

Name of Municipality: TOWN OF ORANGETOWN Date Submitted: _____

2021 LAND USE BOARD APPLICATION

Please check all that apply:

<input type="checkbox"/> Commercial <input type="checkbox"/> Planning Board <input checked="" type="checkbox"/> Zoning Board of Appeals <input type="checkbox"/> Subdivision <input type="checkbox"/> Number of Lots <input type="checkbox"/> Site Plan <input type="checkbox"/> Conditional Use <input type="checkbox"/> Special Permit <input type="checkbox"/> Variance <input type="checkbox"/> Performance Standards Review <input type="checkbox"/> Use Variance <input type="checkbox"/> Other (specify): _____	<input type="checkbox"/> Residential <input type="checkbox"/> Historical Board <input type="checkbox"/> Architectural Board <input type="checkbox"/> Consultation <input type="checkbox"/> Pre-Preliminary/Sketch <input type="checkbox"/> Preliminary <input type="checkbox"/> Final <input type="checkbox"/> Interpretation
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PERMIT#: BDR-17-2021
 ASSIGNED _____
 INSPECTOR: Glenn
 Referred from Planning Board: YES / NO
 If yes provide date of Planning Board meeting: _____

Project Name: Kirill Grach & Maria Gililova

Street Address: 47 Polhemus St.
Tappan, NY 10983

Tax Map Designation:
Section: 77.08 Block: 2 Lot(s): 46
Section: _____ Block: _____ Lot(s): _____

Directional Location:
On the west side of Polhemus St., approximately 0 feet on the SW corner of the intersection of Austin Ave., in the Town of ORANGETOWN in the hamlet/village of Tappan.

Acreage of Parcel <u>.1605</u>	Zoning District <u>RG</u>
School District <u>South Orangetown</u>	Postal District <u>Tappan</u>
Ambulance District <u>SOAC</u>	Fire District <u>Tappan</u>
Water District <u>Suez</u>	Sewer District <u>Orangetown</u>

Project Description: *(If additional space required, please attach a narrative summary.)*
front entry extension landing with front yard setback less than required due to landing height above grade
and FAR to include existing shed

The undersigned agrees to an extension of the statutory time limit for scheduling a public hearing.
Date: 12/13/2021 Applicant's Signature: Mama Grach

APPLICATION REVIEW FORM

FILL IN WHERE APPLICABLE.

(IF THE FOLLOWING DOES NOT APPLY PLEASE MOVE ON TO THE NEXT PAGE)

If subdivision:

- 1) Is any variance from the subdivision regulations required? _____
- 2) Is any open space being offered? ____ If so, what amount? _____
- 3) Is this a standard or average density subdivision? _____

If site plan:

- 1) Existing square footage _____
- 2) Total square footage _____
- 3) Number of dwelling units _____

If **special permit**, list special permit use and what the property will be used for.

Environmental Constraints:

Are there **slopes greater than 25%**? If yes, please indicate the amount and show the gross and net area NO

Are there **streams** on the site? If yes, please provide the names. NO

Are there **wetlands** on the site? If yes, please provide the names and type:

NO

Project History:

Has this project ever been reviewed before? NO

If so, provide a narrative, including the list case number, name, date, and the board(s) you appeared before, and the status of any previous approvals.

List tax map section, block & lot numbers for all other abutting properties in the same ownership as this project.

NONE



OFFICE OF BUILDING, ZONING, PLANNING,
ADMINISTRATION AND ENFORCEMENT
TOWN OF ORANGETOWN

20 Greenbush Road
Orangeburg, N.Y. 10962

Jane Slavin, R.A.
Director

(845)359-8410

Fax: (845) 359-8526

DENIAL TO THE ZONING BOARD OF APPEALS

Date: ~~October 28, 2021~~ 1-10-22

Applicant: Gililova

Address: 47 Polhemus, Tappan, NY

RE: Application Made at: same

Chapter 43, Table 3.12, Column 1 RG District, Column 2 Group Q, Column 3 SFR, Column 4 Max FAR 30% with 32% proposed, Column 8 Front Yard 25' with 22.58" proposed.
2 variances required

1.10.22

5.153

-Chapter 43, Sectino ~~5.227~~ min distance between accessory structure and another structure 15' with 10.9' proposed.

