR (34"x82"), STANDARD BLACK ENDURACLAD W/ INSULATED TEMPERED LOW-E.
  - AZEK 1/2" X 5" TRIM ON ALL CORNERS

**COMITO HOMES LLC**

656 OAK TREE ROAD  
 PALISADES, NY 10964

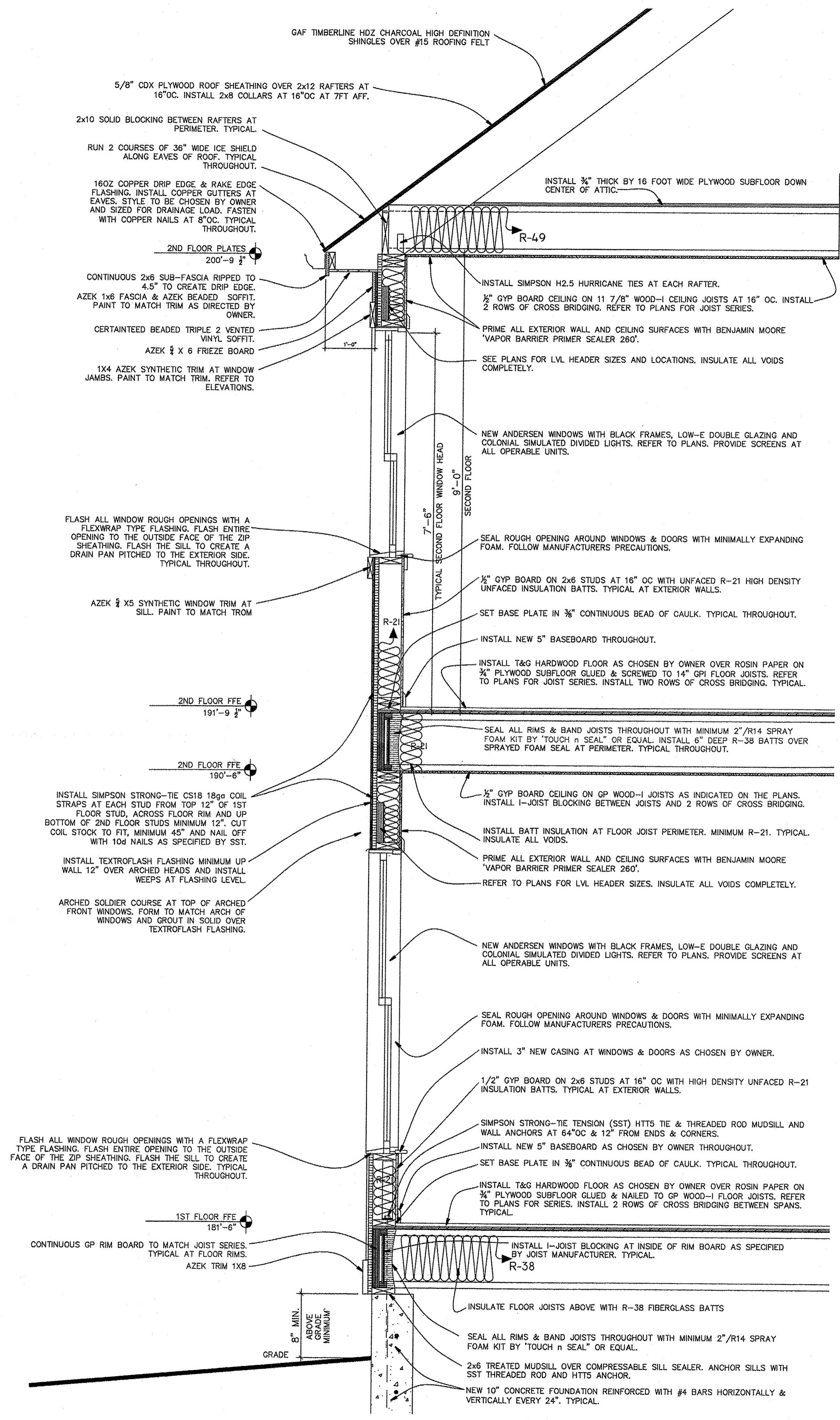
**G.PALLADINO LLC  
 ARCHITECTURE**  
 28 EAST STREET  
 WEST NYACK, NEW YORK  
 10994  
 201-240-5987

