

JOSEPH J. BRUNO, AIA ARCHITECT

MEMBER OF THE AMERICAN INSTITUTE OF ARCHITECTS

29 PASCACK ROAD PARK RIDGE, NEW JERSEY 07656 TELEPHONE/FACSIMILE 201-307-1115 ALTERATIONS to the MAURO RESIDENCE 1079 ROUTE 9W SOUTH NYACK (ORANGETOWN), NEW YORK FEBRUARY 10, 2021 E-MAIL: JOE@BRUNOAJA.COM NEW YORK LICENSE NO. 030592

GENERAL NOTES

GENERAL CONDITIONS

THE LATEST EDITION OF AIA DOCUMENT A201: "GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION" ARE HEREIN PART OF THE CONTRACT FOR ALL TRADES. SECTIONS APPLICABLE TO CONTRACT ADMINISTRATION BY THE ARCHITECT ARE HEREBY OMITTED AS THE ARCHITECT WILL NOT ADMINISTER THE CONTRACT.

GENERAL NOTES

- 1. ALL WORK PERFORMED SHALL COMPLY WITH THE FOLLOWING NEW YORK STATE CODES: RESIDENTIAL CODE, PLUMBING CODE, MECHANICAL CODE, FIRE CODE, FUEL GAS CODE, ENERGY CONSERVATION CODE, and PROPERTY MAINTENANCE CODE. ALL CODES SHALL BE THE LATEST ADOPTED EDITIONS. 2. THE GENERAL CONTRACTOR AND HIS SUBCONTRACTORS SHALL VERIFY AND COORDINATE ALL CONDITIONS, DIMENSIONS, ETC. AT THE SITE AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO COMMENCING WITH THE WORK. COMMENCEMENT OF WORK IMPLIES THE ACCEPTANCE OF ALL CONDITIONS. THE GENERAL CONTRACTOR SHALL COORDINATE THE WORK OF ALL TRADES. 3. THE GENERAL CONTRACTOR SHALL PROVIDE PROTECTION MEASURES FOR THE PUBLIC AND WORKMEN DURING THE COURSE OF THE WORK. HE SHALL ALSO FURNISH TO THE OWNER AN INSURANCE POLICY FOR THE DURATION OF THE CONSTRUCTION PROJECT. AMOUNTS AND COVERAGES SHALL BE PER THE RECOMMENDATIONS OF THE OWNER'S INSURANCE CARRIER. 4. ALL WORK ON THIS PROJECT SHALL BE DONE IN THE BEST WORKMANLIKE MANNER. 5. THE INTENT OF THE DRAWINGS AND GENERAL NOTES IS FOR THE CONTRACTOR TO INCLUDE ALL ITEMS NECESSARY FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK. ALL WORK THAT IS REASONABLY INFERRABLE AS BEING NECESSARY TO PRODUCE THE INTENDED RESULTS IS REQUIRED, WHETHER SPECIFICALLY SHOWN ON THE DRAWINGS AND GENERAL NOTES OR NOT. NO EXTRAS WILL BE ALLOWED FOR SUCH LABOR AND MATERIAL. WHERE CONFLICTING INFORMATION IS GIVEN, THE MORE RESTRICTIVE INFORMATION SHALL GOVERN. REFER FINAL DECISION TO ARCHITECT PRIOR TO PROCEEDING WITH THE WORK. 6. THE GENERAL CONTRACTOR SHALL OBTAIN ALL PERMITS AND THE CERTIFICATE OF OCCUPANCY. COSTS FOR SAME SHALL BE PAID BY THE OWNER. THE CONTRACTOR SHALL ALSO SCHEDULE ALL INSPECTIONS. FURNISH THE OWNER WITH ALL CERTIFICATES.

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WOOD AND GLASS DOORS

- 1. FRENCH VINYL CLAD WOOD AND GLASS DOORS AS MANUFACTURED BY THE ANDERSEN CORP. SIZES AND TYPES SHALL BE AS INDICATED ON THE DRAWINGS. GLAZING SHALL BE TEMPERED 5/8" LOW 'E' INSULATING. 2. FURNISH AND INSTALL WITH THE FOLLOWING ACCESSORIES: • INSECT SCREEN DOOR FOR OPERABLE SASH. • EXTENSION JAMBS, MULLION COVERS/TRIM, CLIPS, FLASHINGS, ETC. AS REQUIRED FOR A COMPLETE INSTALLATION. • HARDWARE AS SELECTED BY THE OWNER.

PLUMBING NOTES

- 1. ALL WORK SHALL COMPLY WITH THE NEW YORK STATE PLUMBING CODE. 2. ALL WATER SUPPLY PIPING SHALL BE COPPER, TYPE 'L'. ALL SOLDER USED SHALL BE LEAD FREE. 3. ALL HOT WATER LINES SHALL BE INSULATED WITH 1/2" THK. ARMAFLEX PIPE INSULATION. ALL WATER PIPING LOCATED IN UNHEATED SPACES SHALL BE INSULATED WITH 1" THK. ARMAFLEX PIPE INSULATION. 4. ALL WASTE LINES SHALL BE PVC SCHEDULE 40. WHERE PVC IS INSTALLED IN WALLS AND FLOORS, PROVIDE SOUND INSULATION BATT'S AROUND TO REDUCE SOUND TRANSMISSION. 5. PLUMBING FIXTURES AND TRIM SHALL BE AS SELECTED BY THE OWNER AND INSTALLED BY THE CONTRACTOR. ALL SHOWER AND TUB VALVES SHALL BE ANTI-SCALD TYPE, PRESSURE BALANCING. ALLOW \$20,000.00 IN BID FOR PURCHASE OF PLUMBING FIXTURES AND TRIM. 6. EACH BATH GROUP SHALL BE PIPED WITH SEPARATE 3/4" HOT AND COLD WATER SUPPLIES. REDUCE PIPE SIZE TO 1/2" AT EACH INDIVIDUAL FIXTURE. PIPE HOUSE WITH CONVECTIVE HOT WATER RETURN LOOP FOR ALL FIXTURES REQUIRING HOT WATER. 7. REMOVE THE EXISTING GAS FIRED WATER HEATER. FURNISH AND INSTALL A NEW DOMESTIC WATER HEATER AS INDICATED ON THE PLAN.

HVAC NOTES

- 1. ALL WORK SHALL BE IN ACCORDANCE WITH THE NEW YORK STATE MECHANICAL CODE AND NEW YORK STATE FUEL GAS CODE. 2. REMOVE THE EXISTING HVAC SYSTEM IN ITS ENTIRETY. 3. FURNISH AND INSTALL A GAS FIRED DIRECT VENT CIRCULATING HOT WATER HEATING (90% AFUE) SYSTEM AS REQUIRED TO MEET THE FOLLOWING DESIGN REQUIREMENTS: HEATING: OUTSIDE TEMP. - 0 DEGREES F. / INSIDE TEMP. - 70 DEGREES F. THE SYSTEM SHALL BE ZONED AS FOLLOWS: • ZONE #1: MAIN FLOOR. • ZONE #2: LOWER FIRST FLOOR. • ZONE #3: LOWER SECOND FLOOR.

FURNISH AND INSTALL A NEW COOLING SYSTEM AS REQUIRED TO MEET THE FOLLOWING DESIGN REQUIREMENTS:

OUTSIDE TEMP. - 95 DEGREES F.DB. / INSIDE TEMP. - 72 DEGREES F.DB.

THE SYSTEM SHALL BE ZONED AS FOLLOWS:

- ZONE #1: MAIN FLOOR. • ZONE #2: LOWER FIRST AND SECOND FLOORS.

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- 7. DRAWINGS ARE NOT TO BE SCALED FOR ANY REASON. ANY DIMENSIONAL DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT BEFORE WORK IS TO CONTINUE. 8. REMOVE, REPLACE, AND/OR RELOCATE ALL EXISTING PIPING, WIRING, DEVICES, ETC. AS REQUIRED FOR THE COMPLETION OF NEW WORK. 9. RESTORE ALL EXISTING WORK DAMAGED BY THE NEW CONSTRUCTION. 10. ALL MATERIALS USED IN THIS PROJECT SHALL BE NEW AND UNDAMAGED UNLESS OTHERWISE SPECIFICALLY NOTED. 11. ALL KITCHEN CABINETS, BATH VANITIES, AND OTHER BUILT-IN CASEWORK SHALL BE FURNISHED AND INSTALLED BY THE OWNER. APPLIANCES WILL ALSO BE FURNISHED AND SET INTO PLACE BY THE OWNER. THE GENERAL CONTRACTOR AND HIS RESPECTIVE SUBCONTRACTORS SHALL MAKE THE REQUIRED UTILITY (PLUMBING AND ELECTRICAL) CONNECTIONS. THE OWNER WILL FURNISH WIRING AND PIPING DIAGRAMS, ETC. FOR THIS PURPOSE. THE GENERAL CONTRACTOR SHALL ALSO COORDINATE HIS WORK WITH THE CABINET CONTRACTOR AND COOPERATE FOR SITE ACCESS, WORK SEQUENCING, ETC.

STRUCTURAL NOTES

- 1. ALL CONCRETE METHODS, MATERIALS, AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH ACI318, LATEST EDITION. 2. ALL CONCRETE FOR FOOTINGS SHALL HAVE A STONE AGGREGATE AND ATTAIN A MINIMUM COMPRESSIVE STRENGTH OF 3,000 PSI @ 28 DAYS. 3. POROUS FILL UNDER CONCRETE SLABS, WALKS, ETC. TO CONSIST OF CLEAN, CRUSHED STONE OR CRUSHED GRAVEL, 3/4" SIZE. 4. EXPANSION JOINTS TO BE KEYPED AND COATED WITH MASTIC PRIOR TO PLACING ADJACENT TO CONCRETE. 5. STEEL TROWEL FINISH ALL INTERIOR CONCRETE SLABS. 6. ALL REINFORCING BARS TO CONFORM TO ASTM A305, LATEST EDITION. GROUND PER THE "NEC". 7. ALL FRAMING LUMBER SHALL BE DOUGLAS FIR NO. 2 WITH A FIBER BENDING STRESS (Fb) OF 1200 PSI AND A MODULUS OF ELASTICITY (E) OF 1,700,000. 8. WOOD PLATES THAT BEAR ON MASONRY OR CONCRETE SHALL BE PRESSURE TREATED. 9. ALL PLYWOOD SHEATHING SHALL BE EXTERIOR GRADE. 10. PLYWOOD FOR RESILIENT FLOORING AND CARPET SHALL BE UNDERLAYMENT GRADE. 11. DOUBLE-UP FLOOR JOISTS UNDER ALL PARALLEL PARTITIONS UNLESS OTHERWISE INDICATED. 12. ALL JOISTS AND RAFTERS REQUIRING FLUSH CONNECTIONS SHALL BE FRAMED WITH APPROPRIATE GALVANIZED FRAMING ANCHORS AS MANUFACTURED BY SIMPSON STRONG TIE OR EQUAL OR AS SPECIFICALLY DETAILED IN THE DRAWINGS. 13. PROVIDE HEADERS AS FOLLOWS OVER ALL WINDOW AND DOOR OPENINGS UNLESS OTHERWISE NOTED: 2" x 12" w/ 1/2" THK. PLYWOOD BETWEEN. 14. LAMINATED VENEER LUMBER SHALL BE AS MANUFACTURED BY THE TRUS JOIST SYSTEMS CORPORATION OR EQUAL.

FINISH NOTES

- WALLS AND CEILINGS: GYPSUM BOARD USED FOR FACING LAYERS OF ALL CEILINGS AND PARTITIONS. 48" WIDE x 1/2" THICK UNLESS WHERE NOTED OTHERWISE WITH TAPERED BEVELED EDGES. ATTACH TO FRAMING WITH SCREWS IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS. ALL GYPSUM BOARD SHALL RECEIVE A THREE-COAT SPACKLE FINISH. ALL SPACKLE WORK SHALL BE FINE SANDED SMOOTH AND LEVEL, SUITABLE FOR PAINT AND/OR WALL COVERING. • PAINTING AND STAINING SHALL BE AS DIRECTED BY THE OWNER. • WHERE FLOOR FINISHES OF DIFFERENT ELEVATIONS MEET, PROVIDE APPROPRIATE REDUCING SADDLES.

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- EQUIPMENT SHALL BE AS MANUFACTURED BY CARRIER, TRANE, OR OWNER APPROVED EQUAL. 4. CONDENSERS SHALL BE PAD MOUNTED ON PRE-FABRICATED BASES. ALL REFRIGERANT PIPING INSTALLED BETWEEN THE AIR HANDLERS AND CONDENSERS SHALL BE CONCEALED WITHIN THE EXTERIOR WALL CONSTRUCTION. 5. ALL DUCTWORK CONCEALED IN WALLS, FLOORS, ETC. SHALL BE FABRICATED FROM GALVANIZED STEEL SHEET. INSULATED FLEXIBLE DUCTWORK MAY BE USED FOR TAP OFF CONNECTIONS BETWEEN THE MAIN TRUNK AND THE DIFFUSER/ REGISTER BOXES PROVIDED THE LENGTH DOES NOT EXCEED 8'-0". ALL TAP IN COLLARS SHALL BE FITTED WITH DAMPERS FOR BALANCING PURPOSES. NO FLEXIBLE DUCTWORK MAY BE USED IN CONCEALED SPACES. 6. PROVIDE THERMOSTAT FOR EACH ZONE. T- STATS SHALL BE ELECTRONIC TYPE WITH PROGRAMMABLE NIGHT SETBACK. HONEYWELL OR EQUAL. 7. COORDINATE CONTROL AND POWER REQUIREMENTS WITH THE ELECTRICAL CONTRACTOR IN THE FIELD.

ELECTRICAL NOTES

- 1. ALL WORK SHALL BE IN ACCORDANCE WITH THE NEW YORK STATE ELECTRICAL CODE and NEW YORK STATE FIRE CODE. 2. SCOPE OF WORK: FURNISH ALL LABOR AND MATERIALS IN ORDER TO PRODUCE A COMPLETE AND FUNCTIONING ELECTRICAL POWER AND LIGHTING SYSTEM. THE CONTRACT SHALL INCLUDE BUT NOT BE SPECIFICALLY LIMITED TO THE FOLLOWING: • ALL WIRING SHALL BE COPPER, TYPE NM (NON-METALLIC CABLE) AND AS REQUIRED BY THE LOCATION OF INSTALLATION. • PROVIDE ALL CONTROL AND POWER WIRING, INCLUDING DISCONNECTS, FOR ALL MECHANICAL EQUIPMENT. • THE EXISTING ELECTRICAL SERVICE SHALL BE REMOVED. FURNISH AND INSTALL A NEW 200 AMP ELECTRICAL SERVICE. RECONFIGURE EXISTING REMAINING CIRCUITS TO SUIT. • WHERE ELECTRICAL RECEPTACLES ARE INDICATED TO BE CONTROLLED BY SWITCHES, CONNECT TO THE TOP LEG OF THE OUTLET ONLY. • SMOKE DETECTORS SHALL BE HARD WIRED AND INTERCONNECTED. THE SYSTEM SHALL HAVE A BATTERY BACK UP (ALARM WORK BY OWNER). • ALL LIGHTING FIXTURES SHALL BE FURNISHED AND INSTALLED BY THE CONTRACTOR UNLESS OTHERWISE NOTED "B.O." WHERE FIXTURES ARE INDICATED AS "B.O.", THE FIXTURES SHALL BE FURNISHED BY THE OWNER, INSTALLED AND WIRED BY THE CONTRACTOR. RECESSED LIGHTING FIXTURES INSTALLED IN INSULATED CEILINGS SHALL BE RATED FOR DIRECT CONTACT WITH INSULATION. WHERE RECESSED LIGHTING FIXTURES ARE INSTALLED IN SLOPED CEILINGS, FURNISH AND INSTALL WITH APPROPRIATE SLOPED TRIMS. • EXHAUST FANS (150 CFM MINIMUM) SHALL BE FURNISHED, INSTALLED, AND WIRED BY THE CONTRACTOR. FANS SHALL BE IN-LINE TYPE AS MANUFACTURED BY FAN TECH OR EQUAL. DUCT TO THE EXTERIOR AND PROVIDE A HOODED CAP WITH BACKDRAFT DAMPER. NO VENT CAPS MAY BE INSTALLED ON THE FRONT ELEVATION OF THE HOUSE. • SWITCHES SHALL BE TOGGLE TYPE. DIMMERS SHALL BE SLIDING TYPE. • RECEPTACLES SHALL BE DUPLEX GROUNDING TYPE WITH GFI PROTECTION WHERE INDICATED. THE STYLE OF THE RECEPTACLES SHALL MATCH THE SWITCHES SELECTED. • ALL DEVICES SHALL BE U.L. LISTED AS MANUFACTURED BY LEVITON, GENERAL ELECTRIC, OR EAGLE. • THE COLOR OF ALL DEVICES SHALL BE AS SELECTED BY THE OWNER. • THE STANDARD MOUNTING HEIGHTS OF ALL DEVICES SHALL BE AS FOLLOWS: RECEPTACLES: 18" AFF TO CENTERLINE. RECEPTACLES ABOVE COUNTERS: 42" AFF TO CENTERLINE. SWITCHES: 48" AFF TO CENTERLINE.

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- WHERE WALLS AND/OR CEILINGS MEET AND AN ANGLE OTHER THAN 90 DEGREES OCCURS, PROVIDE BEADEX FLEX BEAD OR EQUAL. PROVIDE STANDARD CORNER BEADS ON ALL 90-DEGREE INTERSECTIONS. PROVIDE PLASTIC CORNER BEADS IN BATH AREAS. • ALL CERAMIC FLOOR TILE SHALL BE INSTALLED OVER A 1 1/2" THICK PORTLAND CEMENT BASE WITH GALVANIZED METAL LATH OVER 15# FELT (OMIT FELT AT CONCRETE FLOORS). IN 'DRY' BATH AREAS USE 1/2" THK. MOISTURE RESISTANT GYPSUM BOARD ON WALLS WHETHER OR NOT COVERED WITH TILE. INSTALL 5/8" THK. MOISTURE AND MOLD RESISTANT GYPSUM BOARD ON CEILINGS UNLESS NOTED OTHERWISE. INSTALLATION OF ALL TILE SHALL BE IN ACCORDANCE WITH THE HANDBOOK FOR CERAMIC TILE INSTALLATION PUBLISHED BY THE TILE COUNCIL OF AMERICA. • ALL NEW HARDWOOD FLOORING SHALL BE 2 1/4" STRIP TO MATCH EXISTING. FINISH WITH 3 COATS POLYURETHANE OVER STAIN AS SELECTED BY THE OWNER. • ALL CERAMIC TILE AND GROUT SHALL BE FURNISHED BY THE OWNER AND INSTALLED BY THE CONTRACTOR. THE CONTRACTOR SHALL FURNISH SETTING MATERIALS. • ALL INTERIOR DOORS SHALL BE SOLID CORE MASONITE, STYLE AS SELECTED BY THE OWNER. REVIEW SELECTIONS WITH THE OWNER PRIOR TO FINALIZING BID. • ALL INTERIOR TRIM SHALL BE PRIMED POPLAR AS SELECTED BY THE OWNER. • ALL OPENINGS THROUGH WOOD PLATES FOR PIPES, CONDUIT, WIRES, DUCTS, ETC. SHALL BE FIRESTOPPED WITH "USG" SAFB INSULATION MATERIAL.

SIDING

ALL SIDING AS SELECTED BY THE OWNER.

ROOFING

340 LB. ASPHALT SHINGLES AS SELECTED (30 YEAR WARRANTY). "TAMKO", "GAF" OR EQUAL. INSTALL OVER 15# FELT. PROVIDE 'ICE AND WATER SHIELD' AT ALL EAVES AND VALLEYS.

GUTTERS and LEADERS

REMOVE AND REPLACE ALL EXISTING GUTTERS AND DOWNSPOUTS. NEW GUTTERS AND DOWNSPOUTS SHALL BE ALUMINUM. COLOR SHALL BE WHITE.

WINDOWS

- VINYL CLAD WOOD WINDOWS (400 SERIES) AS MANUFACTURED BY THE ANDERSEN CORP. SIZES AND TYPES SHALL BE AS INDICATED ON THE DRAWINGS. GLAZING SHALL BE LOW 'E' INSULATING. FURNISH AND INSTALL WITH THE FOLLOWING ACCESSORIES: • INSECT SCREENS FOR OPERABLE SASH. • EXTENSION JAMBS, MULLION COVERS/TRIM, CLIPS, FLASHINGS, ETC. AS REQUIRED FOR A COMPLETE INSTALLATION. • TEMPERED GLASS WHERE INDICATED.

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- DEVICE PLATES SHALL BE FURNISHED BY THE OWNER AND INSTALLED BY THE CONTRACTOR. • VERIFY THE FINAL LOCATIONS OF ALL DEVICES WITH THE OWNER PRIOR TO INSTALLATION OF BOXES. • KITCHEN CIRCUITS AS FOLLOWS:

Table with 2 columns: Equipment Name and Circuits. REFRIGERATOR: 1 CIRCUIT. COOKTOP AND EXHAUST HOOD: 2 CIRCUIT. DISHWASHER: 1 CIRCUIT. MICROWAVE OVEN: 1 CIRCUIT. GENERAL USE RECEPTACLES: 2 CIRCUITS. LIGHTING: 2 CIRCUITS. WALL OVENS: 1 CIRCUIT.

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VALID IF SEALED

JOSEPH J. BRUNO, AIA ARCHITECT

29 PASCACK ROAD PARK RIDGE, NEW JERSEY 07656 TELEPHONE/FACSIMILE 201-307-1115

ALTERATIONS TO THE

MAURO RESIDENCE

1079 ROUTE 9W SOUTH NYACK (ORANGETOWN) NEW YORK

DRAWN BY: JJB CHECKED BY: ME

DATE: 02/10/21

REVISIONS:

SHEET NO:

T1 OF 2

Generated by REScheck-Web Software  
**Compliance Certificate**

REScheck Software Version : REScheck-Web  
**Inspection Checklist**

Energy Code: 2020 New York City Energy Conservation Code

Requirements: 0.0% were addressed directly in the REScheck Requirements screen. For each requirement, the user certifies that a code requirement will be met and how that is documented, or that an exception is being claimed. Where compliance is itemized in a separate table, a reference to that table is provided.

Section # & Req. ID	Pre-Inspection/Plan Review	Plans Verified Value	Field Verified Value	Complies?	Comments/Assumptions
103.1.1 (P11)	Construction drawings and documentation demonstrate energy code compliance for the building envelope. Thermal envelope represented on construction documents.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
103.1.1 (P12)	Construction drawings and documentation demonstrate energy code compliance for the building envelope. Thermal envelope represented on construction documents.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
103.1.1 (P13)	Construction drawings and documentation demonstrate energy code compliance for the building envelope. Thermal envelope represented on construction documents.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
402.6 (P14)	Construction document include documentation of thermal bridges per section details of: 1) R402.6.1. Clear field thermal bridges, 2) R402.6.2. Point thermal bridges, and 3) R402.6.3. Linear thermal bridges.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
302.1.1 (P15)	Heating and cooling equipment is sized per ACCA Manual S (heating) or ACCA Manual D (cooling) or other methods approved by the code official.	Heating: _____ Cooling: _____	Heating: _____ Cooling: _____	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	

Additional Comments/Assumptions:

Section # & Req. ID	Foundation Inspection	Plans Verified Value	Field Verified Value	Complies?	Comments/Assumptions
402.1.2 (F11)	Slab edge insulation R-value.	R: _____ Unheated <input type="checkbox"/> Heated	R: _____ Unheated <input type="checkbox"/> Heated	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	See the Envelope Assemblies table for values.
402.1.2 (F12)	Slab edge insulation depth/length.	_____ ft	_____ ft	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	See the Envelope Assemblies table for values.
302.2.1 (F13)	A protective covering is installed to protect exposed rebar, insulation and extends a minimum of 6 in. below grade.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.9 (F14)	Snow and ice-melting system controls installed.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	

Additional Comments/Assumptions:

Section # & Req. ID	Framing / Rough-In Inspection	Plans Verified Value	Field Verified Value	Complies?	Comments/Assumptions
402.3.1.1 (FR11)	Glazing U-Factor (area-weighted average).	U: _____	U: _____	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	See the Envelope Assemblies table for values.
402.3.1.2 (FR12)	Glazing U-Factor (area-weighted average).	U: _____	U: _____	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	See the Envelope Assemblies table for values.
303.1.3 (FR13)	U-factors of fenestration products are determined in accordance with the NFRC test procedure or taken from the default table.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
402.4.1.1 (FR14)	Air barrier and thermal barrier installed per manufacturer's instructions. An approved third-party will inspect all components and verify compliance. See section details and guidance from Table R402.4.1.1.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
402.4.3 (FR15)	Fenestration that is not site built is labeled and labeled as meeting AAMA (AW-1050) 1011.5, S2A40 or has infiltration rate per NFRC 400 that do not exceed code limits.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
402.4.5 (FR16)	IC-rated recessed lighting fixtures sealed at housing/interior finish and labeled to indicate <= 0.2 cfm leakage at 7.5 Pa.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.1.3 (FR17)	Supply and return ducts in attics installed >= 8 inches duct <= 3 inches in diameter and <= 8 inches <= 3 inches. Supply and return ducts in other portions of the building installed >= 8 inches in diameter >= 3 inches and <= 2 inches for <= 3 inches in diameter.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.1.2 (FR18)	Ducts, air handlers and filter boxes are sealed with mastic/sealant compliant with New York City Mechanical Code.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.3 (FR19)	Duct system in new buildings and additions are located in a conditioned space in accordance with Sections R403.3.7 (1)-(2).			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.3.8 (FR20)	Ducts are sized in accordance with ACCA Manual D and sections R403.7-8.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.3.5 (FR21)	Building cavities are not used as ducts or plenums.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	

Additional Comments/Assumptions:

Section # & Req. ID	Framing / Rough-In Inspection	Plans Verified Value	Field Verified Value	Complies?	Comments/Assumptions
403.3.7 (FR22)	Ducts located in conditioned space are either: 1) completely within the continuous air barrier and within the building thermal envelope, 2) buried within ceiling insulation in accordance with Section R403.3.6 and the air handler is located completely within the continuous air barrier and within the building thermal envelope and the duct leakage is <= 1.5 cfm/100 sq ft of conditioned floor area served by the duct system, or 3) the ceiling insulation R-value installed against and above the insulated duct >= to the proposed ceiling insulation R-value less the R-value of the insulation on the duct.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.4 (FR17)	HVAC piping insulation installed in accordance with Table R403.4. The thickness and conductivity of the insulation >= R-3.	R: _____	R: _____	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.4.1 (FR24)	Protection of insulation on HVAC piping.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.5.3 (FR18)	Hot water pipes are insulated to R-3.	R: _____	R: _____	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.5 (FR29)	Energy conservation measures for SWH systems follow guidelines in section R403.5.1-3.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.6 (FR19)	Automatic or gravity dampers are installed on all outdoor air intakes and exhausts.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	

Additional Comments/Assumptions:

Project: ADDITION and ALTERATIONS to the MAURO RESIDENCE

Energy Code: 2020 New York City Energy Conservation Code  
 Location: Rockland County, New York  
 Construction Type: Single-Family Addition  
 Climate Zone: 5 (5999 HDD)  
 Permit Date: \_\_\_\_\_  
 Permit Number: \_\_\_\_\_

Construction Site: 1079 ROUTE 9W SOUTH ORANGETOWN, NY  
 Owner/Agent: MICHAEL MAURO  
 Designer/Contractor: JOSEPH BRUNO, AIA, ARCHITECT  
 29 PASCACK ROAD  
 PARK RIDGE, NJ 07656  
 201-307-1115  
 joe@brunoaia.com

Compliance: Passes using U/A trade-off  
 Compliance: 1.1% Better Than Code  
 Maximum UA: 351 Your UA: 347 Maximum SHGC: 0.40 Your SHGC: 0.39  
 The UA Report or Energy Trade-Off table, which has been completed by the Inspector, is based on code trade-off rules. U/A's NOT provide an estimate of energy use or cost relative to a minimum-code home.