-Table 3.12, Col 1 RG District, Col 9 Min side Yrd 10' w/ 9' 9 3/4" proposed

Section: 77.08

Block: 2

Lot: 46

Dear Gililova:

Please be advised that the Building Permit Application, which you submitted on

October 25, 2021, has been denied. I have enclosed a Xerox copy of your application, where you will find at the bottom the reason for denial.

In Accordance with Zoning, Chapter 43 Section 10.322 the time to appeal a determination of a Building Inspector or Similar administrative office is thirty (30) days from the filing of such a determination with the Town Clerk.

The Clerk to the Zoning Board of Appeals, Debbie Arbolino, will assist you in the preparation necessary to appear before the board.

Sincerely,

Richard Oliver
Deputy Building Inspector

Signature of Director
NOTE: PLEASE KEEP FOR YOUR RECORDS
12-31-18-CCC

Date
CC: Rosanna Sfraga
Liz Decort
Debbie Arbolino

December 9, 2021

Maria Grach
47 Polhemus Street
Tappan, NY 10983

Town of Orangetown – Building Department
20 Greenbush Rd.
Orangeburg, NY 10962

Re: Written authorization for agent to appear on owner behalf
47 Polhemus Street
Tappan, NY 10983

Dear Zoning Board members,

I hereby authorize Kier B. Levesque Architect to appear on my behalf before the Town of Orangetown Zoning Board of Appeals as agent for the above referenced property.

