#### Name of Municipality: TOWN OF ORANGETOWN

Date	Submitted:		
Date	Jubilitteu	•	

#### 2022 LAND USE BOARD APPLICATION

Please check all theCommercial Planning Board Zoning Board of Appeals  Subdivision Number of Lots Site Plan Conditional Use  Special Permit Variance Performance Standards Review Use Variance Other (specify):	Residential  Historical Board Architectural Board  Consultation Pre-Preliminary/Sketch Preliminary Interpretation  PERMIT#: 52054  ASSIGNED INSPECTOR: Dom  Referred from Planning Board: YES / NO If yes provide date of Planning Board meeting:					
Project Name: COVERED FRONT POR	ССН					
Street Address: 22 MARYCREST ROAD						
Nest NyAck   Ny 10994						
Directional Location:						
On the North side of Manyelest , approximately feet West of the intersection of Set AHLMEYER DR., in the Town of ORANGETOWN in the hamlet/village of West Nyack .						
Acreage of Parcel 97 Zoning District R-40 School District PR Postal District West Nyack						
Ambulance District SAAC Water District SUEZ	Fire District West Nynek Sewer District Orangetows					
Project Description: (If additional space required, please attach a narrative summary.)  Covered front porch						
The undersigned agrees to an extension of the statutory time limit for scheduling a public hearing.  Date:						

#### APPLICATION REVIEW FORM

## FILL IN WHERE APPLICABLE. (IF THE FOLLOWING DOES NOT APPLY PLEASE MOVE ON TO THE NEXT PAGE)

If subdivis	ion:				
1)	Is any variance from the subdivision regulations required?				
2)	) Is any open space being offered? If so, what amount?				
3)	Is this a standard or average density subdivision?				
If site plan					
1)	Existing square footage				
2)	Total square footage				
3)	Number of dwelling units				
If special p	permit, list special permit use and what the property will be used for.				
	/				
Environm	ental Constraints:				
and net area	pes greater than 25%? If yes, please indicate the amount and show the gross				
Are there stre	eams on the site? If yes, please provide the names				
Are there wet	lands on the site? If yes, please provide the names and type:				
Project Hi	story:				
Has this proje	ect ever been reviewed before?				
If so, provide	a narrative, including the list case number, name, date, and the board(s) you appeared				
before, and th	ne status of any previous approvals.				
List tax map s	section, block & lot numbers for all other abutting properties in the same ownership as				
this project.					
_					



## OFFICE OF BUILDING, ZONING, PLANNING, ADMINISTRATION AND ENFORCEMENT TOWN OF ORANGETOWN

20 Greenbush Road Orangeburg, N.Y. 10962

Jane Slavin, R.A. Director

(845)359-8410

## DENIAL TO THE ZONING BOARD OF APPEALS

Fax: (845) 359-8526

Date: January 5, 2022 Applicant: Jacob Address: 22 Marycrest Rd, W Nyack, NY RE: Application Made at: same Chapter 43, Table 3.12, Column 1 R-40 District, Column 2 Group E, Column 3 SFR, Column 8 Front Yrd 50' with 42.8' proposed. One Variance required.					
Section: 69.07 Block: 1  Dear Jacob :	Lot:37				
Please be advised that the Building Permit Application, we October 12, 2021, has been denied. I have enclosed a Xe at the bottom the reason for denial.  In Accordance with Zoning, Chapter 43 Section 10.32 Building Inspector or Similar administrative office is determination with the Town Clerk.	rox copy of your application, where you will find  2 the time to appeal a determination of a				
The Clerk to the Zoning Board of Appeals, Debbie Arbol appear before the board.  Sincerely,  Richard Oliver Deputy Building Inspector	ino, will assist you in the preparation necessary to				
Signature of Director NOTE: PILEASE KEEP FOR YOUR RECORDS 12-31-18-CCC	Date CC: Rosanna Sfraga Liz Decort				

Debbie Arbolino

SWIS	PRINT KEY	NAME	ADDRESS
392489 392489 392489 392489 392489 392489 392489 392489 392489 392489	69.07-1-5 69.07-1-8 69.07-1-17 69.07-1-21 69.07-1-23 69.07-1-35 69.07-1-36 69.07-1-37 69.07-1-38 69.07-1-38	Rizatdy Espinosa Conor Mc Kenna Louis Pietraluongo James G Muckell John Quinn Michelle Mc Cormack Patrick White Joseph W Scanton Jr Babu Jacob Libby L Margotta Ronald Graziano	33 Harold St, Nanuet, NY 10954 35 Harold St, Nanuet, NY 10954 17 Marycrest Rd, West Nyack, NY 10994 19 Marycrest Rd, West Nyack, NY 10994 15 Marycrest Rd, West Nyack, NY 10994 11 Marycrest Rd, West Nyack, NY 10994 18 Marycrest Rd, West Nyack, NY 10994 20 Marycrest Rd, West Nyack, NY 10994 22 Marycrest Rd, West Nyack, NY 10994 24 Marycrest Rd, West Nyack, NY 10994 26 Marycrest Rd, West Nyack, NY 10994
	69,07-1-16	Jennifer + Kirk Flynn /	13 Mary crest Rd, west Nycek, NY 10994

Jacob 69.07-1-37 HORIZED ALTERATION OR ADDITION SURVEY MAP BEARING A LICENSED SURVEYOR'S SEAL IS A VIOLATION CTION 7209 SUB-DIVISION 2 OF THE ORK STATE EDUCATION LAW .

F OF THIS SURVEY MAP NOT HAVING BOSSED SEAL OF THE LAND FOR SHALL NOT BE VALID.

'ICATIONS SHOWN HEREON ARE NOT ERABLE TO ADDITIONAL INDIVIDUALS TITIONS, THEIR SUCCESSORS AND/OR S, OR SUBSECUENT OWNERS.