Envelope Assemblies

Assembly	Gross Area or Percentage	Cavity R-Value	Cont. R-Value	U-Factor	UA
Ceiling: Flat Ceiling or Scissor Truss	1,250	76.0	0.0	0.022	26
Ceiling 1: Cathedral Ceiling	200	38.0	0.0	0.027	5
Wall: Wood Frame, 16" o.c.	3,250	34.0	2.5	0.040	103
Door: Glass Door (over 50% glazing) SHGC: 0.19	462			0.300	139
Window: Wood Frame SHGC: 0.19	215			0.260	56
Floor: All-Wood joist/Truss	200	38.0	2.5	0.035	5
Floor 1: Slab-On-Grade (Unheated) Insulation depth: 2.0"	19		10.0	0.700	13

Compliance Statement: The proposed building design described here is consistent with the building plans, specifications, and other calculations submitted with the permit application. The proposed building has been designed to meet the 2020 New York City Energy Conservation Code requirements in Appendix A, Version 1. REScheck-Web tried to comply with the mandatory requirements listed in the REScheck Inspection Checklist.

Name: MICHAEL MAURO Date: 02/10/21

Project Title: ADDITION and ALTERATIONS to the MAURO RESIDENCE Report date: 02/10/21  
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Section # & Req. ID	Insulation Inspection	Plans Verified Value	Field Verified Value	Complies?	Comments/Assumptions
303.1.1 (I11)	All installed insulation is labeled or the installed R-value is provided.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	See the Envelope Assemblies table for values.
402.1.1 (I12)	Floor insulation R-value.	R: _____ Wood <input type="checkbox"/> Steel	R: _____ Wood <input type="checkbox"/> Steel	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
402.1.1 (I13)	Floor insulation installed per manufacturer's instructions and in substantial contact with the underside of the subfloor, or floor framing cavity insulation is in contact with the top side of sheathing, or continuous insulation is installed on the underside of floor framing and extends from the bottom to the top of all perimeter floor framing members.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
402.1.1 (I14)	Wall insulation R-value. If this is a mass wall with at least 1/2 of the wall insulation on the wall exterior, the exterior insulation requirement applies (FR10).	R: _____ Wood <input type="checkbox"/> Mass <input type="checkbox"/> Steel	R: _____ Wood <input type="checkbox"/> Mass <input type="checkbox"/> Steel	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	See the Envelope Assemblies table for values.
303.2 (I15)	Wall insulation is installed per manufacturer's instructions.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
402.4.6 (I16)	Fire separations between dwelling units in two-family dwellings and multiple single-family dwellings (downlooses) installed >= R-10 and walls are air sealed in accordance with Section R402.4.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	

Additional Comments/Assumptions:

Project Title: ADDITION and ALTERATIONS to the MAURO RESIDENCE Report date: 02/10/21  
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Section # & Req. ID	Final Inspection Provisions	Plans Verified Value	Field Verified Value	Complies?	Comments/Assumptions
402.1.1 (I17)	Ceiling insulation R-value.	R: _____ Wood <input type="checkbox"/> Steel	R: _____ Wood <input type="checkbox"/> Steel	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	See the Envelope Assemblies table for values.
402.1.1 (I18)	Ceiling insulation installed per manufacturer's instructions. Blown insulation marked every 300 ft <sup>2</sup> .			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
402.1.3 (I19)	Vented attics with air permeable insulation include baffle adjacent to soffit and eave vents that extend over insulation.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
402.3.4 (I20)	Attic access hatch and door insulation R-value of the adjacent assembly.	R: _____	R: _____	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
402.4.1.2 (I21)	Blower door test @ 50 Pa. <=5 <=3 in Climate Zones 1-2, and <=4 in Climate Zones 3-8.	ACH 50 = _____	ACH 50 = _____	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.3 (I22)	Ducts are pressure tested to determine air leakage with either rough-in test. Total leakage measured with a pressure differential of 1.1 inch w.g. across the system including the manufacturer's air handler enclosure if installed at time of test. Post-construction test. Total leakage measured with a pressure differential of 0.1 inch w.g. across the entire system including the manufacturer's air handler enclosure.	_____ cfm/100	_____ cfm/100	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.3.4 (I23)	Duct tightness test result of <=4 cfm/100 ft <sup>2</sup> across the system or <=3 cfm/100 ft <sup>2</sup> without air handler @ 25 Pa. For rough-in tests, verification may need to occur during Framing Inspection.	_____ cfm/100	_____ cfm/100	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.3.1.1 (I24)	Air handler leakage designated by manufacturer at <=2% of design air flow.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.3.1 (I25)	Programmable thermostats installed for control of primary heating and cooling systems and initially set by manufacturer to code specifications.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.1.2 (I26)	Heat pump thermostat installed on heat pumps.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.5.1 (I27)	Circulating service hot water systems have automatic or accessible manual controls.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	

Project Title: ADDITION and ALTERATIONS to the MAURO RESIDENCE Report date: 02/10/21  
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Section # & Req. ID	Final Inspection Provisions	Plans Verified Value	Field Verified Value	Complies?	Comments/Assumptions
403.6.1 (F125)	All mechanical ventilation systems are not part of tested and sealed HVAC element meet efficiency and air flow limits per Table R403.6.1.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.2 (F126)	Hot water boilers supplying heat through one- or two-pipe heating systems have outdoor setback control to lower boiler water temperature based on outdoor temperature.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.1.1 (F127)	Heated water circulation systems have a circulation pump. The system return pipe is a dedicated return pipe or a cold water supply pipe. Gravity and thermosiphon circulation systems are not present. Controls for circulating hot water system pumps start the pumps with signal for hot water demand within the occupancy. Controls automatically turn off the pump when water is in circulation loop is at set-point temperature and no demand for hot water exists.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.1.3 (F128)	Electric heat trace systems comply with IEEE 515.1 or UL 313. Controls automatically adjust the energy input to the heat tracing to maintain the desired water temperature in the piping.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.5.2 (F129)	Demand recirculation water systems have controls that manage operation of the pump and limit the temperature of the water entering the cold water piping to <= 104°F.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.5.4 (F130)	Drain water heat recovery units have >= 40 percent efficiency if installed for equal flow or >=52 percent efficiency if installed for unequal flow. Vertical drain water heat recovery units comply with CSA B55.2 and tested and labeled in accordance with CSA B55.1. Sloped drain water heat recovery units may be used when approved by the department. Potable wastewater pressure loss of drain water heat recovery units are <= 2 psi for individual units connected to three or more showers.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
404.1 (F131)	90% or more of permanent fixtures have lamps with an efficacy >= 64 lumens/watt or have a total luminaire efficacy >= 65 lumens/watt.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	

Project Title: ADDITION and ALTERATIONS to the MAURO RESIDENCE Report date: 02/10/21  
 Data filename: Page 8 of 9

Section # & Req. ID	Final Inspection Provisions	Plans Verified Value	Field Verified Value	Complies?	Comments/Assumptions
404.2 (F132)	Buildings with individual dwelling units have provisions determine the electrical energy consumed by each unit by separately metering the units.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
404.3 (F133)	One- or two-family dwellings and townhouses with parking area provided on the building site shall have a 200A 40-amp outlet for each dwelling unit or panel capacity and conduit for the future installation of such an outlet. See section details.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
404.1.1 (F134)	Fast gas lighting systems have no continuous pilot light.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
401.3 (F135)	Compliance certificate posted.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
303.2 (F136)	Manufacturer manuals for mechanical and water heating systems have been provided.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	

Additional Comments/Assumptions:

Project Title: ADDITION and ALTERATIONS to the MAURO RESIDENCE Report date: 02/10/21  
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2020 New York City  
 Energy Conservation  
 Code Energy  
 Efficiency Certificate

Insulation Rating	R-Value
Above-Grade Wall	36.50
Below-Grade Wall	0.00
Floor	40.50
Ceiling / Roof	76.00
Ductwork (unconditioned spaces):	
Glass & Door Rating	U-Factor SHGC
Window	0.26 0.19
Door	0.30 0.19
Heating & Cooling Equipment	Efficiency
Heating System:	
Cooling System:	
Water Heater:	

Name: \_\_\_\_\_ Date: \_\_\_\_\_

Comments: \_\_\_\_\_

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 NY ARCH. LIC. 050882

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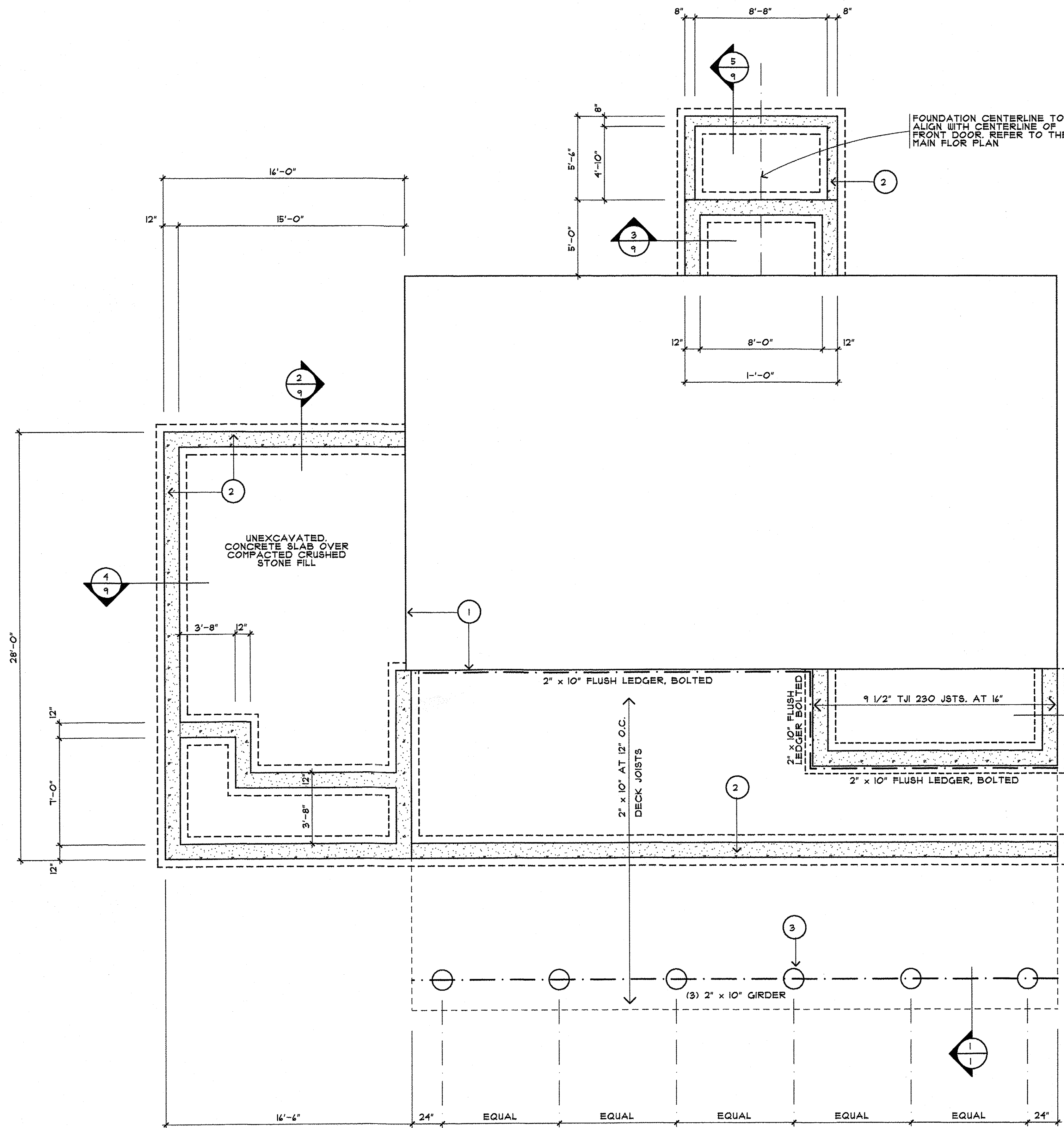
ALTERATIONS TO THE  
**MAURO RESIDENCE**  
 1079 ROUTE 9W SOUTH  
 NYACK (ORANGETOWN) NEW YORK

DRAWN BY: JJB  
 CHECKED BY: ME

DATE: 02/10/21

REVISIONS:

SHEET NO:  
**T2** OF 2



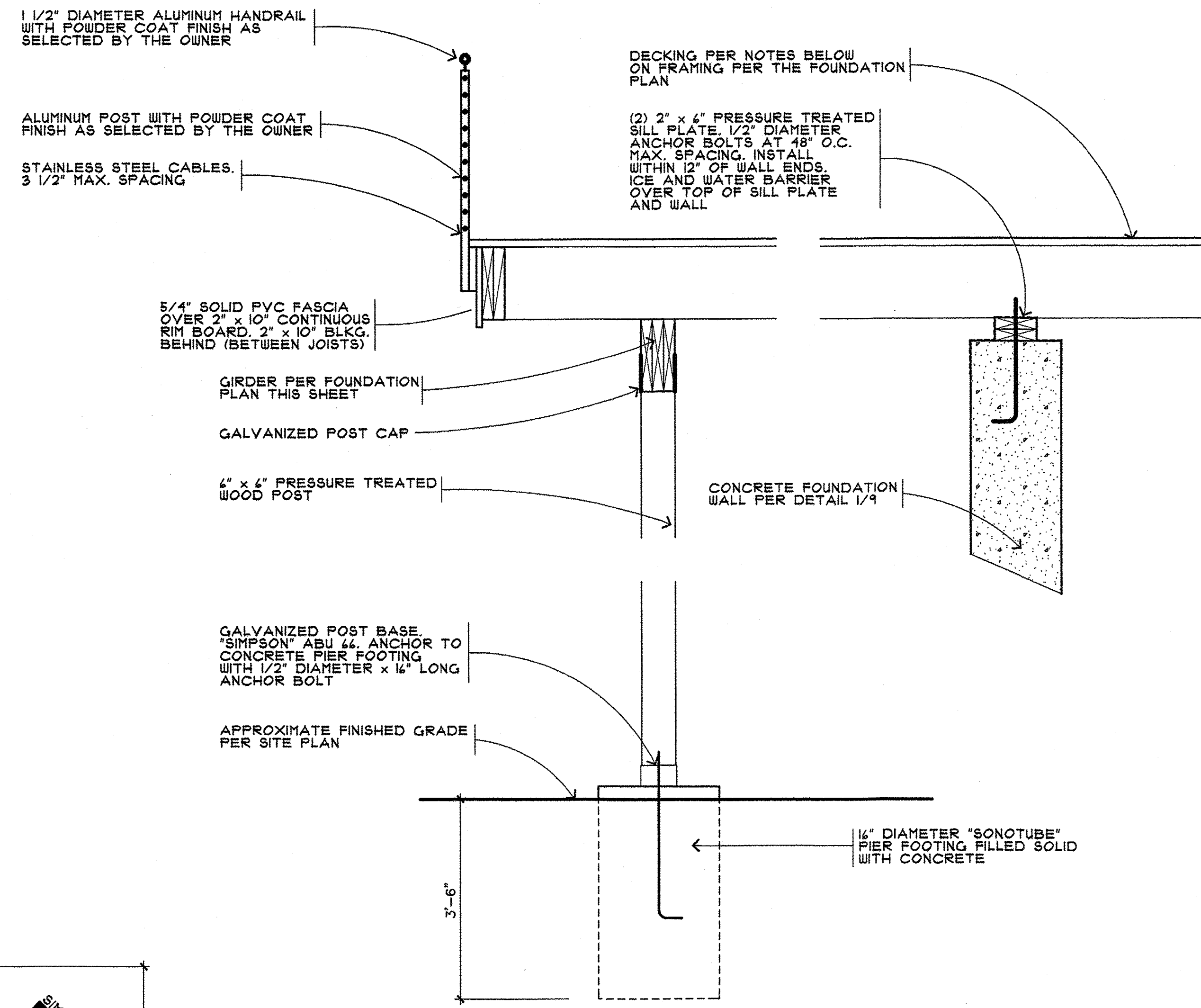
**FOUNDATION PLAN**

SCALE: 1/4" = 1'-0"

**FOUNDATION PLAN NOTES**

- EXISTING FOUNDATION WALL TO REMAIN.
- NEW CONCRETE FOUNDATION WALL ON CONTINUOUS CONCRETE FOOTING PER THE REFERENCED DETAILS.
- 16" DIAMETER CONCRETE FILLED SONOTUBE PIER FOOTING.

THIS DRAWING SET INCLUDES GENERAL NOTES, PAGES 1 OF 4 THRU 4 OF 4 INCLUSIVE, PRINTED ON 8 1/2" x 11" SHEETS AND STAPLED TO THE UPPER LEFT HAND CORNER OF THIS DRAWING SET. DO NOT PROCEED WITH ANY PART OF THE WORK IF ANY OR ALL OF THESE SHEETS ARE MISSING.

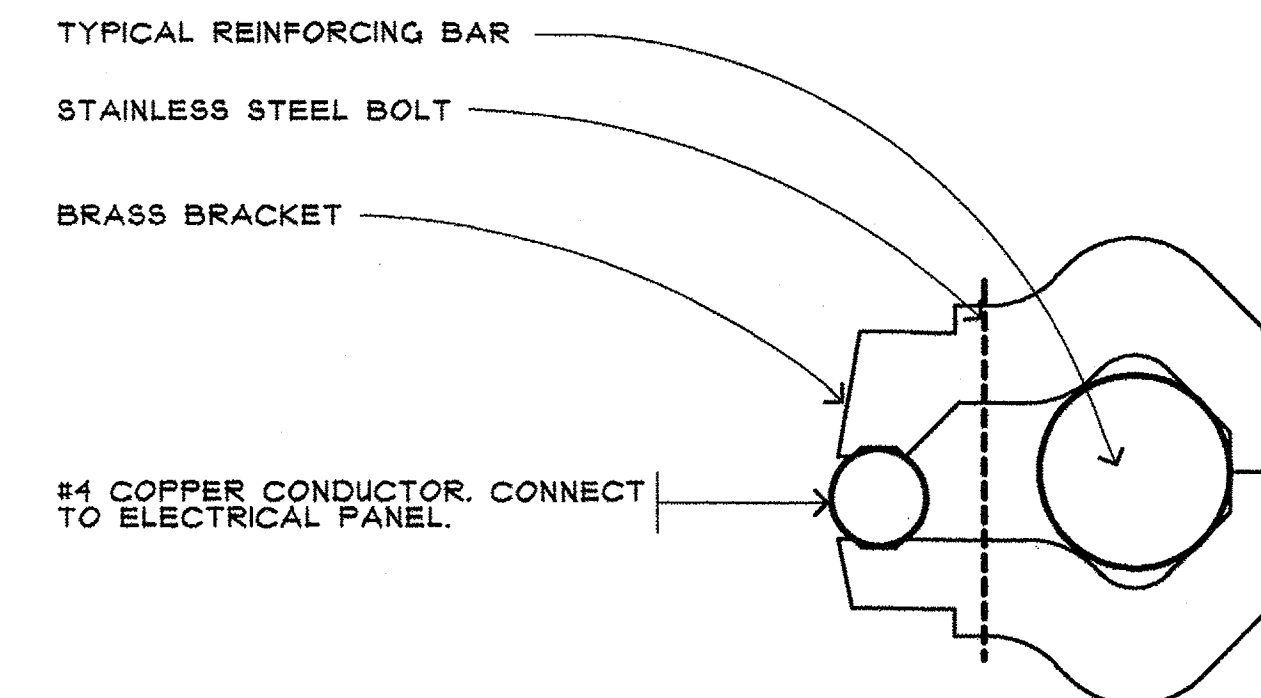


**TERRACE DETAIL**

SCALE: 1" = 1'-0"

NOTE: TERRACE CONSTRUCTION AS FOLLOWS:

- |                    |   |
|--------------------|---|
| FRAMING:           | PRESSURE TREATED SOUTHERN YELLOW PINE.  |
| DECKING:           | 5/4" x 4" 'TREX'. COLOR AS SELECTED BY THE OWNER.   |
| RAILING AND GUARD: | 'CABLE RAIL' GUARD AND HANDRAIL SYSTEM AS MANUFACTURED BY 'VIEWRAIL'. HANDRAILS SHALL BE 1 1/2" DIAMETER ALUMINUM WITH POWDER COAT FINISH COLOR AS SELECTED BY THE OWNER. POSTS SHALL BE ALUMINUM WITH POWDER COAT FINISH, COLOR AS SELECTED BY THE OWNER. CABLES SHALL BE 1 x 19 STAINLESS STEEL, 5/32" DIAMETER. INCLUDE ALL REQUIRED HARDWARE FOR A COMPLETE INSTALLATION. REVIEW ALL COMPONENTS WITH OWNER PRIOR TO ORDERING. |



**FOOTING REINFORCEMENT BONDING DETAIL**  
NOT TO SCALE

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ALTERATIONS TO THE  
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1079 ROUTE 9W SOUTH  
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A1 of 13

DEMOLITION WORK SHALL BE IN ACCORDANCE WITH THE DEMOLITION DRAWINGS DATED NOVEMBER 1, 2020 AND PREVIOUSLY APPROVED BY THE BUILDING DEPARTMENT.

**LOWER SECOND FLOOR PLAN NOTES**

- RE-CONFIGURE PLUMBING AND ELECTRICAL WORK TO SUIT THE NEW LAYOUT. REFER TO OTHER ASPECTS OF THESE DRAWINGS AND GENERAL NOTES FOR ADDITIONAL INFORMATION.  
FINISH PERIMETER EXTERIOR MASONRY WALLS PER THE REFERENCED DETAILS.  
INSULATE INTERIOR PERIMETER LAVATORY WALLS WITH 3 1/2" BATT SOUND INSULATION.  
FINISH WALLS AND CEILINGS WITH 1/2" GYPSUM BOARD. SHIM CEILINGS LEVEL AS MAY BE REQUIRED BY FIELD CONDITIONS. REFER TO BATH FINISH NOTES FOR ADDITIONAL INFORMATION.  
FLOOR FINISHES AS DIRECTED BY THE OWNER. FOR BIDDING PURPOSES ASSUME 4" SELECT RED OAK, STAIN AS SELECTED BY THE OWNER. TWO COATS SATIN POLYURETHANE OVER.  
MOULDINGS AS SELECTED BY THE OWNER.
- CABINERY PER THE GENERAL NOTES.
- REMOVE EXISTING WINDOW UNIT IN ENTIRETY. FURNISH AND INSTALL NEW WINDOW SIZED TO FIT EXISTING MASONRY OPENING.
- CLOSET ORGANIZER AS SELECTED BY THE OWNER.
- EXISTING DECK AND GROUND SLAB TO BE REMOVED.
- REMOVE EXISTING WOOD STAIR, GUARD AND HANDRAILS IN ENTIRETY. PROVIDE NEW WOOD STAIR PER DETAIL 1/10. GUARD AND HANDRAIL AS SELECTED BY THE OWNER.
- LAVATORY INTERIOR FINISHES AS FOLLOWS:  
WALLS: TILE WAINSCOT AS DIRECTED BY THE OWNER OVER 1/2" MOISTURE AND MOLD RESISTANT GYPSUM BOARD.  
CEILING: 5/8" MOISTURE AND MOLD RESISTANT GYPSUM BOARD.  
FLOOR: TILE AS SELECTED BY THE OWNER THIN SET OVER 1 1/2" THK. CURED MUD BASE REINFORCED WITH GALVANIZED EXPANDED METAL LATH FASTENED TO THE CONCRETE FLOOR SLAB.
- REMOVE THE EXISTING DOOR UNIT. MODIFY MASONRY WALL TO ACCOMMODATE THE NEW DOOR UNIT.
- CUT OPENING IN EXISTING MASONRY WALL TO ACCOMMODATE NEW DOOR UNIT. RESTORE ADJACENT AFFECTED CONSTRUCTION TO REMAIN.
- NEW FRAME PARTITION PER DETAIL 1/3.
- 4'-8" HIGH TRIMMED OPENING.
- CUT OPENING IN EXISTING MASONRY WALL TO ACCOMMODATE NEW WINDOW UNIT. RESTORE ADJACENT AFFECTED CONSTRUCTION TO REMAIN.
- WOOD STAIR SIMILAR TO DETAIL 1/10. YELLOW PINE TREADS AND RISERS. GUARD AND HANDRAIL PER THE REFERENCED DETAIL. WALL MOUNTED STEEL PIPE HANDRAIL ALONG STAIR RUN.

