

Name of Municipality: TOWN OF ORANGETOWN

Date Submitted: \_\_\_\_\_

**2022 LAND USE BOARD APPLICATION**

Please check all that apply:

<input type="checkbox"/> Commercial	<input checked="" type="checkbox"/> Residential
<input checked="" type="checkbox"/> Planning Board	<input type="checkbox"/> Historical Board
<input checked="" type="checkbox"/> Zoning Board of Appeals	<input type="checkbox"/> Architectural Board
<input type="checkbox"/> Subdivision	<input type="checkbox"/> Consultation
<input type="checkbox"/> Number of Lots	<input type="checkbox"/> Pre-Preliminary/Sketch
<input type="checkbox"/> Site Plan	<input type="checkbox"/> Preliminary
<input type="checkbox"/> Conditional Use	<input type="checkbox"/> Final
<input type="checkbox"/> Special Permit	<input type="checkbox"/> Interpretation
<input checked="" type="checkbox"/> Variance	
<input type="checkbox"/> Performance Standards Review	
<input type="checkbox"/> Use Variance	
<input type="checkbox"/> Other (specify): _____	

PERMIT#: 52054  
 ASSIGNED \_\_\_\_\_  
 INSPECTOR: DAM

Referred from Planning Board: YES / NO  
 If yes provide date of Planning Board meeting: \_\_\_\_\_

Project Name: COVERED FRONT PORCH

Street Address: 22 MARYCREST ROAD  
WEST NYACK, NY 10994

Tax Map Designation:  
Section: 69.07 Block: 1 Lot(s): 37  
Section: \_\_\_\_\_ Block: \_\_\_\_\_ Lot(s): \_\_\_\_\_

**Directional Location:**

On the North side of Marycrest, approximately 1200 feet West of the intersection of SGT AHLMEYER DR., in the Town of ORANGETOWN in the hamlet/village of West Nyack.

Acreage of Parcel <u>.97</u>	Zoning District <u>R-40</u>
School District <u>PR</u>	Postal District <u>West Nyack</u>
Ambulance District <u>SOAC</u>	Fire District <u>West Nyack</u>
Water District <u>SUEZ</u>	Sewer District <u>Orangetown</u>

Project Description: (If additional space required, please attach a narrative summary.)

Covered front porch

The undersigned agrees to an extension of the statutory time limit for scheduling a public hearing.

Date: 1/13/22 Applicant's Signature: [Signature]

# APPLICATION REVIEW FORM

## FILL IN WHERE APPLICABLE.

( IF THE FOLLOWING DOES NOT APPLY PLEASE MOVE ON TO THE NEXT PAGE )

### If subdivision:

- 1) Is any variance from the subdivision regulations required? \_\_\_\_\_
- 2) Is any open space being offered? \_\_\_\_ If so, what amount? \_\_\_\_\_
- 3) Is this a standard or average density subdivision? \_\_\_\_\_

### If site plan:

- 1) Existing square footage \_\_\_\_\_
- 2) Total square footage \_\_\_\_\_
- 3) Number of dwelling units \_\_\_\_\_

If **special permit**, list special permit use and what the property will be used for.

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### Environmental Constraints:

Are there **slopes greater than 25%**? If yes, please indicate the amount and show the gross and net area \_\_\_\_\_

Are there **streams** on the site? If yes, please provide the names. \_\_\_\_\_

Are there **wetlands** on the site? If yes, please provide the names and type:

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### Project History:

Has this project ever been reviewed before? \_\_\_\_\_ **NO**

If so, provide a narrative, including the list case number, name, date, and the board(s) you appeared before, and the status of any previous approvals.

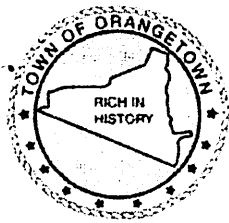
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List tax map section, block & lot numbers for all other abutting properties in the same ownership as this project.

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OFFICE OF BUILDING, ZONING, PLANNING,  
ADMINISTRATION AND ENFORCEMENT  
**TOWN OF ORANGETOWN**

20 Greenbush Road  
Orangeburg, N.Y. 10962

Jane Slavin, R.A.  
Director

(845)359-8410

Fax: (845) 359-8526

**DENIAL TO THE ZONING BOARD OF APPEALS**

Date: January 5, 2022

Applicant: Jacob

Address: 22 Marycrest Rd. W Nyack, NY

RE: Application Made at: same

Chapter 43, Table 3.12, Column 1 R-40 District, Column 2 Group E, Column 3 SFR, Column 8 Front Yrd  
50' with 42.8' proposed.  
One Variance required.

Section: 69.07

Block: 1

Lot: 37

Dear Jacob:

Please be advised that the Building Permit Application, which you submitted on

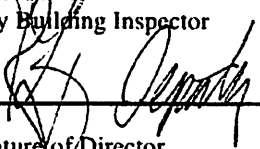
October 12, 2021, has been denied. I have enclosed a Xerox copy of your application, where you will find  
at the bottom the reason for denial.

**In Accordance with Zoning, Chapter 43 Section 10.322 the time to appeal a determination of a  
Building Inspector or Similar administrative office is thirty (30) days from the filing of such a  
determination with the Town Clerk.**

The Clerk to the Zoning Board of Appeals, Debbie Arbolino, will assist you in the preparation necessary to  
appear before the board.

Sincerely,

  
Richard Oliver  
Deputy Building Inspector

  
Signature of Director  
NOTE: PLEASE KEEP FOR YOUR RECORDS  
12-31-18-CCC

1.5.22  
Date  
CC: Rosanna Sfraga  
Liz Decort  
Debbie Arbolino

SWIS	PRINT KEY	NAME	ADDRESS
392489	69.07-1-5 ✓	Rizaldy Espinosa ✓	33 Harold St, Nanuet, NY 10954
392489	69.07-1-6 ✓	Conor Mc Kenna ✓	35 Harold St, Nanuet, NY 10954
392489	69.07-1-17 ✓	Louis Pietrolungo ✓	17 Marycrest Rd, West Nyack, NY 10994
392489	69.07-1-21 ✓	James G Muckell ✓	19 Marycrest Rd, West Nyack, NY 10994
392489	69.07-1-22 ✓	John Quinn ✓	15 Marycrest Rd, W Nyack, NY 10994
392489	69.07-1-23 ✓	Michelle Mc Cormack ✓	11 Marycrest Rd, West Nyack, NY 10994
392489	69.07-1-35 ✓	Patrick White ✓	18 Marycrest Rd, West Nyack, NY 10994
392489	69.07-1-36 ✓	Joseph W Scanlon Jr ✓	20 Marycrest Rd, West Nyack, NY 10994
392489	69.07-1-37 ✓	Babu Jacob ✓	22 Marycrest Rd, West Nyack, NY 10994
392489	69.07-1-38 ✓	Libby L Margotta ✓	24 Marycrest Rd, West Nyack, NY 10994
392489	69.07-1-39 ✓	Ronald Graziano ✓	26 Marycrest Rd, West Nyack, NY 10994
	69.07-1-16	Jennifer + Kirk Flynn ✓	13 Marycrest Rd, West Nyack, NY 10994

Jacob  
69.07-1-37

HORIZONTAL ALTERATION OR ADDITION  
 SURVEY MAP BEARING A LICENSED  
 SURVEYOR'S SEAL IS A VIOLATION  
 SECTION 7209 SUB-DIVISION 2 OF THE  
 ORK STATE EDUCATION LAW.

IF THIS SURVEY MAP NOT HAVING  
 REPRODUCED SEAL OF THE LAND  
 FOR SHALL NOT BE VALID.