NTS OR RIGHT-OF-WAYS ON, OR UNDER NDS. AND NOT VISIBLE, ARE NOT

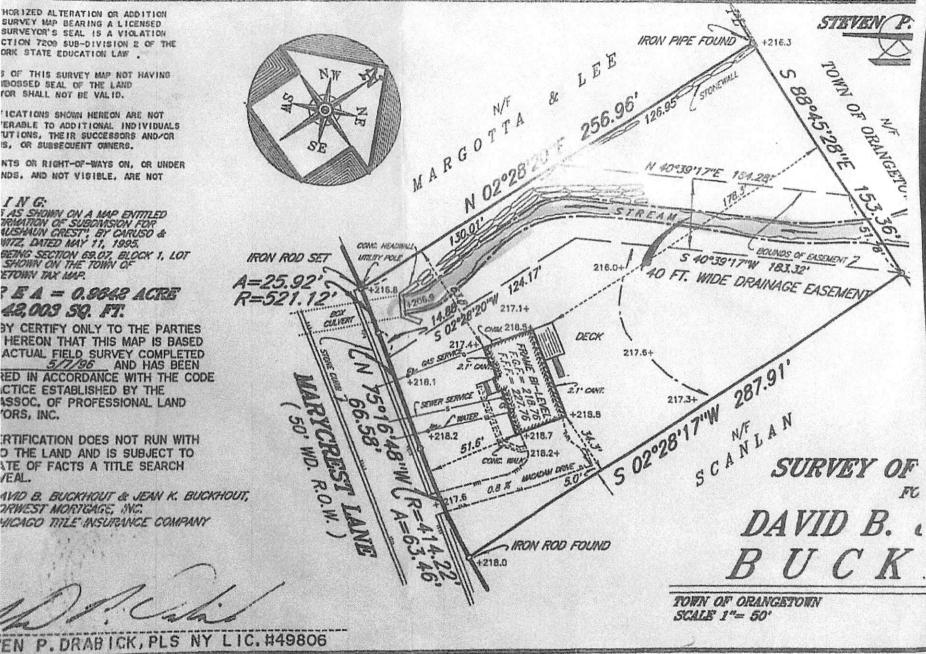
ING: T AS SHOWN ON A MAP ENTITLED TRIMATION OF SUBDIMISION FOR NUSHAUN CREST! BY CARUSO & WITZ, DATED MAY 11, 1995. GEING SECTION 69.07, BLOCK 1, LOT SHOWN ON THE TOWN OF ETOWN THE MAP.

#### ? E A = 0.9848 ACRE 42,009 SQ. FT.

BY CERTIFY ONLY TO THE PARTIES HEREON THAT THIS MAP IS BASED ACTUAL FIELD SURVEY COMPLETED 5/7/96 AND HAS BEEN RED IN ACCORDANCE WITH THE CODE CTICE ESTABLISHED BY THE ASSOC. OF PROFESSIONAL LAND ORS, INC.

RTIFICATION DOES NOT RUN WITH D THE LAND AND IS SUBJECT TO ATE OF FACTS A TITLE SEARCH /EAL.

AVID B. BUCKHOUT & JEAN K. BUCKHOUT, DRWEST MORTGAGE, INC. YICAGO TITLE INSURANCE COMPANY



# GENERAL NOTES

ALL WORK SHALL BE IN ACCORDANCE WITH ALL PREVAILING CODES, LAWS AND ORDINANCES OF THE 2020 RESIDENTIAL BUILDING & ENERGY CONSERVATION CODES AND THE LOCAL TOWN OR YILLAGE OF WHICH THE PROJECT IS LOCATED. AND COMPLY WITH SECTION NIIOS OF THE 2020 RESIDENTIAL BUILDING CODE. THE CONTRACTOR AND ALL SUBCONTRACTORS SHALL CARRY PRIOR, DURING AND AFTER CONSTRUCTION ALL NECESSARY LICENSES AND INSURANCES PER

THE N.Y.S., LOCAL AND ALL GOVERNING REGULATIONS. THE OUNER SHOULD READ AND REVIEW HISHER ENTIRE SET OF CONTRACT DOCUMENTS (PLANS & SPECIFICATIONS) PRIOR TO GIVING IT TO THE CONTRACTOR OWNER SHALL CONFIRM THAT ALL INFORMATION IS CORRECT. SHOULD THE OWNER FIND ANYTHING THAT WASN'T WHAT THEY INTENDED TO BE DONE, THEN THEY SHALL HAVE THE ARCHITECT AMEND IT AS REQUIRED. THE ARCHITECT IS NOT RESPONSIBLE FOR CONSTRUCTION, AND OR PROJECT SITE. THE GENERAL PUBLIC, PROSPECTIVE BUYERS AND ALL OTHER

NON-CONSTRUCTION RELATED PERSONS ARE NOT TO ENTER THE CONSTRUCTION WORK AREA UNTIL A VALID CERTIFICATE OF OCCUPANCY IS ISSUED BY THE LOCAL BUILDING DEPARTMENT.

HE PROJECT SITE SHALL BE PROPERLY POSTED AND TAPED AND OR FENCED OFF TO ENGURE PUBLIC SAFETY AND SAFEGUARD THE PUBLIC AT ALL TIMES. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND FAMILIARIZE HIMSELF WITH THE CONTRACT DOCUMENTS (PLANS & SPECIFICATIONS) PRIOR TO ANY **ERECTION/CONSTRUCTION** ALL DIMENSIONS SHALL BE FIELD VERIFIED BY THE CONTRACTOR AND THE

CONTRACTOR SHALL REPORT ANY DISCREPANCIES, ERRORS OR OMISSIONS TO THE ARCHITECT IMMEDIATELY. ALWAYS USE DIMENSIONS AS SHOUN AND THE CONTRACTOR SHOULD REPORT ANY DISCREPANCIES IMMEDIATELY TO THE DRAWINGS ARE NOT TO BE SCALED.