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ALTERATIONS TO THE  
**MAURO RESIDENCE**  
1079 ROUTE 9W SOUTH  
NYACK (ORANGETOWN) NEW YORK

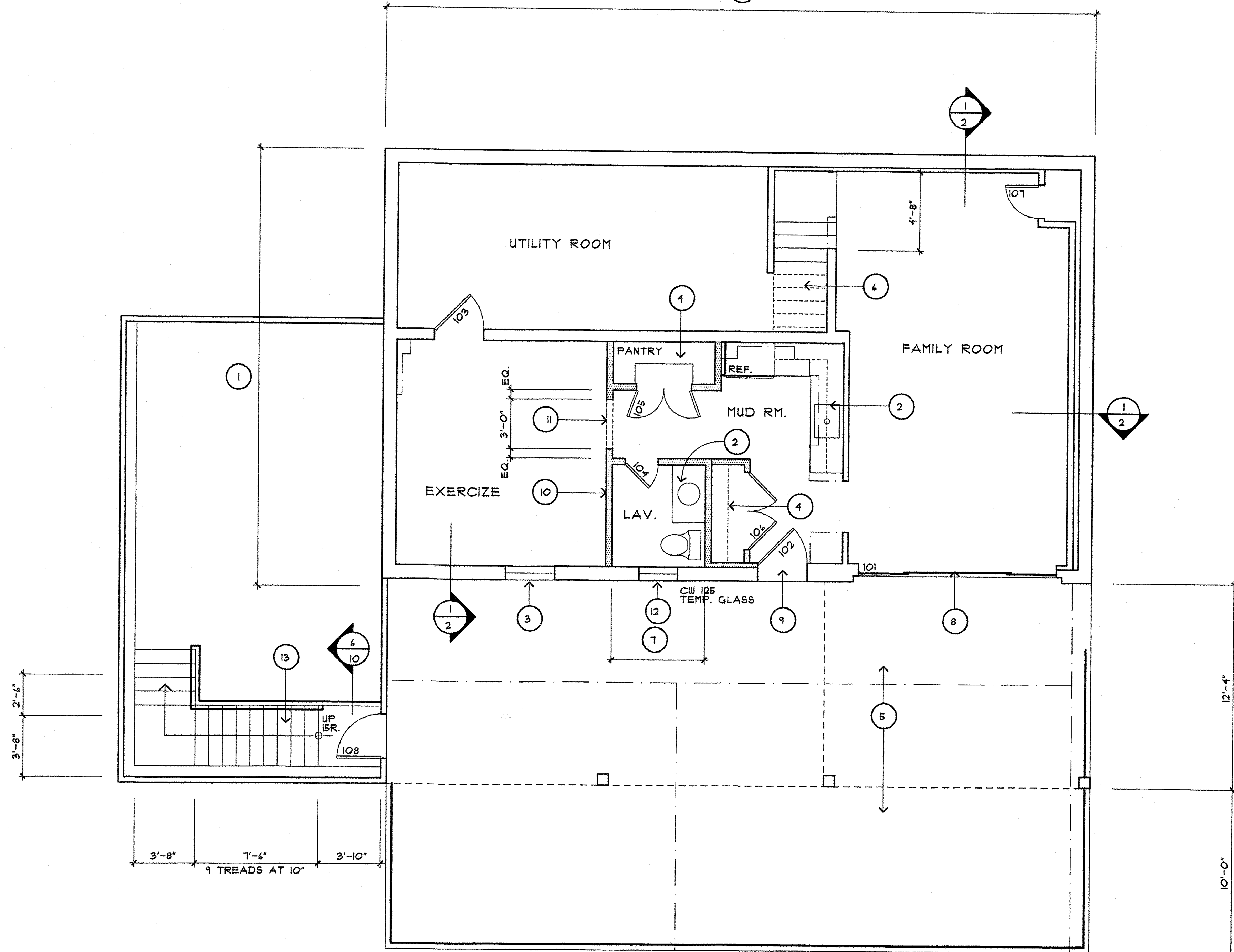
DRAWN BY: JJB  
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**LOWER SECOND FLOOR PLAN**

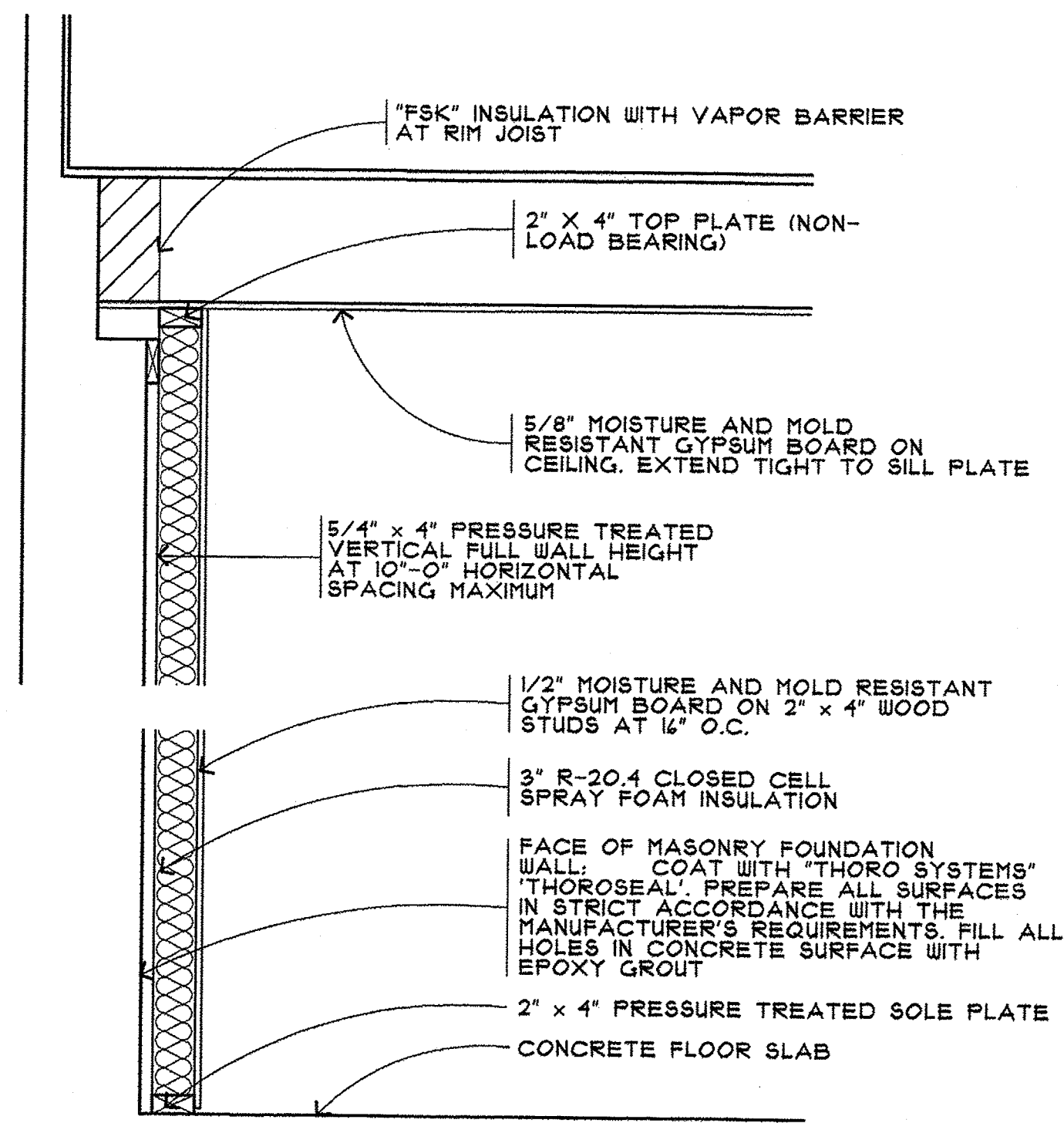
SCALE: 1/4" = 1'-0"  
ALL WINDOW AND DOOR HEADER SHALL BE (2) 2" x 12" UNLESS NOTED OTHERWISE.

**LOWER SECOND FLOOR DOOR SCHEDULE**

101	FWG 120611-4	ANDERSEN FRENCHWOOD GLIDING DOOR UNIT.
102	FWH 31611	ANDERSEN FRENCHWOOD HINGED DOOR UNIT.
103	3'-0" x 6'-8" x 1 3/4"	PASSAGE LOCKSET.
104	2'-4" x 6'-8" x 1 3/8"	PRIVACY LOCKSET.
105	PAIR 1'-8" x 6'-8" x 1 3/8"	DUMMY TRIM, BALL CATCHES.
106	PAIR 2'-4" x 6'-8" x 1 3/8"	DUMMY TRIM, BALL CATCHES.
107	2'-0" x 6'-8" x 1 3/8"	PASSAGE LOCKSET.
108	2'-8" x 6'-8" x 1 3/4"	ENTRANCE UNIT AS SELECTED BY THE OWNER. ALLOW \$2,500.00 FOR PURCHASE.

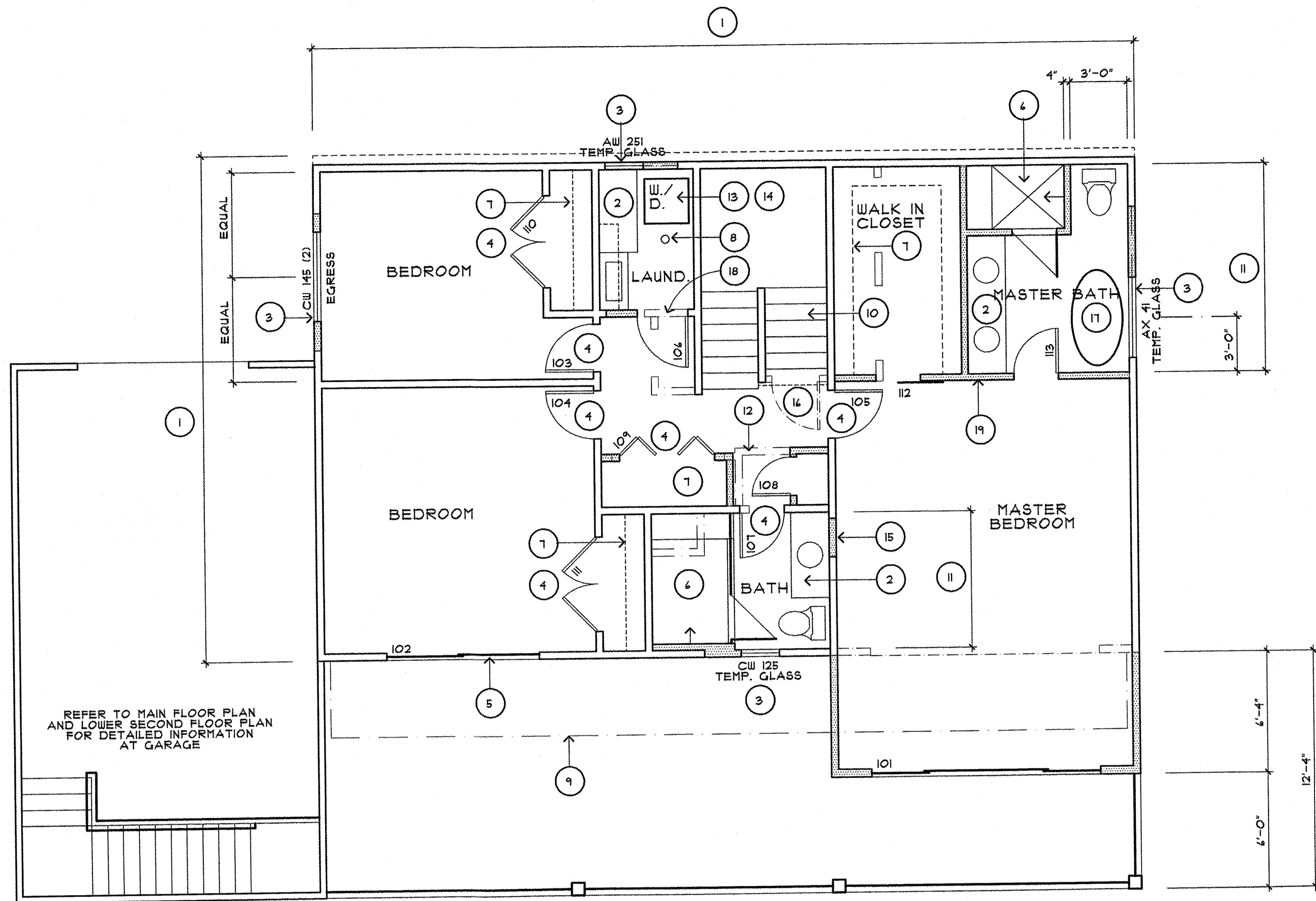
**FLOOR PLAN LEGEND**

- EXISTING CONSTRUCTION TO REMAIN.
- EXISTING CONSTRUCTION TO BE REMOVED.
- NEW CONSTRUCTION.



**BASEMENT PERIMETER PARTITION DETAIL**

SCALE: 1" = 1'-0"



REFER TO MAIN FLOOR PLAN AND LOWER SECOND FLOOR PLAN FOR DETAILED INFORMATION AT GARAGE

**LOWER FLOOR PLAN NOTES**

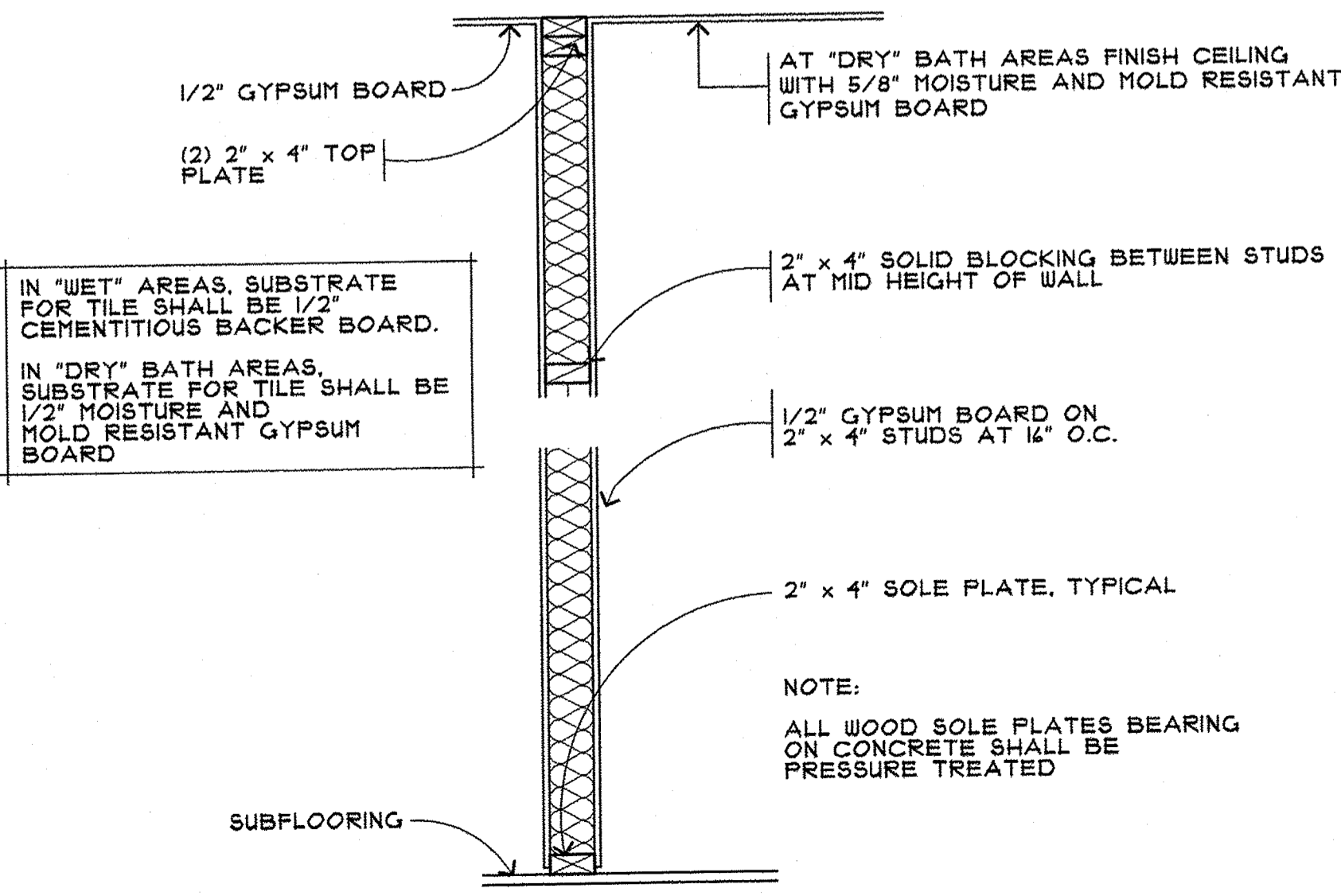
- RE-CONFIGURE PLUMBING AND ELECTRICAL WORK TO SUIT THE NEW LAYOUT. REFER TO OTHER ASPECTS OF THESE DRAWINGS AND GENERAL NOTES FOR ADDITIONAL INFORMATION.  
 INSULATE EXTERIOR WALLS WITH 5" R-34 CLOSED CELL SPRAY FOAM INSULATION.  
 INSULATE INTERIOR PERIMETER LAVATORY AND BEDROOM WALLS WITH 3 1/2" BATT SOUND INSULATION.  
 FINISH WALLS AND CEILINGS WITH 1/2" GYPSUM BOARD, SHIM CEILINGS LEVEL AS MAY BE REQUIRED BY FIELD CONDITIONS. REFER TO BATH FINISH NOTES FOR ADDITIONAL INFORMATION. RYX EXTERIOR WALLS TO ACCOMMODATE INSUL.  
 FLOOR FINISHES AS DIRECTED BY THE OWNER. FOR BIDDING PURPOSES ASSUME 4" SELECT RED OAK STAIN AS SELECTED BY THE OWNER. TWO COATS SATIN POLYURETHANE OVER.  
 MOULDINGS AS SELECTED BY THE OWNER.
- CABINETRY PER THE GENERAL NOTES.
- REMOVE EXISTING WINDOW UNIT IN ENTIRETY. MODIFY FRAMING TO ACCOMMODATE THE NEW WINDOW UNIT INDICATED.
- REMOVE THE EXISTING DOOR UNIT. MODIFY FRAMING TO ACCOMMODATE THE NEW DOOR UNIT.
- REMOVE THE EXISTING WINDOW UNIT. MODIFY FRAMING TO ACCOMMODATE THE NEW DOOR UNIT.
- SHOWER STALL PER DETAIL 2/3. TEMPERED GLASS DOOR AS SELECTED BY OWNER.
- CLOSET ORGANIZER AS SELECTED BY THE OWNER.
- FLOOR DRAIN WITH TRAP PRIMER. REFER TO DETAIL 3/3 FOR FLOOR WATERPROOFING.
- EXISTING BALCONY TO BE REMOVED.
- REMOVE EXISTING WOOD STAIR, GUARD AND HANDRAILS IN ENTIRETY. PROVIDE NEW WOOD STAIR PER DETAILS 1/10 AND 2/10. GUARD AND HANDRAIL AS SELECTED BY THE OWNER.
- BATH INTERIOR FINISHES AS FOLLOWS:  
 SHOWER WALLS AND CEILING:  
 TILE AS SELECTED BY THE OWNER THIN SET OVER 1/2" CEMENTITIOUS BACKER BOARD.  
 BALANCE OF WALLS: TILE WAJNSCOT AS DIRECTED BY THE OWNER OVER 1/2" 1/2" CEMENTITIOUS BACKER BOARD.  
 BALANCE OF CEILING: 5/8" MOISTURE AND MOLD RESISTANT GYPSUM BOARD.  
 FLOOR: REFER TO DETAIL 1/4.
- REMOVE EXISTING FRAME WALL TO EXTENT SHOWN.
- GAS CLOTHES DRYER. VENT TO EXTERIOR WITH GALVANIZED DUCT. PROVIDE HOODED CAP WITH BACKRAFT DAMPER.
- CLOTHES WASHER. PROVIDE RECESSED WALL STATION WITH HOT AND COLD WATER SUPPLIES, DRAIN AND VENT CONNECTIONS.
- REMOVE EXISTING DOOR UNIT IN ENTIRETY. CLOSE OPENING WITH CONSTRUCTION TO MATCH EXISTING.
- REMOVE EXISTING DOORWAY WALL IN ENTIRETY.
- FREE STANDING TUB AS SELECTED BY THE OWNER.
- CUT OPENING IN EXISTING FRAME WALL AND FRAME TO ACCOMMODATE NEW DOOR UNIT.
- NEW FRAME PARTITION PER DETAIL 1/3.

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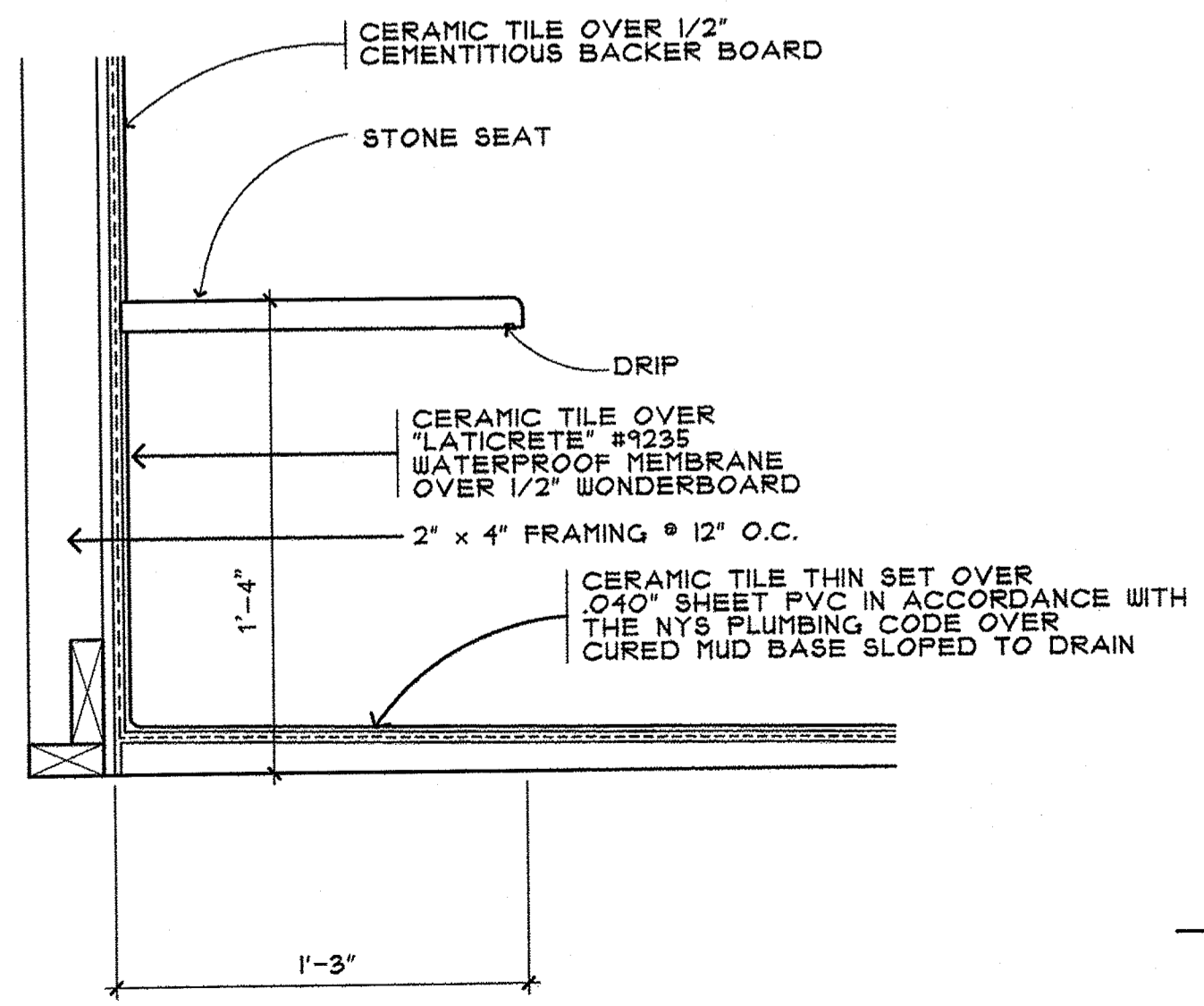
**LOWER FIRST FLOOR PLAN NOTES**

SCALE: 1/4" = 1'-0"



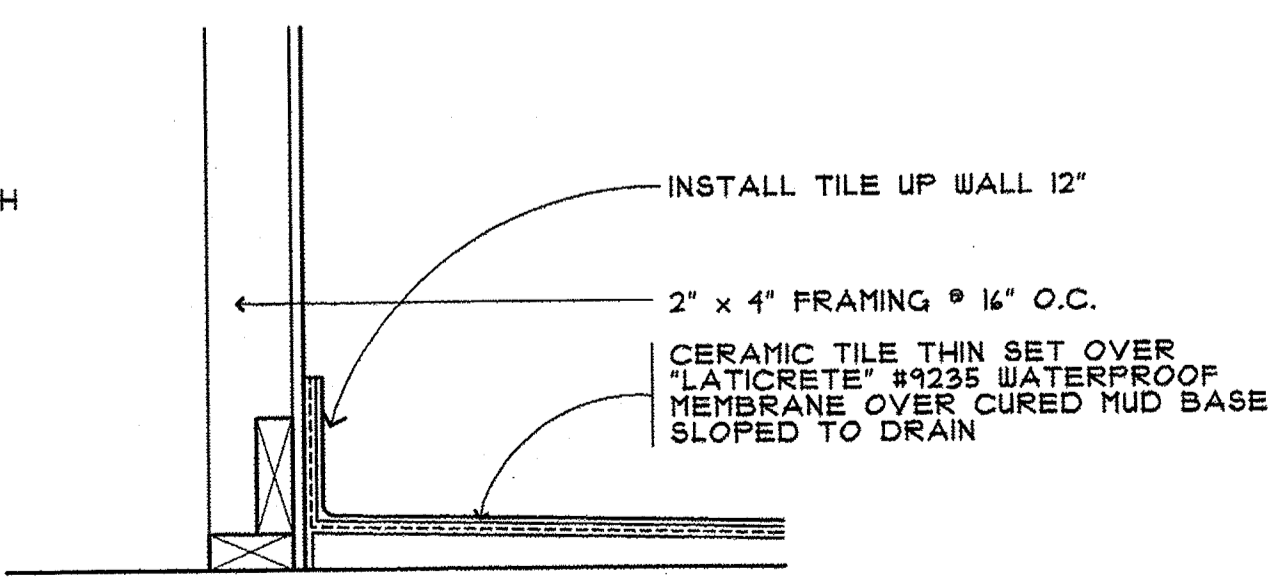
**1 INTERIOR PARTITION DETAIL**

SCALE: 1" = 1'-0"  
 ALL BASEMENT DRYWALL SHALL BE MOISTURE AND MOLD RESISTANT.



**2 SHOWER SEAT DETAIL**

SCALE: 1" = 1'-0"  
 THE CONNECTION BETWEEN THE SHOWER LINER AND DRAIN SHALL BE IN ACCORDANCE WITH THE NY STATE PLUMBING CODE.



**3 LAUNDRY FLOOR DETAIL**

SCALE: 1" = 1'-0"  
 THE CONNECTION BETWEEN THE SHOWER LINER AND DRAIN SHALL BE IN ACCORDANCE WITH THE NY STATE PLUMBING CODE.

**LOWER FIRST FLOOR DOOR SCHEDULE**

101	FUG 120411-4	ANDERSEN FRENCHWOOD GLIDING DOOR UNIT.
102	FUG 80611	ANDERSEN FRENCHWOOD GLIDING DOOR UNIT.
103	2'-4" x 6'-8" x 1 3/8"	PRIVACY LOCKSET.
104	2'-4" x 6'-8" x 1 3/8"	PRIVACY LOCKSET.
105	2'-8" x 4'-8" x 1 3/8"	PRIVACY LOCKSET.
106	2'-8" x 6'-8" x 1 3/8"	PASSAGE LOCKSET. LOUVER DOOR.
107	2'-4" x 6'-8" x 1 3/8"	PRIVACY LOCKSET.
108	2'-0" x 4'-8" x 1 3/8"	PASSAGE LOCKSET.
109	5'-0" x 4'-8" x 1 3/8"	BI FOLD DOOR UNIT.
110	PAIR 2'-8" x 4'-8" x 1 3/8"	DUMMY TRIM. BALL CATCHES.
111	PAIR 2'-8" x 4'-8" x 1 3/8"	DUMMY TRIM. BALL CATCHES.
112	2'-4" x 6'-8" x 1 3/8"	SURFACE SLIDING DOOR UNIT. NOTE #1 BELOW.
113	2'-8" x 4'-8" x 1 3/8"	PRIVACY LOCKSET.

**LOWER FLOOR DOOR SCHEDULE NOTES**

- SURFACE SLIDING DOOR UNIT HARDWARE AS SELECTED BY THE OWNER.

**FLOOR PLAN LEGEND**

- EXISTING CONSTRUCTION TO REMAIN.
- EXISTING CONSTRUCTION TO BE REMOVED.
- NEW CONSTRUCTION.