Sincerely,



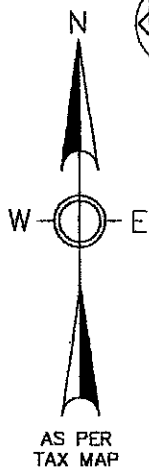
Maria Grach
917.952.1440

NVREC
PROFESSIONAL LAND SURVEYORS-PLANNERS

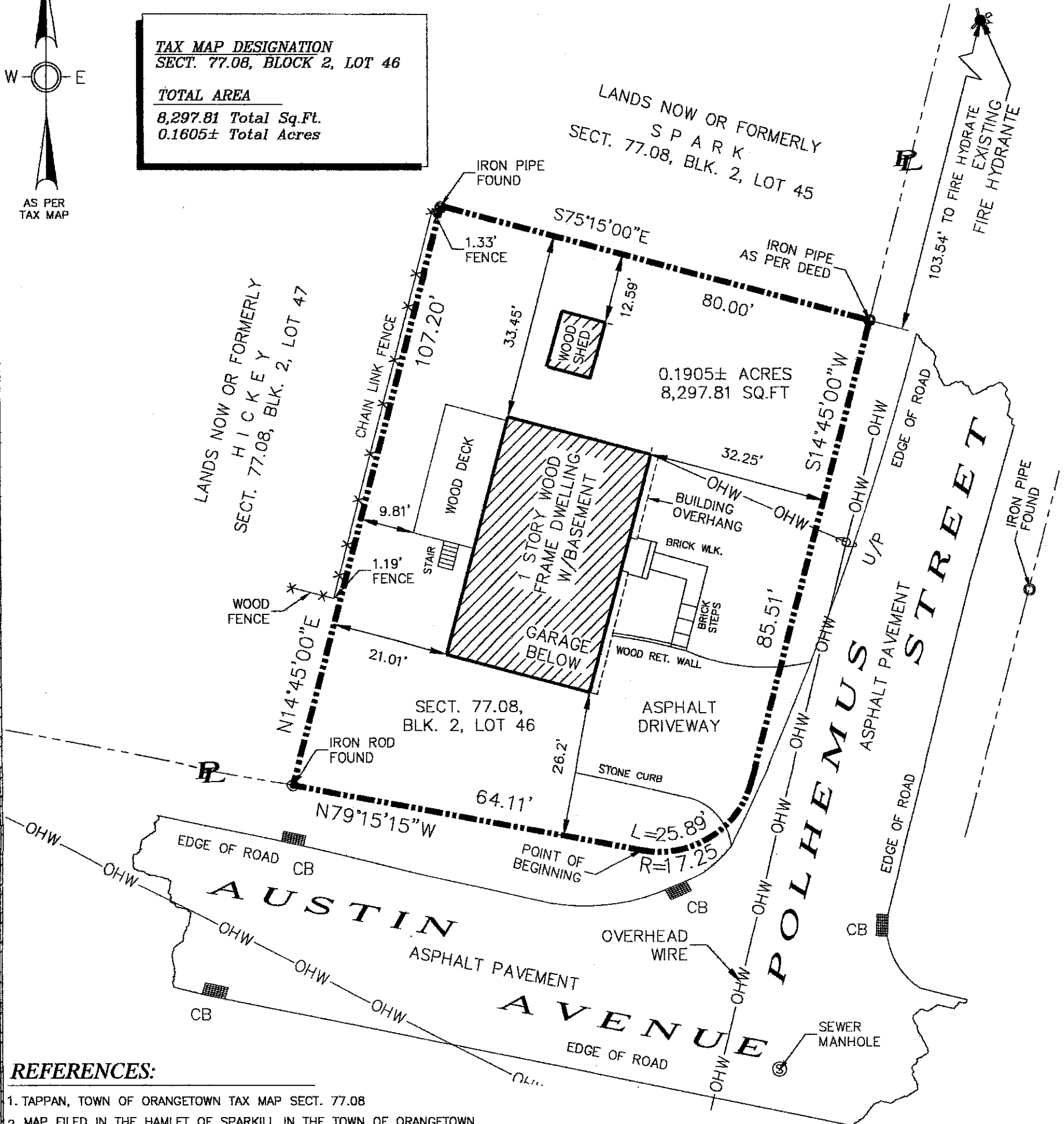
TITLE # : HAS-12872

TAX MAP DESIGNATION
 SECT. 77.08, BLOCK 2, LOT 46

TOTAL AREA
 8,297.81 Total Sq.Ft.
 0.1805± Total Acres



AS PER TAX MAP



REFERENCES:

1. TAPPAN, TOWN OF ORANGETOWN TAX MAP SECT. 77.08
2. MAP FILED IN THE HAMLET OF SPARKILL IN THE TOWN OF ORANGETOWN, COUNTY OF ROCKLAND AND STATE OF NEW YORK, AND SHOWN AND DESIGNATED AS LOTS NOS. 53-56, SECT. D, ON A CERTAIN MAP ENTITLED "MAP ADDITION TO SECT. D, B, & F, SPARKILL ESTATES, DEVELOPED BY AMSTERDAM DEVELOPMENT & SALES COMPANY OF N.Y., JUNE 1931 IN BLOK 19 OF MAPS AT PAGE 309 AS MAP NO. 340.

SCALE 1" = 20'



NVREC
PROFESSIONAL LAND SURVEYORS-PLANNERS

3024 RADCLIFF AVENUE
 BRONX, NEW YORK 10469
 PH. # 718 601 9753
 FAX : 718 796 9203
 MOBILE # 917 544 8174
 OFFICE # 718 884 2763

THIS SURVEY WAS PREPARED IN ACCORDANCE WITH THE EXISTING CODE OF PRACTICE FOR LAND SURVEYS ADOPTED BY THE NEW YORK STATE ASSOCIATION OF PROFESSIONAL LAND SURVEYORS. SAID CERTIFICATIONS SHALL RUN ONLY TO THE PERSON AND OR THE ORGANIZATION FOR WHOM THIS SURVEY IS PREPARED, AND ON HIS BEHALF TO THE TITLE COMPANY, GOVERNMENT AGENCY AND LENDING INSTITUTION LISTED HEREON AND TO THE SUCCESSORS AND OR ASSIGNEES OF THE LENDING INSTITUTION. CERTIFICATIONS ARE NOT TRANSFERABLE.

UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S SEAL IS A VIOLATION OF SECTION 7209, SUBSECTION 2, OF THE NEW YORK STATE EDUCATION LAW.

ONLY COPIES FROM THE ORIGINAL OF THIS SURVEY STAMPED WITH AN ORIGINAL OF THE LAND SURVEYOR'S EMBOSSED OR INKED SEAL SHALL BE CONSIDERED TO BE VALID TRUE COPIES.

THIS IS TO CERTIFY THAT THERE ARE NO VISIBLE STREAMS OR NATURAL WATER COURSES ACROSS THE PROPERTY AS SHOWN ON THIS SURVEY.