**EXTERIOR ELEVATIONS**

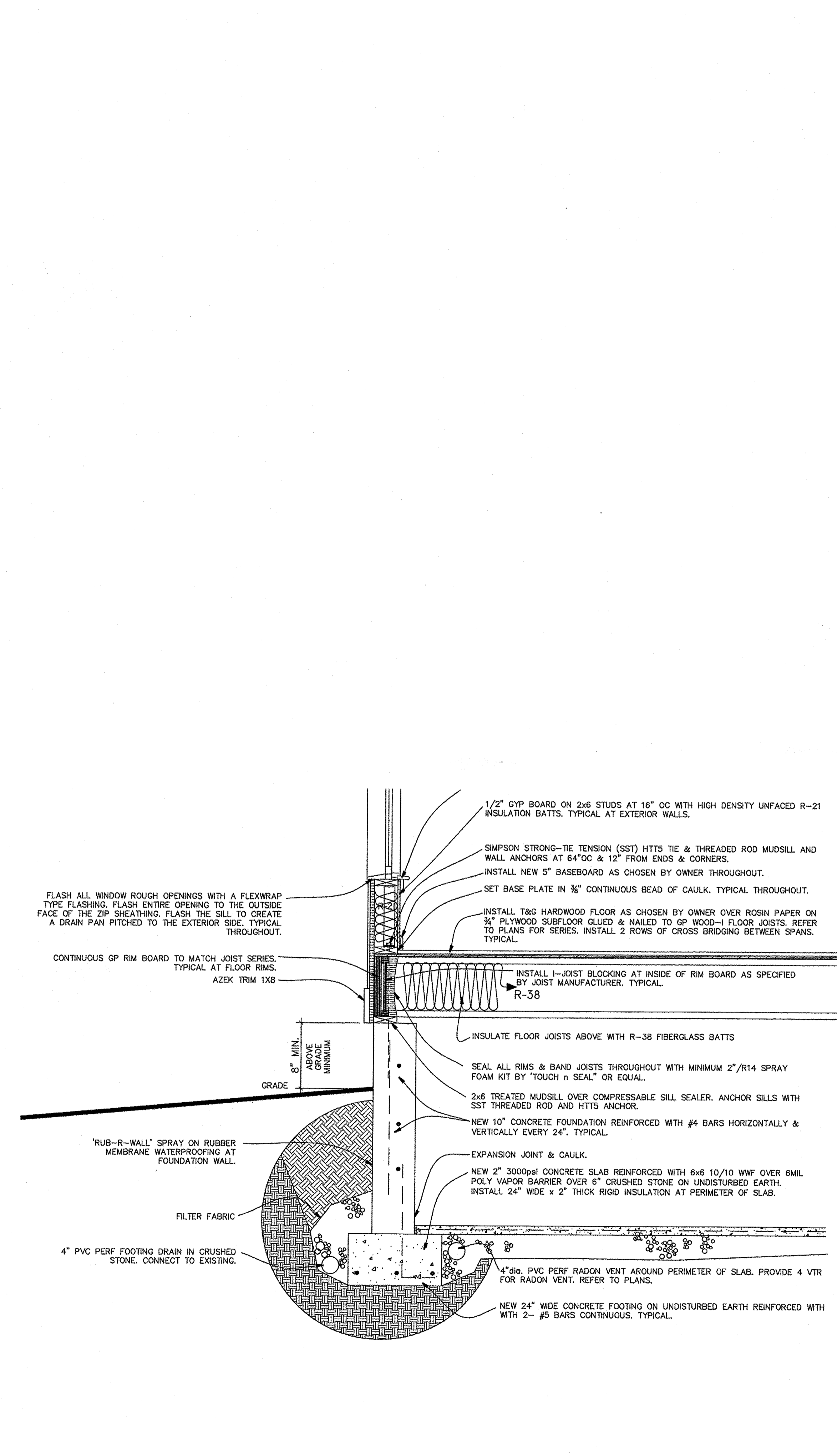
SCALE AS SHOWN  
 DATE FEBRUARY 9, 2022  
 JOB NO. 1018  
 REVISIONS: SHEET NO.  
 CONST. ISSUE