NOTIFICATIONS SHOWN HEREON ARE NOT  
 APPLICABLE TO ADDITIONAL INDIVIDUALS  
 SUCCESSIONS, THEIR SUCCESSORS AND/OR  
 HEIRS, OR SUBSEQUENT OWNERS.

RIGHTS OR RIGHT-OF-WAYS ON, OR UNDER  
 RECORDS, AND NOT VISIBLE, ARE NOT

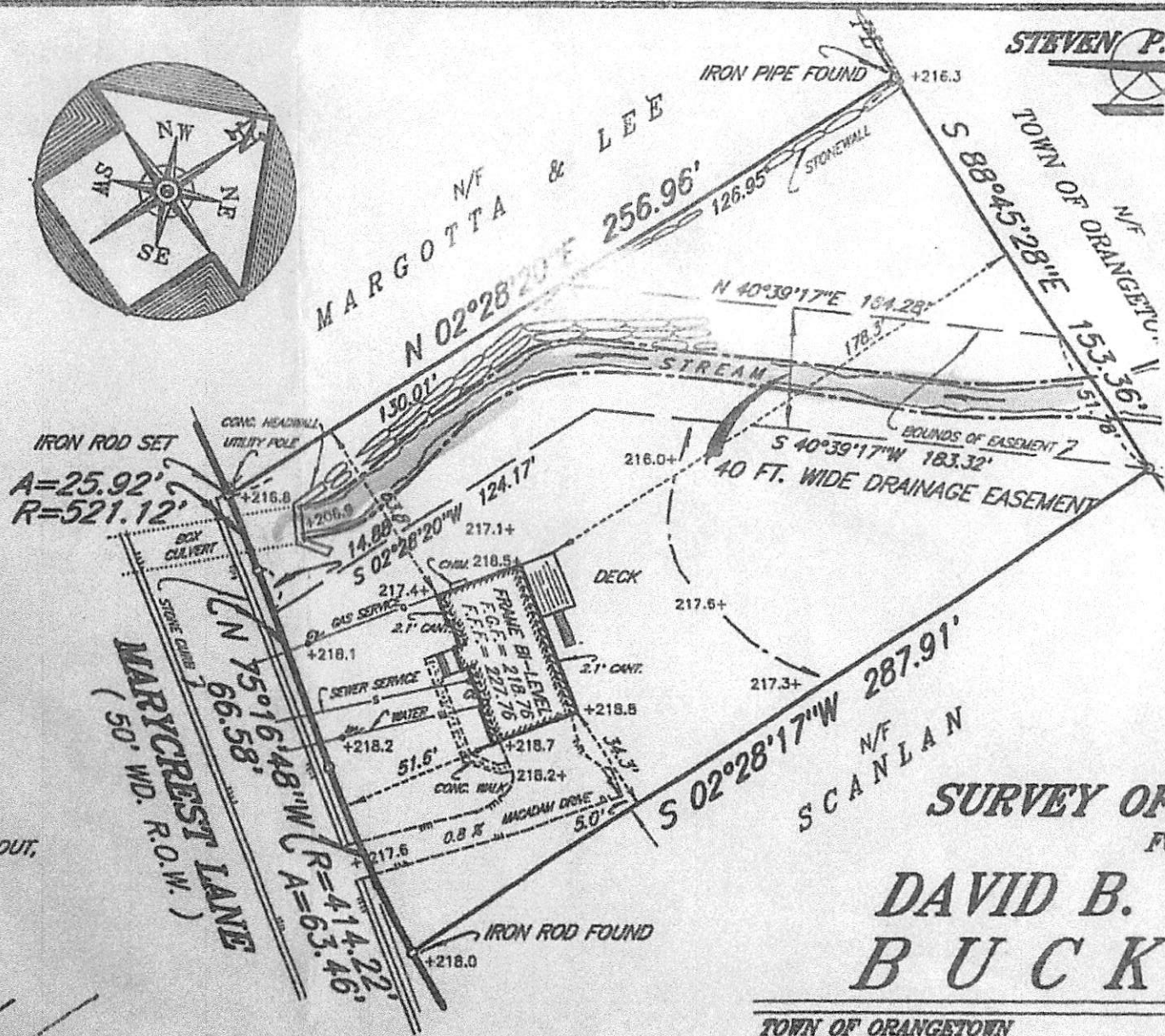
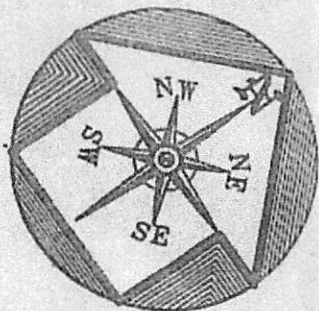
**NOTE:**  
 AS SHOWN ON A MAP ENTITLED  
 "SUBDIVISION OF SUBDIVISION FOR  
 MUSHAUN CREST", BY CARUSO &  
 WITZ, DATED MAY 11, 1995,  
 BEING SECTION 69.07, BLOCK 1, LOT  
 1, SHOWN ON THE TOWN OF  
 ORANGETOWN TAX MAP.

**NET AREA = 0.9642 ACRE  
 42,009 SQ. FT.**

WE HEREBY CERTIFY ONLY TO THE PARTIES  
 SHOWN HEREON THAT THIS MAP IS BASED  
 ON AN ACTUAL FIELD SURVEY COMPLETED  
 5/7/96 AND HAS BEEN  
 PREPARED IN ACCORDANCE WITH THE CODE  
 OF PRACTICE ESTABLISHED BY THE  
 ASSOCIATION OF PROFESSIONAL LAND  
 SURVEYORS, INC.

THIS CERTIFICATION DOES NOT RUN WITH  
 THE LAND AND IS SUBJECT TO  
 THE DISCOVERY OF FACTS A TITLE SEARCH  
 REVEALS.

DAVID B. BUCKHOUT & JEAN K. BUCKHOUT,  
 SOUTHWEST MORTGAGE, INC.,  
 CHICAGO TITLE INSURANCE COMPANY



**STEVEN P.**

**SURVEY OF**  
**DAVID B. BUCKHOUT**  
**FOR**

TOWN OF ORANGETOWN  
 SCALE 1" = 50'

STEVEN P. DRABICK, PLS NY LIC. #49806

GENERAL NOTES

ALL WORK SHALL BE IN ACCORDANCE WITH ALL PREVAILING CODES, LAWS AND ORDINANCES OF THE 2020 RESIDENTIAL BUILDING ENERGY CONSERVATION CODES AND THE LOCAL TOWN OR VILLAGE OF WHICH THE PROJECT IS LOCATED.

SITE NOTES

THESE PLANS ARE BASED ACCORDANCE TO THE SURVEY INFORMATION PROVIDED TO THE ARCHITECT BY THE OWNER. THEY SHOULD BE REVIEWED BY A LICENSED LAND SURVEYOR AND OR ENGINEER TO VERIFY ALL BUILDING LINES, AND SET BACKS PRIOR TO CONSTRUCTION.

FOUNDATION NOTES

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CHECK AND COORDINATE DIMENSIONS BETWEEN FOUNDATION AND FLOOR PLANS PRIOR TO CONSTRUCTION. ALL EXCAVATIONS SHOULD BE SUBSTANTIALLY FREE OF WATER DURING FOUNDATION CONSTRUCTION WORK.

FRAMING NOTES

ALL STANDARD FRAMING LUMBER TO BE HEXLOCK FR 9 OR BETTER UNLESS OTHERWISE NOTED. ALL ENGINEERED BEAMS INDICATED ON THE PLANS ARE DESIGNED USING THIS SPECIFIC MANUFACTURER AND SHALL BE INSTALLED PER THE MANUFACTURER'S SPECIFICATIONS ONLY.