CERTIFICATIONS:

1. KIRILL GRACH AND MARIA GILIOVA
2. WACHOVIA MORTGAGE CORP.
3. HUDSON ABSTRACT SERVICES PROFESSIONAL LLC

TITLE SURVEY
OF

47 POLHEMUS STREET
 1 STORY DWELLING
 SITUATED IN TAPPAN,
 TOWN OF ORANGETOWN

STATE OF NEW YORK



DATE OF SURVEY JULY 19, 2007
 DATE DRAFTED JULY 19, 2007

NEVILLE V. RAMSAY, PROFESSIONAL LAND SURVEYOR
 NEW YORK STATE LICENSE No. 050294-1

GRACH RENOVATION

47 POLHEMUS ST., TAPPAN, NY 19083

INDEX TO DRAWINGS

C COVER
A1 PLANS
A2 SECTION & ELEVATIONS

BULK REQUIREMENTS

REQUIREMENTS	REQUIRED	EXISTING	PROPOSED
ZONE DISTRICT: RG USE: Q SINGLE - FAMILY RESIDENTIAL			
PRINCIPAL BUILDING:			
LOT AREA, MIN. S.F.	10,000	8,297.81	NO CHANGE
FAR	.30 (2,489)	.31 (2,544)*	.32 (2,625)**
WIDTH MIN.	75	85.51	NO CHANGE
STREET FRONTAGE	50	175.51	NO CHANGE
FRONT YARD MIN.	25	31/26.2	25.58
SIDE YARD MIN.	10	21.01	NO CHANGE
TOTAL SIDE YARD MIN.	30	NA	NO CHANGE
REAR YARD MIN.	35	33.45*	NO CHANGE
MAX. BUILDING HEIGHT	1'-4"/PER 1'	9"/PER 1' 16.5'	NO CHANGE

* EXISTING NON-CONFORMING
** NON-CONFORMING VARIANCE REQUIRED

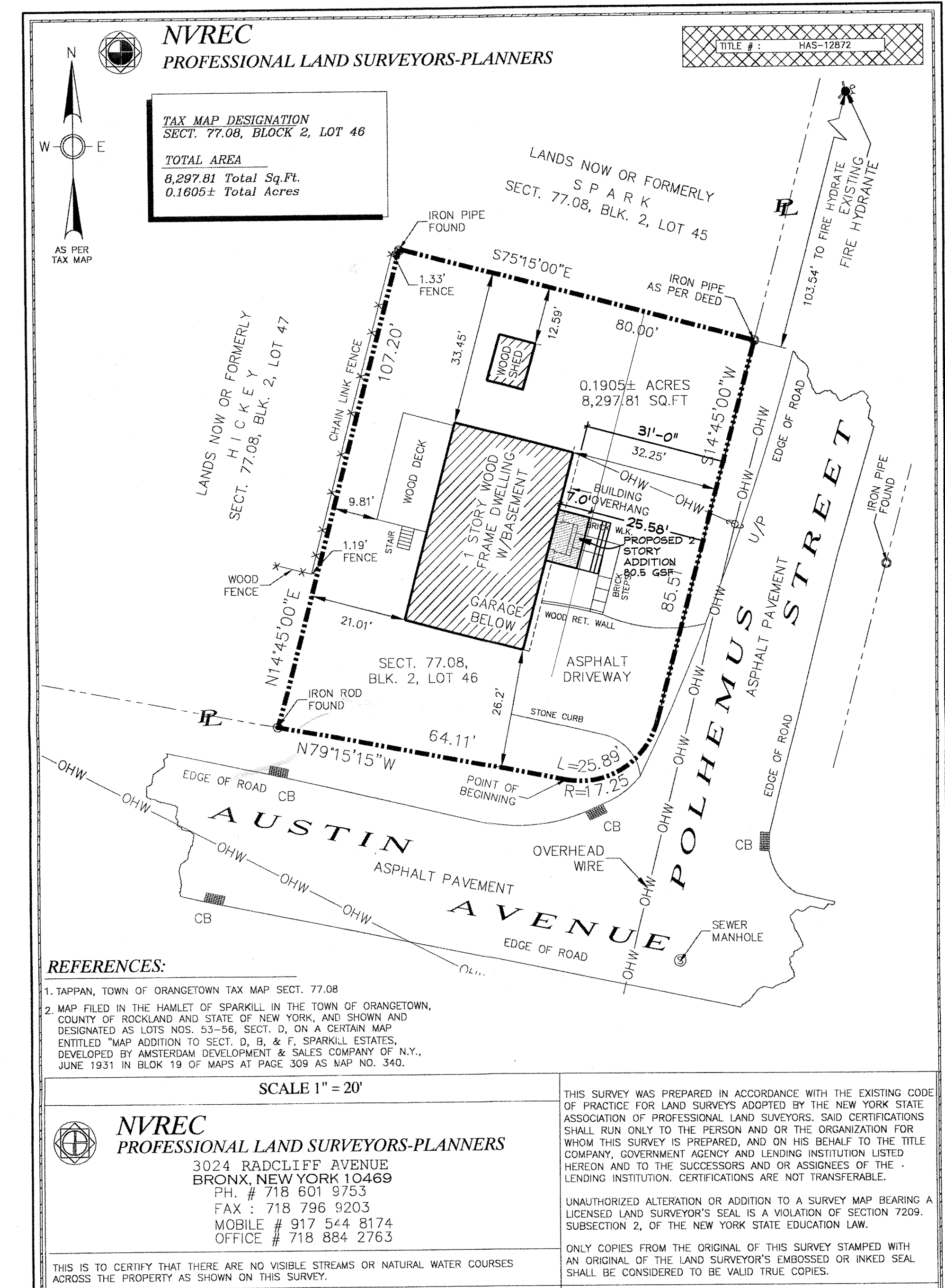
EXISTING DWELLING FLOOR AREA 2,459
SHED 85 GSF
TOTAL EXISTING 2,544 GSF
EXISTING FAR .31