ALL CHANGES MADE BY THE CONTRACTOR SHALL FIRST BE APPROVED BY THE ARCHITECT AND OWNER PRIOR OF STARTING WITH THE WORK INVOLVED. ANY UNAUTHORIZED CHANGES MADE BY THE CONTRACTOR AND ULTIMATELY NOT BEING APPROVED BY THE OWNER AND ARCHITECT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND TO BE CORRECTED AT HIS OWN

SYSTEMS, DUCTS, CHASE OFENINGS, SIZE OF FURNACE AND FRESH AIR REGUIREMENTS ETC. THESE ARE NOT SHOWN AND SHALL BE DETERMINED BY A MECHANICAL ENGINEER PRIOR OF COMMENCING THE WORK THE ARCHITECT HAS NOT BEEN RETAINED FOR SUPERVISION, AND CONSTRUCTION INSPECTIONS AND/OR THE REVIEW OF SHOP DRAWINGS. THE ARCHITECT HAS ONLY BEEN RETAINED FOR DESIGN PURPOSES. THEREFORE, THE ARCHITECT

THE ARCHITECT HAS NOT BEEN RETAINED FOR ANY MECHANICAL DESIGN

ASSUMES NO LIABILITY FOR WORKMANSHIP, CODE AND OR PLAN COMPLIANCE. THE ARCHITECTS RESPONSIBILITY IS STRICTLY LIMITED TO THESE PLANS AND RELATED SPECIFICATIONS ONLY. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY CONSTRUCTION MEANS, METHODS, DEVIATIONS, TECHNIQUES, SEQUENCES, OR PROCEDURES, OR FOR ANY SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK, FOR THE OMISSIONS OF THE CONTRACTOR, SUBCONTRACTORS OR ANY OTHER PERSONS PERFORMING ANY OF THE WORK, OR FOR THE FAILURE OF ANY OF

THEM TO CARRY OUT THE WORK IN ACCORDANCE WITH THESE DOCUMENTS. HE ARCHITECT ASSUMES NO RESPONSIBILITY FOR ANY EXISTING STRUCTURES AND OR ANY UNFORESEEN PROBLEMS PRIOR TO NEW CONSTRUCTION. THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR ANY DEMOLITION, SITE WORK, NEW CONSTRUCTION, OPERATION AND METHODS. ALL AREAS THAT ARE AFFECTED BY ALL ADDITIONS SHALL BE REPAIRED AND

OR PATCHED TO A LIKE NEW CONDITION, UNLESS NOTED OTHERWISE. HE CONTRACTOR IS TO OBTAIN ALL NECESSARY PERMITS AND APPROVALS BY THE LOCAL AND STATE AS REQUIRED AND TO DELIVER TO THE OWNER A C.O. UPON COMPLETION OF THE PROJECT. THE CONTRACTOR SHALL PROVIDE A CONTAINER FOR THE REMOVAL OF DEBRIS

THE CONTRACTOR AND ALL SUBCONTRACTORS WORKING WITH THIS PROJECT SHALL KEEP THE SITE CLEAN AND HAZARD FREE AT ALL TIMES AND TO OBIDE OSHA" AND ALL OTHER SAFETY REGULATIONS. THEADONTRACTOR SHALL LEAVE PREMISES BROOM CLEAN DAILY.

THE CONTRACTOR SHALL GUARANTEE ALL WORK SPECIFIED AND/OR DESCRIBED BY THESE DRAWINGS AND IS TO FOLLOW ALL NATIONALLY ACCEPTED TRADE

### SITE NOTES

DURING CONSTRUCTION.

THESE PLANS ARE BASED ACCORDANCE TO THE SURVEY INFORMATION PROVIDED TO THE ARCHITECT BY THE OWNER THEY SHOULD BE REVIEWED BY A LICENSED LAND SURVEYOR AND OR ENGINEER TO VERIFY ALL BUILDING LINES, AND SET BACKS PRIOR TO CONSTRUCTION. THE ELEVATION SHOWN ON THE PLAN MAY NOT BE ACCURATE IN EVERY DETAIL.

THE OUNER SHALL REVIEW THE PLANS WITH THE CONTRACTOR TO INSURE ACCURACY OF DETAILS AND METHODS PROVIDED BY THE CONTRACTOR THE CONTRACTOR SHALL BE RESPONSIBLE OF NOTIFYING ALL UTILITY COMPANIES, AND VERIFYING THE LOCATION OF THE SAME UTILITY COMPANIES LINES, SERVICES AND ALL OTHER POSSIBLE EQUIPMENTS OF UTILITY COMPANIES. THE CONTRACTOR SHALL LOCATE AND IDENTIFY THE LOCATIONS OF ALL EXISTING UNDERGROUND UTILITIES, AND PROVIDE UNDERGROUND CONNECTIONS TO THEM. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY OF ANY GROUND

WATER, EXCESSIVE ORGANIC MATERIAL OR ANY OTHER UNGUITABLE CONDITIONS DISCOVERED DURING SITE PREPARATION AND OR EXCAVATION. THE CONTRACTOR SHALL PROVIDE ONE PROPERLY MAINTAINED, PORTABLE TOILET FOR THE ENTIRE DURATION OF THE CONSTRUCTION THE CONTRACTOR SHALL PROVIDE FROM A REGISTERED LAND SURVEYOR A

URITTEN CERTIFICATE THAT THE LOUEST PORTION OF THE FIRST FLOOR MEET OR EXCEED THE REGUIRED FLOOD ELEVATION ALL DRIVEWAYS AND WALKWAYS FORM WORK SHALL BE APPROYED BY DEVELOPMENT REVIEW REPRESENTATIVE BEFORE ANY WORK CONTINUES. THE CONTRACTOR SHALL REMOVE AND DISPOSE ALL RUBISH, VEGETATION, STUMPS, ROOTS, AND TREES AS SHOWN ON THE PLANS.