**A-5**



**B** WALL SECTION  
 A6 3/4" = 1'-0"



**A** FOUNDATION DETAIL  
 A6 3/4" = 1'-0"

COMITO HOMES LLC

656 OAK TREE ROAD  
 PALISADES, NY 10964

NY LICENSE # 028085

G.PALLADINO LLC  
 ARCHITECTURE  
 28 EAST STREET  
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 10994  
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WALL SECTION

SCALE AS SHOWN  
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A-6

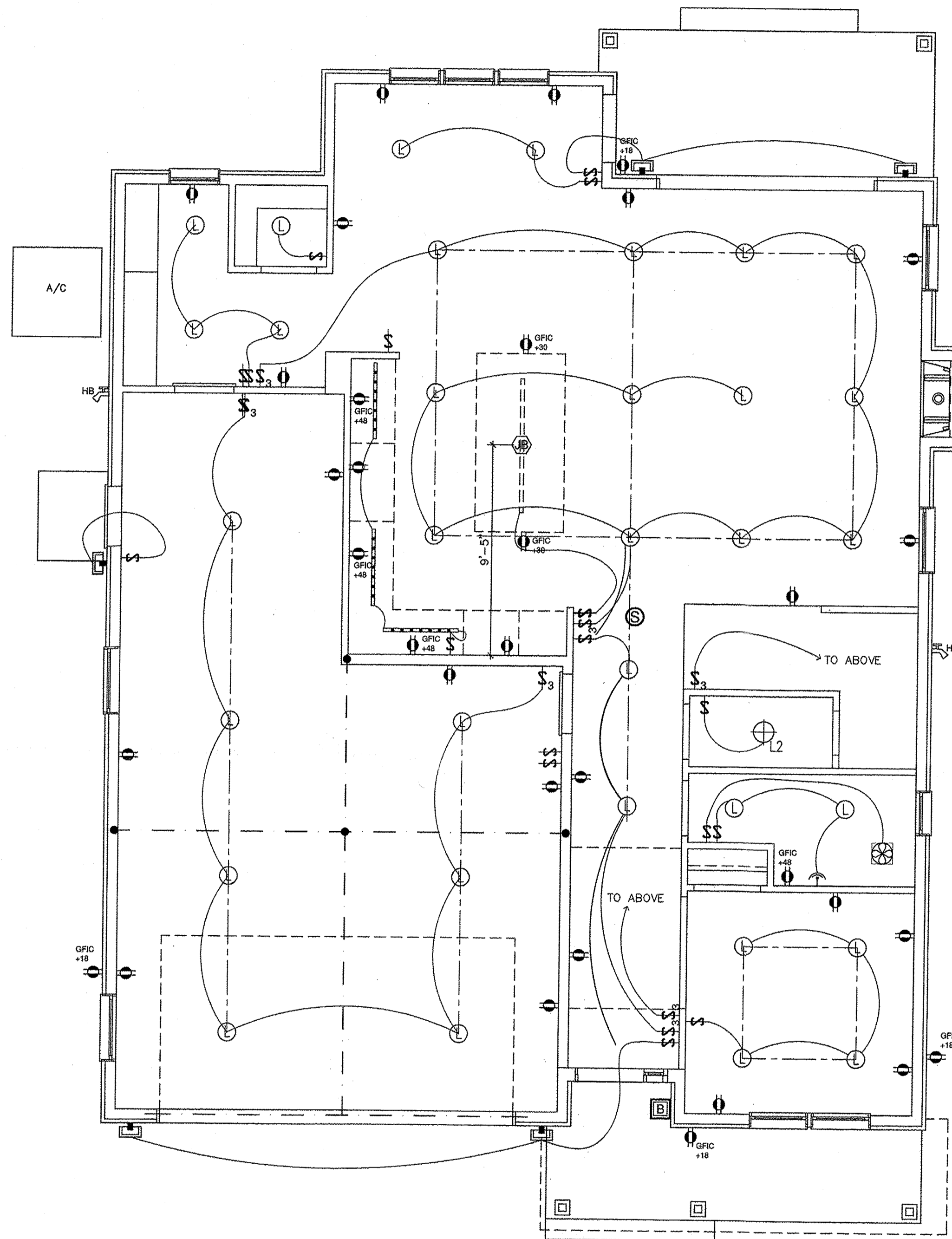
ELECTRIC SYMBOL LEGEND	
(L)	6" CREE LR6 1wd RECESSED LIGHT FIXTURE W/ R6 RECESSED HOUSING, AIR SEAL, IC, ENERGY STAR, 1wd NEUTRAL COLOR LAMP 3500K
(L)	4" CREE LR4 1wd RECESSED LIGHT FIXTURE W/ H4 RECESSED HOUSING, AIR SEAL, IC, ENERGY STAR, 1wd NEUTRAL COLOR LAMP 3500K
(2)	30" LIGHT BOWL PENDANT FIXTURE W/ 5 BULBS OR AS CHOSEN CHOSEN BY OWNER
(3)	HALOGEN PENDANT LIGHT FIXTURE WITH 3 GLASS PENDANTS & BULBS AS CHOSEN CHOSEN BY OWNER
(4)	11" SQUARE HALO HEPICAT COMPACT FLUORESCENT RECESSED LIGHT AIR SEAL, IC, TRIM 123 FRESNEL, LENS W/ 2-15W DTT OF LAMPS.
(5)	SURFACE MOUNTED CEILING LIGHT FIXTURE TO BE CHOSEN BY OWNER
(U)	UPLIGHT WALL SCONCE TO BE CHOSEN BY OWNER
(6)	5" HALO H572CAT COMPACT FLUORESCENT RECESSED WALL WASHER W/ 5030 WALL WASH TRIM, AIR SEAL, IC, ENERGY STAR, 26W CF
(S)	SURFACE MTD LED WAC MO-LED17S-35WT; 17 WATT/102S LUMEN 3500K SPOTLIGHT OR AS CHOSEN BY OWNER
(F)	FANTECH ERV EXHAUST VENT, INSTALL AT EACH BEDROOM NUMBER DESIGNATES WHICH ERV UNIT.
(F)	FANTECH ERV EXHAUST VENT, INSTALL AT EACH BATHROOM & WHERE INDICATED, NUMBER DESIGNATES WHICH ERV UNIT.
(JB)	JUNCTION BOX