ALTERATIONS TO THE  
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 1079 ROUTE 9W SOUTH  
 NYACK (ORANGETOWN) NEW YORK

DRAWN BY: JJB  
 CHECKED BY: ME

DATE: 02/10/21

REVISIONS:

SHEET NO:

A3 OF 13

**MAIN FLOOR PLAN NOTES**

- RE-CONFIGURE PLUMBING AND ELECTRICAL WORK TO SUIT THE NEW LAYOUT. REFER TO OTHER ASPECTS OF THESE DRAWINGS AND GENERAL NOTES FOR ADDITIONAL INFORMATION.  
INSULATE EXTERIOR WALLS WITH 5" R-34 CLOSED CELL SPRAY FOAM INSULATION. WALL BETWEEN GARAGE AND LIVING SPACE INCLUDED.  
INSULATE INTERIOR PERIMETER LAVATORY AND BEDROOM WALLS WITH 3 1/2" BATT SOUND INSULATION.  
FINISH WALLS AND CEILINGS WITH 1/2" GYPSUM BOARD. SHIM CEILINGS LEVEL AS MAY BE REQUIRED BY FIELD CONDITIONS. REFER TO BATH FINISH NOTES FOR ADDITIONAL INFORMATION. FURR EXTERIOR WALLS TO ACCOMMODATE INSULATION.  
FLOOR FINISHES AS DIRECTED BY THE OWNER. FOR BIDDING PURPOSES ASSUME 4" SELECT RED OAK STAIN AS SELECTED BY THE OWNER. TWO COATS SATIN POLYURETHANE OVER.  
MOULDINGS AS SELECTED BY THE OWNER.
- CABINETS PER THE GENERAL NOTES.
- REMOVE EXISTING WINDOW UNIT IN ENTIRETY. MODIFY FRAMING TO ACCOMMODATE THE NEW WINDOW UNIT INDICATED.
- REMOVE THE EXISTING DOOR UNIT. MODIFY FRAMING TO ACCOMMODATE THE NEW DOOR UNIT.
- REMOVE THE EXISTING WINDOW UNIT. MODIFY FRAMING TO ACCOMMODATE THE NEW DOOR UNIT. RESTORE ADJACENT CONSTRUCTION TO REMAIN.
- MODIFY THE EXISTING TRIMMED OPENING TO THE NEW WIDTH INDICATED.
- CLOSET ORGANIZER AS SELECTED BY THE OWNER.
- EXISTING EXTERIOR STAIR TO BE REMOVED.
- REMOVE EXISTING BALCONY. NEW BALCONY PER PLAN AND DETAILS.
- REMOVE EXISTING WOOD STAIR GUARD AND HANDRAILS IN ENTIRETY. PROVIDE NEW WOOD STAIR PER DETAILS 1/10 AND 2/10. GUARD AND HANDRAIL AS SELECTED BY THE OWNER.
- LAV. INTERIOR FINISHES AS FOLLOWS:  
WALLS: TILE WAINSCOT AS DIRECTED BY THE OWNER OVER 1/2" MOISTURE AND MOLD RESISTANT GYPSUM BOARD.  
CEILING: 5/8" MOISTURE AND MOLD RESISTANT GYPSUM BOARD.  
FLOOR: TILE AS SELECTED BY THE OWNER THIN SET OVER 1/4" THK. CEMENTITIOUS BACKER BOARD SCREWED THRU THE SUBFLOORING INTO THE FLOOR FRAMING. FLUSH TRANSITION AT DOORWAY. FLOOR PER DETAIL 1/4.
- REMOVE EXISTING DOORWAY WALL IN ENTIRETY.
- CUT OPENING IN EXISTING FRAME WALL AND FRAME TO ACCOMMODATE NEW WINDOW UNIT. RESTORE ADJACENT AFFECTED CONSTRUCTION TO REMAIN.
- GARAGE INTERIOR FINISHES AS FOLLOWS:  
WALLS: 5/8" TYPE 'X' MOISTURE AND MOLD RESISTANT GYPSUM BOARD.  
CEILING: 2 LAYERS 5/8" TYPE 'X' GYPSUM BOARD. EXPOSED LAYER SHALL BE MOISTURE AND MOLD RESISTANT.
- SQUARE COLUMN ENCLOSURE AS SELECTED BY THE OWNER.
- STONE FINISH ON CONCRETE PLATFORM PER THE REFERENCED DETAIL.
- REMOVE EXISTING SIDING AND WALL SHEATHING. FINISH WALL WITH 5/8" TYPE 'X' MOISTURE AND MOLD RESISTANT GYPSUM BOARD.
- REMOVE EXISTING DOOR UNIT IN ENTIRETY. TRIM OPENING AS DIRECTED BY THE OWNER.
- WOOD BURNING STOVE AS SELECTED BY THE OWNER WITH HEAT SHIELD. INSULATED METAL FLUE. PROVIDE BASE AS FOLLOWS: TILE AS SELECTED BY THE OWNER THIN SET OVER 1/4" CEMENTITIOUS BACKER BOARD. SIMILAR TO DETAIL 1/4.
- 4" THK. STONE VENEER AS SELECTED OVER 1/2" CEMENTITIOUS BACKER BOARD. ANCHOR TO WALL WITH GALVANIZED CORRUGATED MASONRY TIES AT 8" O.C. HORIZONTALLY AND VERTICALLY.

**FLOOR PLAN LEGEND**

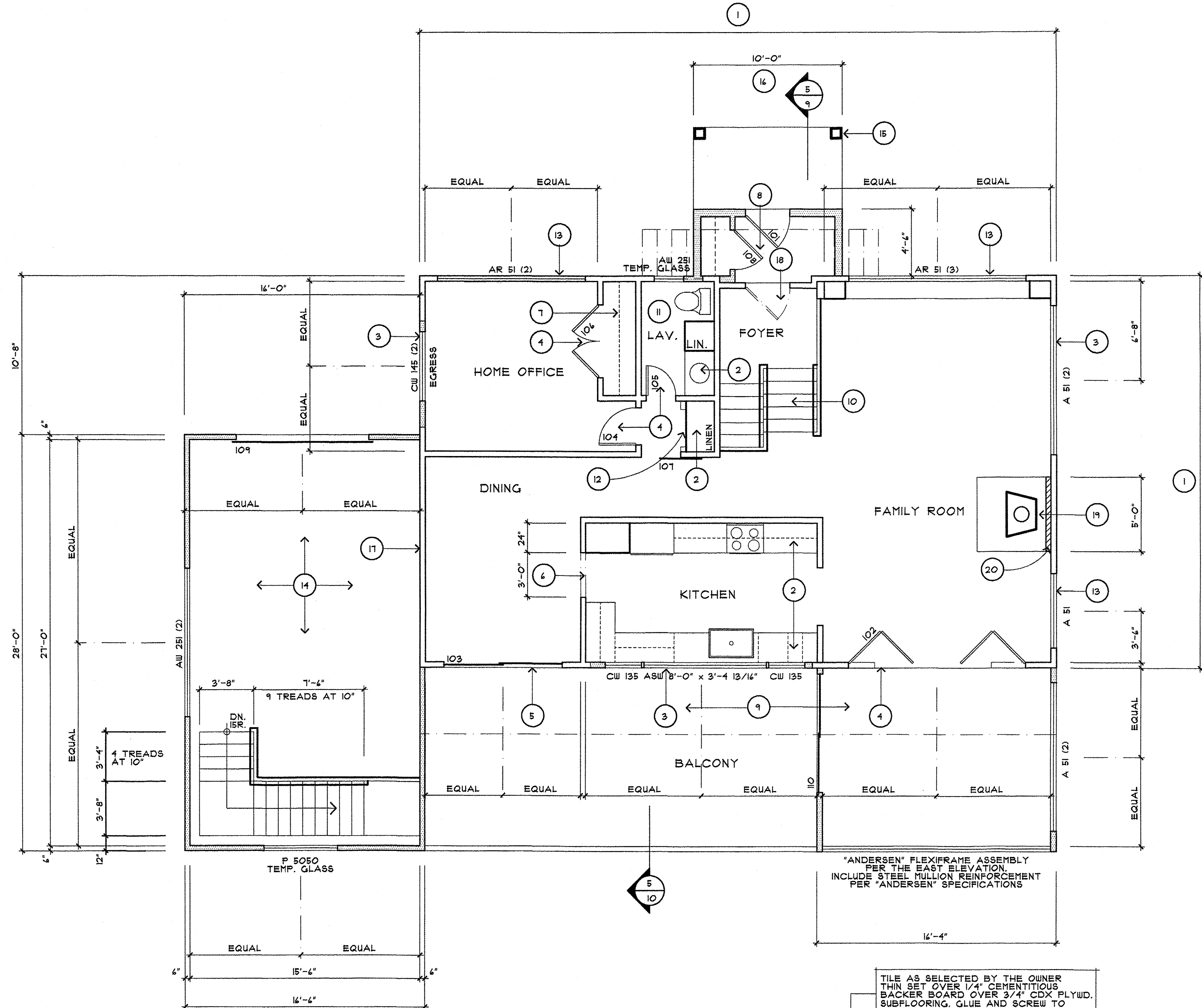
- EXISTING CONSTRUCTION TO REMAIN.
- EXISTING CONSTRUCTION TO BE REMOVED.
- NEW CONSTRUCTION.

**MAIN FLOOR DOOR SCHEDULE**

101	3'-0" x 7'-0" x 1 3/4"	ENTRANCE UNIT AS SELECTED BY THE OWNER. ALLOW \$5,000.00 FOR PURCHASE.
102	12'-0" x 6'-8" x 1 3/4" BI FOLD DOOR UNIT.	ONE LITE SAFETY GLASS.
103	FUG 804II	ANDERSEN FRENCHWOOD GLIDING DOOR UNIT.
104	2'-6" x 6'-8" x 1 3/8"	PRIVACY LOCKSET.
105	2'-0" x 6'-8" x 1 3/8"	PRIVACY LOCKSET.
106	PAIR 2'-8" x 6'-8" x 1 3/8"	DUMMY TRIM. BALL CATCHES.
107	2'-8" x 6'-8" x 1 3/8"	SURFACE SLIDING DOOR UNIT. NOTE #1 BELOW.
108	2'-8" x 6'-8" x 1 3/8"	PASSAGE LOCKSET.
109	9'-0" WIDE x 8'-0" HIGH	SECTIONAL OVERHEAD DOOR UNIT. NOTE #2 BELOW.
110	FUG 804II	ANDERSEN FRENCHWOOD GLIDING DOOR UNIT.

**MAIN FLOOR DOOR SCHEDULE NOTES**

- SURFACE SLIDING DOOR UNIT HARDWARE AS SELECTED BY THE OWNER.
- INSULATED SECTIONAL OVERHEAD DOOR UNIT WITH ELECTRIC MOTOR OPERATOR INCLUDE ALL REQUIRED SAFETY CONTROLS AND WEATHERSTRIPPING. 2" x 2" PRESSURE TREATED HEAD AND SIDE JAMBS WRAPPED WITH 1/2" THK. PVC SHEET.



**MAIN FLOOR PLAN**

SCALE: 1/4" = 1'-0"

**FLOOR FRAMING DETAIL**

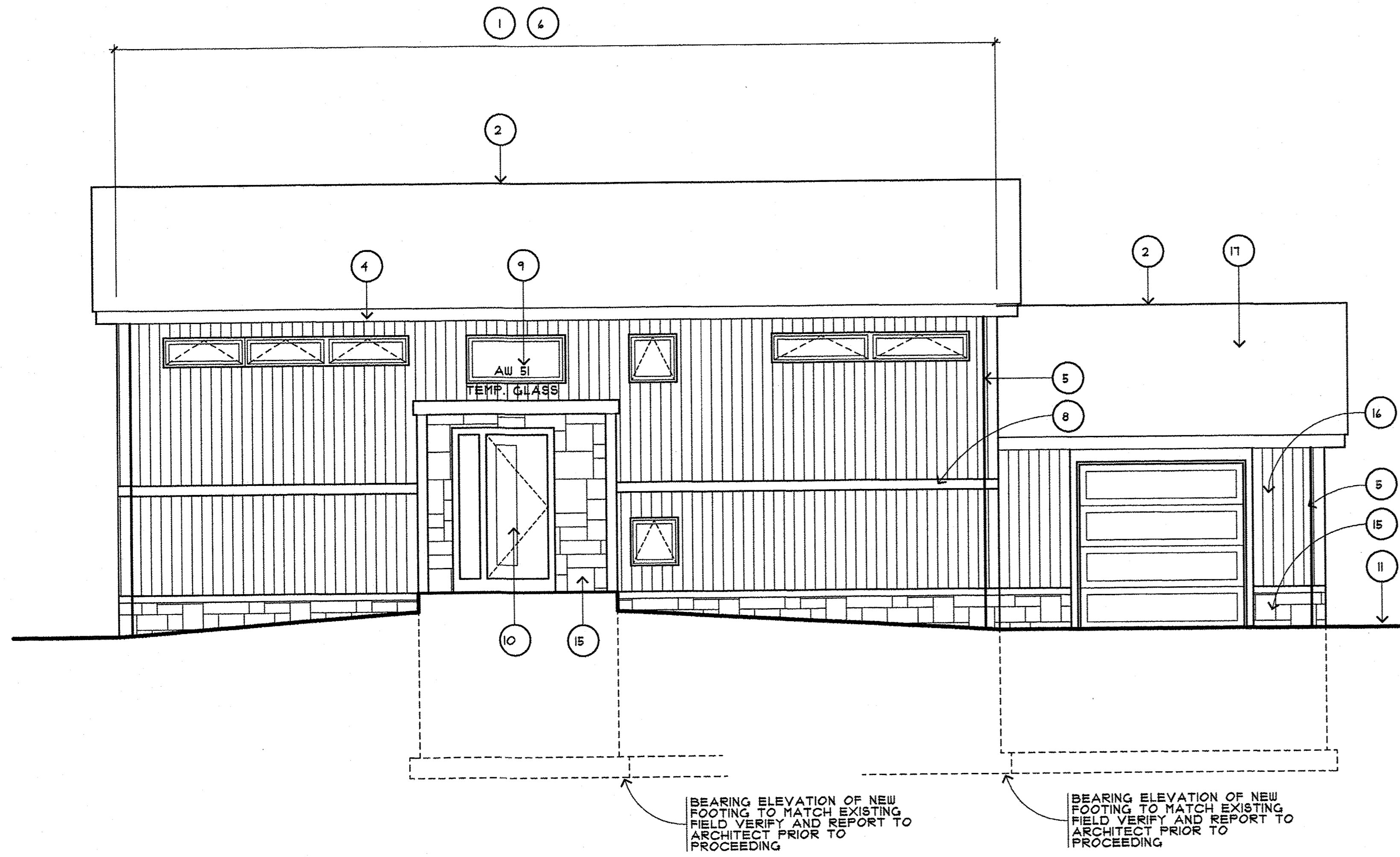
SCALE: 1" = 1'-0"  
NOTE:  
THE EXISTING FLOOR FRAMING IS ASSUMED TO BE NOMINAL 10" DEPTH. FIELD VERIFY PRIOR TO ORDERING FRAMING MATERIAL.

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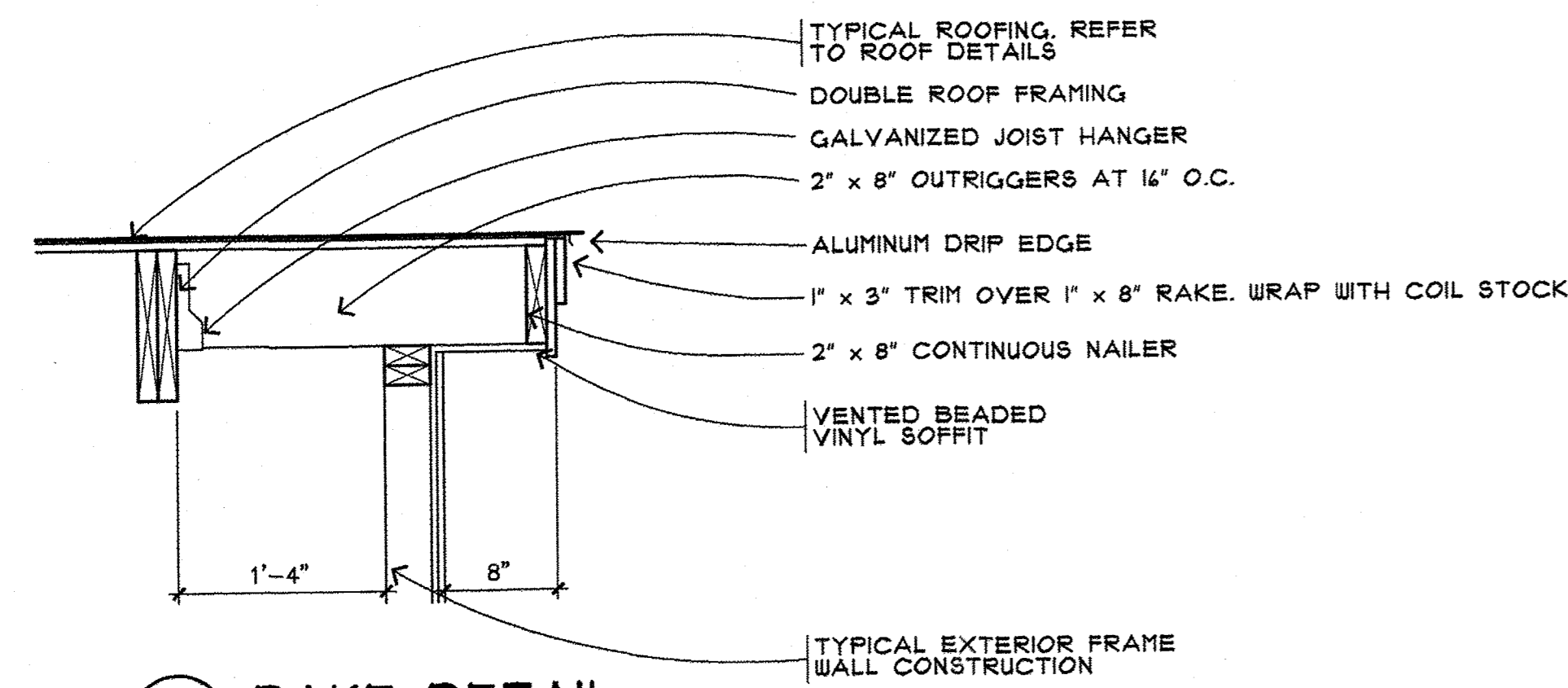
ALTERATIONS TO THE  
**MAURO RESIDENCE**  
1079 ROUTE 9W SOUTH  
NYACK (ORANGETOWN) NEW YORK

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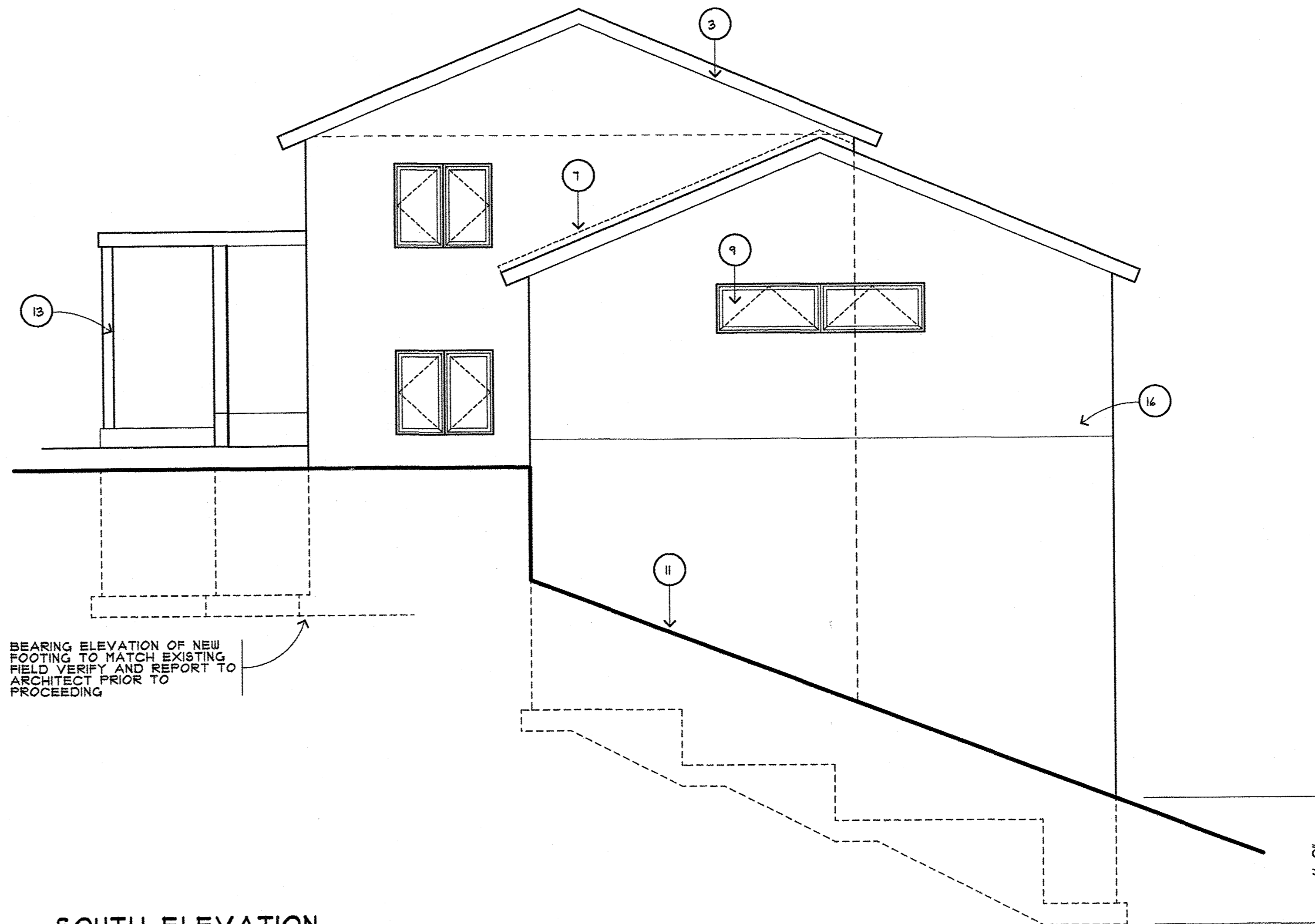
**WEST ELEVATION**

SCALE: 1/4" = 1'-0"



**1 RAKE DETAIL**  
4

SCALE: 1" = 1'-0"



**SOUTH ELEVATION**

SCALE: 1/4" = 1'-0"

**ELEVATION NOTES**

1. REMOVE EXISTING ROOFING IN ENTIRETY. FURNISH AND INSTALL NEW ASPHALT SHINGLE ROOFING OVER 15# FELT (ICE AND WATER BARRIER AT EAVES AND RAKES).
2. RIDGE VENT WITH CAP SHINGLES OVER.
3. RAKE PER DETAIL 1/4.
4. ALUMINUM GUTTER ON FASCIA WRAPPED WITH COIL STOCK. REFER TO THE REFERENCED DETAILS FOR ADDITIONAL INFORMATION.
5. ALUMINUM DOWNSPOUT.
6. STRIP SIDING FROM ALL EXTERIOR WALL SURFACES. REMOVAL SHALL INCLUDE TRIM, ETC. FURNISH AND INSTALL NEW SIDING AS SELECTED OVER 1/2" THK. RIGID INSULATION OVER 'TYVEK' BUILDING WRAP. RESTORE ADJACENT AFFECTED CONSTRUCTION AND FINISHES TO REMAIN.
7. ALUMINUM BLIND FLASHING. STEP ALONG ROOF RAKE.
8. 5/4" x 8" SOLID PVC WATER TABLE BOARD.
9. WINDOW UNIT. REFER TO FLOOR PLANS AND GENERAL NOTES.
10. DOOR UNIT. REFER TO FLOOR PLANS AND GENERAL NOTES.
11. APPROXIMATE EXISTING FINISHED GRADE TO REMAIN.
12. FIREPLACE FLUE WITH SPARK ARRESTOR AND RAIN CAP. PROVIDE FLUE WITH FLASHING COLLAR AT ROOF.
13. COLUMN PER THE PLAN AND SCHEDULE. WRAP WITH SOLID PVC SHEET OVER 1/2" CDX PLYWOOD SHEATHING ON WOOD BLOCKING.
14. GUARD AND HANDRAIL PER THE REFERENCED BALCONY DETAIL.
15. THIN STONE VENEER AS SELECTED BY THE OWNER. ALLOW \$15.00/ S.F. FOR PURCHASE OF STONE.
16. SIDING AS SELECTED BY THE OWNER.
17. ASPHALT SHINGLE ROOFING AS SELECTED BY THE OWNER.
18. 1 1/2" DIAMETER PAINTED STEEL PIPE HANDRAIL. WALL MOUNTED.