ALL AREAS TO BE COVERED WITH FILL AND GRADED DOWN. THE CONTRACTOR SHALL PROTECT ALL EXISTING TREES SHOUN TO REMAIN AS

EXTREME CAUTION SHALL BE TAKEN DURING DEMOLITION OF EXISTING BUILDINGS. THE CONTRACTOR SHALL OBSERVE ANY VARIATIONS AND OR ANY INFORESEEN DISCREPANCIES WITH THE PLANS, AND SHOULD REPORT IMMEDIATELY TO THE ARCHITECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SHORING, BRACING AND ALL

TEMPORARY SUPPORTS PRIOR OF REMOVING THE EXISTING WALLS, CEILINGS, FLOORS AND ROOFS AS FER ALL LOCAL AND OSHA REGULATIONS. HE CONTRACTOR SHALL PROVIDE WEATHERPROOFING AT THE END OF EACH WORK DAY AS REQUIRED TO PREVENT WEATHER DAMAGE. THE ARCHITECT IS

NOT RESPONSIBLE FOR PROZEN PIPES AND/OR MOLD CONDITIONS CREATED BY THE CONTRACTORS NEGLIGENCE. BACKFILL SHALL NOT BE PLACED UNTIL THE MAIN FLOOR SYSTEM AND BASEMENT CONCRETE INTERIOR FLOOR SLABS ARE INSTALLED. FOOTING DRAINS SHALL BE FROVIDED AS SHOUN, AND AFFROPRIATE. THEY SHOULD BE LAID IN

GRAYEL BED AND PROTECTED AT THE TOP WITH FILTER FABRIC AND 6' OF 11/2' GRAVEL AROUND & PROVIDE POSITIVE OUTFALL TO A STORY DRAIN OR A

DRY-WELL. THE FINISHED GRADE AND DRIVEWAY SHOULD BE PITCHED AWAY FROM THE BUILDING SUCH THAT ALL THE SURFACE WATER FLOUS AWAY FROM BUILDING THE FINISHED GRADE HEIGHT SHALL BE A MINIMUM OF 8' BELOW THE ADJACENT FRAMING, OR AS INDICATED ON PLANS.

THE TOP OF ANY FOUNDATION SHALL EXTEND ABOVE THE ELEVATION OF THE STREET GUTTER AT POINT OF DISCHARGE OR THE INLET OF AN APPROVED DRAINAGE DEVICE A MINIMUM OF 12" PLUS 2 PERCENT.

INSTALLATION OF GAS AND ELECTRIC METERS SHOULD BE IN STRICT ACCORDANCE WITH THE LOCAL UTILITY COMPANY SPECIFICATIONS

FOUNDATION NOTES

OR OTHERWISE SHOWN ON THE PLAN.

IT'S THE RESPONSIBILITY OF THE CONTRACTOR TO CHECK AND COORDINATE DIMENSIONS BETWEEN FOUNDATION AND FLOOR PLANS PRIOR TO CONSTRUCTION. ALL EXCAVATIONS SHOULD BE SUBSTANTIALLY FREE OF WATER DURING FOUNDATION CONSTRUCTION WORK

THIS PROJECT HAS BEEN DESIGNED BY ASSUMING THAT ALL THE SOIL BEARING IS 2 KIPS/SQ. FT. (2000°). ALL STRUCTURAL CONCRETE SHALL BE A STONE CONCRETE WITH A 1:3:5 MIX AND HAVE A MINIMUM STRENGTH OF 3,500 PSI AT THE END OF 28 DAYS.

ALL FOOTINGS TO REST ON UNDISTURBED SOIL CAPABLE OF SUPPORTING 2 TONS REFERENCE THE PLANS FOR SIZE AND QUANTITY OF REINFORCING BARS. ALL FOOTINGS SHALL BE BELOW THE FINISHED GRADE MINIMUM OF 3'-6' IN ROCKLAND COUNTY, 3'-6" IN ORANGE COUNTY

PROVIDE EXPANSION JOINTS AT PERIMETERS OF ALL CONCRETE SLABS. ALL INTERIOR FOOTINGS SHALL STEP DOWN TO PERIMETER WALL FOOTING DEPTH AT ALL FOOTING INTERSECTIONS

ALL SUB GRADE FILL MATERIAL SHALL BE COMPACTED TO A DENSITY OF 96. ALL CONCRETE SLASS SHALL BE A MINIMUM OF 49 THICK - REINFORCED WITH 6x6/10x10 WELDED WIRE MESH ON 6 MIL VAPOR BARRIER ON 4' OF 3/4' GRAVEL, UNLESS SHOWN OTHERWISE AND TO RECEIVE A SMOOTH FINISH. ALL CONCRETE PAYING SHALL RECEIVE A FINE BROOM FINISH UNLESS SHOUN OTHERWISE ALL CONCRETE SLABS TO RECEIVE CONTROL JOINTS (1/2" SAW CUTS) AT A MAXIMIM OF

25'x25' TO CONTROL CRACKING WITH SHRINKAGE. SLOPE ALL CONCRETE SLABS TO DRAIN TO EXTERIOR SLOPES IN GARAGES SHALL BE A MINIMUM OF 1/8'=1'-@' UNLESS SHOWN OTHERWISE

MASONRY AND CONCRETE CONTRACTOR SHALL INSTALL ALL ANCHOR BOLTS, PLATES, CHASES, SLOTS, SLEEVES, ETC. AS REQUIRED BY TRADES. CAULK WEATHER-TIGHT ALL OPENINGS

EXTERIOR OF THE CONCRETE WALLS TO BE COATED WITH RUB-R-WALL COATING OR EGUAL INTERIOR COLUMNS TO BE 4" DIAM. STANDARD STEEL - PROVIDE BASE 4 TOP FLATES. INTERIOR COLUMNS OVER 9'-0' IN HEIGHT TO BE 5' DIAM STANDARD STEEL COLUMNS. EXTREME CAUTION TO BE USED IN DELIVERY OF THE STEEL COLUMNS. MUST NOT BE DROFFED AT ANY TIME.

#### FRAMING NOTES

ALL STANDARD FRAMING LUMBER TO BE HEMLOCK FIR 9 OR BETTER UNLESS OTHERWISE NOTED. | STAIR & RAILING NOTES ALL ENGINEERED BEAMS INDICATED ON THE PLANS ARE DESIGNED USING THIS SPECIFIC MANUFACTURER AND SHALL BE INSTALLED FER THE MANUFACTURERS SPECIFICATIONS ONLY. WHEN USING MULTIPLE MEMBER ENGINEERED BEAMS, THE FRAMER SHALL REFERENCE WITH THE SPECIFIC MANIFACTURERS NAILING GUIDE.