(L)	INSTALL LIGHT FIXTURE OR FAN AS CHOSEN BY OWNER
(L)	LED TOE-KICK LIGHTING WITH MOTION DETECTOR SWITCH.
(L)	12x48: 2 LAMP FLUORESCENT CEILING FIXTURE
(L)	24x48: 4 LAMP FLUORESCENT CEILING FIXTURE
(L)	WALL MOUNT BATHROOM VANITY LIGHT TO BE CHOSEN BY OWNER
(L)	EXTERIOR FLOOD LIGHTS
(M)	MD INDICATES MOTION DETECTOR SWITCH
(S)	EXTERIOR WALL SCONCE TO BE CHOSEN BY OWNER
(S)	BATHROOM VANITY WALL SCONCE TO BE CHOSEN BY OWNER
(L)	UNDER CABINET LED LIGHTING TO BE CHOSEN BY OWNER
(R)	DUPLEX RECEPTACLE
(R)	"PS" INDICATES CONNECTION FOR POWER WINDOW SHADES
(R)	DUPLEX RECESSED FLOOR RECEPTACLE
(R)	QUADRUPLEX RECEPTACLE
(L)	22 SYSTEMS GEN8 LED STRIP UP-LIGHTING IN LIGHT COVE. 30" UNITS; 270 LUMENS PER FT, 3000K
(L)	LED STEP LIGHTS BUILT INTO RISERS. 300 LUMENS, SET LIGHTS ON TIMER.
(ETB)	ELECTRIC HEATED TOWEL BARS, PROVIDE HEATED BARS AT ALL BATHROOMS. CONFIRM LOCATION WITH OWNER.
(S)	HARDWIRED SMOKE DETECTOR. INSTALL NEW SMOKE DETECTORS IN ALL NEW & EXISTING BEDROOMS AS REQ'D BY CODE
(S)	TOILET EXHAUST FAN W/ LIGHT. 75cfm MINIMUM
(CO)	CARBON MONOXIDE DETECTOR
(3)	3 POLE SWITCH
(3)	3 POLE DIMMER SWITCH
(D)	DOOR JAMB SWITCH
(4)	4 WAY SWITCH
(C)	CHANDLIER POWER WINCH SWITCH FOR LOWERING AND CLEANING
(C)	CABLE TELEVISION/ COMPUTER JACK LOCATION. SET WALL HEIGHT AS NOTED. FIG 6 CABLE: HOMERUN ALL WRES INDIVIDUALLY TO CENTRAL LOCATION
(C)	PHONE & DATA OUTLET. INSTALL ONE CAT 5 WIRE JACK AND ONE RJ-45 LAN JACK HOMERUN ALL CABLES TO DATA PANEL
(C)	CABLE, DATA & STRUCTURED WIRING HOME-RUN PANEL
(B)	DOOR BELL LOCATION. DOORS TO HAVE DIFFERENT CHIMES/TONES.