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ALTERATIONS TO THE  
**MAURO RESIDENCE**  
1079 ROUTE 9W SOUTH  
NYACK (ORANGETOWN) NEW YORK

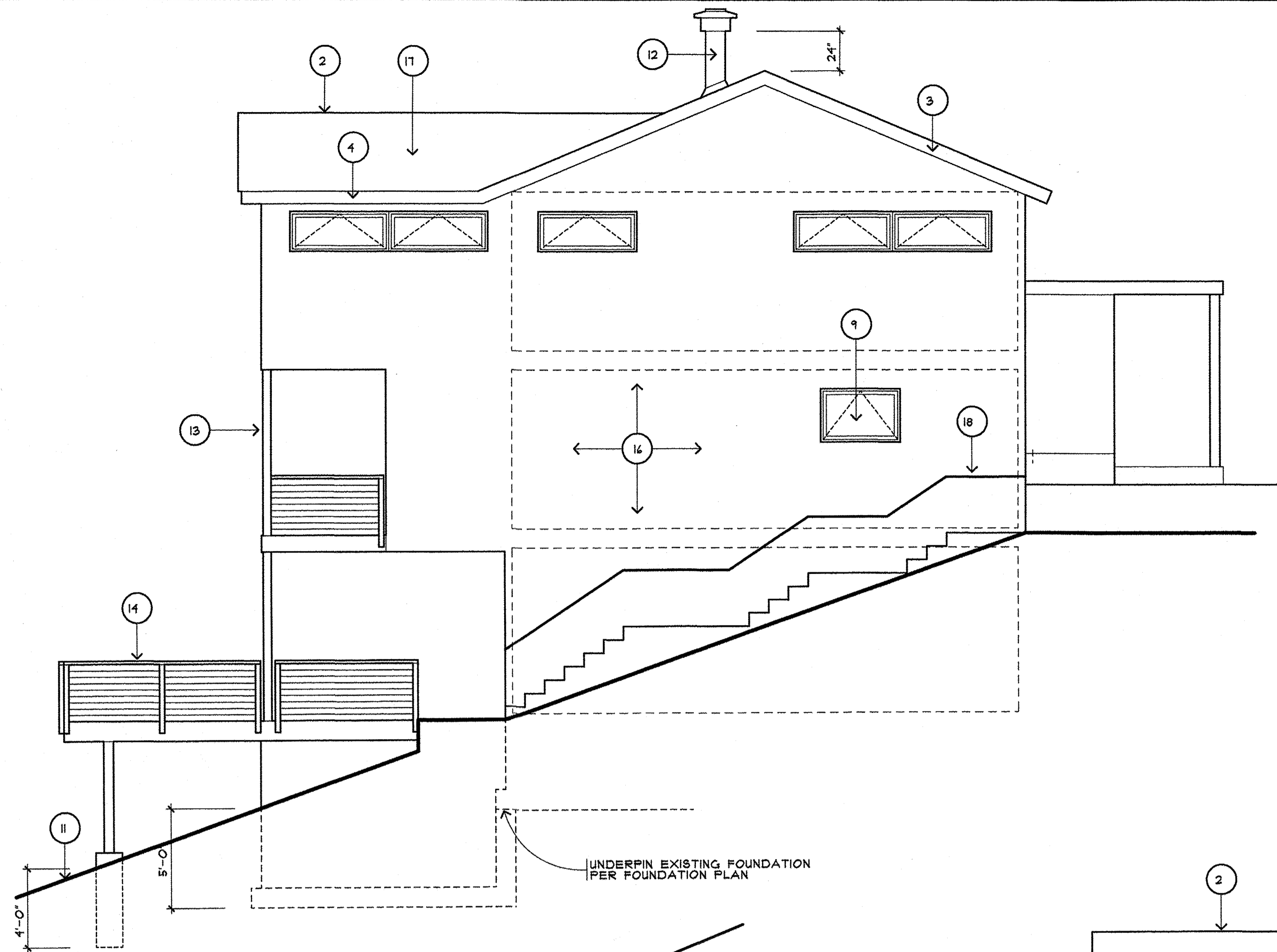
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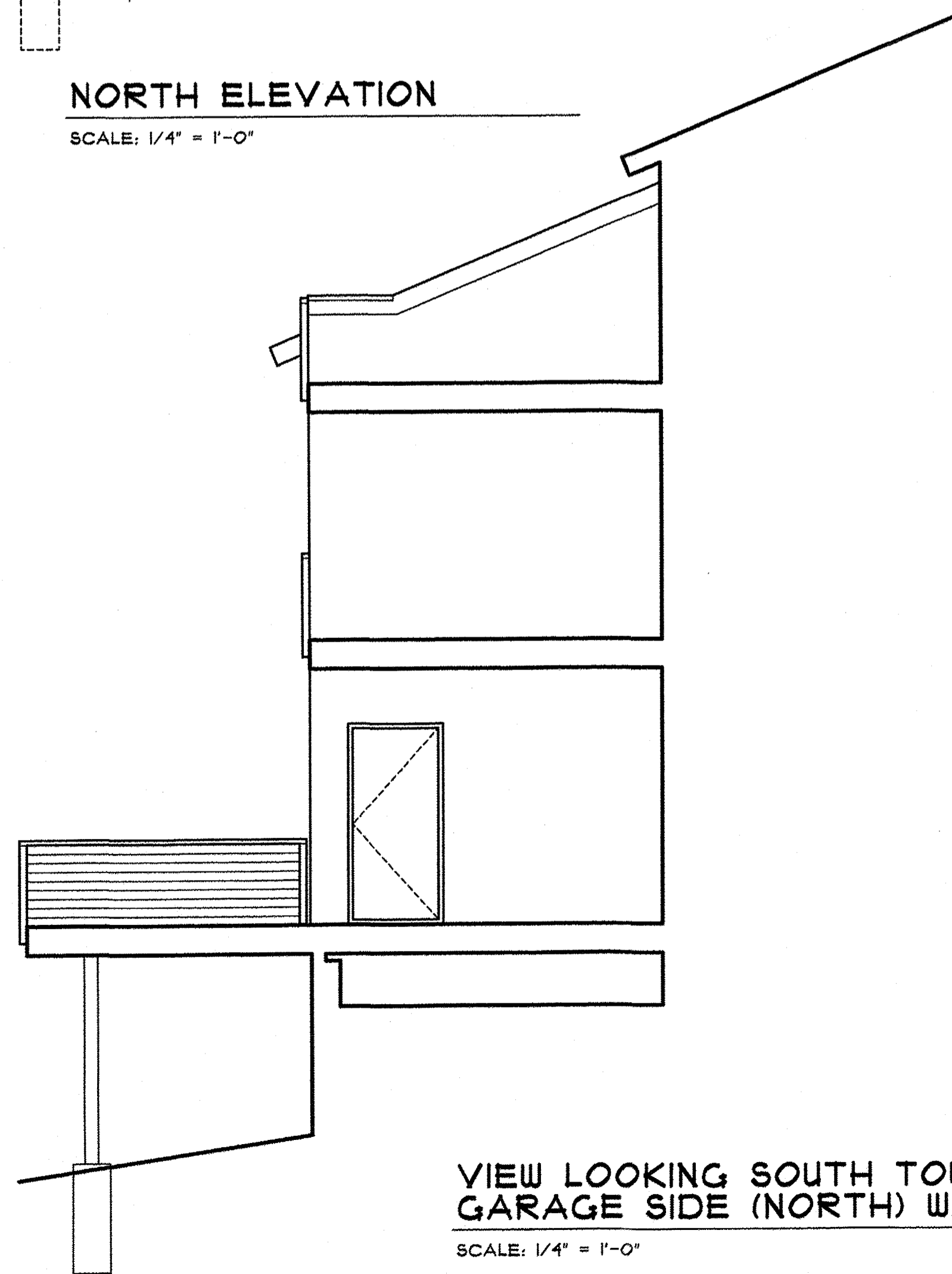
SHEET NO:

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**NORTH ELEVATION**

SCALE: 1/4" = 1'-0"



**VIEW LOOKING SOUTH TOWARDS GARAGE SIDE (NORTH) WALL**

SCALE: 1/4" = 1'-0"



**EAST ELEVATION**

SCALE: 1/4" = 1'-0"

**ELEVATION NOTES**

1. REMOVE EXISTING ROOFING IN ENTIRETY. FURNISH AND INSTALL NEW ASPHALT SHINGLE ROOFING OVER 15# FELT (ICE AND WATER BARRIER AT EAVES AND RAKES).
2. RIDGE VENT WITH CAP SHINGLES OVER.
3. RAKE PER DETAIL 1/4.
4. ALUMINUM GUTTER ON FASCIA WRAPPED WITH COIL STOCK. REFER TO THE REFERENCED DETAILS FOR ADDITIONAL INFORMATION.
5. ALUMINUM DOWNSPOUT.
6. STRIP SIDING FROM ALL EXTERIOR WALL SURFACES. REMOVAL SHALL INCLUDE TRIM, ETC. FURNISH AND INSTALL NEW SIDING AS SELECTED OVER 1/2" THK RIGID INSULATION OVER "TYVEK" BUILDING WRAP. RESTORE ADJACENT AFFECTED CONSTRUCTION AND FINISHES TO REMAIN.
7. ALUMINUM BLIND FLASHING. STEP ALONG ROOF RAKE.
8. 5/4" x 8" SOLID PVC WATER TABLE BOARD.
9. WINDOW UNIT. REFER TO FLOOR PLANS AND GENERAL NOTES.
10. DOOR UNIT. REFER TO FLOOR PLANS AND GENERAL NOTES.
11. APPROXIMATE EXISTING FINISHED GRADE TO REMAIN.
12. FIREPLACE FLUE WITH SPARK ARRESTOR AND RAIN CAP. PROVIDE FLUE WITH FLASHING COLLAR AT ROOF.
13. COLUMN PER THE PLAN AND SCHEDULE. WRAP WITH SOLID PVC SHEET OVER 1/2" CDX PLYWOOD SHEATHING ON WOOD BLOCKING.
14. GUARD AND HANDRAIL PER THE REFERENCED BALCONY DETAIL.
15. THIN STONE VENEER AS SELECTED BY THE OWNER. ALLOW \$5.00/ S.F. FOR PURCHASE OF STONE.
16. SIDING AS SELECTED BY THE OWNER.
17. ASPHALT SHINGLE ROOFING AS SELECTED BY THE OWNER.
18. 1 1/2" DIAMETER PAINTED STEEL PIPE HANDRAIL. WALL MOUNTED.

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ALTERATIONS TO THE

**MAURO RESIDENCE**

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NYACK (ORANGETOWN) NEW YORK

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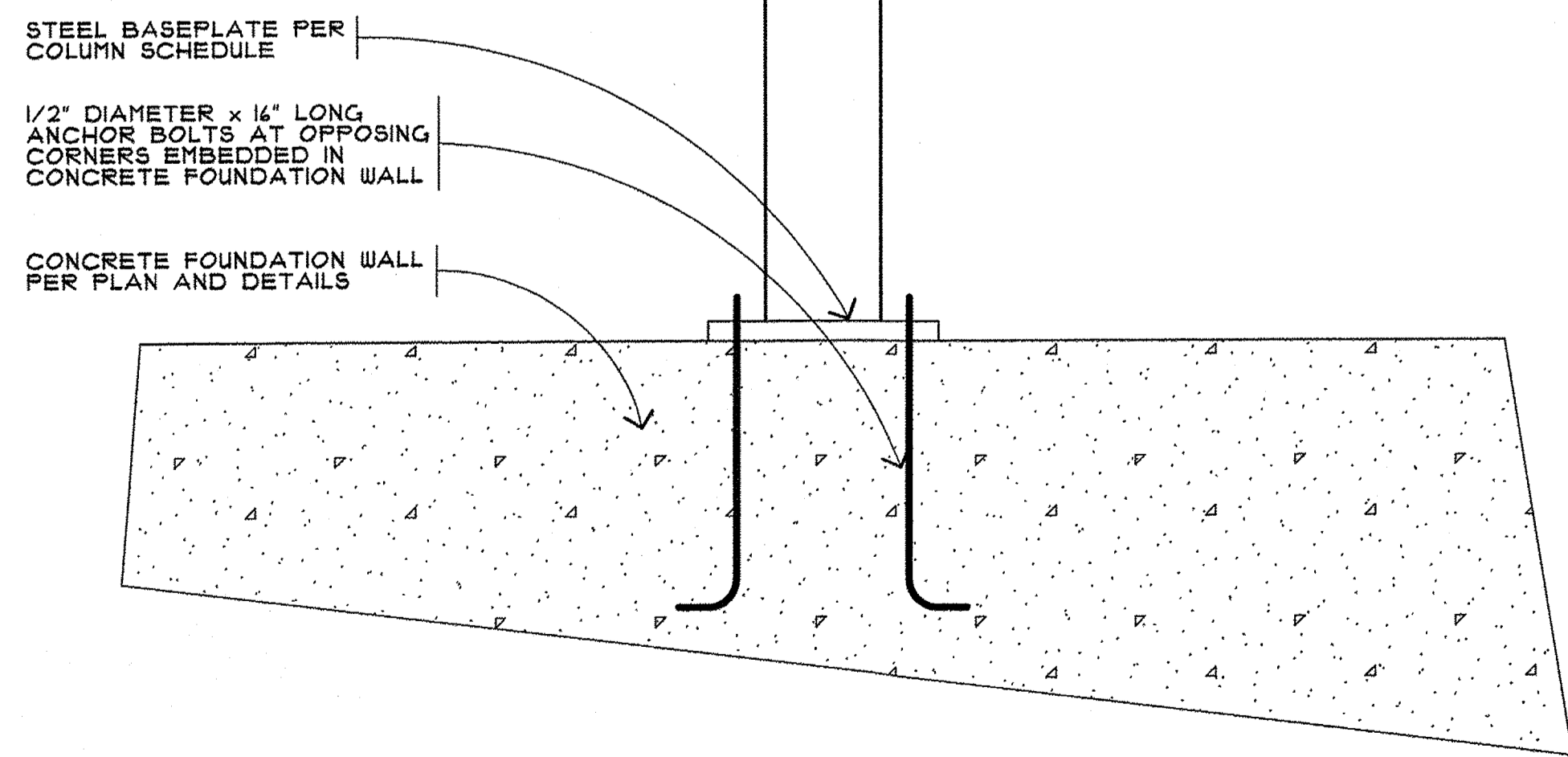
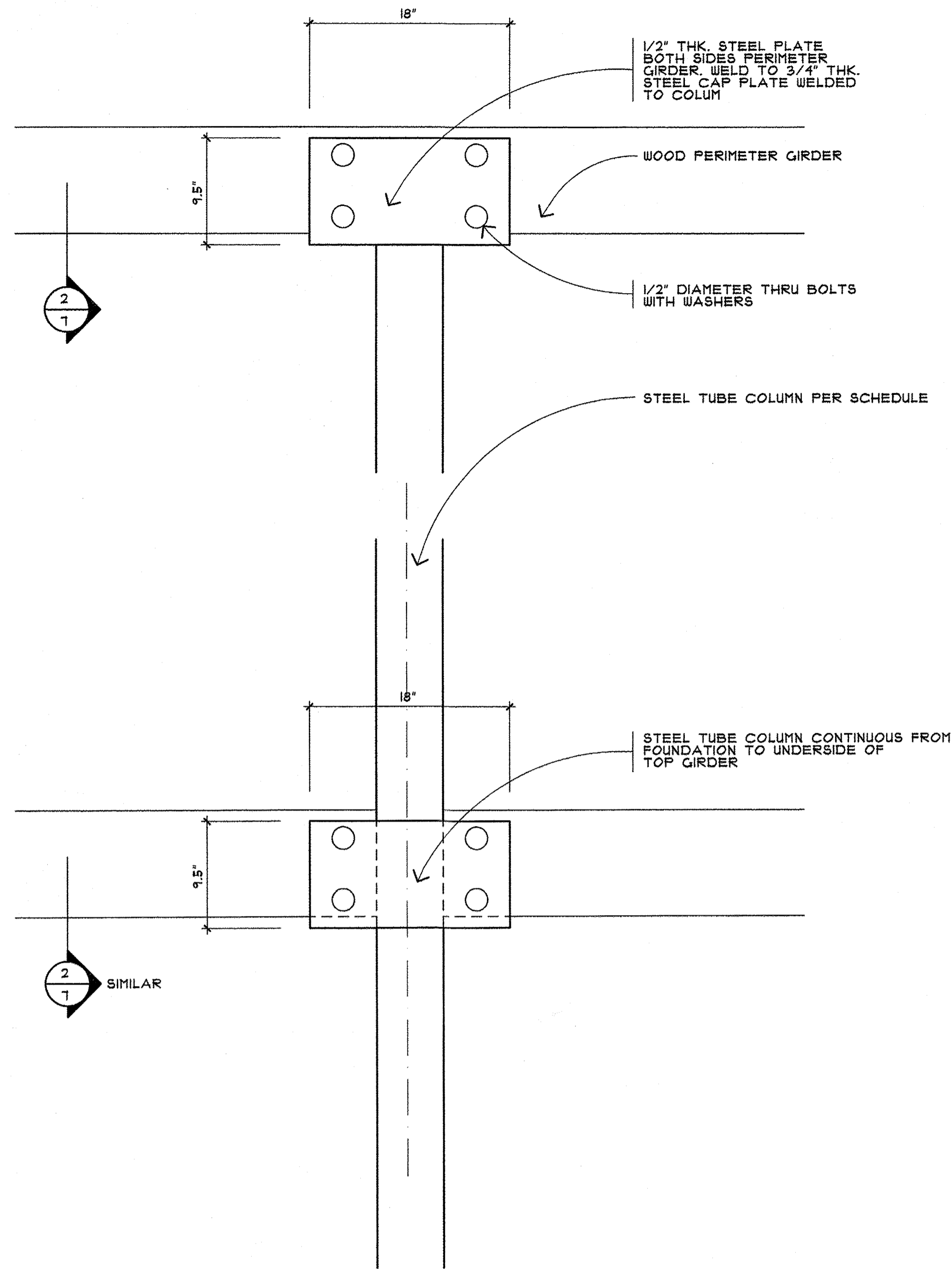
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REVISIONS:  
02/09/21 EMAIL

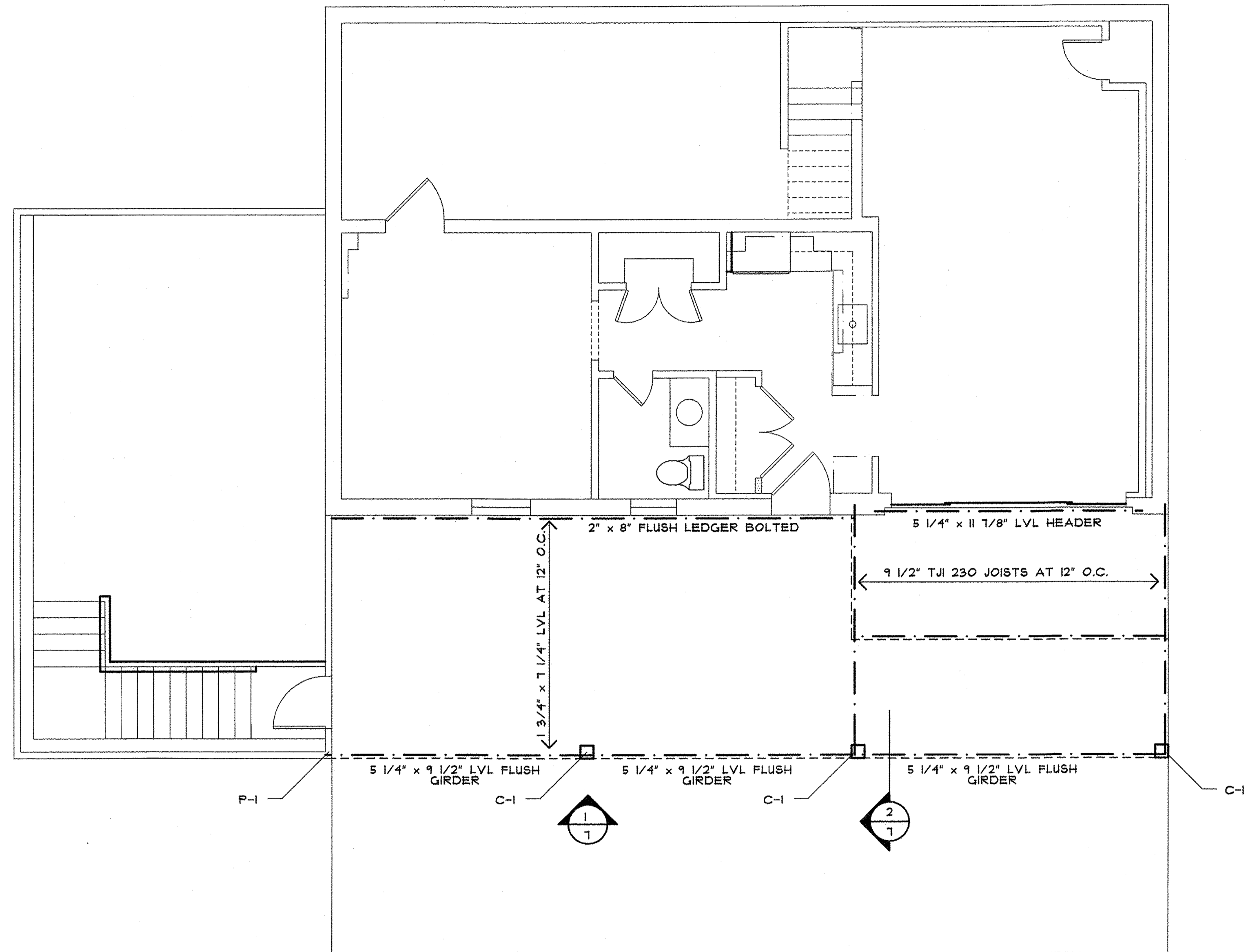
SHEET NO:

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1  
7 COLUM ELEVATION DETAIL  
SCALE: 1 1/2" = 1'-0"



**LOWER FIRST FLOOR FRAMING PLAN**

SCALE: 1/4" = 1'-0"

**COLUMN SCHEDULE**

C-1 6" x 6" x 1/2" THK. SQUARE STRUCTURAL TUBE COLUMN.  
6" x 8" x 1/2" THK. CAP PLATE. 6" x 12" x 3/4" THK. BASE PLATE.  
CONTINUOUS FROM FOUNDATION TO UNDERSIDE OF UPPER TERRACE  
FRAMING. 2 COAT EPOXY PAINT OVER PRIMER.

**POST SCHEDULE**

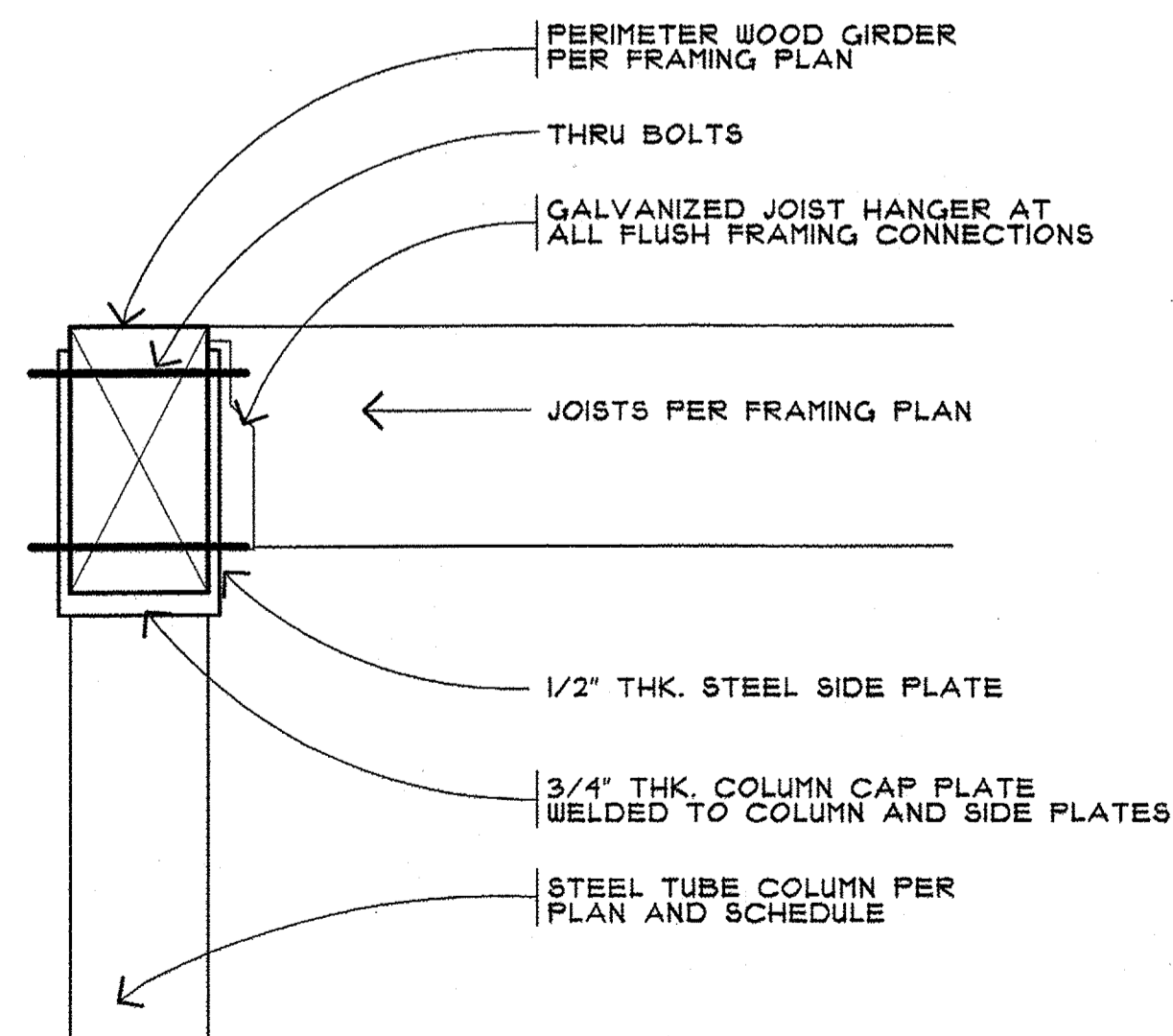
P-1 5 1/4" x 5 1/4" LVL POST

**HEADER SCHEDULE**

ALL HEADERS SHALL BE AS FOLLOWS UNLESS NOTED OTHERWISE:

(2) 2" x 10" (2" x 4" STUD WALLS.

(3) 2" x 10" (2" x 4" STUD WALLS.