ROOFING & SIDING

ROOFING, SIDING, TRIM, AND OTHER MATERIALS SHALL BE INSTALLED IN STRICT ACCORD WITH THEIR RESPECTIVE MANUFACTURER'S SPECIFICATIONS AND INDUSTRY STANDARDS.

DRYWALL NOTES

ALL GYPSUM BOARD DRYWALL CUT JOINTS SHALL BE ADJACENT TO CORNERS. NO BUTT JOINTS IN WALL SHALL BE PERMITTED. ALL CORNERS AND JOINTS SHALL RECEIVE TWO COATS OF JOINT COMPOUND.

DOOR & WINDOW NOTES

ALL WINDOWS AND EXTERIOR DOORS SHALL COMPLY WITH THE ENERGY CONSERVATION CODE OF N.Y.S. AND FOR THE COUNTY THIS PROJECT IS LOCATED. ALL DOORS SHALL CONFORM TO THE STATE CODE SIZE REQUIREMENTS.

STAIR & RAILING NOTES

ALL STAIRS AND RAILINGS SHALL COMPLY WITH THE 2020 NYS RESIDENTIAL CODE. ALL STAIRWAYS SHALL NOT BE LESS THAN 36" IN CLEAR WIDTH AT ALL POINTS ABOVE THE PERMITTED HANDRAIL HEIGHT AND BELOW THE REQUIRED HEADROOM HEIGHT.

TRIM & PAINTING NOTES

ALL CLOSETS SHALL HAVE AS A MINIMUM OF ONE (1) HIGH SHELF AND ONE (1) ROD FOR HANGING CLOTHING. PROVIDE FIVE (5) SHELVES IN LINEN CLOSETS. THE CONTRACTOR SHALL DOUBLE CHECK AND VERIFY ALL AS BUILT DIMENSIONS AND CONDITIONS PRIOR TO ORDERING CABINETS, COUNTER TOPS AND VANITIES.

ELECTRICAL NOTES

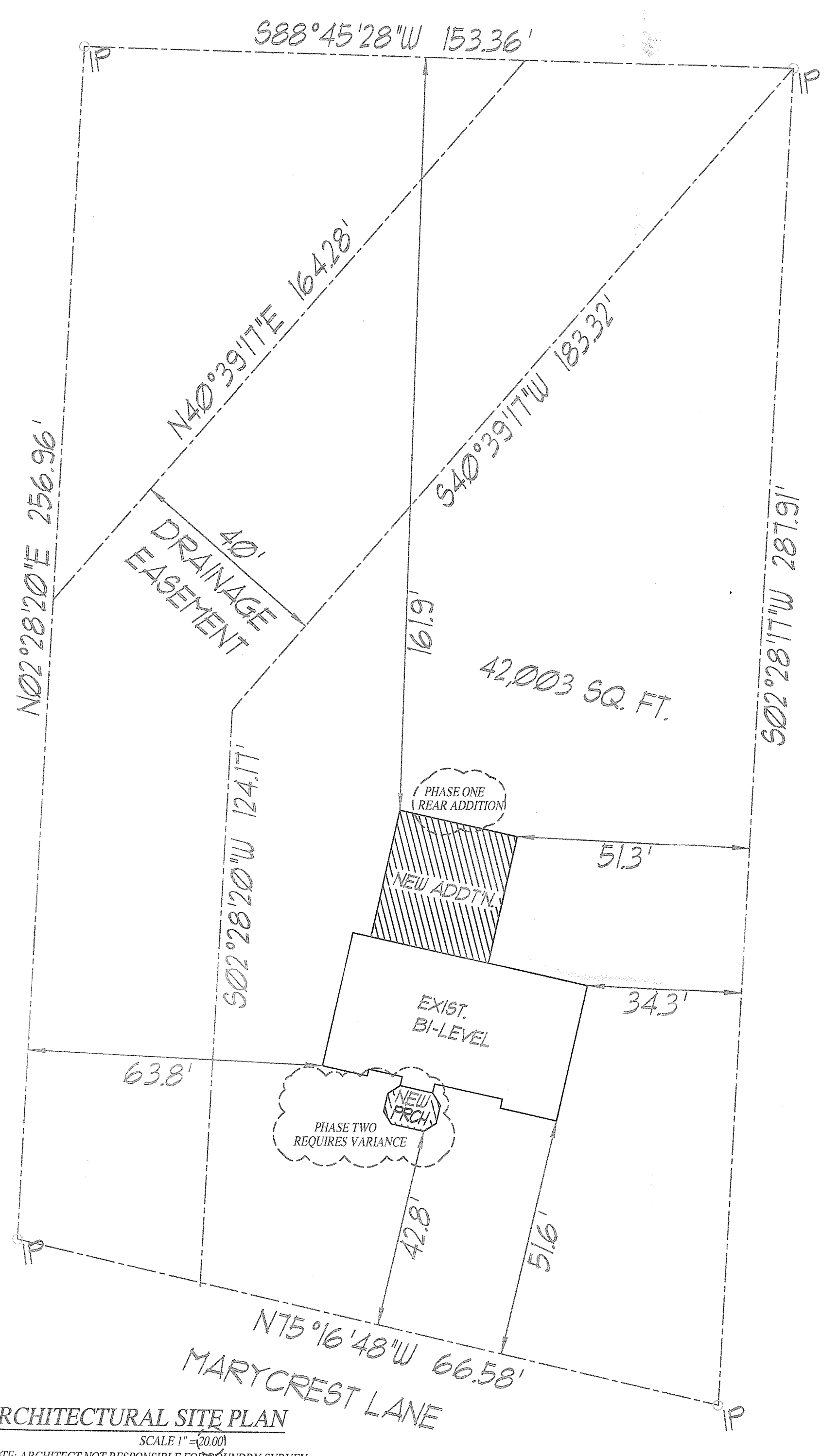
ALL OUTLETS, FIXTURES AND ALL OTHER ELECTRICAL WORK SHALL BE PLACED AND INSTALLED AS PER THE 2014 NFPA LATEST EDITION, THE LATEST EDITION OF THE NEC, NBP, AND THE LOCAL UTILITY CO. ELECTRICAL PANELS SHALL BE FULLY RECESSED AND HAVE ALL CIRCUITS CLEARLY LABELED.

MECHANICAL NOTES

ALL MECHANICAL WORK (FURNACE, BOILERS, HVAC, HOT WATER, ETC.) SYSTEMS, AND INSTALLATION SHALL COMPLY IN ACCORDANCE WITH THE 2020 INTL. BUILDING CODE THE PLUMBING, MECHANICAL, AND FUEL GAS CODES OF N.Y.S. AND INDUSTRY STANDARDS.

MECHANICAL DATA table with columns: SERVICE, ADDITIONAL, ELECTRICAL SERVICE, and notes for various systems like FURNACE, BOILER, and HVAC.

BULK CHART table with columns: RISE, RUN, TOTAL LENGTH, and notes for different materials like 1/2" x 1/2" x 1/2" and 1/2" x 1/2" x 1/2".