PROPOSED FAR:
EXISTING FLOOR AREA 2,544
NEW ADDITION 81
TOTAL 2,625
PROPOSED FAR .32

ALL UTILITIES ARE SHOWN IN AN APPROXIMATE WAY FROM AVAILABLE INFORMATION. THE CONTRACTOR SHALL CALL THE LOCAL UNDERGROUND FACILITIES PROTECTIVE ORGANIZATION TO HAVE ALL UNDERGROUND UTILITIES MARKED IN THE FIELD PRIOR TO ANY CLEARING OR ANY CONSTRUCTION. THE CONTRACTOR SHALL ALSO VERIFY THE LOCATION, SIZE AND INVERT OF ALL UTILITIES PRIOR TO ANY CONSTRUCTION. ANY UTILITY FOR WHICH NO EVIDENCE CAN BE SEEN ON THE SURFACE OF THE LANDS MAY NOT BE SHOWN ON THIS DRAWING.

16 NYCRR PART 753
REQUIRES 2 WORKING DAYS NOTICE PRIOR TO START OF ANY UNDERGROUND WORK

DIG SAFELY NEW YORK
WWW.DIGSAFELYNEWYORK.COM
1-800-962-7962

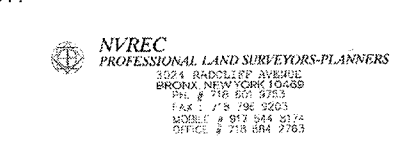


NY LIC# 15938

KIER B. LEVESQUE, RA
ARCHITECT
49 THIRD AVENUE
NYACK, NEW YORK 10960
845-358-2359

SITE PLAN
1 INCH = 20 FEET

ORANGETOWN TAX MAP NO: 77.08 - 2 - 46 THE INFORMATION ON THIS DRAWING WAS TAKEN FROM A SURVEY FOR:
47 POLHEMUS STREET
DATED JULY 19, 2007
BY:



REGISTERED ARCHITECT
KIER B. LEVESQUE
15938
STATE OF NEW YORK

SEPTEMBER 14, 2021

JOB# 202104

CLIMACTIC & GEOGRAPHIC DESIGN CRITERIA ROCKLAND COUNTY

GROUND SNOW LOAD	WIND DESIGN			SEISMIC DESIGN CAT	SUBJECT TO DAMAGE FROM:			WINTER DESIGN TEMP.	ICE BARRIER UNDERLAYMENT	FLOOD HAZARDS	AIR FREEZING INDEX	MEAN ANNUAL TEMP
	SPEED (MPH)	TOPOGRAPHIC EFFECTS	SPECIAL WIND REGION		WEATHERING	FROST DEPTH	TERMITE					
30	115	TBD BY AHJ	YES	B	SEVERE	36"	MOD/HVY	HDD4910 15 F	YES	TBD	1000	52.2 F

ENERGY CODE COMPLIANCE

THE ARCHITECT CERTIFIES THAT TO THE BEST OF HIS KNOWLEDGE, THAT ALL APPLICABLE SECTIONS OF THE 2020 ECCC OF NEW YORK STATE ENERGY CODE HAVE BEEN MET OR EXCEEDED