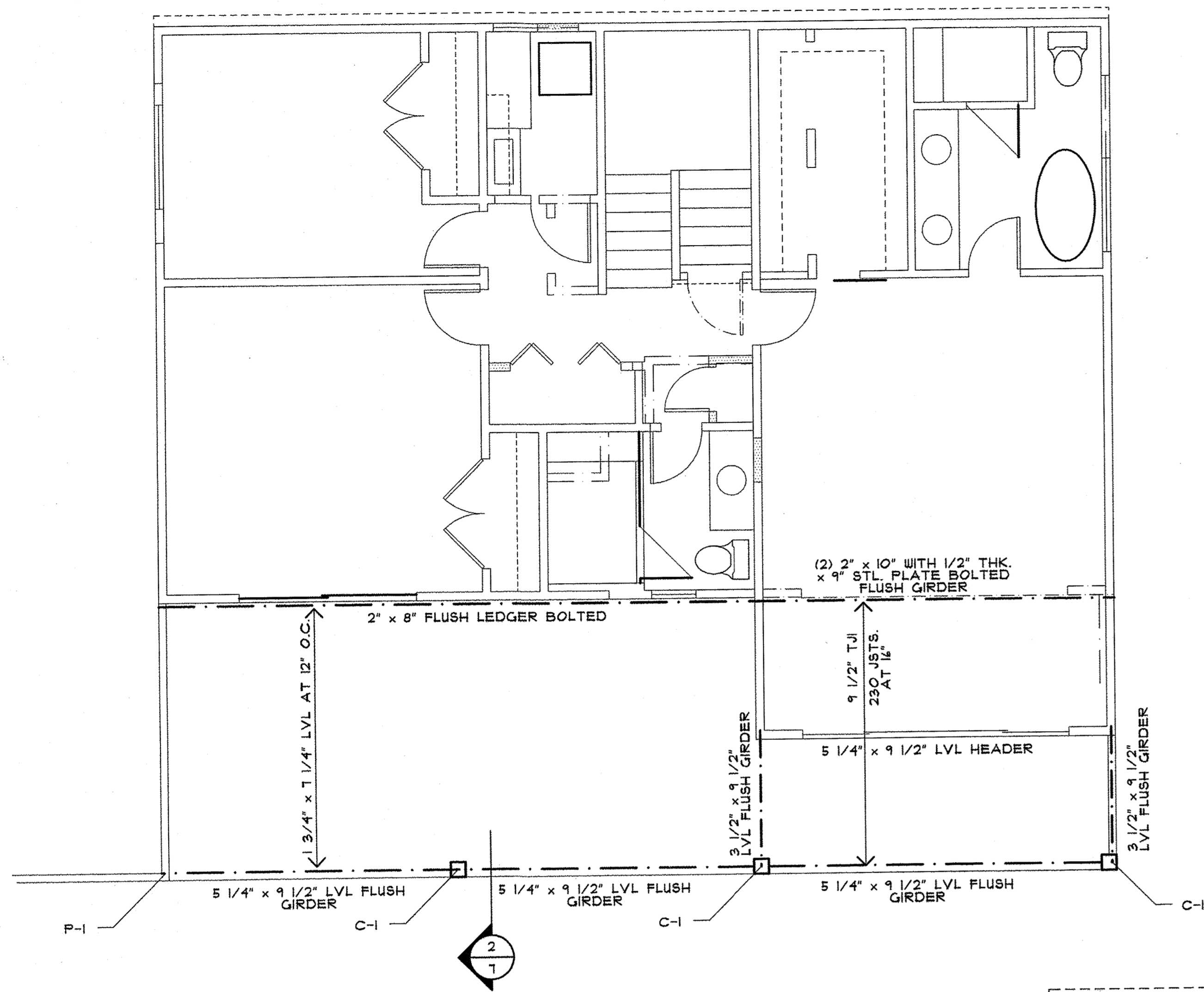
2  
7 SECTION THRU PERIMETER GIRDER at COLUMN  
SCALE: 1 1/2" = 1'-0"

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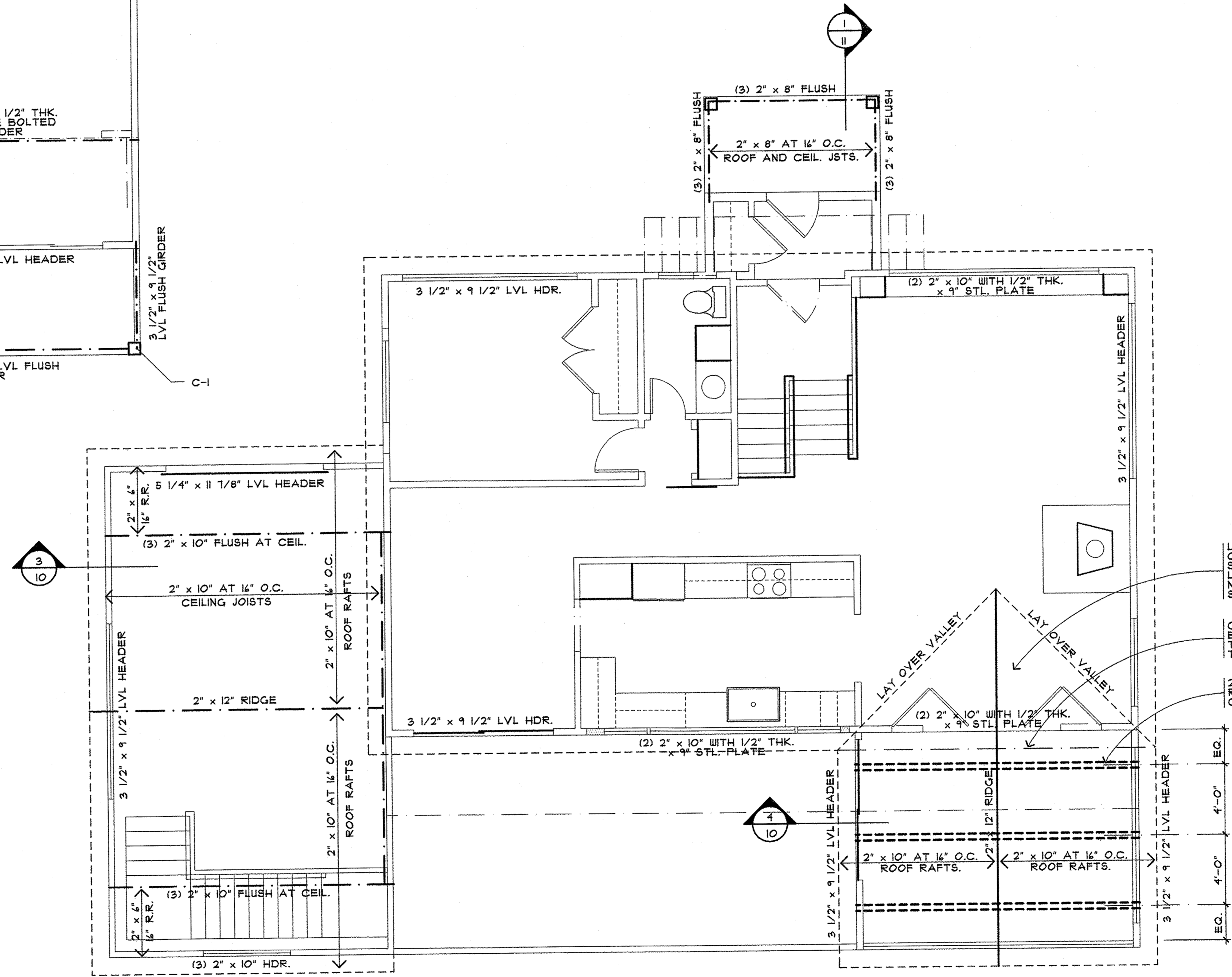


**MAIN FLOOR FRAMING PLAN**

SCALE: 1/4" = 1'-0"

**HEADER SCHEDULE**

ALL HEADERS SHALL BE AS FOLLOWS UNLESS NOTED OTHERWISE:  
 (2) 2" x 10" (2" x 4" STUD WALLS.  
 (3) 2" x 10" (2" x 4" STUD WALLS.



**ROOF FRAMING PLAN**

SCALE: 1/4" = 1'-0"

**HEADER SCHEDULE**

ALL HEADERS SHALL BE AS FOLLOWS UNLESS NOTED OTHERWISE:  
 (2) 2" x 10" (2" x 4" STUD WALLS.  
 (3) 2" x 10" (2" x 4" STUD WALLS.

LAY NEW ROOF FRAMING OVER EXISTING ROOF STRUCTURE. PROVIDE 2" x 12" LAID FLAT FOR BEARING OF NEW WRAPTERS. REMOVE EXISTING SHINGLE ROOFING PRIOR

CUT BACK AND REMOVE EXISTING ROOF OVERHANG THIS AREA TO ACCOMMODATE THE NEW WORK

2" x 8" BOTH SIDES OF ROOF RAFTERS WRAP WITH 1/2" GYPSUM BOARD

ALTERATIONS TO THE

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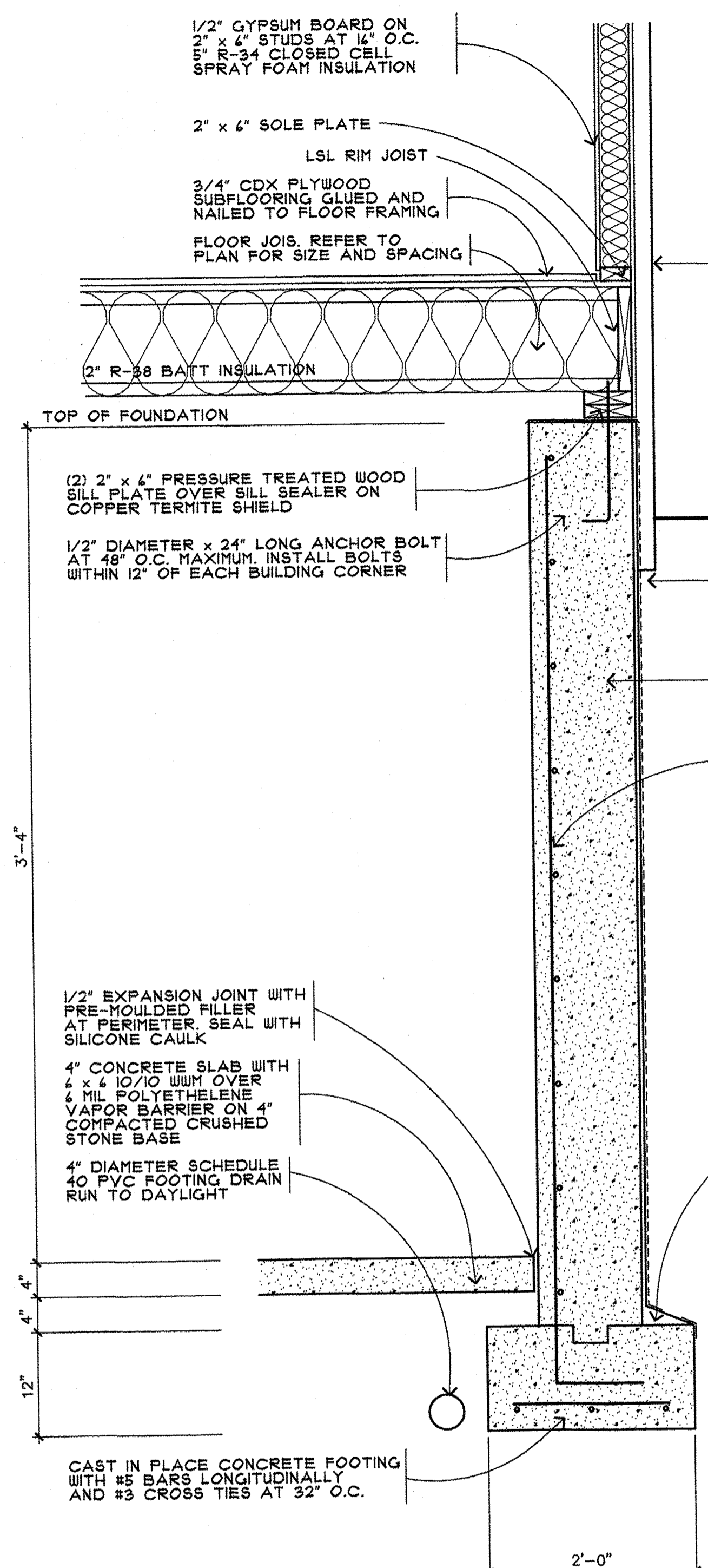
A8 OF 13

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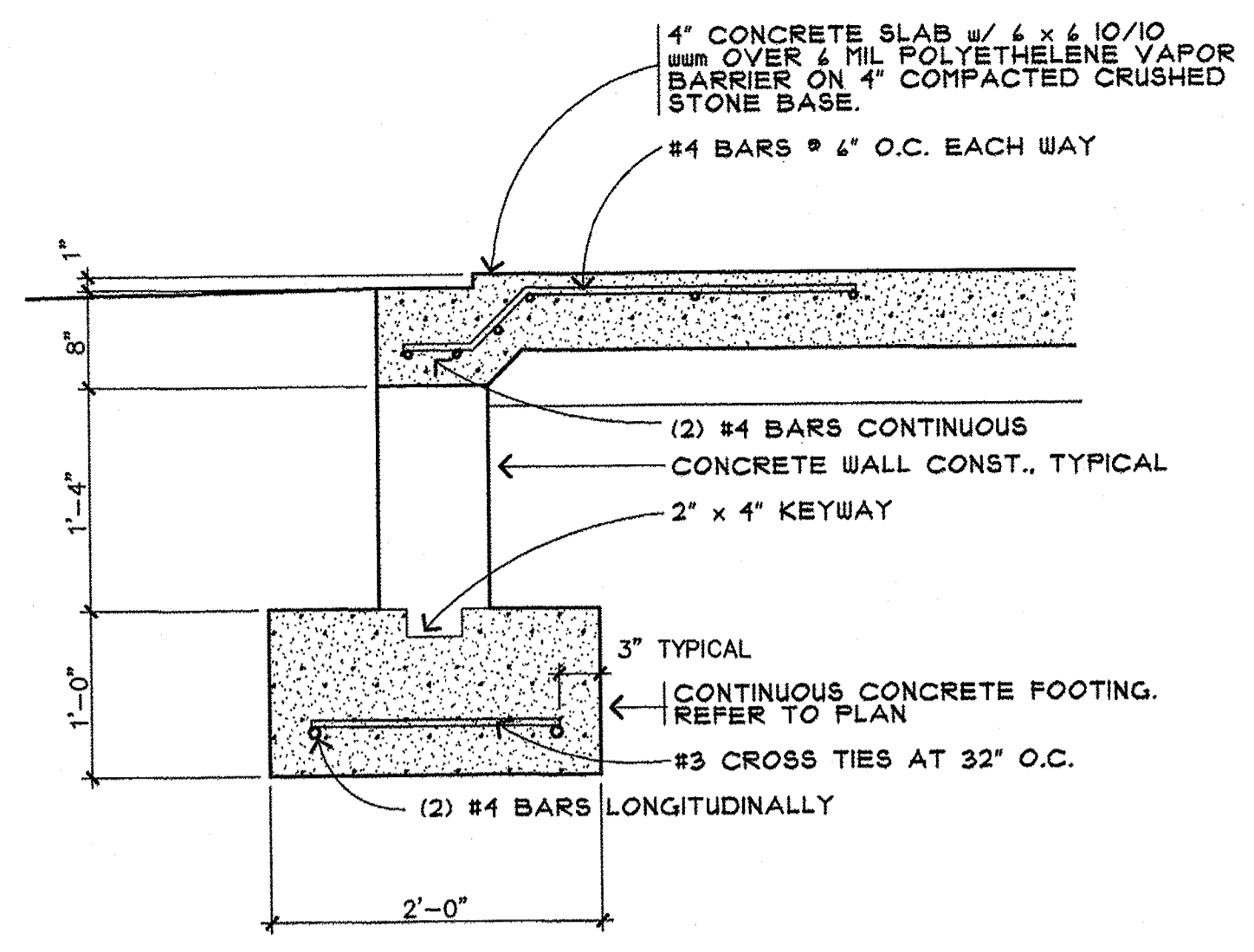
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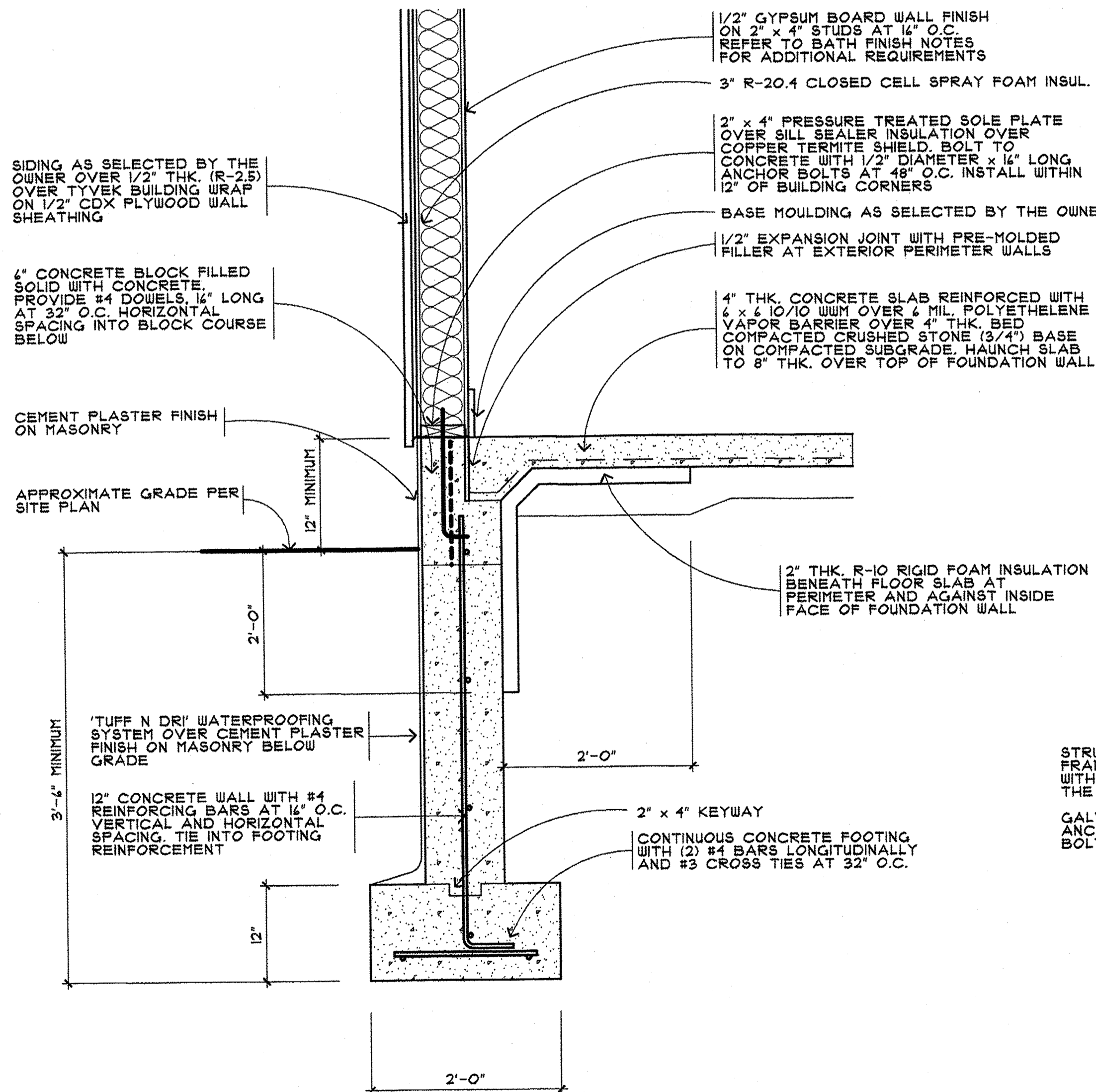
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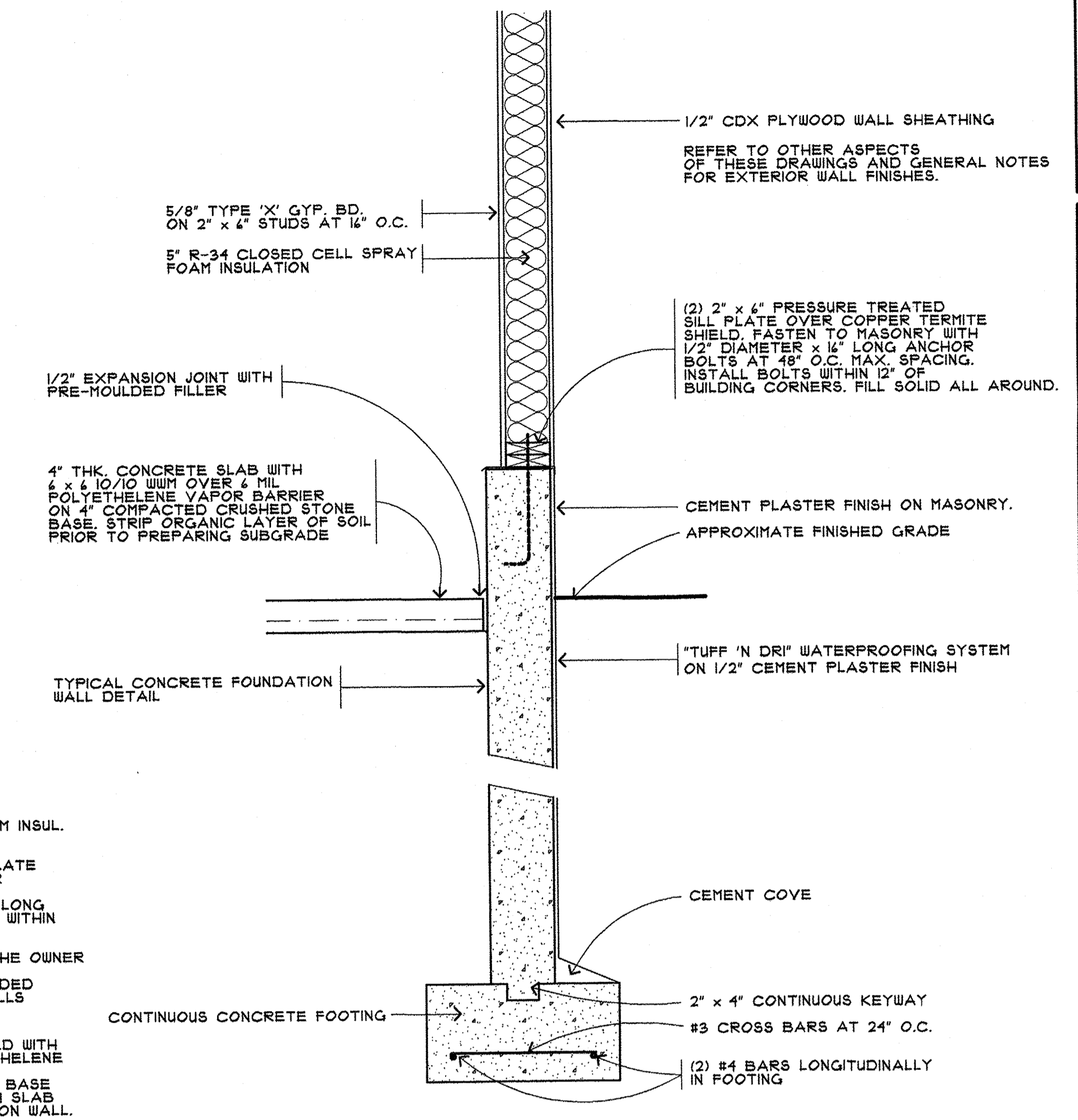
1 WALL SECTION  
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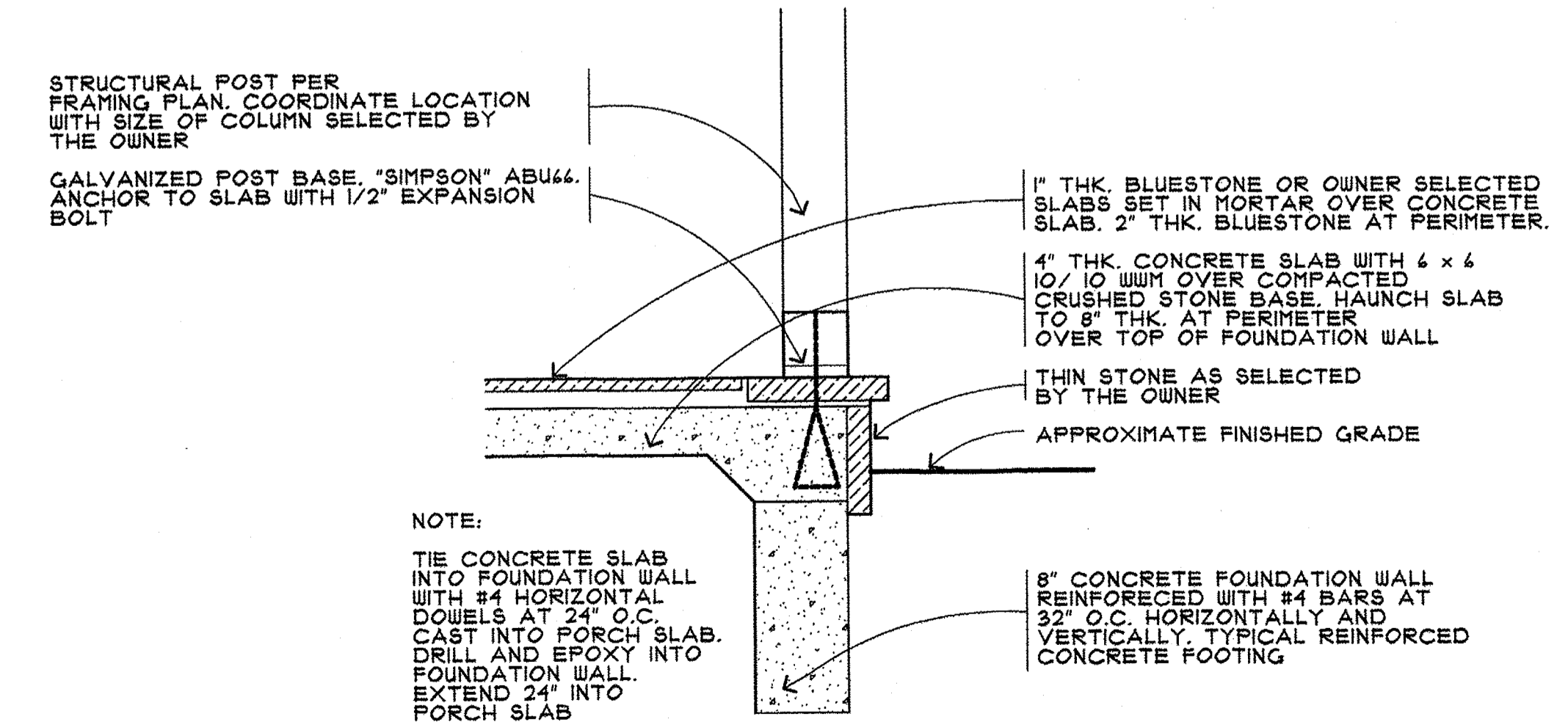
2 SLAB DETAIL @ OVERHEAD DOOR  
SCALE: 1" = 1'-0"