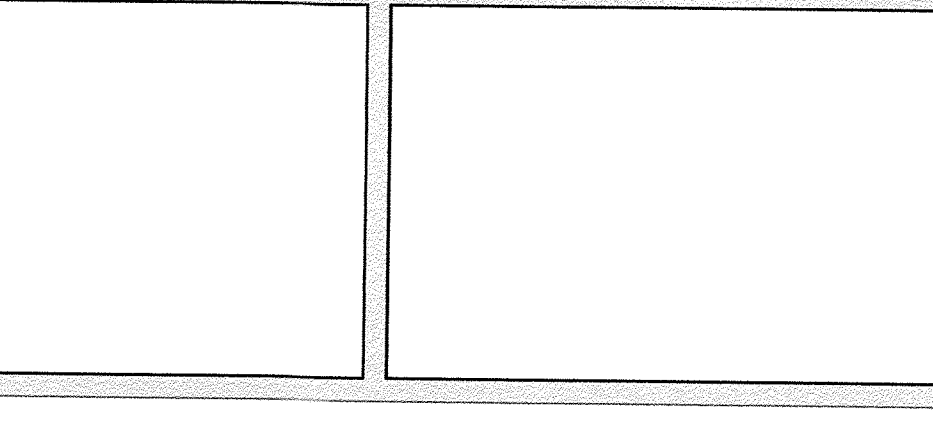
ARCHITECTURAL SITE PLAN SCALE 1" = 30.00' NOTE: ARCHITECT NOT RESPONSIBLE FOR BOUNDARY SURVEY. SITE PLAN INFORMATION TAKEN FROM SURVEY PREPARED BY STEVEN P. DRABICK, PLS NY, DATED 5/17/16.

ADDITIONAL NOTES ALL THERMOSTATS TO BE PROGRAMMABLE - DIGITAL AS PERS. BY WHITE ROGERS OR EQUAL. ALL SUPPLY PIPING AND/OR DUCT WORK TO RECEIVE R-8 INSULATION WHEN IN UNCONDITIONED SPACES.

ALL WORK TO BE IN ACCORDANCE WITH THE FOLLOWING: ZONING LAWS OF THE TOWN OF ORANGETOWN, NEW YORK 2020 RESIDENTIAL CODE OF NEW YORK STATE 2020 ENERGY CONSERVATION CODE OF NEW YORK STATE

I HEREBY CERTIFY THAT TO THE BEST OF MY KNOWLEDGE AND BELIEF, THESE PLANS AND SPECIFICATIONS ARE IN ACCORDANCE WITH THE APPLICABLE REQUIREMENTS OF THE 2020 RESIDENTIAL CODE OF N.Y.S., 2020 ENERGY CONSERVATION CODE OF N.Y.S. AND ZONING REQUIREMENTS OF THE TOWN OF ORANGETOWN, ROCKLAND COUNTY, NEW YORK.

PROJECT DATA table with columns: PROJECT, NOTES, and other project details.



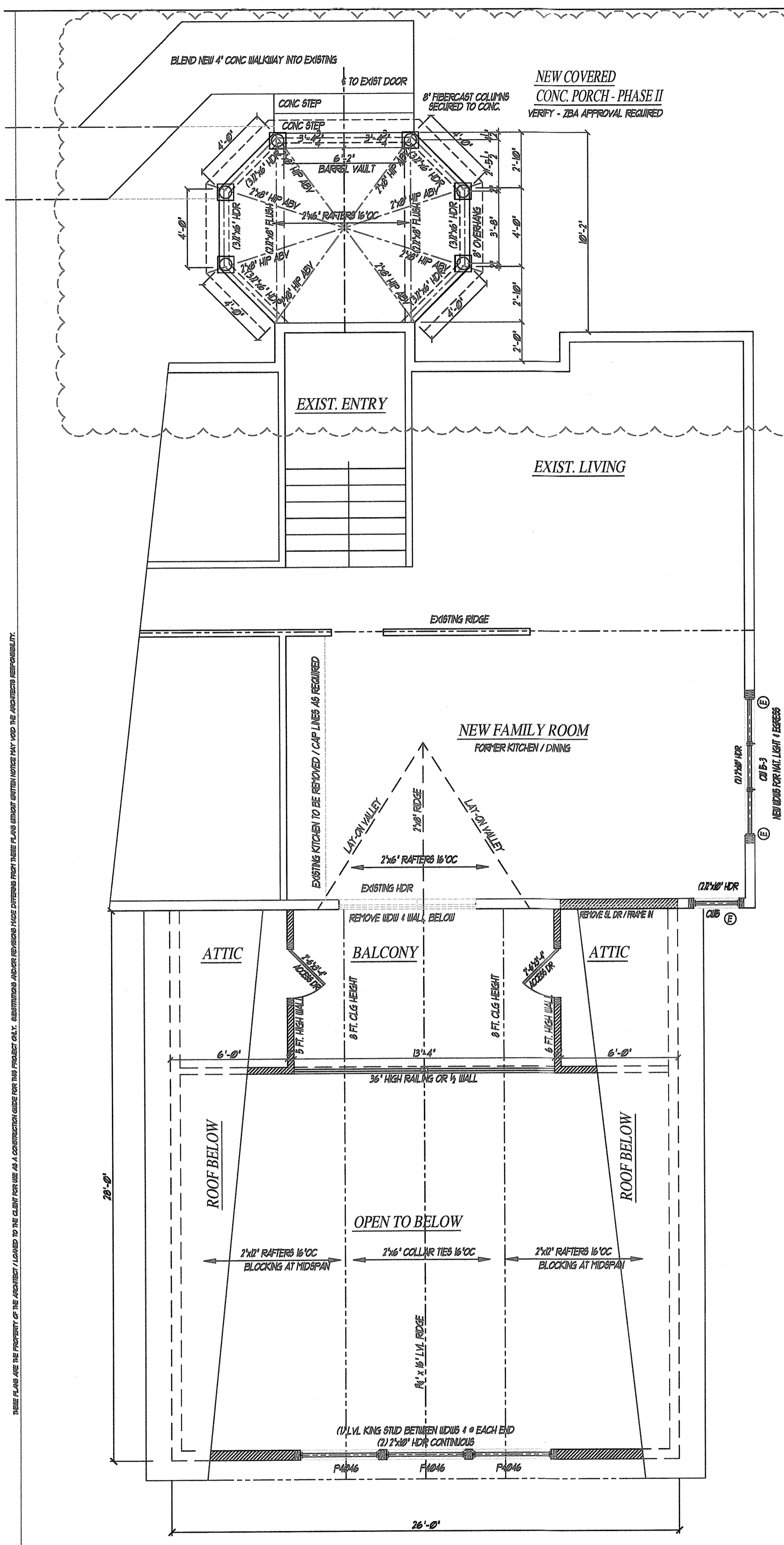
ERIC KNUTE OSBORN ARCHITECT 45 YEARS EXPERIENCE RESIDENTIAL - COMMERCIAL - ADDITIONS 58 BARNES ROAD WASHINGTONVILLE, N.Y. 10992 - (845) 629-7474 EMAIL - EKOSBORNARCHITECT@GMAIL.COM (845) 629-7474