BUILDING CODE INFORMATION

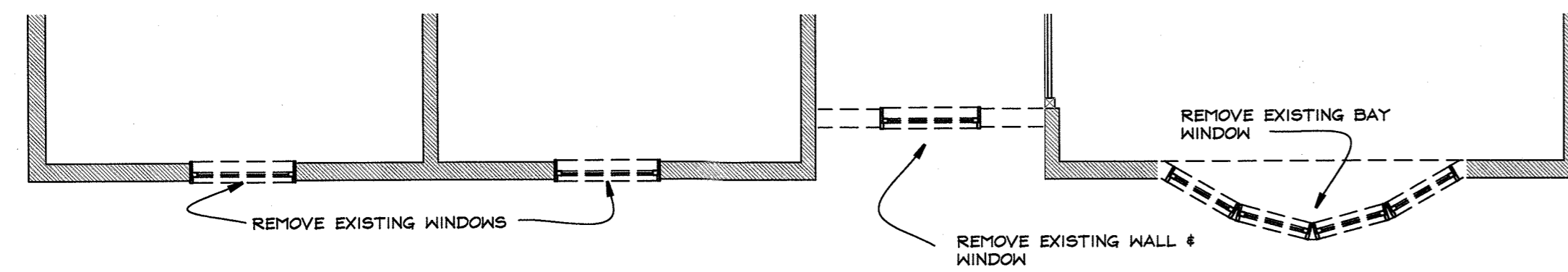
CODE COMPLIANCE
 ALL CONSTRUCTION SHALL COMPLY WITH THE NEW YORK STATE:
 2020 RESIDENTIAL CODE OF NEW YORK STATE
 2017 NATIONAL ELECTRICAL CODE
 2020 ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE
 2020 FUEL GAS CODE OF NEW YORK STATE
 2020 MECHANICAL CODE OF NEW YORK STATE
 2020 PLUMBING CODE OF NEW YORK STATE

USE GROUP: R-3 SINGLE FAMILY DETACHED DWELLING
 CONSTRUCTION TYPE: 5b
 SMOKE ALARMS: COMPLY WITH SEC R314, R315 and NFPA 72

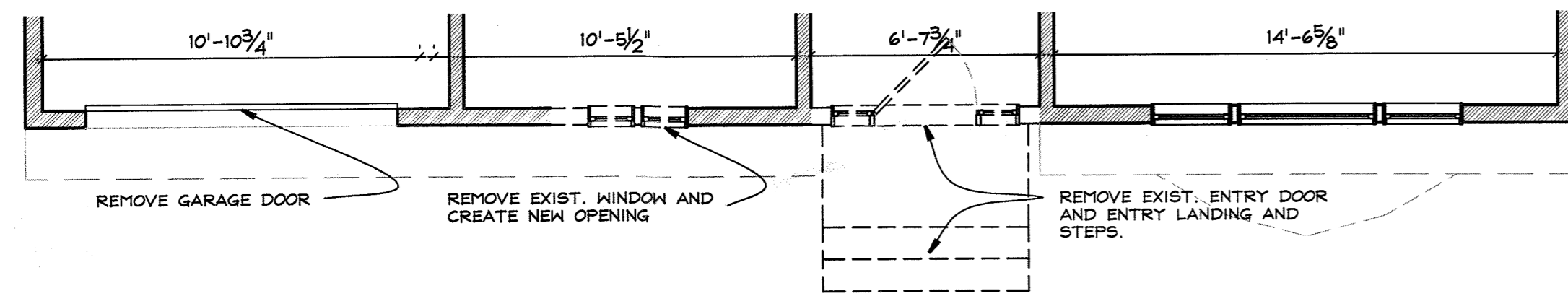
PER 2020 RCNYS R314 INSTALL INTERCONNECTED HARDWIRED SMOKE DETECTORS IN ALL SLEEPING ROOMS AND OUTSIDE OF SLEEPING ROOMS IN THE IMMEDIATE VICINITY, AND 1 ON EACH STORY. PER R314.4 EXCEPTION: NEW SMOKE ALARMS ARE NOT REQUIRED TO BE INTERCONNECTED TO EXISTING ALARMS WHEN THE NEW SMOKE ALARM IS NOT CAPABLE OF BEING INTERCONNECTED TO EXISTING ALARMS. PER R314.5 COMBINATION SMOKE AND CARBON MONOXIDE ALARMS SHALL BE PERMITTED IN LIEU OF SMOKE ALARMS. PER R314.6 POWER SOURCE, SMOKE ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING.