3 PERIMETER WALL SECTION at FOUNDATION  
SCALE: 1" = 1'-0"



4 GARAGE FOUNDATION WALL DETAIL  
SCALE: 1" = 1'-0"



5 PORCH FLOOR DETAIL  
SCALE: 1" = 1'-0"

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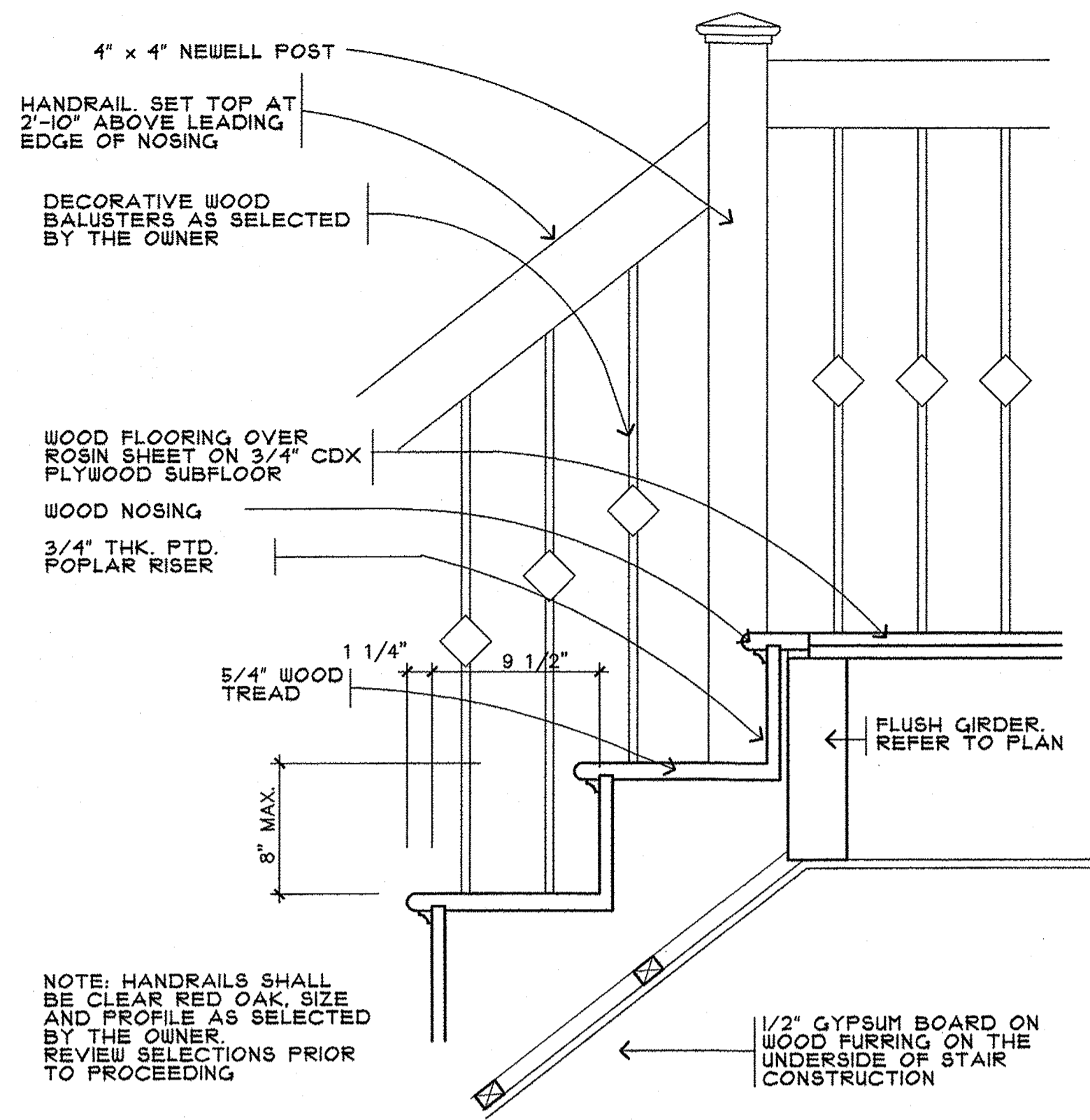
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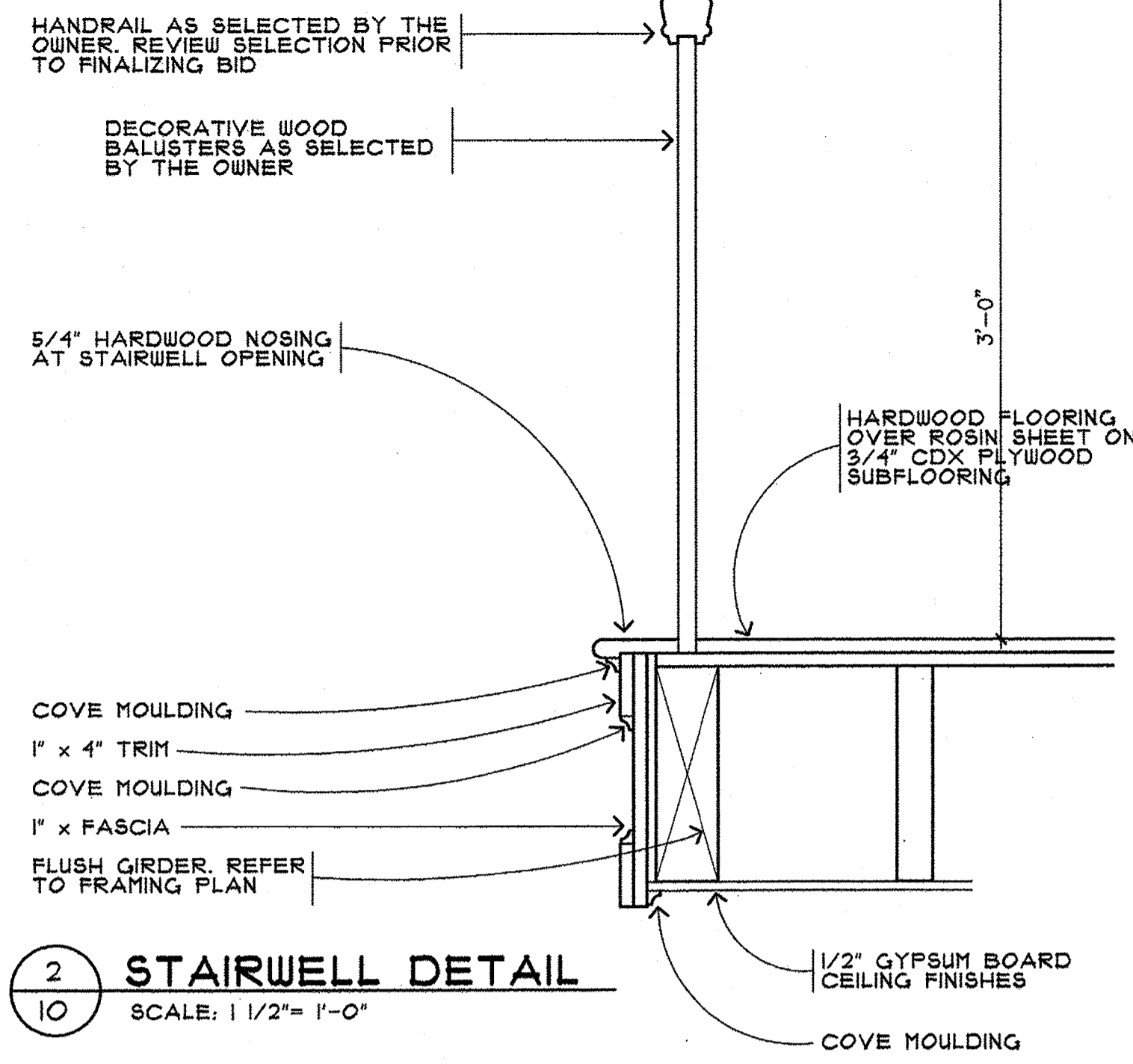
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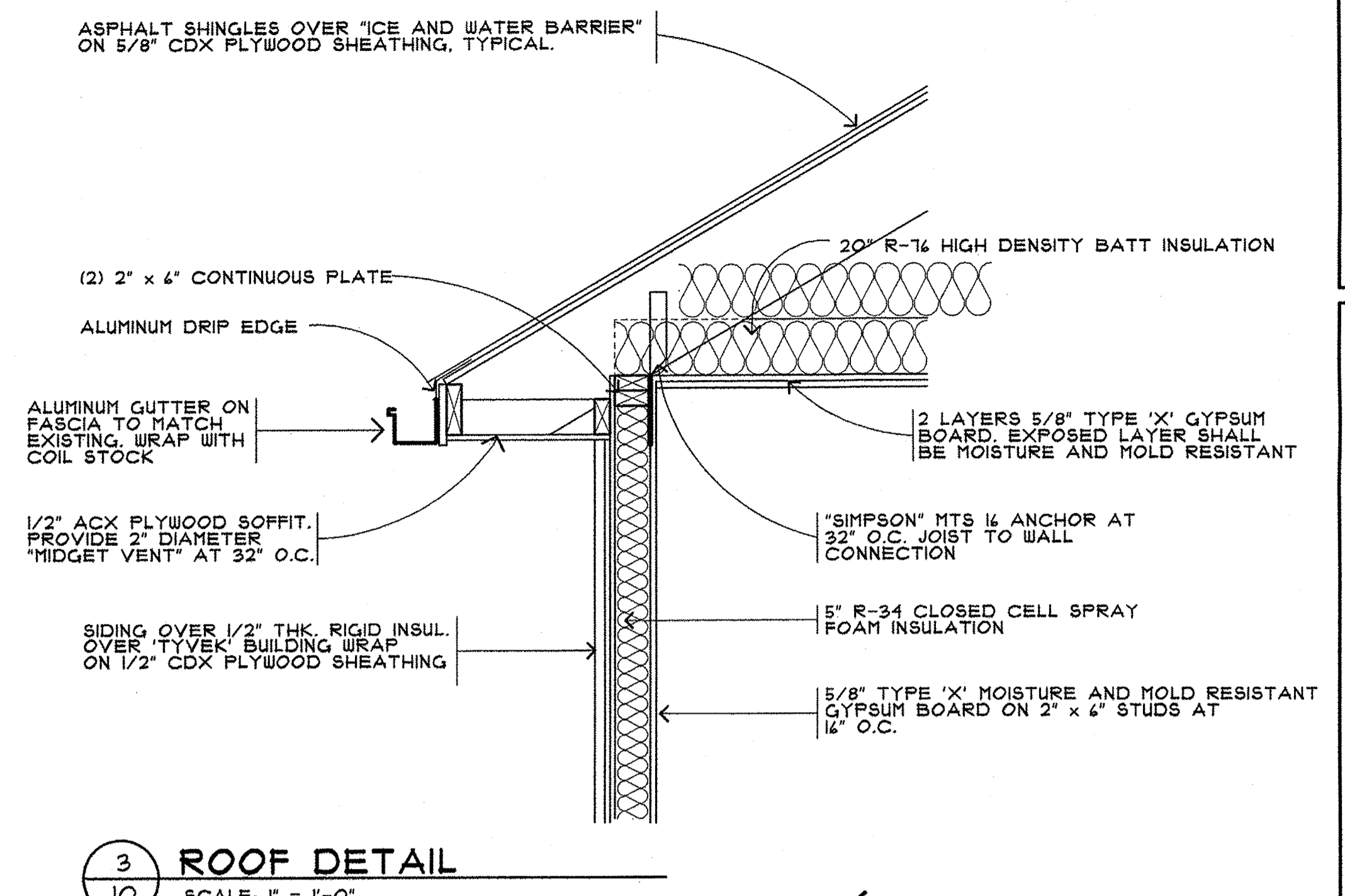


NOTE: HANDRAILS SHALL BE CLEAR RED OAK, SIZE AND PROFILE AS SELECTED BY THE OWNER. REVIEW SELECTIONS PRIOR TO PROCEEDING

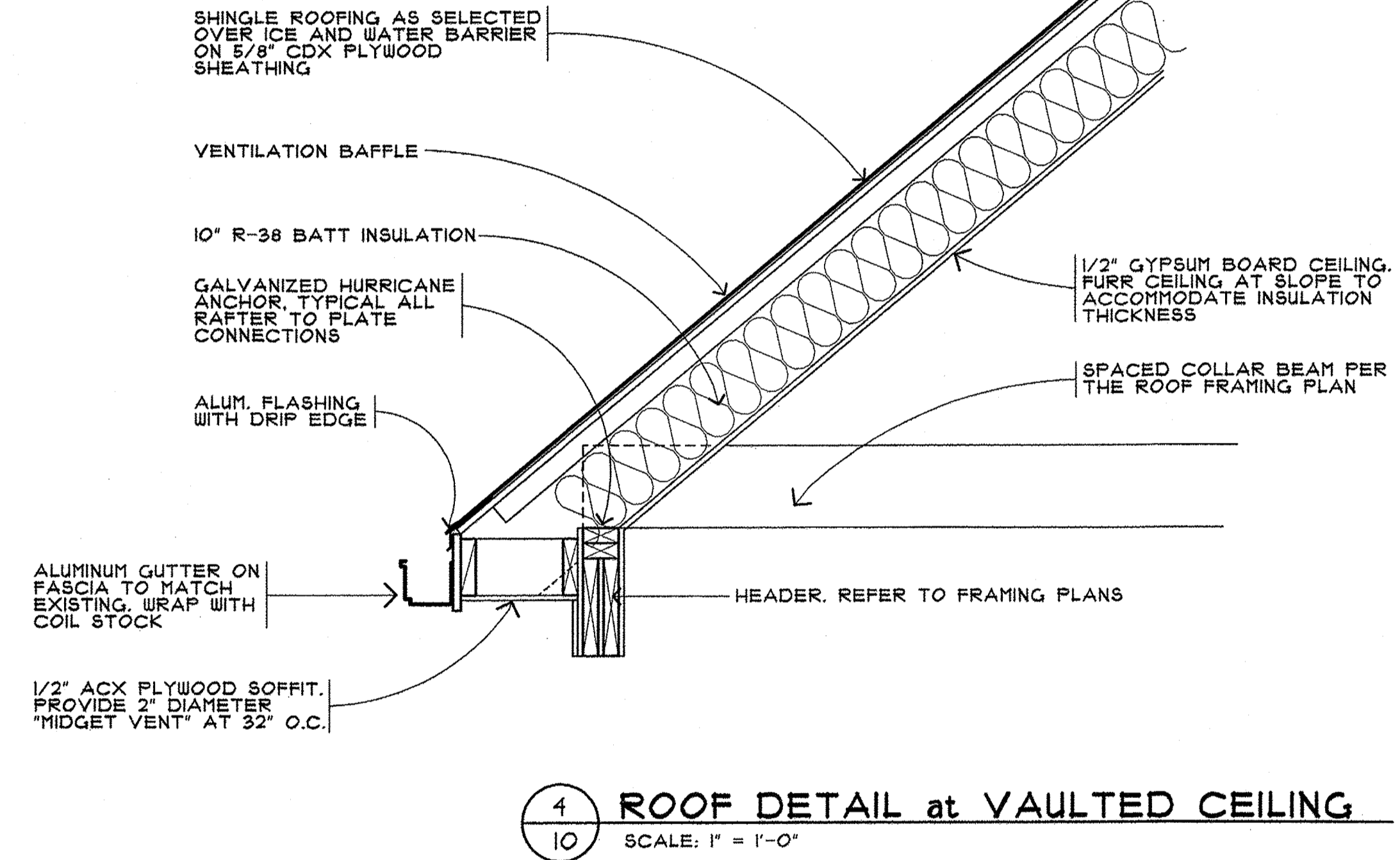
1 STAIR DETAIL  
SCALE: 1 1/2" = 1'-0"



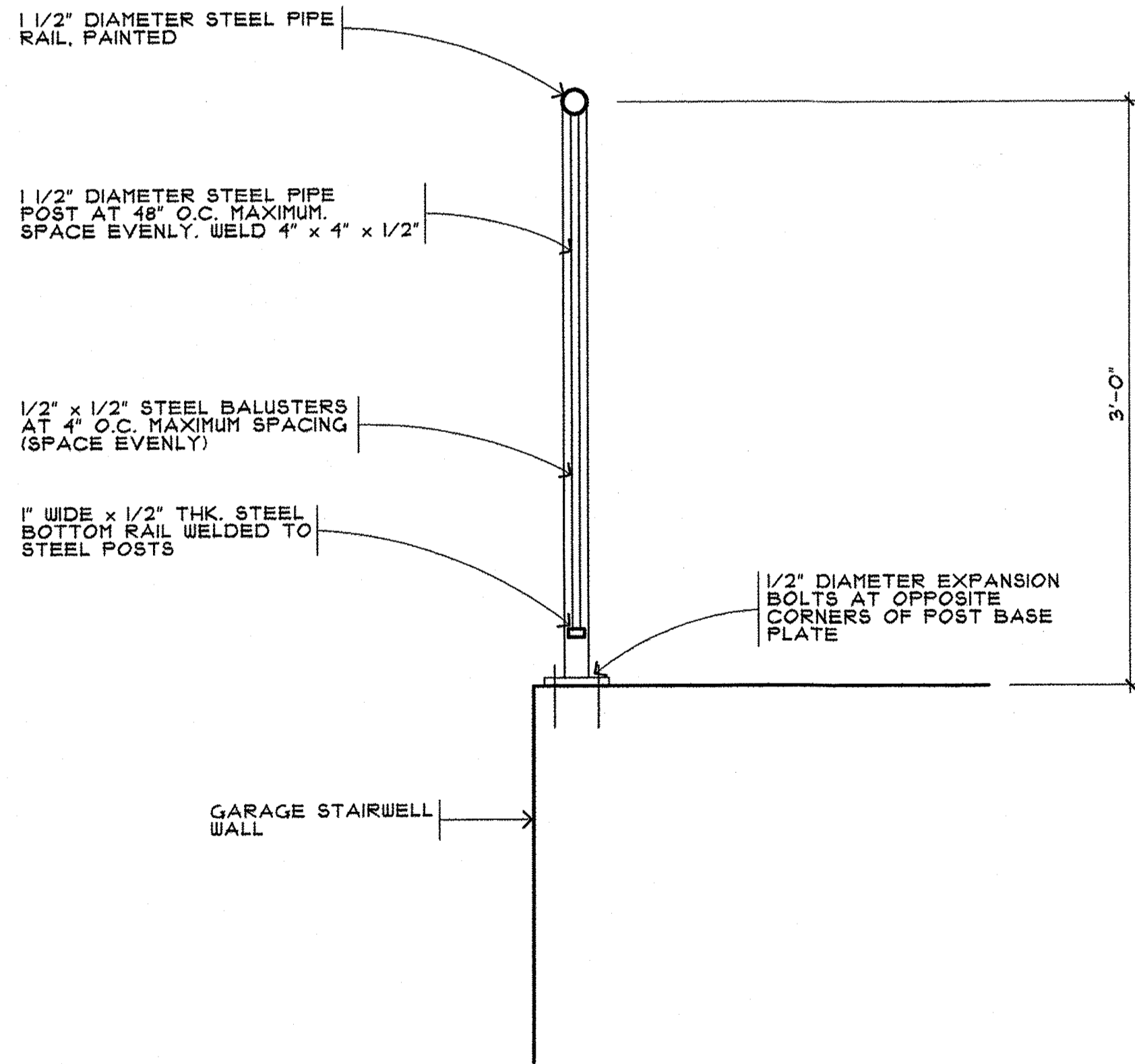
2 STAIRWELL DETAIL  
SCALE: 1 1/2" = 1'-0"



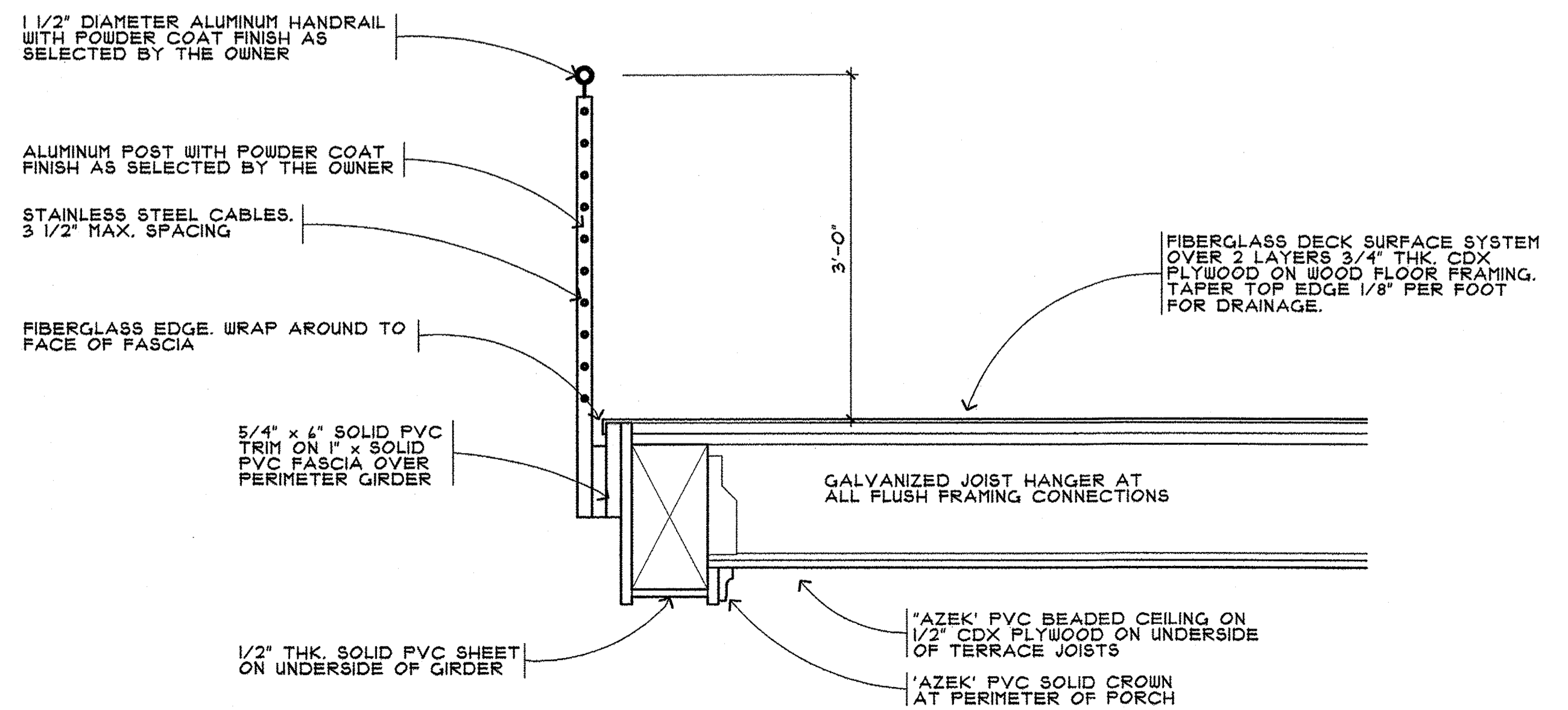
3 ROOF DETAIL  
SCALE: 1" = 1'-0"



4 ROOF DETAIL at VAULTED CEILING  
SCALE: 1" = 1'-0"



6 GUARD DETAIL at GARAGE STAIRWELL  
SCALE: 1 1/2" = 1'-0"



5 BALCONY EDGE DETAIL  
SCALE: 1 1/2" = 1'-0"

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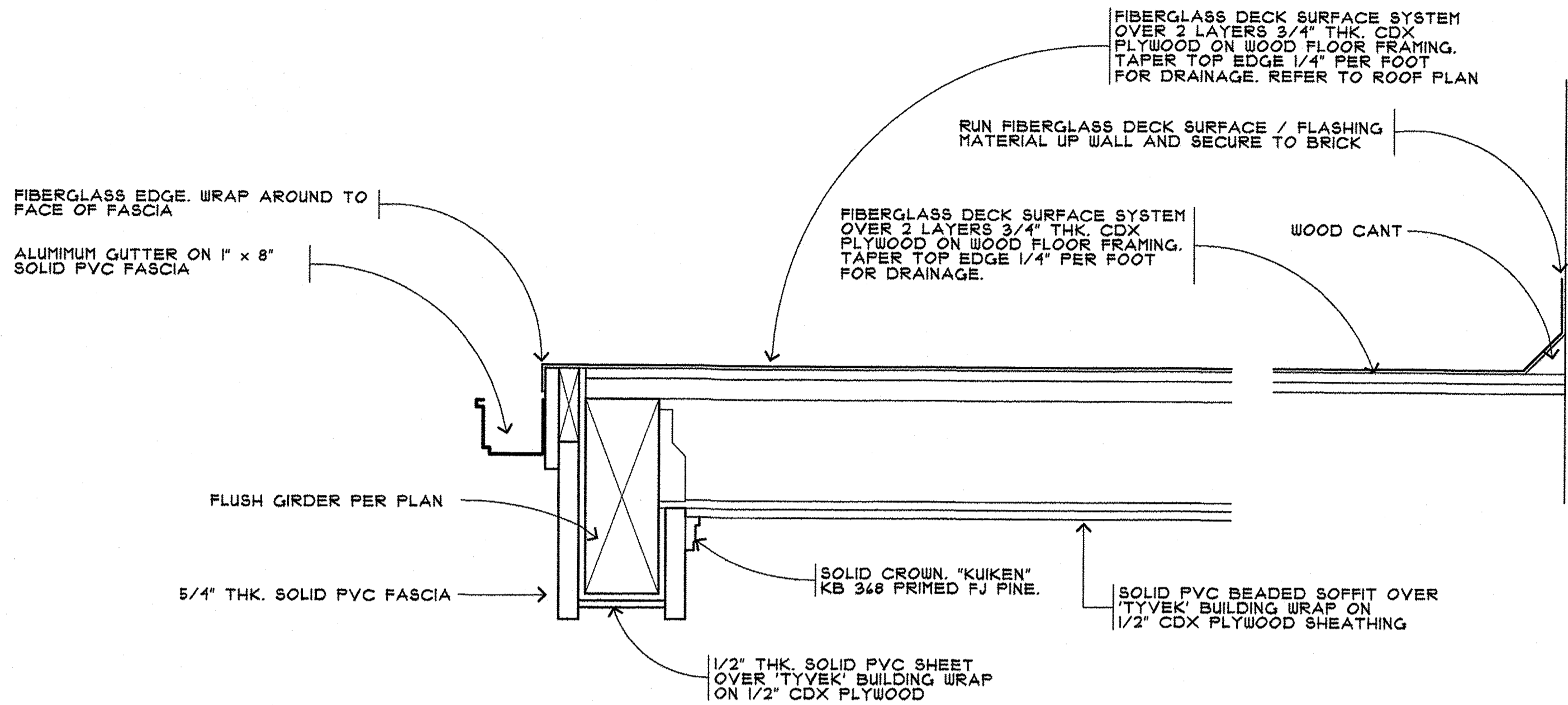
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NYACK (ORANGETOWN) NEW YORK

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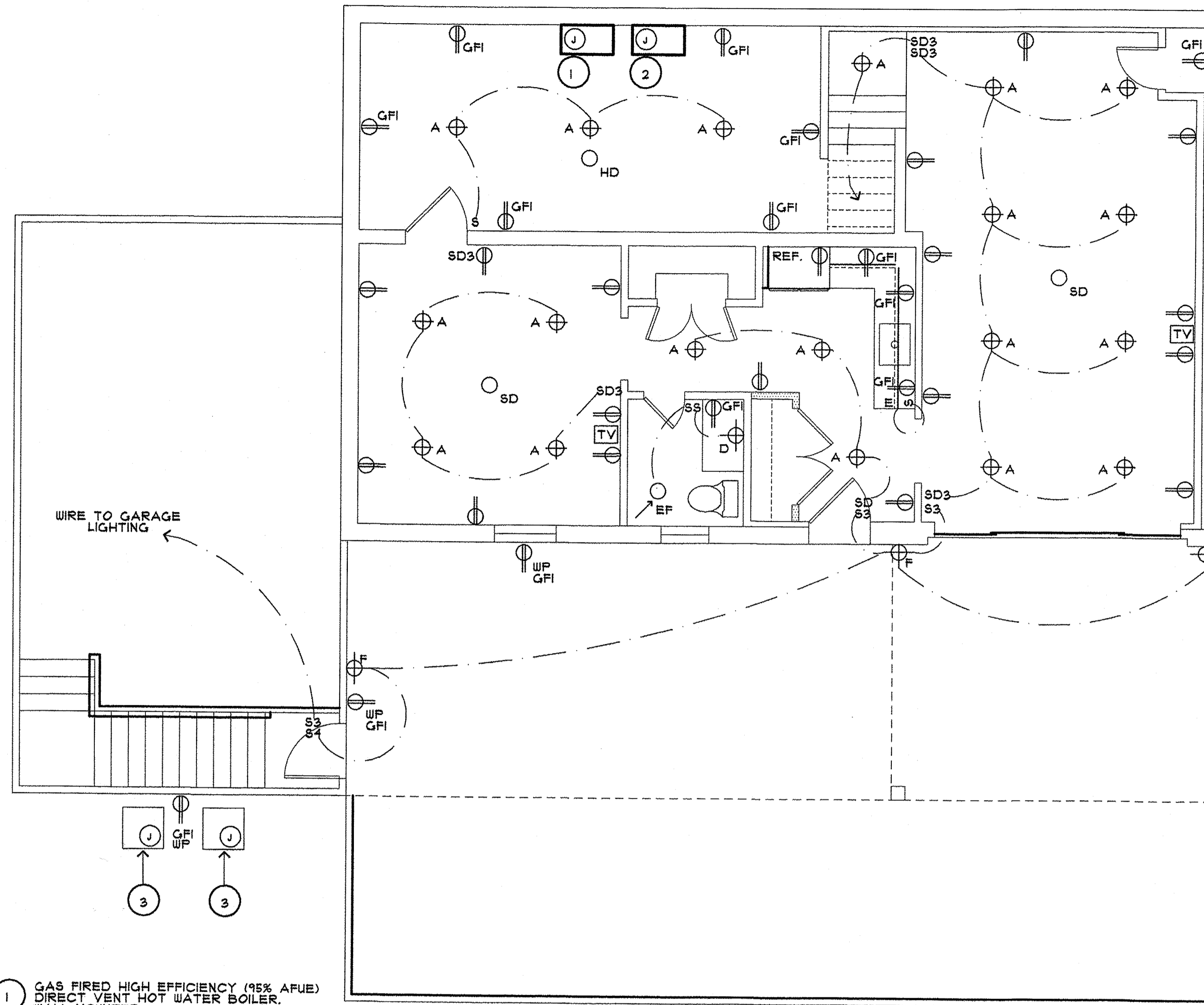
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**ROOF TERRACE DETAIL**  
SCALE: 1 1/2" = 1'-0"



- 1 GAS FIRED HIGH EFFICIENCY (95% AFUE) DIRECT VENT HOT WATER BOILER. WALL MOUNTED.
- 2 GAS FIRED HIGH EFFICIENCY ON DEMAND DOMESTIC WATER HEATER. WALL MOUNTED.
- 3 AIR CONDITIONING SYSTEM CONDENSER UNIT.