PROJECT PROPOSED ADDITION(S) FOR MR. & MRS. BABU JACOBS 22 MARYCREST ROAD WEST NYACK TOWN OF ORANGETOWN, NEW YORK

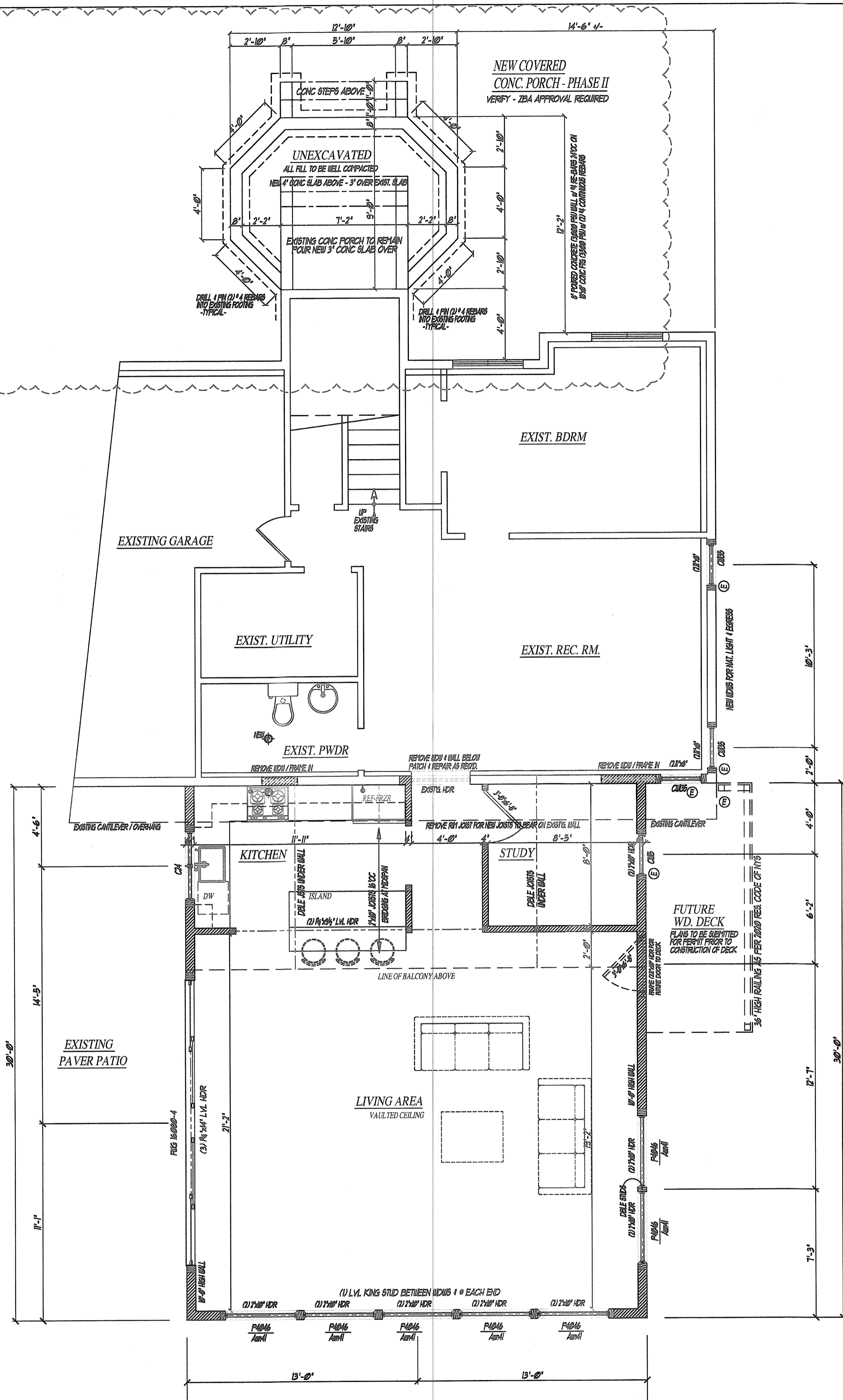
TITLE SHEET GENERAL NOTES SITE PLAN

Table with project details: START DATE: FEBRUARY 2020, 2ND DESIGN: OCTOBER 2020, 3RD DESIGN: APRIL 2021, PROJECT # 2020-ADD-6, SCALE 1/4" = 1'-0", DWG. No. A-1, 1 OF 3.

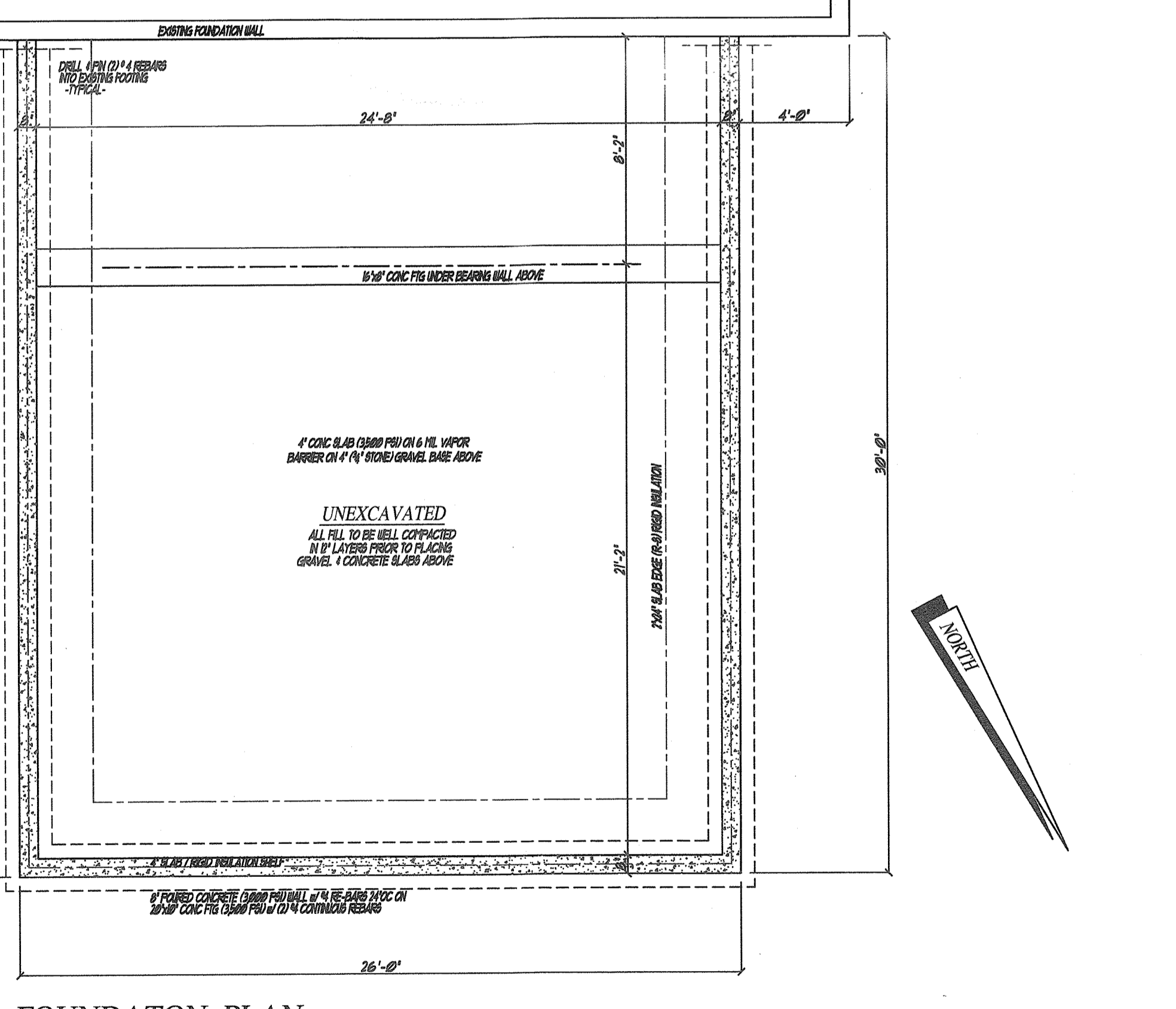
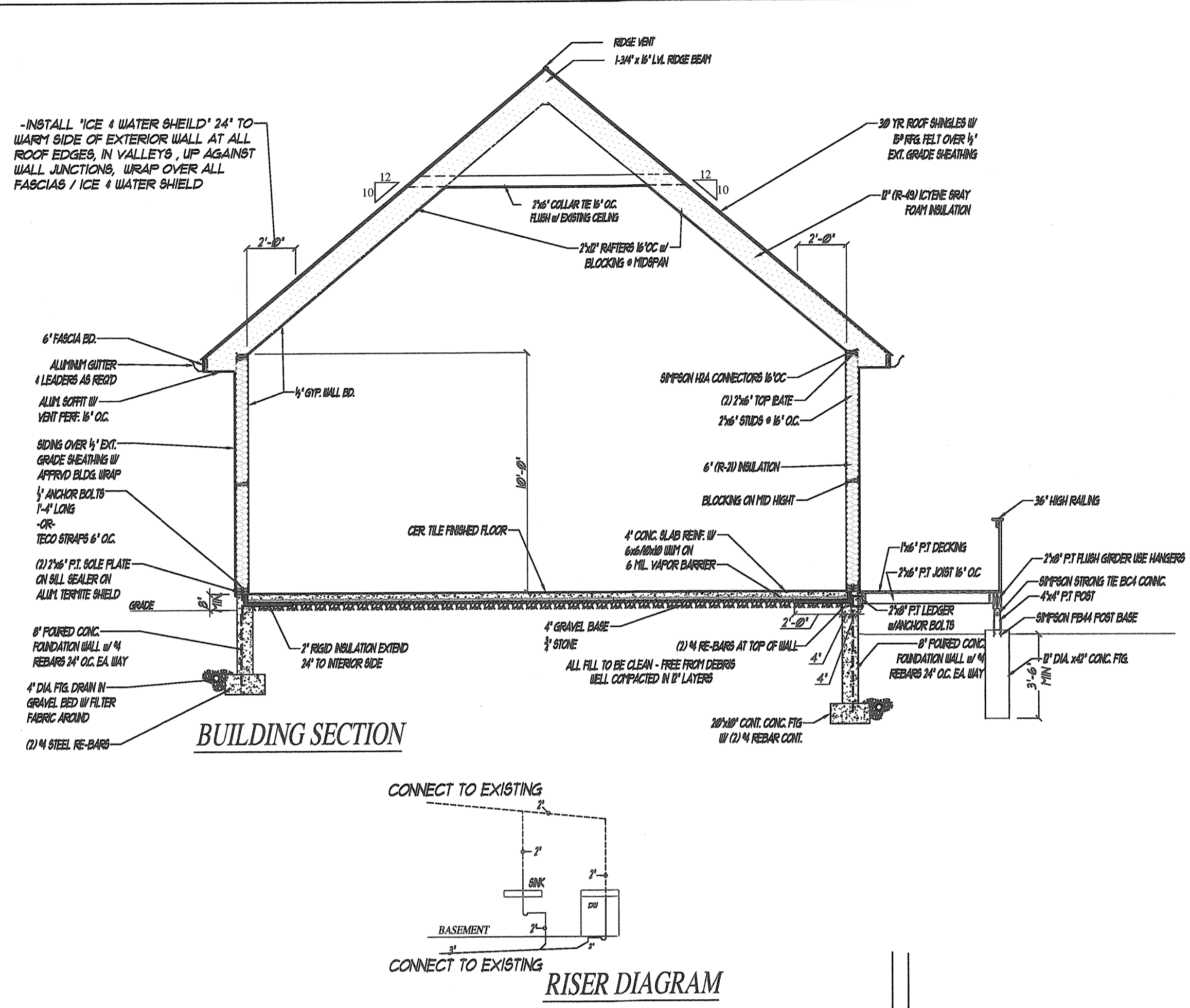
DWG LIST table with columns: DWG LIST, TITLE SHEET, NOTES, SITE PLAN, A-2 FLOOR PLAN, DETAILS, A-3 EXTERIOR ELEVATIONS & SECTION.