FROVIDE METAL FLASHING AT ALL EXTERIOR DOORS, WINDOWS AND OPENINGS UNLESS SHOWN OTHERWISE

INSTALL 36" WIDE ICE & WATER SHIELD? AT ALL ROOF EDGES, IN VALLEYS, UP AGAINST WALL JUNCTIONS, OVER HIPS AND WRAP OVER ALL FACIAS. THE SHIELD SHALL COVER MINIMUM TOP OF EXTERIOR SIDE OF EXTERIOR WALLS. PROVIDE OPTIONAL SHOW-GAURDS IF REQUIRED WITH THE STANDARD SPACING ALONG THE BOTTOM EDGE OF THE ROOF. FRAMING NOTES DIMENSIONS ARE TO THE NEAREST INCH, ACTUAL ROOM SIZES MAY YARY

DUE TO GYPSUM BOARD. ALL WOOD FRAMING IN DIRECT CONTACT WITH SOIL, CONCRETE, MASONRY OR WEATHER SHALL BE PRESSURE TREATED (AUPA STANDARD C2, C3). ALL FRAMING BELOW THE REQUIRED FLOOD ELEVATION AS SET FORTH BY FEMA AND LOCAL

BUILDING OFFICIALS SHALL BE FRESSURE TREATED. SECURE ALL TEMPORARY RAILINGS WITH GUARDS TO BE INSTALLED AROUND ALL FLOOR OFENINGS AND OFEN DOOR OFENINGS. FROVIDE TEMPORARY RAMPS AND/OR STAIRS TO BE INSTALLED AT ALL LEVELS.

ALL LUMBER TO BE SCUND, DRY AND FREE FROM ROT, KNOTS, AND SPLITS. ALL FRAMING SHALL BE FRAMED AT 16" O.C. UNLESS SHOUN OTHERWISE FOR ALL CONVENTIONAL FLOOR FRAMING PROVIDE A MINIMUM OF ONE ROW OF 5/4 CROSS BRIDGING FOR ALL JOISTS WITH SPANS OVER 12'-0? OR SHOUN OTHERWISE ON THE PLANS.

PROVIDE A MINIMUM OF DOUBLE JOISTS BELOW ALL PARALLEL PARTITIONS, MAJOR APPLIANCES, BATH FIXTURES, AND AT ALL CANTILEVERS, UNLESS SHOWN OTHERWISE PROVIDE A MINIMUM OF DOUBLE ALL JOISTS AT OPENINGS IN FLOORS, CEILINGS AND ROOFS. PROVIDE A MINIMUM OF DOUBLE WALL STUDS AROUND ALL WALL OPENINGS, JACK STUDS UNDER ALL HEADERS, TRIPLE STUDS AT ALL CORNERS. PROVIDE POSTS AT ALL RIDGE, HIP AND VALLEY INTERSECTIONS DOWN TO A MINIMUM OF

TRIPLE 21x8? CEILING JOISTS. ALL FRAMING SHALL BE FRAMED CROWN UP UNLESS AT CANTILEVERS OR SHOWN OTHERWISE. SOLID BLOCKING SHALL BE PROVIDED UNDER ALL POSTS THAT DON'T REST DIRECTLY ON

ALL INTERIOR WOOD POSTS SHALL BE SOLID STUDS, AND TO BE A MINIMUM OF THE WIDTH OF THE BEAM SUPPORTING IT AND PROVIDE MINIMM ONE KING STUD AT EITHER SIDE.

BRACE ALL WALLS DURING CONSTRUCTION ALL WALL FRAMING OF 9'-0' AND GREATER SHALL HAVE CATS (SOLID BLOCKING) AT MIDHEIGHT ALL DOORS, WINDOWS AND OPENINGS SHALL HAVE A MINIMUM HEADER TO BE AS FOLLOUS UNLESS SHOUN OTHERWISE ON PLANS. UP TO 5'-0' USE (272'X10', UP TO 8'-0' UGE (372'x10' OR (272'x12' OPENINGS GREATER THAN 8'-0' SEE PLANS FOR

PROVIDE FASTENER NAILS AS FOLLOUS: IDM AT ALL GENERAL FRAMING AND 8d AT ALL PLYWOOD, 4" SPACING MAX. - TABLES RGØ23(1) THROUGH RGØ23(4).

### ROOFING & SIDING

ROOFING, SIDING, TRIM, AND OTHER MATERIALS SHALL BE INSTALLED IN STRICT ACCORD WITH THEIR RESPECTIVE MANUFACTURERS SPECIFICATIONS AND INDUSTRY STANDARDS.

PROVIDE ALLMINUM GUTTERS & ROOF DRAIN LEADERS (RDLs) AS REQUIRED RDLO AT OUTLET TO BE CONNECTED TO SITE STORM DRAINAGE SYSTEM. PROVIDE APPROVED SNOW GUARDS AT ROOF EDGES WITH PITCH EXCEEDING 7.12 OVER ALL DOORWAYS, DECKS & WALKWAYS WITHIN 36" OF DWELLING ROOFING, SIDING, TRIM, AND OTHER MATERIALS COLORS TO BE DETERMINED FROM BUILDERS SELECTION PRIOR TO ORDERING. ARCHITECT IS NOT RESPONSIBLE

DRYWALL NOTES

FOR COLOR AND/OR MATERIAL SELECTIONS,

ALL GYPSUM BOARD DRYWALL CUT JOINTS SHALL BE ADJACENT TO CORNERS. NO BUTT JOINTS IN WALL SHALL BE PERMITTED. ALL CORNERS AND JOINTS SHALL RECEIVE TWO COATS OF JOINT COMPOUND

FEATHERED SMOOTH AND ALL DIMPLES CREATED BY FASTENERS SHALL RECEIVE THREE COATS OF JOINT COMPOUND FEATHERED SMOOTH. ALL GYPSUM BOARD SHALL BE IN ACCORDANCE WITH THE GYPSUM CONSTRUCTION HANDBOOK, PUBLISHED BY THE UNITED STATES GYPSUM