**ELECTRICAL NOTES:**

- IF DIMMER SWITCHES ARE ADDED TO CIRCUITS WITH LED LIGHTING; VERIFY WITH LED MANUFACTURER'S APPROVED DIMMER LIST THAT FIXTURE WILL TO OPERATE CORRECTLY PRIOR TO INSTALLATION.
- FIELD VERIFY SCONCE HEIGHTS ON WALL WITH OWNER AND FIXTURE CHOSEN.
- PER RCNYS R313.1 & APPENDIX J504.2 INSTALL INTERCONNECTED HARDWIRED SMOKE DETECTORS IN ALL SLEEPING ROOMS AND OUTSIDE OF SLEEPING ROOMS, AND 1 ON EACH FLOOR. PER J504.2 EXCEPTIONS: WHERE CEILINGS AND WALL FINISHES ARE NOT REMOVED AND ARE NOT ACCESSIBLE FROM ATTICS, BATTERY OPERATE DETECTORS MAY BE INSTALLED IN LIEU OF HARDWIRED.
- COORDINATE LIGHT LOCATIONS WITH FRAMING CONTRACTOR TO AVOID CONFLICTS WITH FRAMING.

**ELECTRICAL SPECIFICATIONS:**

- INSTALL CREE LED RECESSED DOWN LIGHTS AND LAMPS AS SPECIFIED AND AS REQUIRED BY OWNER. CREE LED LIGHTING, MORRISVILLE, NC 1-919-287-7700.