**PARTIAL MAIN FLOOR PLAN**  
ADDED FLOOR AREA = 100 SQUARE FEET



**LOWER FLOOR PLAN**  
ADDED FLOOR AREA = 780 SQUARE FEET

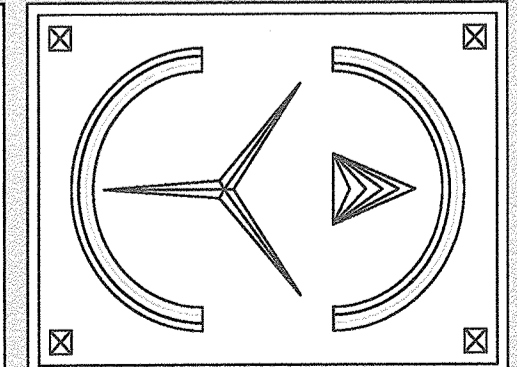


**FOUNDATON PLAN**

**NOTES:**  
EGRESS WINDOW INFORMATION  
⊕ INDICATES EGRESS WINDOW  
⊙ INDICATES TEMPERED GLAZING  
GROUND FLOOR EGRESS DATA    UPPER FLOOR EGRESS DATA  
35 SQ. FT. CLEAR OPENING    57 SQ. FT. CLEAR OPENING  
MINIMUM CLEAR HEIGHT IS 2'    MINIMUM CLEAR WIDTH IS 20"  
MAX. HEIGHT ABOVE F.L.R. = 44"  
CW135 = 60 S.F. Net Lx 3.5 S.F. Net Wdth  
CW14 = 22 S.F. Net Lx 1.5 S.F. Net Wdth  
CW15 = 25 S.F. Net Lx 1.5 S.F. Net Wdth  
MAX U-VALUE = 0.32 / MIN R-VALUE = 3.125

**PROJECT DATA**  
LOFT LIVING AREA = 100 SQ. FT.  
LOWER LIVING AREA = 780 SQ. FT.  
FRONT PORCH OPTION = 106 SQ. FT.  
ADDED FLOOR AREA = 986 SQ. FT.

**WALL LEGEND**  
STANDARD FRAME WALLS  
LOAD BEARING WALLS  
EXISTING WALLS  
WALLS TO BE REMOVED  
POURED CONCRETE WALLS



**ERIC KNUTE OSBORN ARCHITECT**  
45 YEARS EXPERIENCE  
RESIDENTIAL - COMMERCIAL - ADDITIONS  
58 BARNES ROAD  
WASHINGTONVILLE, N.Y. 10992 - (845) 629-7474  
EMAIL - EKOSBORNARCHITECT@GMAIL.COM  
(845) 629-7474