**LOWER SECOND FLOOR ELECTRICAL RECEPTACLE and LIGHTING PLAN**

SCALE: 1/4" = 1'-0"

**ELECTRICAL LEGEND**

- |     |  |      |   |         |   |
|-----|--|------|---|---------|---|
| ⊕ A | RECESSED LED DOWNLIGHT 4" APERTURE. 2100K. DL = DAMP LOCATION.   | ⊕ HD | HEAT DETECTOR                                       | ⊕ SL    | RECESSED LED SHOWER LIGHT. 2100 K   |
| ⊕ B | RECESSED LED ADJUSTABLE DOWNLIGHT                                | ⊕ SD | SMOKE DETECTOR                                      | ⊕ PORC. | PORCELAIN LAMP HOLDER   |
| ⊕ C | SURFACE MOUNTED CEILING FIXTURE BY OWNER<br>CEILING FAN MOUNTING | ⊕ CO | CARBON MONOXIDE DETECTOR                            | ⊕ PL    | PENDANT LIGHT BY OWNER  |
| ⊕ D | WALL SCONCE BY OWNER   | TV   | CABLE TELEVISION JACK. COORD. LOCATIONS WITH OWNER. | ⊕ CL    | RECESSED CLOSET LIGHT WITH LENS.  |
| E   | LED UNDERCABINET LIGHT   | T    | TELEPHONE JACK                                      | ⊕ EF    | 225 CFM EXHAUST FAN. VENT TO EXTERIOR. PROVIDE HOODED CAP WITH BACKDRAFT DAMPER.  |
| ⊕ F | EXTERIOR WALL SCONCE RATED FOR WET LOCATION. BY OWNER.           | J    | JUNCTION BOX  | ⊕       | DUPLEX ELECTRICAL RECEPTACLE  |
| ⊕ G | LED CLOSET LIGHT w/ LENS. REFER TO PLAN FOR LENGTH               | KP   | ALARM KEYPAD  | ⊕       | QUADRUPLEX ELECTRICAL RECEPTACLE  |
| ↑   | MOTION SENSOR. DUAL HEAD ADJUSTABLE FLOODLIGHT w/ MOTION SENSOR. | C    | CABLE MODEM JACK                                    | ⊕ GFI   | DUPLEX ELECTRICAL RECEPTACLE. GROUND FAULT PROTECTED. (WP INDICATES WEATHERPROOF) |
| ⊕ H | 24" x 48" SURFACE MOUNTED LED FIXTURE                            | CH   | DOOR CHIME BY OWNER.                                | S       | SINGLE POLE SWITCH  |
|     |  | B    | CHIME BUTTON BY OWNER. CONNECT TO EXISTING CHIME.   | S3      | THREE WAY SWITCH  |
|     |  |      |   | S4      | FOUR WAY SWITCH   |
|     |  |      |   | SP      | SINGLE POLE SWITCH w/ PILOT LIGHT   |
|     |  |      |   | SD      | DIMMER SWITCH   |
|     |  |      |   | FCS     | FAN CONTROL SWITCH  |

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BY ARCH. LIC. 020582

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ALTERATIONS TO THE

**MAURO RESIDENCE**  
1079 ROUTE 9W SOUTH  
NYACK (ORANGETOWN) NEW YORK

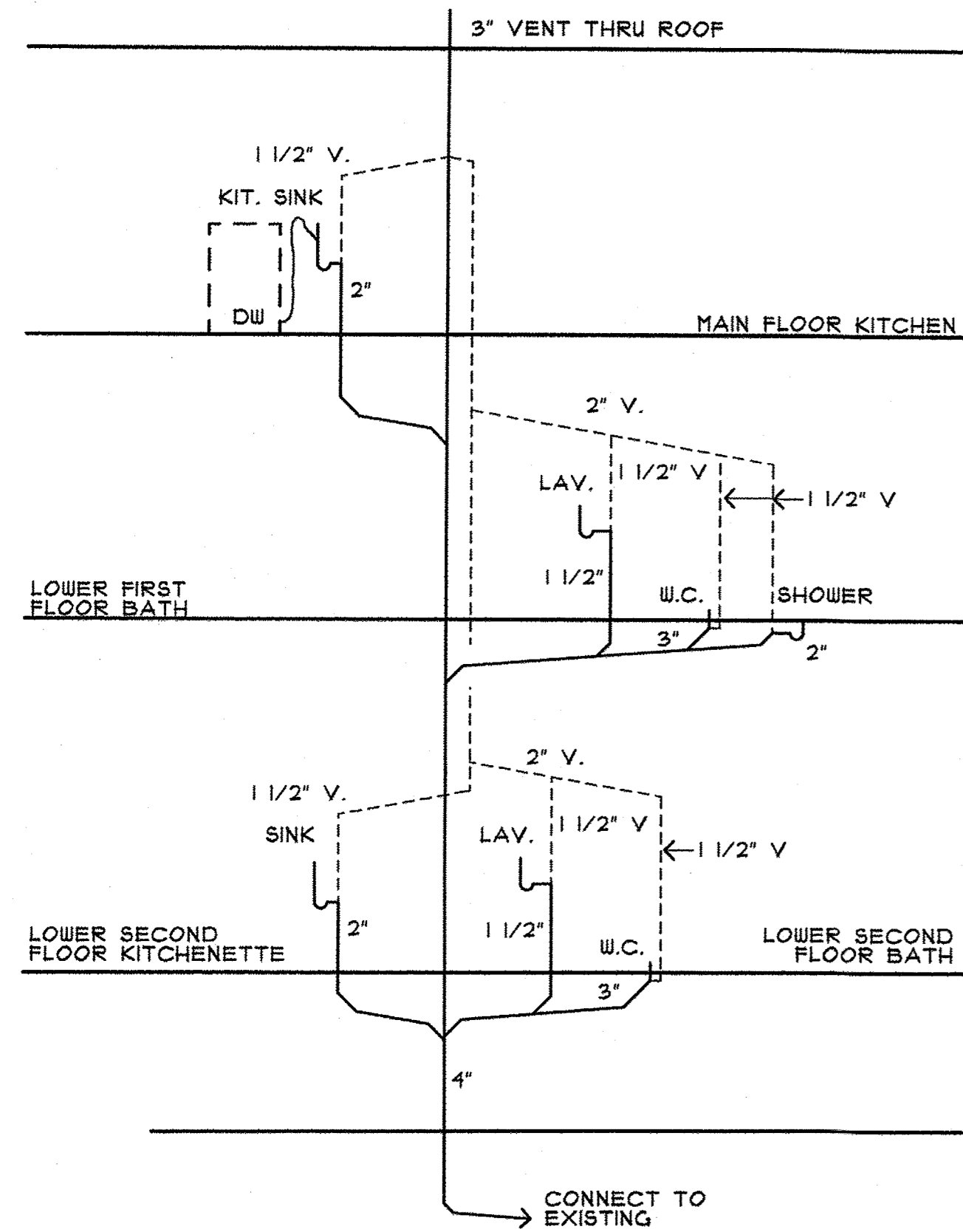
DRAWN BY: JJB  
CHECKED BY: ME

DATE: 02/10/21

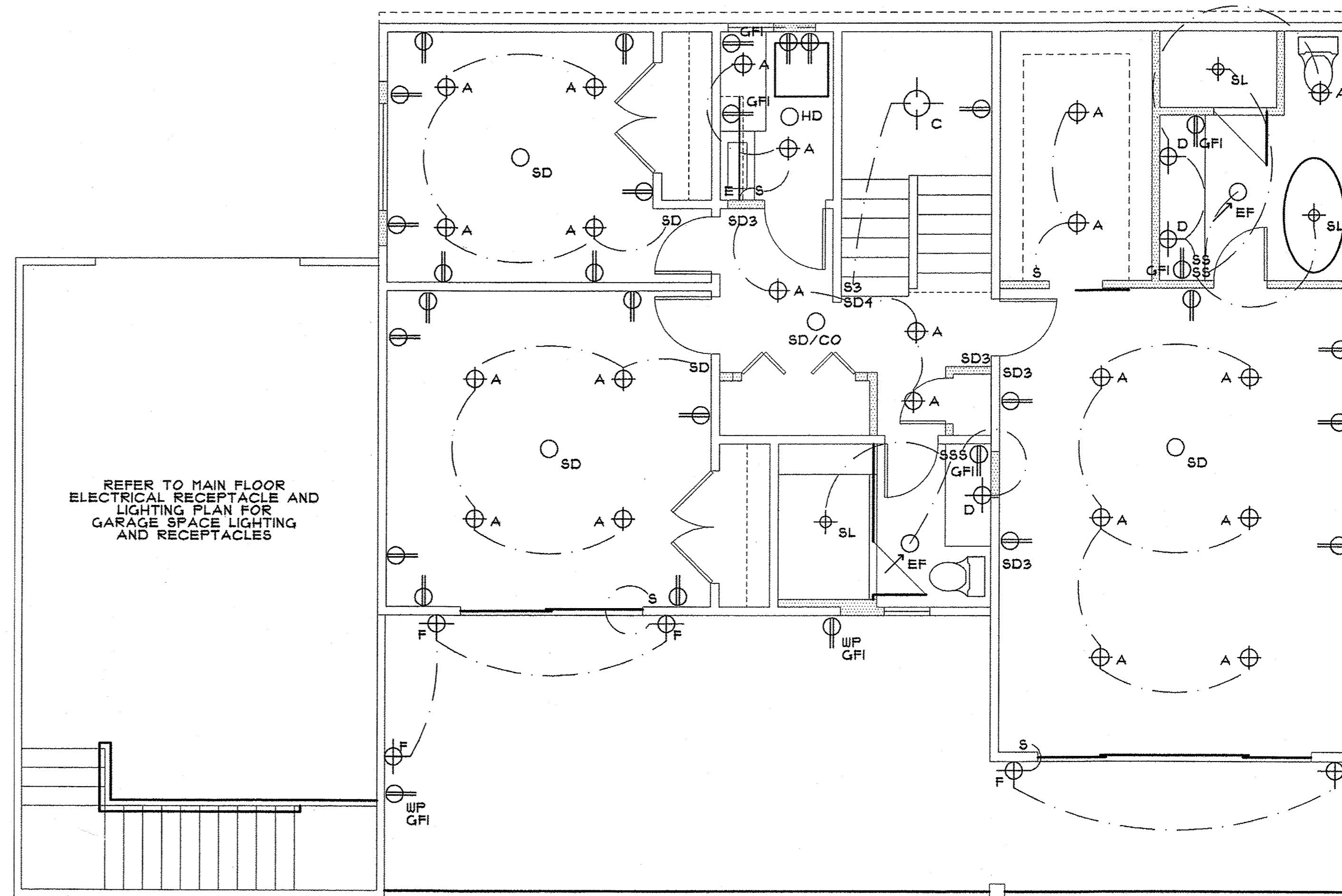
REVISIONS:  
11/22/21

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**SANITARY RISER DIAGRAM**



**LOWER FIRST FLOOR ELECTRICAL RECEPTACLE and LIGHTING PLAN**

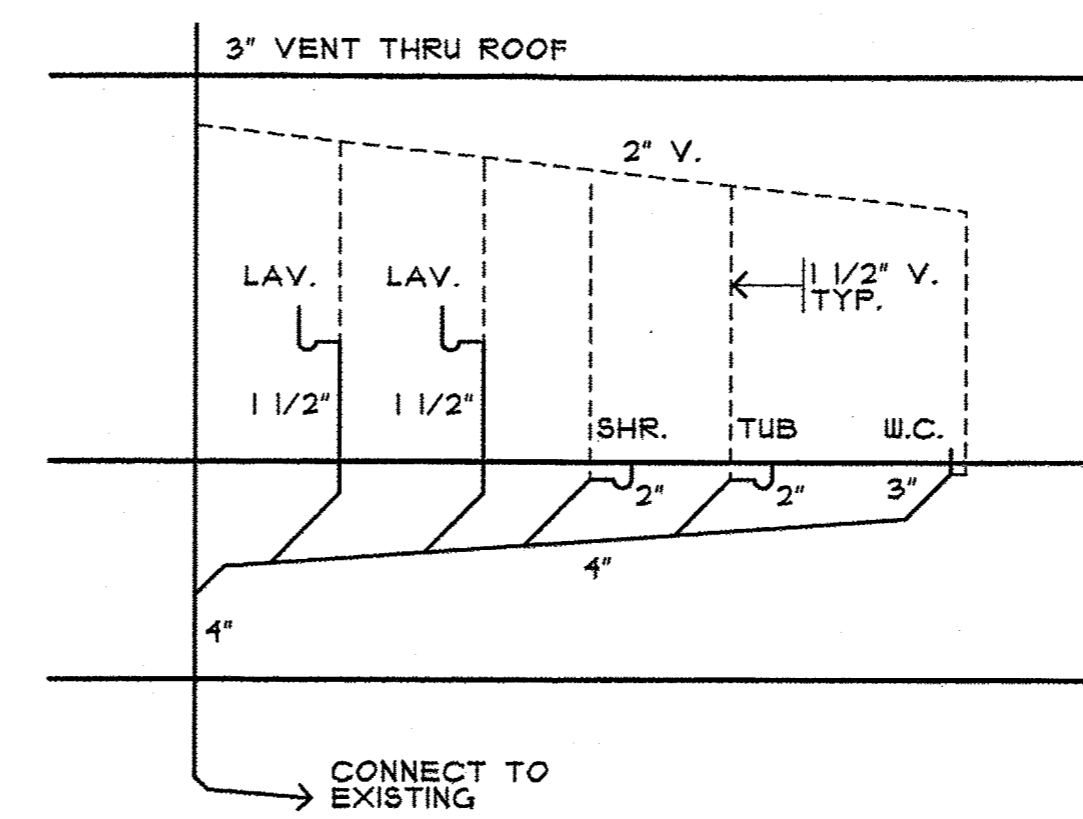
SCALE: 1/4" = 1'-0"

**ELECTRICAL LEGEND**

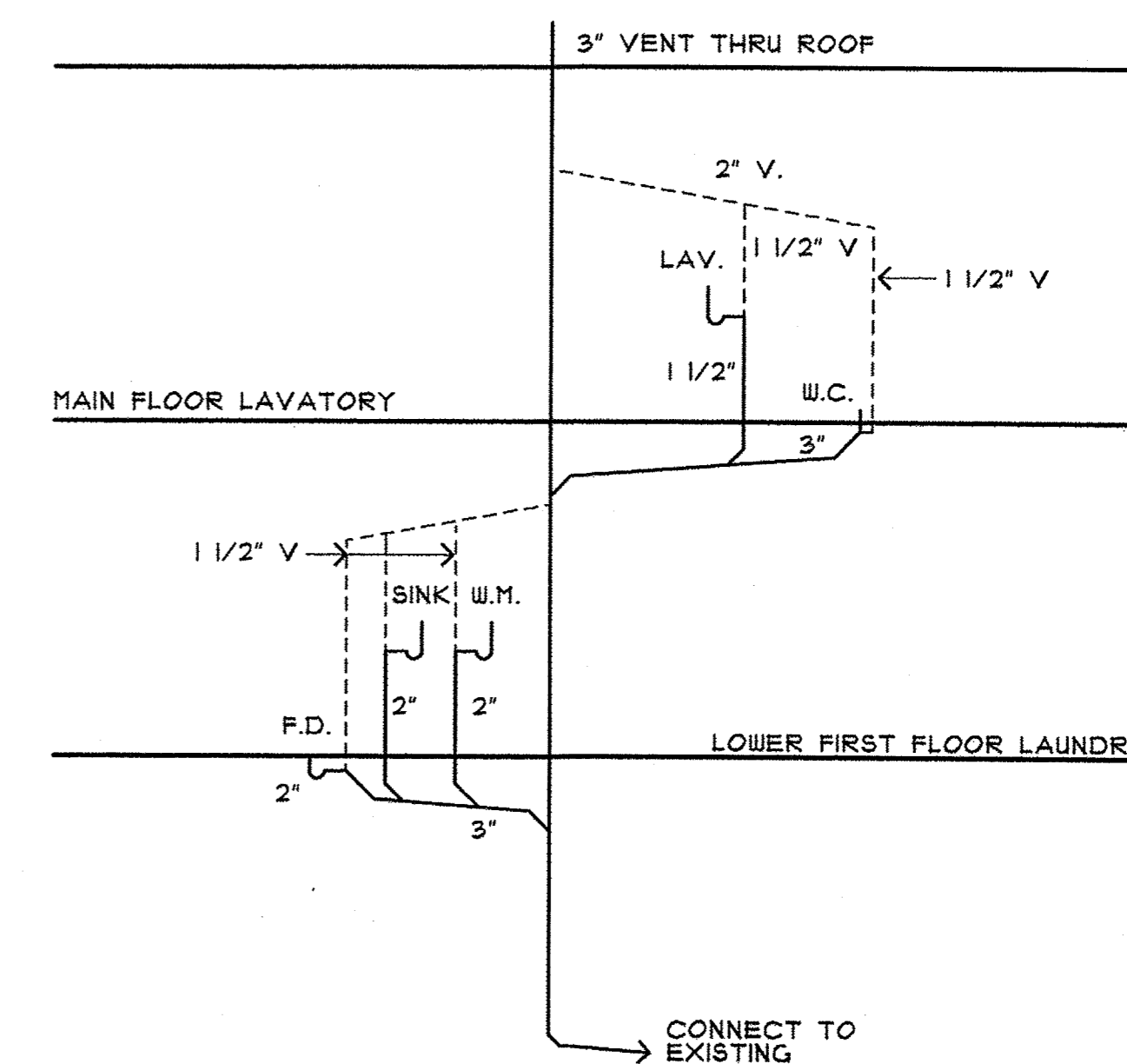
- ⊕ A RECESSED LED DOWNLIGHT 4" APERTURE. 2700K. DL = DAMP LOCATION.
- ⊕ B RECESSED LED ADJUSTABLE DOWNLIGHT
- ⊕ C SURFACE MOUNTED CEILING FIXTURE BY OWNER  
CEILING FAN MOUNTING
- ⊕ D WALL SCONCE BY OWNER
- E LED UNDERCABINET LIGHT
- ⊕ F EXTERIOR WALL SCONCE RATED FOR WET LOCATION. BY OWNER.
- G LED CLOSET LIGHT w/ LENS. REFER TO PLAN FOR LENGTH
- ↑ MOTION DUAL HEAD ADJUSTABLE FLOODLIGHT w/ MOTION SENSOR.
- H
- ▭ 24" x 48" SURFACE MOUNTED LED FIXTURE

- HD HEAT DETECTOR
- SD SMOKE DETECTOR
- CO CARBON MONOXIDE DETECTOR
- TV CABLE TELEVISION JACK. COORD. LOCATIONS WITH OWNER.
- T TELEPHONE JACK
- ⊙ JUNCTION BOX
- KP ALARM KEYPAD
- C CABLE MODEM JACK
- CH DOOR CHIME BY OWNER.
- B CHIME BUTTON BY OWNER. CONNECT TO EXISTING CHIME.

- ⊕ SL RECESSED LED SHOWER LIGHT. 2700 K
- ⊕ PORC. PORCELAIN LAMP HOLDER
- PL PENDANT LIGHT BY OWNER
- ⊕ CL RECESSED CLOSET LIGHT WITH LENS.
- ⊙ EF 225 CFM EXHAUST FAN. VENT TO EXTERIOR. PROVIDE HOODED CAP WITH BACKDRAFT DAMPER.
- ⊕ DUPLEX ELECTRICAL RECEPTACLE
- ⊕ QUADRUPLEX ELECTRICAL RECEPTACLE
- ⊕ GFI DUPLEX ELECTRICAL RECEPTACLE. GROUND FAULT PROTECTED. (W/P INDICATES WEATHERPROOF)
- S SINGLE POLE SWITCH
- S3 THREE WAY SWITCH
- S4 FOUR WAY SWITCH
- S5 SINGLE POLE SWITCH w/ PILOT LIGHT
- SD DIMMER SWITCH
- FCS FAN CONTROL SWITCH



**SANITARY RISER DIAGRAM**  
MASTER BATH



**SANITARY RISER DIAGRAM**

ALTERATIONS TO THE

**MAURO RESIDENCE**  
1079 ROUTE 9W SOUTH  
NYACK (ORANGETOWN) NEW YORK

DRAWN BY: JUB  
CHECKED BY: ME

DATE: 02/10/21

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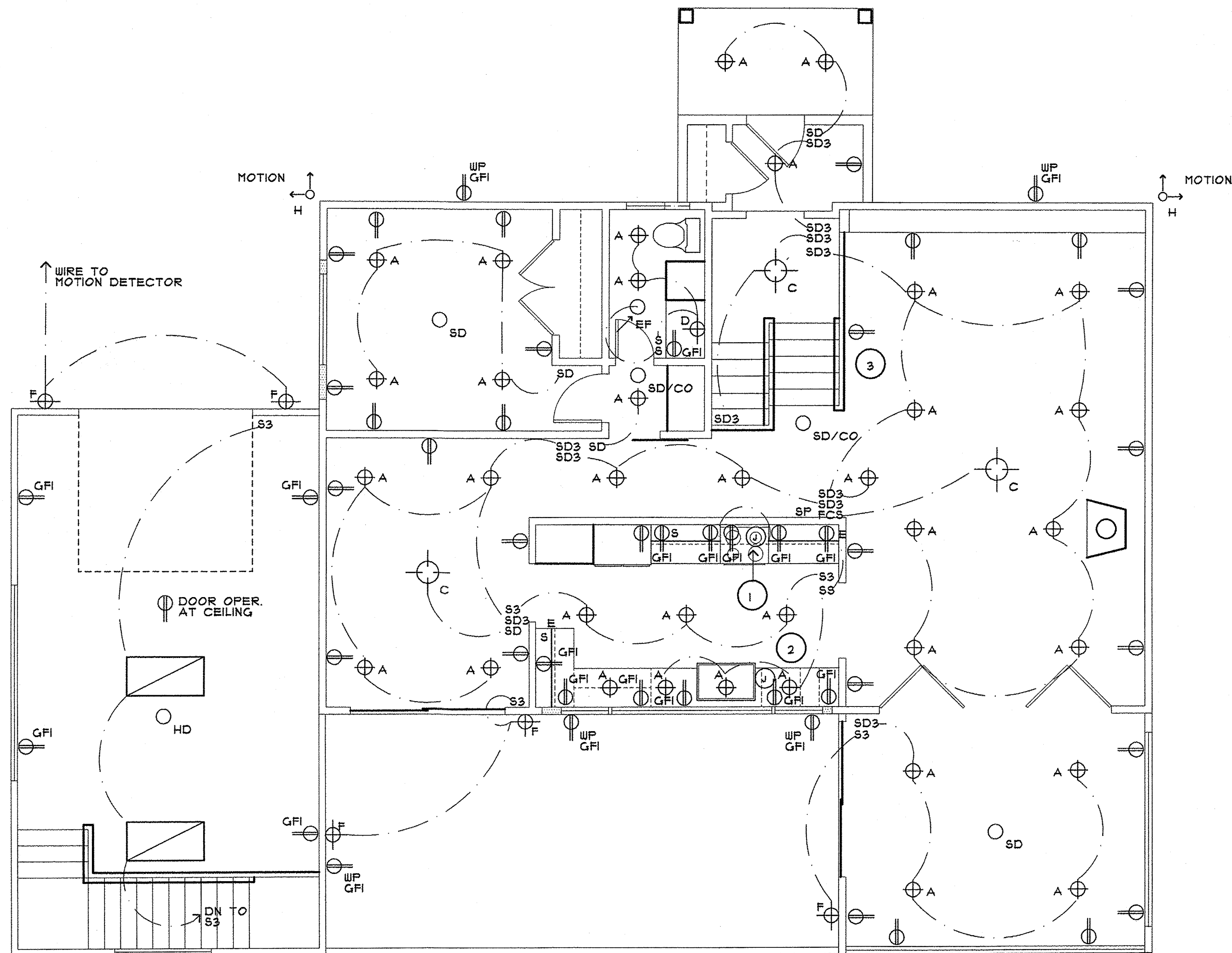
SHEET NO:

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JOSEPH J. BRUNO, AIA  
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TELEPHONE/ FACSIMILE 201-301-1115

VALID IF SEALED  
JOSEPH J. BRUNO, AIA  
ARCHITECT  
NY ARCH LIC. 090888



**MAIN FLOOR ELECTRICAL RECEPTACLE and LIGHTING PLAN**

SCALE: 1/4" = 1'-0"

- ① VENT KITCHEN EXHAUST TO EXTERIOR. PROVIDE HOODED CAP WITH BACKDRAFT DAMPER. PROVIDE MAKEUP AIR IF FAN EXCEEDS 400 CFM.
- ② POWER SUPPLY BELOW COUNTERTOP FOR DISHWASHER.
- ③ RECESSED FLOOR RECEPTACLE WITH FLUSH COVER.

**ELECTRICAL LEGEND**

- ⊕ A RECESSED LED DOWNLIGHT 4" APERTURE. 2100K. DL = DAMP LOCATION.
- ⊕ B RECESSED LED ADJUSTABLE DOWNLIGHT
- ⊕ C SURFACE MOUNTED CEILING FIXTURE BY OWNER  
CEILING FAN MOUNTING
- ⊕ D WALL SCONCE BY OWNER
- E LED UNDERCABINET LIGHT
- ⊕ F EXTERIOR WALL SCONCE RATED FOR WET LOCATION. BY OWNER.
- G LED CLOSET LIGHT w/ LENS. REFER TO PLAN FOR LENGTH
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H DUAL HEAD ADJUSTABLE FLOODLIGHT w/ MOTION SENSOR.
- ▭ 24" x 48" SURFACE MOUNTED LED FIXTURE

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- SD SMOKE DETECTOR
- CO CARBON MONOXIDE DETECTOR
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- T TELEPHONE JACK
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VALID IF SEALED  
  
 JOSEPH J. BRUNO, AIA  
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JOSEPH J. BRUNO, AIA  
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ALTERATIONS TO THE

**MAURO RESIDENCE**

1019 ROUTE 9W SOUTH  
 NYACK (ORANGETOWN) NEW YORK

DRAWN BY: JJB  
 CHECKED BY: ME

DATE: 02/10/21

REVISIONS:

SHEET NO:

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