ALL MATERIALS SHALL BE FURNISHED BY THE UNITED STATES GYPSUM COMPANY, NATIONAL GYPSUM COMPANY, CELOTEX CORP., OR OTHER APPROVED MANUFACTURER. USE WATERPROOF GYPSUM BOARD AT ALL TUBS, SHOWER SURROUNDS AND

DOOR & WINDOW NOTES

ALL WINDOWS AND EXTERIOR DOORS SHALL COMPLY WITH THE ENERGY CONSERVATION CODE OF N.Y.S. AND FOR THE COUNTY THIS PROJECT IS

ALL DOORS SHALL CONFORM TO THE STATE CODE SIZE REQUIREMENTS. WINDOW SCHEDULE IS FOR DESIGN INTENT ONLY. THE CONTRACTOR SHALL VERIFY WITH OUNER ALL WINDOWS, DOOR, AND ADDITIONAL OPTIONS SUCH AS, COLOR, HARDWARE PRIOR TO ORDERING

ALL WINDOWS AND DOORS SHALL BE INSTALLED WITH STRICT ACCORDANCE TO THEIR PARTICULAR MANUFACTURERS SPECIFICATIONS AND TO VERIFY WINDOW ROUGH OPENINGS WITH THE MANUFACTURER ALL HEADER HEIGHTS TO BE 6'-9" ABOVE THE FINISHED FLOOR, UNLESS NOTED

ALL WINDOWS IN HABITABLE SPACES SHALL COMPLY WITH THE RESIDENTIAL CODE OF THE NY.S. EGRESS REQUIREMENTS. THESE WINDOWS SHALL HAVE A SILL HEIGHT OF NOT GREATER THAN 44? ABOVE FINISHED FLOOR, THESE WINDOWS SHALL HAVE A MIN. OF 5.7 SQ. FT. CLEAR OPENING AND 10.3 SQ. FT. OF GLASS AREA FOR NATURAL LIGHT.

AT ALL EGRESS BASEMENT WINDOWS THAT ARE BELOW THE FINISHED GRADE SHALL BE PROVIDED WITH AN APPROVED WINDOW WELL AND DRAINAGE AS PER THE NYS. AND LOCAL CODES. ALL GLAZING LESS THAN 18" ABOVE FINISHED FLOOR/SURFACE. AND ALL GLASS

TUB AND/OR SHOWER ENCLOSURES SHALL BE TEMPERED GLASS. ALL FIXED GLASS SHALL BE IN FRAMES TO MATCH THE MANUFACTURER OF OPERABLE WINDOWS. ALL WINDOWS SHALL BE MANUFACTURED BY ANDERSEN OR EQUAL UNLESS SHOWN

ALL SKYLIGHTS, METAL FLUES, VENTS, STACKS OR ANY OTHER ROOF ACCESSORIES THAT REQUIRE FLASHING SHALL BE INSTALLED AS PER THE MANUFACTURERS SPECIFICATIONS. FROYIDE ADDITIONAL ALUMINUM BLIND FLASHING WHERE REQUIRED TO INSURE WATER TIGHT CONDITIONS. INSTALL FLASHING AT ALL ENTRANCE SLABS ADJACENT TO WALL CONSTRUCTION.

PROVIDE ADEQUATE AIR SPACE BEHIND BRICK, STONE AND OTHER SIDINGS AS ALL BEADS, STOPS AND TRIM SHALL BE MANUFACTURED FROM RUST REGISTANT ALL EXTERIOR SWING DOORS SHALL BE MANUFACTURED BY THERMA-TRU OR

EQUAL UNLESS SHOWN OTHERWISE ALL WINDOW & DOOR JAMBS TO BE FOAM SEALED & WEATHER STRIPPED ON EXTERIOR AS PER THE 2015 INTERNATIONAL ENERGY CONSERVATION

ALL STAIRS AND RAILINGS SHALL COMPLY WITH THE 2020 NYS RESIDENTIAL CODE ALL STAIRWAYS SHALL NOT BE LESS THAN 36" IN CLEAR WIDTH AT ALL POINTS ABOVE THE PERMITTED HANDRAIL HEIGHT AND BELOW THE REQUIRED HEADROOM HEIGHT. HANDRAILS SHALL NOT PROJECT INTO THE STAIRWAY MORE THAN 4

COMBINED CLEAR WIDTH OF 27? IF THERE IS TWO HANDRAILS AND 31 THERE IS ONLY ONE HANDRAIL WITH A MINIMUM WALL CLEARANCE OF I THE MINIMUM HEADROOM IN ALL PARTS OF STAIRWAYS SHALL NOT BE LESS THAN 6'-8" MEAGURED VERTICALLY FROM THE GLOPED PLANE ADJOINING THE TREAD NOSING OR FROM THE FLOOR SURFACE OF THE LANDING OR

ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS, UNDER STAIR SURFACE AND SOFFITS PROTECTED ON THE ENCLOSED SIDE W 1/2" GYP. BD. THE MAXIMUM RISER HEIGHT IS 8 1 " THE GREATEST RISER HEIGHT SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8".

THE MINIMUM TREAD DEPTH IS 91. THE GREATEST TREAD DEPTH SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8". WINDER TREADS ARE PERMITTED PROVIDED THAT THE WIDTH OF THE TREAD AT A POINT IS NOT MORE THAN 12" AND FROM THE NARROW SIDE IS NOT LESS THAN 10". WINDER TREADS SHALL HAVE A MINIMUM TREAD DEPTH OF 6" AT ANY

THE GREATEST WINDER TREAD DEPTH AT THE 12" WALK LINE SHALL NOT EXCEED THE SMALLEST BY MORE THAN

A NOSING NOT LESS OF 3/4' AND NOT GREATER THAN I THE GREATEST NOSING PROJECTION SHALL NOT EXCEED THE SMALLEST BY MORE

OPEN RISERS ARE PERMITTED, PROVIDED THAT THE OPENING BETWEEN TREADS DOES NOT PERMIT THE PASSAGE OF A 4" DIAMETER SPHERE HANDRAIL HEIGHT SHALL BE A MINIMUM OF 341 AND 38