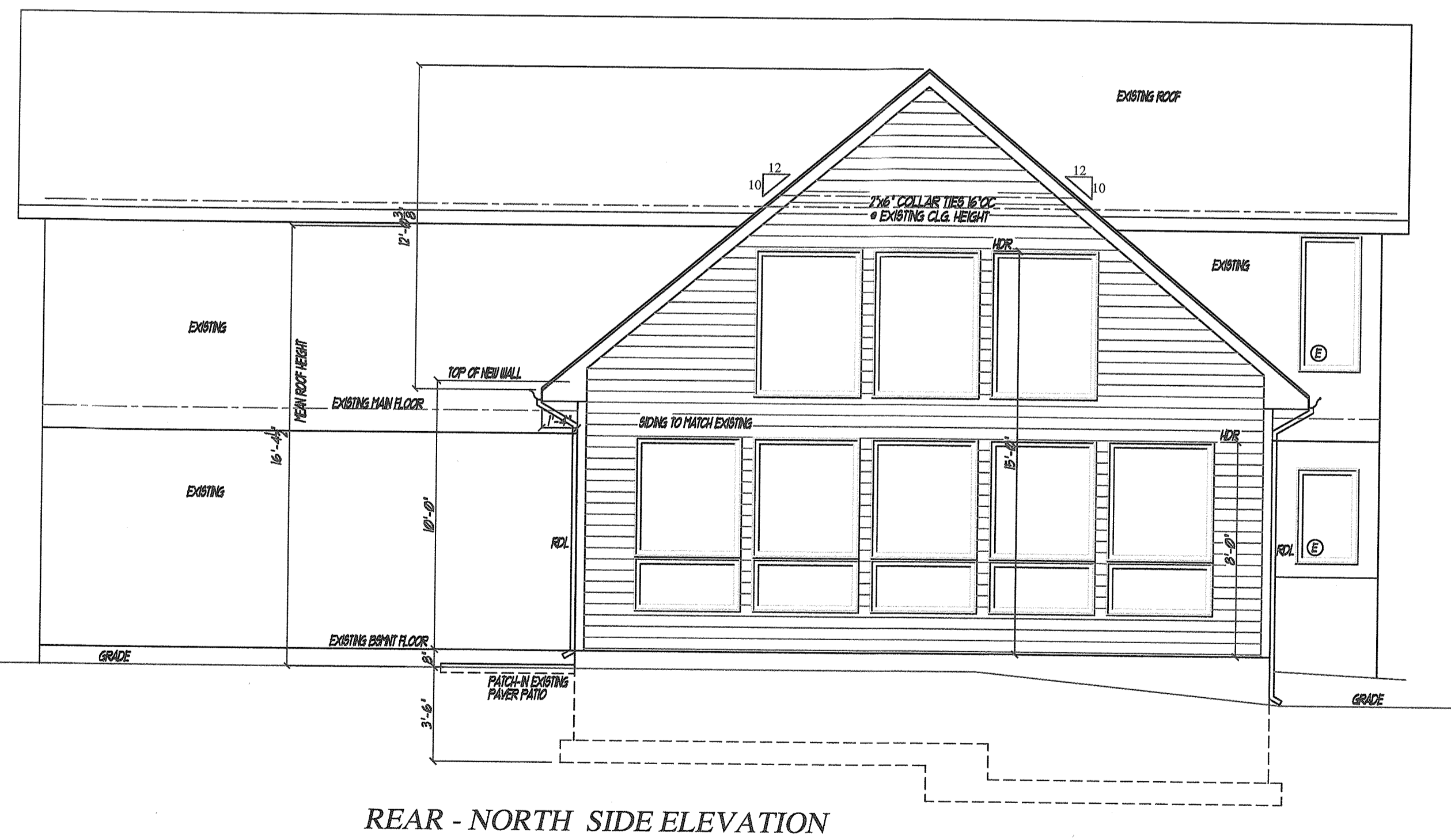
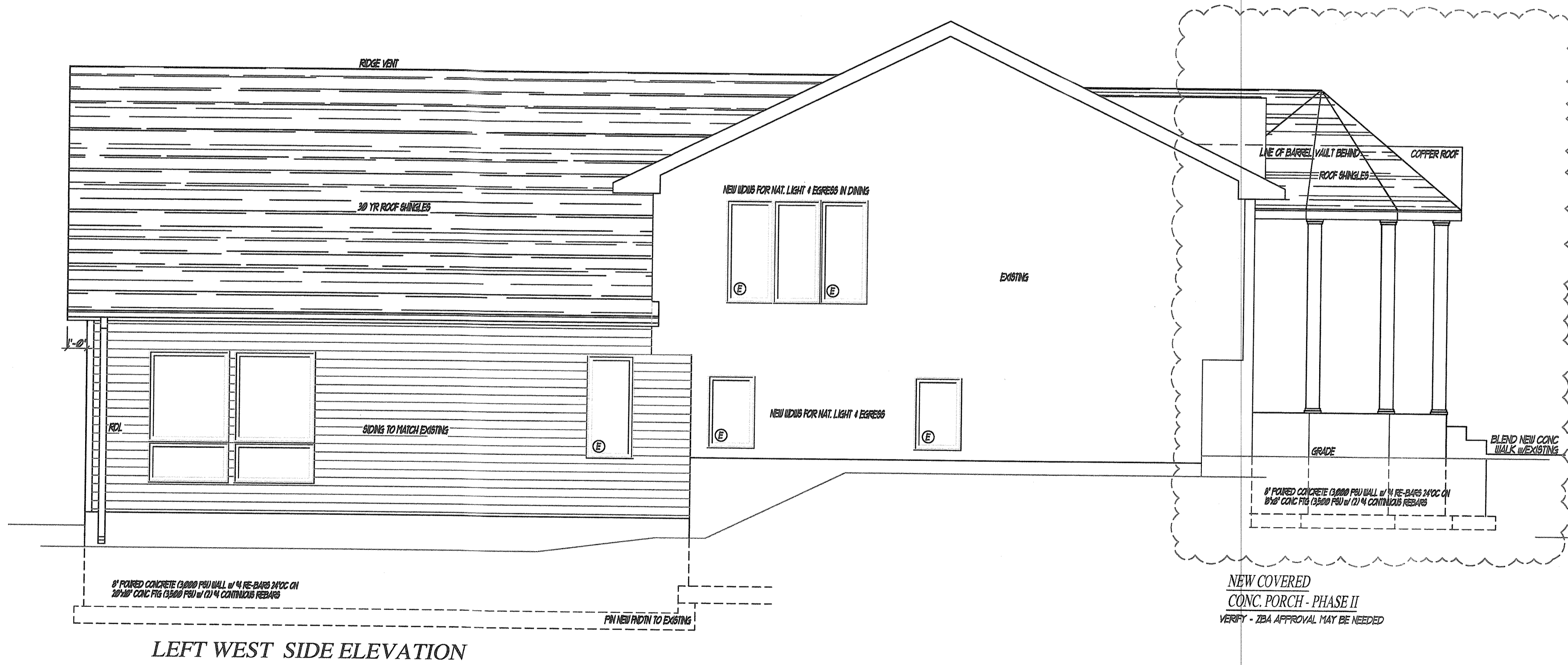
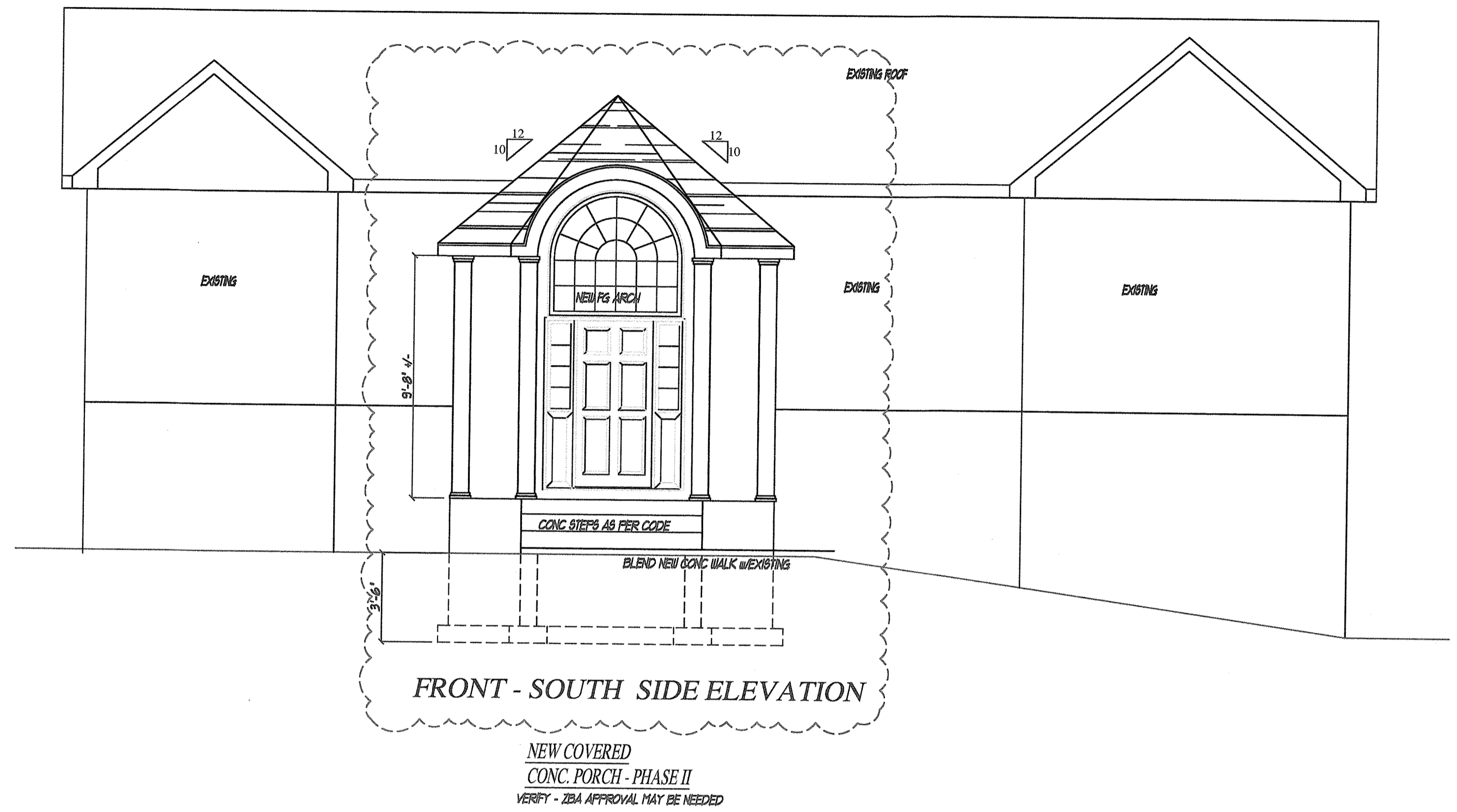
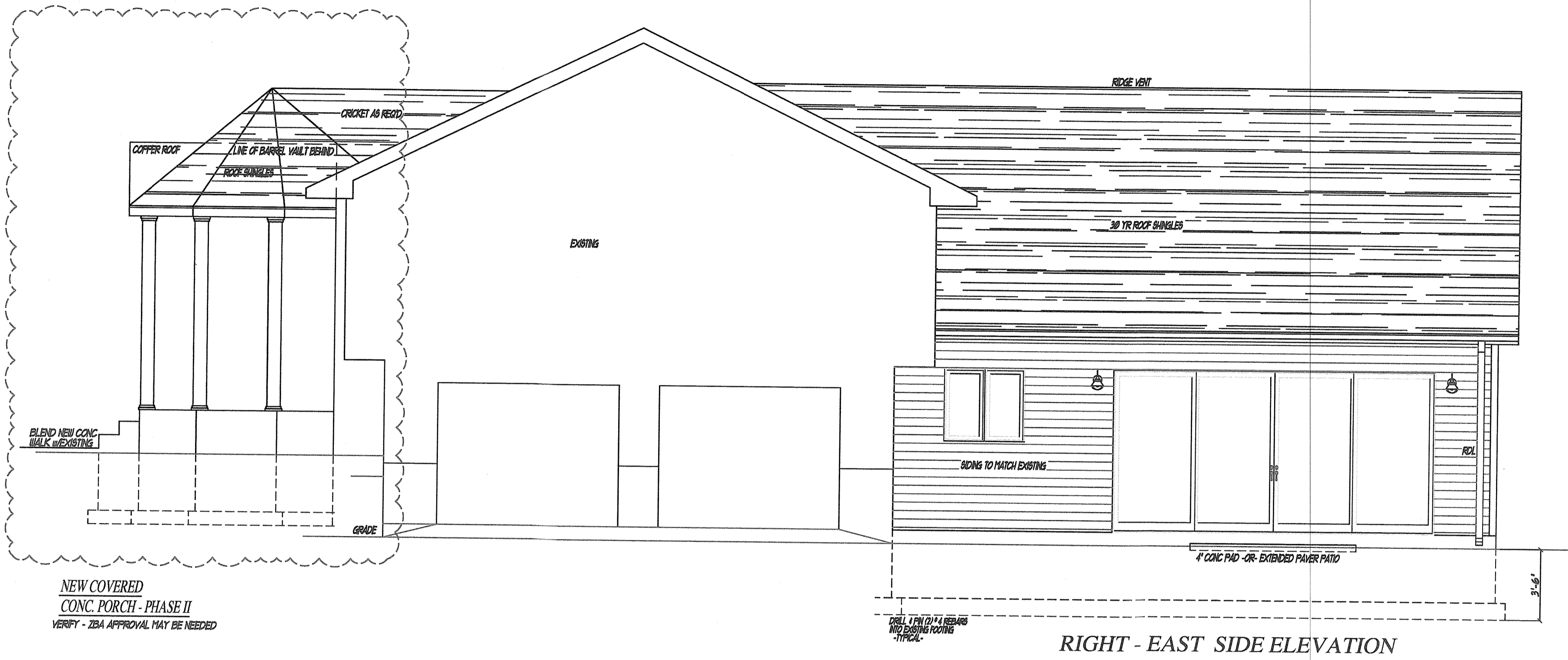
**PROJECT**  
PROPOSED PHASE II ADDITION FOR  
**MR. & MRS. BABU JACOBS**  
22 MARYCREST ROAD  
WEST NYACK  
TOWN OF ORANGETOWN  
ROCKLAND COUNTY, NEW YORK