**GENERAL NOTES:**

- DO NOT SCALE DRAWINGS, USE INDICATED DIMENSIONS ONLY.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO THE START OF THE WORK. A COMPLETE SET OF THE MOST RECENTLY DOB APPROVED DRAWINGS SHALL BE MAINTAINED AT THE JOB SITE AT ALL TIMES.
- ALL WORK SHALL CONFORM TO LOCAL AND NEW YORK STATE CODE REQUIREMENTS. NO WORK SHALL COMMENCE UNTIL A BUILDING PERMIT HAS BEEN ISSUED AS REQUIRED BY THE LOCAL BUILDING DEPARTMENT.
- ALL WORK SHALL BE IN COMPLIANCE TO LOCAL ZONING AND SETBACK REQUIREMENTS.
- ALL DIMENSIONS ARE TO FACE OF STUD UNLESS OTHERWISE INDICATED. ALL INTERIOR WALLS ARE 2X4 STUDS AT 16" OC UNLESS OTHERWISE INDICATED.
- ALL WOOD IN CONTACT WITH MASONRY & CONCRETE SHALL BE PRESSURE TREATED WITH WOOD PRESERVATIVE.
- ALL WALL BASE PLATES SHALL BE IN A MINIMUM 3/8" BEAD OF CAULK OR SEALANT. ALL PENETRATIONS THROUGH THE CEILING AND EXTERIOR WALLS SHALL BE AIR SEALED WITH EXPANDING FOAM AND/OR SILICONE CAULK.
- WINDOWS ARE 200 SERIES ANDERSON. UNITS TO BE LOW-E COATED WITH INSULATING GLASS & ARGON GAS. PROVIDE ALL OPERATING UNITS WITH SCREENS. UNIT NUMBERS ARE INDICATED ON PLANS.
- FLASH ALL WINDOW ROUGH OPENINGS WITH A PEE & STICK TYPE MEMBRANE FLASHING. FLASH SILLS TO CREATE A DRAIN PAN PITCHED TO THE EXTERIOR SIDE.
- SEAL AROUND ALL DOOR AND WINDOW ROUGH OPENINGS WITH MINIMALLY EXPANDING FOAM. FOLLOW MANUFACTURERS PRECAUTIONS.
- ALL FASTENERS, NAILS AND HANGERS WHICH COME IN CONTACT WITH PRESSURE TREATED LUMBER SHALL BE HOT-DIPPED GALVANIZED STAINLESS STEEL.
- INSTALL HANGERS AND CONNECTORS BY SIMPSON STRONG-TIE (SST) AS NOTED ON THE DRAWINGS. INSTALL ALL CONNECTORS WITH NAILS OR SCREWS AS SPECIFIED BY SIMPSON STRONG-TIE. DO NOT SUBSTITUTE CONNECTORS OR FASTENERS. ALL FASTENER COATINGS SHALL MATCH THE EXTERIOR COATING OF THE SPECIFIED HANGER. HDG TO HDG AND STAINLESS TO STAINLESS.
- INSTALL BETTER HEADER (HB) SANDWICH PLATE SYSTEM STEEL FLITCH PLATE GIRDERS WHERE INDICATED ON THE DRAWINGS. BEAR BETTER HEADER GIRDERS ON STRUCTURAL COLUMNS AT EACH END AS INDICATED ON THE DRAWINGS.
- INSTALL TRUS JOIST MACMILLAN 1.8E PARALLAM PSL COLUMNS WHERE NOTED ON THE DRAWINGS. ALL STRUCTURAL COLUMNS TO HAVE CONTINUOUS SOLID BEARING TO FOUNDATION WALL BELOW.
- INSTALL BOISE "VERSA-LAM" 2.0 3100LB LAMINATED STRUCTURAL LUMBER BEAMS IN SOLID WIDTHS AS INDICATED ON THE DRAWINGS. DO NOT NOTCH BEAMS. PROVIDE MINIMUM 3" SOLID BEARING AT ENDS UNLESS OTHERWISE INDICATED.
- REFER TO THE SPECIFICATIONS FOR ADDITIONAL INFORMATION.

CONSTRUCTION LEGEND	
(---)	NEW CONSTRUCTION
(---)	EXISTING WALLS TO BE DEMOLISHED
(---)	NEW FOUNDATION WALL
(SN)	SHEET NOTES: SEE NOTES THIS SHEET
(S)	HARDWIRED SMOKE DETECTOR
(CO)	CARBON MONOXIDE DETECTOR

COMITO HOMES LLC

656 OAK TREE ROAD  
PALISADES, NY 10964

NY LICENSE # 028085

**G.PALLADINO LLC  
ARCHITECTURE**  
28 EAST STREET  
WEST NYACK, NEW YORK  
10994  
201-240-5987

FIRST FLOOR  
REFLECTED CEILING PLAN

SCALE AS SHOWN  
DATE FEBRUARY 9, 2022  
JOB NO. 1018  
REVISIONS: SHEET NO.  
CONST. ISSUE



**A-7**

(A) REFLECTED CEILING PLAN  
A7 1 / 4 " = 1 ' - 0 "