OPEN RAILINGS AND GUARDS SHALL NOT BE GREATER THAN 4". IF DECKS OR PLATFORMS ARE 8'-0' AND GREATER ABOVE THE FINISHED GRADE THAN THE HANDRAIL SHALL BE 42" IN HEIGHT. TRIM & PAINTING NOTES

ALL CLOSETS SHALL HAVE AS A MINIMUM OF ONE (1) HIGH SHELF AND ONE (1) ROD FOR HANGING CLOTHING. PROVIDE FIVE (5) SHELVES IN LINEN CLOSETS. THE CONTRACTOR SHALL DOUBLE CHECK AND VERIFY ALL AS BUILT DIMENSIONS AND CONDITIONS PRIOR OF ORDERING CABINETS, COUNTER TOPS AND

ALL EXPOSED BASED CABINET SIDES SHALL HAVE TOE SPACE UNLESS SHOUN OTHERWISE. ALL PAINTS AND STAINS SHALL BE OF A MANUFACTURER AS SCHEDULED OR AS

DIRECTED BY BUILDER ALL INTERIOR GYPSUM BOARDS, WALLS AND CEILINGS, SHALL RECEIVE ONE COAT PRIMER AND TWO COATS OF PAINT OF BENJAMIN MOORE OR EQUAL ALL INTERIOR WOOD, TRIM, SHELVING AND OAK FLOORS SHALL BE FINISHED AS SCHEDULED OR AS DIRECTED BY BUILDER

ALL INTERIOR DOORS, TRIM AND EXPOSED WOOD SHALL BE SANDED COMPLETELY SMOOTH PRIOR TO APPLYING FINISH. ALL EXPOSED FERROUS METAL SHALL BE PAINTED WITH A RUST INHIBITOR AND TWO COATS OF ENAMEL.

MECHANICAL NOTES ALL MECHANICAL WORK (RURNACE, BOILERS, HVAC, HOT WATER, ETC.) SYSTEMS, AND INSTALLATION SHALL COMPLY IN ACCORDANCE WITH THE 2015 INT'L BUILDING CODE THE PLUMBING, MECHANICAL, AND FUEL

GAS CODES OF N.Y.S., AND INDUSTRY STANDARDS. THE SYSTEMS SHALL BE DESIGNED AND GUARANTEED BY THE MECHANICAL SUBCONTRACTOR TO MEET AND/OR EXCEED THE FOLLOWING REQUIREMENTS: MAINTAIN TOF INSIDE WHEN THE OUTSIDE TEMPERATURE IS 100F AND MAINTAIN 10F INSIDE WHEN THE OUTSIDE TEMPERATURE IS

ALL HEATING LINES SHALL CONTAIN ANTIFREEZE. LOCATE ATTIC MECHANICAL UNITS ON GALVANIZED DRIP PANS, DRAINED. ALL DUCTS SHALL BE FIBERGLASS INSULATED TYPE (EXCEPT GALVANIZED UNDERGLAB DUCTUORK)

THE MECHANICAL SUBCONTRACTOR SHALL SUBMIT SHOP DRAWINGS TO THE BUILDER FOR APPROVAL PRIOR TO ANY EACH SYSTEM SHALL BE SEPARATE AND COMPLETE WITH EACH SYSTEM HAVING SUPPLEMENTAL

STRIP HEAT. CARRIER, TRANE, LENNOX, AND YORK ARE AFFROYED MANUFACTURERS FOR THE MECHANICAL UNIT. ANY SUBSTITUTES MUST BE AFFROVED IN URITING BY THE ARCHITECT OR OWNER

ALL MECHANICAL UNITS IN ATTIC SHALL BE LOCATED IN SUCH MANNER THAT THEY SHALL NOT CAUSE AN OBSTRUCTION TO FUTURE ATTIC FLOORING. PROVIDE THE PROPER FIRE RATED SEPARATION AT THE MECHANICAL ROOM (RURNACE, HVAC, HOT WATER, ETC. AS FER THE BUILDING CODE PROVIDE BACKDRAFT DAMPER EXHAST DUCTS TO BE MIN. 0016 INCHES RIGID METAL. AMX HORZT. LENGTH NOT TO EXCEED 25 FT.

BATHS & LAVS WITHOUT OPERABLE WINDOWS OR WOWS WITH LESS THAN 15 SF. OPENING SHALL BE MECHANICALLY VENTED TO INTERMITTENT VENTILATION TO BE MIN. 50 CFM, CONTINUOUS VENTING

PROVIDE BOOSTER FAN IF GREATHER THAN 25 FT.

TO BE MIN. 20 CFM.

MECHANICAL DATA

ADDITIONAL 35,000 BTU

ELECTRICAL BERVICE VOLTAGE DODAG SAIGLE PHASE yitalbibhi or banyo brigle init

(2) TON INIT IS SEER FROVIDE EVR FOR HVAC SYSTEM IF REQUIRED

ALL THERMOSTATS TO BE PROGRAMABLE - DIOGITAL AS 1996, BY WHITE ROCERS ALL PUFFLY PIFMS AND/OR DUCT WORK TO RECIEVE R-8 INSULATION

WHEN IN UNCONDITIONED SPACES ALL FEATING AND/OR COOLING FIMPS TO BE VARIABLE SPEED OF SUP. RUBEL & HULL ALL OTHER AFFLUNCES TO MEET REQUIREMENTS OF 2010 ENERGY CONSERVATION CODE OF NEW YORK STATE.

588°45'28"W 153.36' PHASE ONE REAR ADDITION (150' | 35' | 25' | 50' | 35' | 20 | 33% | 516' | 1783 343' | 98.1' | 206 | 063 | 122 | PROPOSED 426' |619' |343' |981' | 206 | 087 | 138 | 343 EXIST. EXISTING LOT AREA 41,762 SQ. FT. 4/-EXISTING HOUSE 2,630 SQ. FT. 4/-BI-LEVEL 986 SQ. FT. 4/-63.8' PHASE TWO REQUIRES VARIANCE N75°16'48"W 66.58'
MARYCREST LANE ARCHITECTURAL SITE PLAN

ELECTRICAL NOTES

ALL OUTLETS, FIXTURES AND ALL OTHER ELECTRICAL WORK SHALL BE PLACED, AND INSTALLED AS PER THE 2014 NEPA LATEST EDITION, THE LATEST EDITION OF THE NEC, NBFU, AND THE LOCAL UTILITY CO. ELECTRICAL PANELS SHALL BE FULLY RECESSED AND HAVE ALL CIRCUITS CLEARLY LABELED.