**PARTIAL MAIN FLOOR PLAN  
BASEMENT FLOOR PLAN  
FOUNDATION PLAN**

START DATE: FEBRUARY 2020  
2ND DESIGN: OCTOBER 2020  
3RD DESIGN: APRIL 2021

PROJECT # 2020-ADD-6  
SCALE 1/4" = 1'-0"  
DWG. No. **A-2A**

SEAL & SIGNATURE  
ERIC KNUTE OSBORN ARCHITECT  
STATE OF NEW YORK  
DEC 2021  
NY LIC. #021-585



NOTES:	PROJECT DATA		<b>ERIC KNUTE OSBORN ARCHITECT</b> 45 YEARS EXPERIENCE RESIDENTIAL - COMMERCIAL - ADDITIONS 58 BARNES ROAD WASHINGTONVILLE, N.Y. 10992 - (845) 629-7474 EMAIL - EKOSBORNARCHITECT@GMAIL.COM (845) 629-7474	PROJECT <b>PROPOSED PHASE II ADDITION FOR MR. &amp; MRS. BABU JACOBS</b> 22 MARYCREST ROAD WEST NYACK TOWN OF ORANGETOWN ROCKLAND COUNTY, NEW YORK	<b>PHASE II EXTERIOR ELEVATIONS</b>	START DATE: FEBRUARY 2020	PROJECT # 2020-ADD-6	<b>SEAL &amp; SIGNATURE</b>  DEC. 2021 N.Y. LIC. #021-585
						2ND DESIGN: OCTOBER 2020	SCALE 1/4" = 1'-0"	
						3RD DESIGN: APRIL 2021		3 OF 3