DEMOLITION

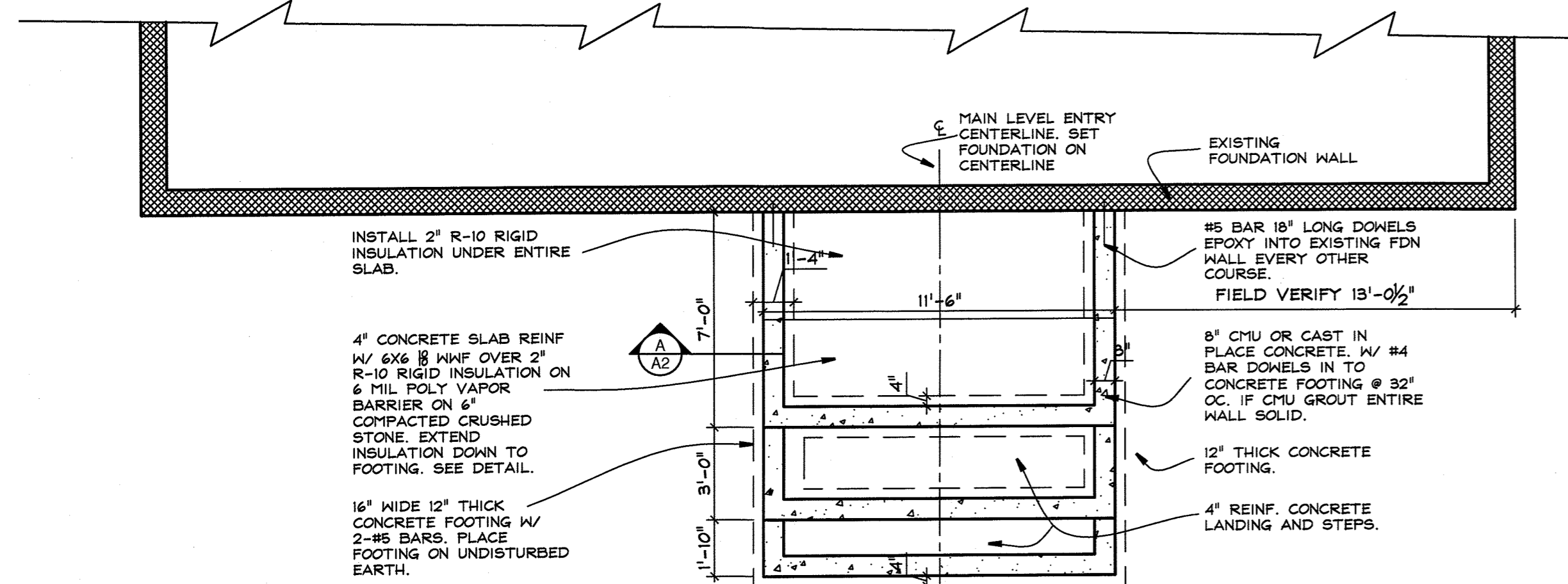
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SHORING, BRACING AND PROTECTION OF ANY PART OF THE JOBSITE TO REMAIN.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MATERIALS, METHODS, PROCEDURES, SAFETY DIRECTIVES, AND REQUIREMENTS DURING THE COURSE OF DEMOLITION AND CONSTRUCTION.
- THE CONTRACTOR SHALL PROTECT ALL ADJACENT BUILDING AREAS AND PROPERTIES. ANY DAMAGE DONE TO ADJACENT AREAS SHALL BE REPAIRED OR REPLACED WITHOUT CHARGE TO THE OWNER.
- ALL MATERIALS WHICH ARE REMOVED OR DEMOLISHED SHALL BE DISPOSED OF OFF SITE AS REQUIRED BY LOCAL REGULATIONS.
- DOORS AND OTHER MATERIALS INTENDED FOR REUSE SHALL BE REMOVED, STORED AND PROPERLY PROTECTED.
- THE CONTRACTOR SHALL KEEP THE PREMISES FREE FROM ACCUMULATED DEBRIS AT ALL TIMES. EACH AREA SHALL BE LEFT IN A BROOM CLEAN CONDITION DAILY.
- THE GENERAL CONTRACTOR SHALL PROVIDE TEMPORARY LIGHTING AS REQUIRED BY CODE.
- REMOVE ALL EXISTING TELEPHONE AND ELECTRICAL RECEPTACLES NOT BEING RE-USED. REMOVE ALL WIRING BACK TO THE PANEL.
- EXISTING FLOORS SHALL HAVE FINISH MATERIALS REMOVED AND BE SCRAPPED CLEAN IN PREPARATION FOR NEW FINISHES.
- REMOVE ALL EXISTING WALL FINISHES, AND GYPSUM BOARD.