EXISTING

ADDITIONS

A MINIMUM OF 20 % OF CIRCUITS SHALL BE FOR FLITURE USE FOR EACH PANEL USED. TELEPHONE AND TELEVISION OUTLETS SHALL BE WIRED TO LOCAL

PROVIDERS SPECIFICATIONS TO A POINT OF ENTRY APPROVED BY OUNER UNLESS SHOUN ON PLANS OTHERWISE. THE ELECTRICAL CONTRACTOR SHALL PROVIDE MECHANICAL EXHAUST FANS FOR ALL RANGES, AND IN ALL LAUNDRY, TOILET, TUB, AND SHOWER AREAS. ALL FAN FIXTURES SHALL BE SWITCHED SEPARATELY

AND VENTED TO THE EXTERIOR THE ELECTRICAL CONTRACTOR SHALL PROVIDE A SWITCH FOR THE DIGHWASHER LOCATED IN SINK CAS

ALL RECEPTACLES SHOWN ABOVE THE COUNTER SHALL HAVE THE BOTTOM FLUSH WITH TOP OF THE BACK SPLASH. HE ELECTRICAL CONTRACTOR SHALL NOT DRILL OR CUT ANY STRUCTURAL GIRDERS, HEADERS AND BEAMS WITHOUT PRIOR

CONSENT FROM THE ARCHITEC THE CONTRACTOR SHALL CONGULT AND COORDINATE WITH OTHER TRADES INVOLVED WITH THIS PROJECT PRIOR TO INSTALLATION THE ELECTRICAL CONTRACTOR SHALL VERIFY WITH THE OWNER ALL ELECTRICAL DEVICE AND FIXTURE LOCATIONS. THE ELECTRICAL CONTRACTOR SHALL VERIFY WITH THE OWNER ALL

ELECTRICAL DEVICE AND FIXTURE OPTIONS SUCH AS COLOR, AND STYLE PRIOR OF ORDERING ALL SMOKE AND CARBON MONOXIDE DETECTORS SHALL BE HARDWIRED AND INTERCONNECTED WITH BATTERY PROVIDE ONE SMOKE DETECTORS AS INDICATED ON PLANS AND AS PER

ALL CODE REQUIREM AND PROVIDE A MINIMUM OF ONE CARBON MONOXIDE DETECTOR LOCATE SMOKE DETECTORS ON FLAT CEILINGS NO CLOSER THAN 16

FROM WALL ALL OUTLETS TO BE TAMPERPROOF ARC-FAULT OUTLETS IN ALL ROOMS EXCEPT KITCHEN AND BATHS. ALL RECESSED LIGHTS TO MEET "IC" REQUIREMENTS FOR AIR INFILTRATIO

PROJECT

TOWN OF ORANGETOWN

ROCKLAND COUNTY. NEW YORK

ADDITIONAL NOTES ALL THERMOSTATS TO BE FROGRAMABLE - DIGITAL AS MFG. BY WHITE ROGERS

ALL SUFFLY PIPING AND/OR DUCT WORK TO RECIEVE R-8 INSULATION WHEN IN UNCONDITIONED SPACES

NOTE: ARCHITECT NOT RESPONSIBLE FOR BOUNDRY SURVEY

STEVEN P. DRABICK, PLS NY, DATED 5/7/96

SITE PLAN INFORMATION TAKEN FROM SURVEY PREPARED BY:

ALL HEATING AND/OR COOLING PUMPS TO BE VARIABLE SPEED OF WHP. ALL PLIMBING & PIPING TO COMPLY WITH APPLICABLE 2015 INT'L BLDG. CODES ALL WORK TO BE IN ACCORDANCE WITH THE FOLLOWING: ZONING LAWS OF THE TOWN OF ORANGETOWN, NEW YORK 2020 RESIDENTIAL CODE OF NEW YORK STATE 2020 ENERGY CONSERVATION CODE OF NEW YORK STATE

DO NOT SCALE PRINTS

HEREBY CERTIFY THAT TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF, THESE PLANS AND SFECFICATIONS ARE IN ACCORDANCE WITH THE APPLICABLE REQUIREMENTS OF THE 2000 RESIDENTIAL CODE OF MYS! '2020 ENERGY CONSERVATION CODE OF NYS', AND ZONING REGULREMENTS OF THE TOWN OF ORANGEROUN, ROCKLAND COUNTY, NEW YORK

SEISI DESIG

PROJECT DATA NOTES:

OTHER WET LOCATIONS.

ERIC KNUTE OSBORN *ARCHITECT* 45 YEARS EXPERIANCE RESIDENTIAL - COMMERCIAL - ADDITIONS *58 BARNES ROAD* WASHINGTONVILLE, N.Y. 10992 - (845) 629-7474

EMAIL - EKOSBORNARCHITECT@GMAIL.COM

(845) 629-7474

PROPOSED ADDITION(S) FOR MR. & MRS. BABU JACOBS 22 MARYCREST ROAD WEST NYACK

50% OF LAMPS TO BE HIGH EFFICENCY

START DATE: FEBRUARY 2020 2ND DESIGN: OCTOBER 2020 TITLE SHEET 3RD DESIGN: APRIL 2021 GENERAL NOTES SITE PLAN

ERIC KNUTE OSBORNERA. N.Y.S. NO. 021585 DATE DWG LIST PROJECT # 2020-ADD-6 A-1 TITLE SHEET, NOTES, SITE PLAN SCALE 1/4" = 1'-0" A-2 FLOOR PLAN, DETAILS 1-3 EXTERIOR ELEVATIONS DWG. No. & SECTION A-1 OF 3