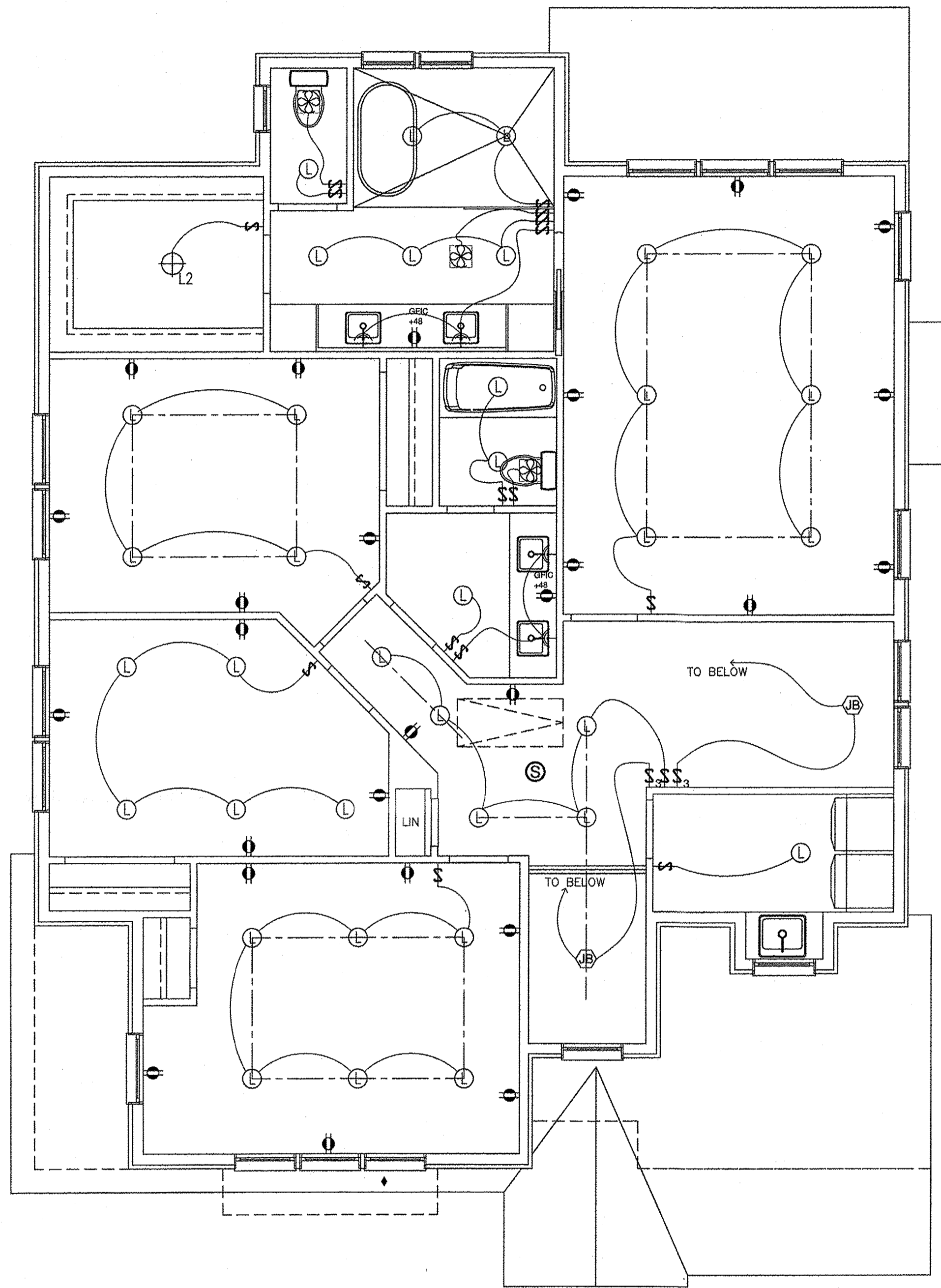
ELECTRIC SYMBOL LEGEND	
(L)	6" CREE LR6 led RECESSED LIGHT FIXTURE W/ R6 RECESSED HOUSING. AIR SEAL, I.C. ENERGY STAR, led NEUTRAL COLOR LAMP 2500K
(L)	4" CREE LR4 led RECESSED LIGHT FIXTURE W/ H4 RECESSED HOUSING. AIR SEAL, I.C. ENERGY STAR, led NEUTRAL COLOR LAMP 3500K
(2)	30" LIGHT BOWL PENDANT FIXTURE w/ 5 BULBS OR AS CHOSEN BY OWNER
(3)	HALOGEN PENDANT LIGHT FIXTURE WITH 3 GLASS PENDANTS & BULBS AS CHOSEN BY OWNER
(4)	11" SQUARE HALO H2EFICAT COMPACT FLUORESCENT RECESSED LIGHT AIR SEAL, I.C. TRIM 125 FRESNEL LENS W/ 2-18W DTT CF LAMPS.
(5)	SURFACE MOUNTED CEILING LIGHT FIXTURE TO BE CHOSEN BY OWNER
(U)	UPLIGHT WALL SCONCE TO BE CHOSEN BY OWNER
(W)	5" HALO HISTORIC COMPACT FLUORESCENT RECESSED WALL WASHER W/ 200 WALL WASH TRIM, AIR SEAL, I.C. ENERGY STAR, 29W CF
(6)	SURFACE MTD LED WAC MO-LED17S-35WT: 17 WATT/1025 LUMEN 3500K SPOTLIGHT OR AS CHOSEN BY OWNER
(F)	FANTECH ERY EXHAUST VENT, INSTALL AT EACH BEDROOM NUMBER DESIGNATES WHICH ERY UNIT.
(F)	FANTECH ERY EXHAUST VENT, INSTALL AT EACH BATHROOM & WHERE INDICATED. NUMBER DESIGNATES WHICH ERY UNIT.
(JB)	JUNCTION BOX INSTALL LIGHT FIXTURE OR FAN AS CHOSEN BY OWNER
(L)	LED TOE-KICK LIGHTING WITH MOTION DETECTOR SWITCH.
(12)	12x48: 2 LAMP FLUORESCENT CEILING FIXTURE
(24)	24x48: 4 LAMP FLUORESCENT CEILING FIXTURE
(W)	WALL MOUNT BATHROOM VANITY LIGHT TO BE CHOSEN BY OWNER
(E)	EXTERIOR FLOOD LIGHTS MD INDICATES MOTION DETECTOR SWITCH
(W)	EXTERIOR WALL SCONCE TO BE CHOSEN BY OWNER
(B)	BATHROOM VANITY WALL SCONCE TO BE CHOSEN BY OWNER
(C)	UNDER CABINET led LIGHTING TO BE CHOSEN BY OWNER
(D)	DUPLEX RECEPTACLE 'PS' INDICATES CONNECTION FOR POWER WINDOW SHADES
(D)	DUPLEX RECESSED FLOOR RECEPTACLE
(Q)	QUADRUPLEX RECEPTACLE
(S)	12 SYSTEMS GENS LED STRIP UP-LIGHTING IN LIGHT COVE. 18" UNITS: 270 LUMENS PER FT, 3000K
(S)	LED STEP LIGHTS BUILT INTO RISERS. 300 LUMENS. SET LIGHTS ON TIMER.
(ETB)	ELECTRIC HEATED TOWEL BARS. PROVIDE HEATED BARS AT ALL BATHROOMS. CONFIRM LOCATION WITH OWNER.
(S)	HARDWIRED SMOKE DETECTOR. INSTALL NEW SMOKE DETECTORS IN ALL NEW & EXISTING BEDROOMS AS REQ'D BY CODE
(C)	TOILET EXHAUST FAN W/ LIGHT- 75cfm MINIMUM
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(D)	DOOR JAMB SWITCH
(4)	4 WAY SWITCH
(C)	CHANDELIER POWER WINCH SWITCH FOR LOWERING AND CLEANING
(C)	CABLE TELEVISION/ COMPUTER JACK LOCATION. SET WALL HEIGHT AS NOTED. RG 6 CABLE: HOMERUN ALL WIRES INDIVIDUALLY TO CENTRAL LOCATION
(C)	PHONE & DATA OUTLET. INSTALL ONE CAT 5 WIRE JACK AND ONE RJ-45 LAN JACK HOME RUN ALL CABLES TO DATA PANEL
(C)	CABLE DATA CABLE, DATA & STRUCTURED WIRING HOME-RUN PANEL
(B)	DOOR BELL LOCATION. DOORS TO HAVE DIFFERENT CHIMES/TONES.

**ELECTRICAL NOTES:**

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**ELECTRICAL SPECIFICATIONS:**

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COMITO HOMES LLC

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SECOND FLOOR  
REFLECTED CEILING PLAN

SCALE AS SHOWN  
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A-8

A REFLECTED CEILING PLAN  
A8 1 / 4 " = 1 ' - 0 "