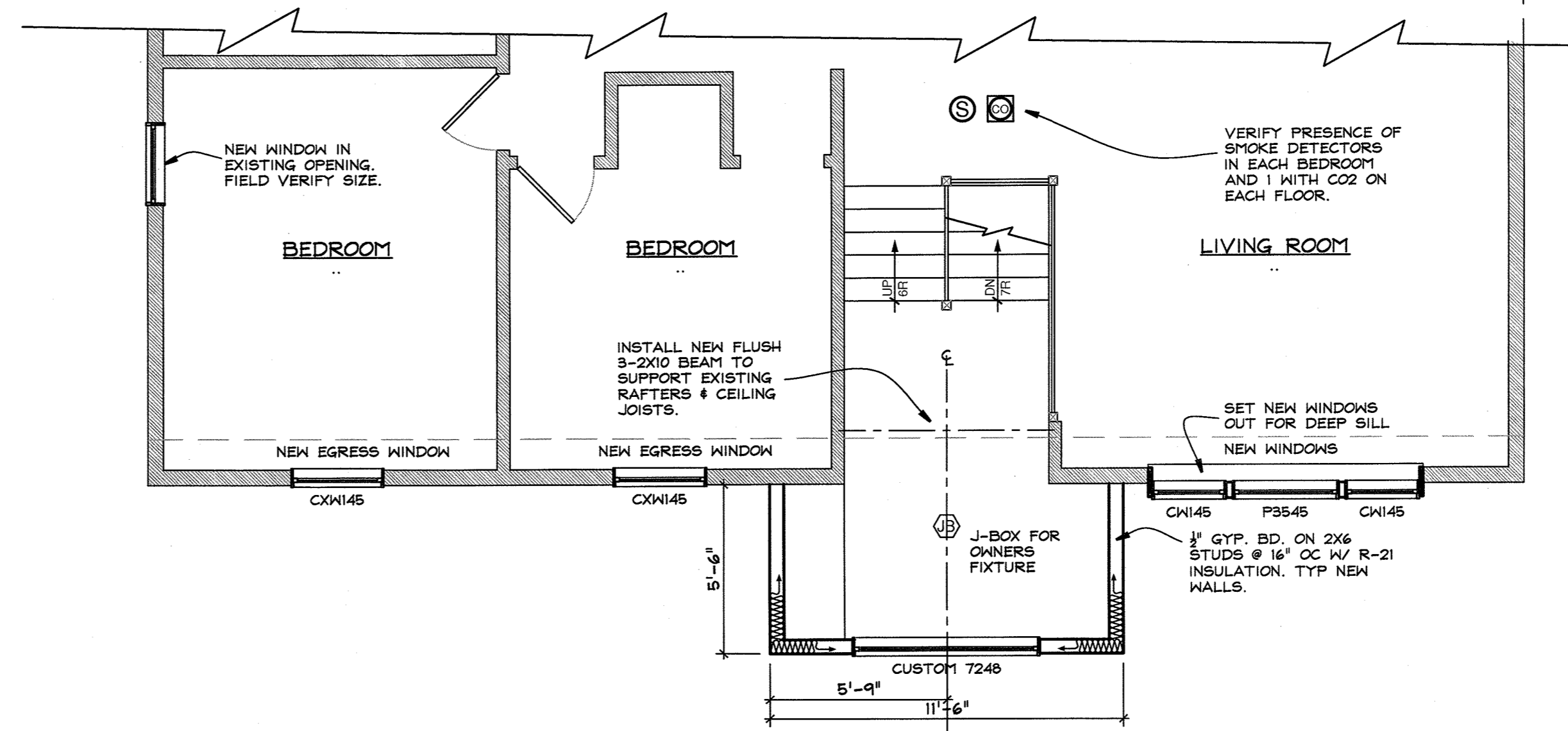
5 UPPER LEVEL DEMOLITION PLAN
 AI 1/4" = 1 FOOT



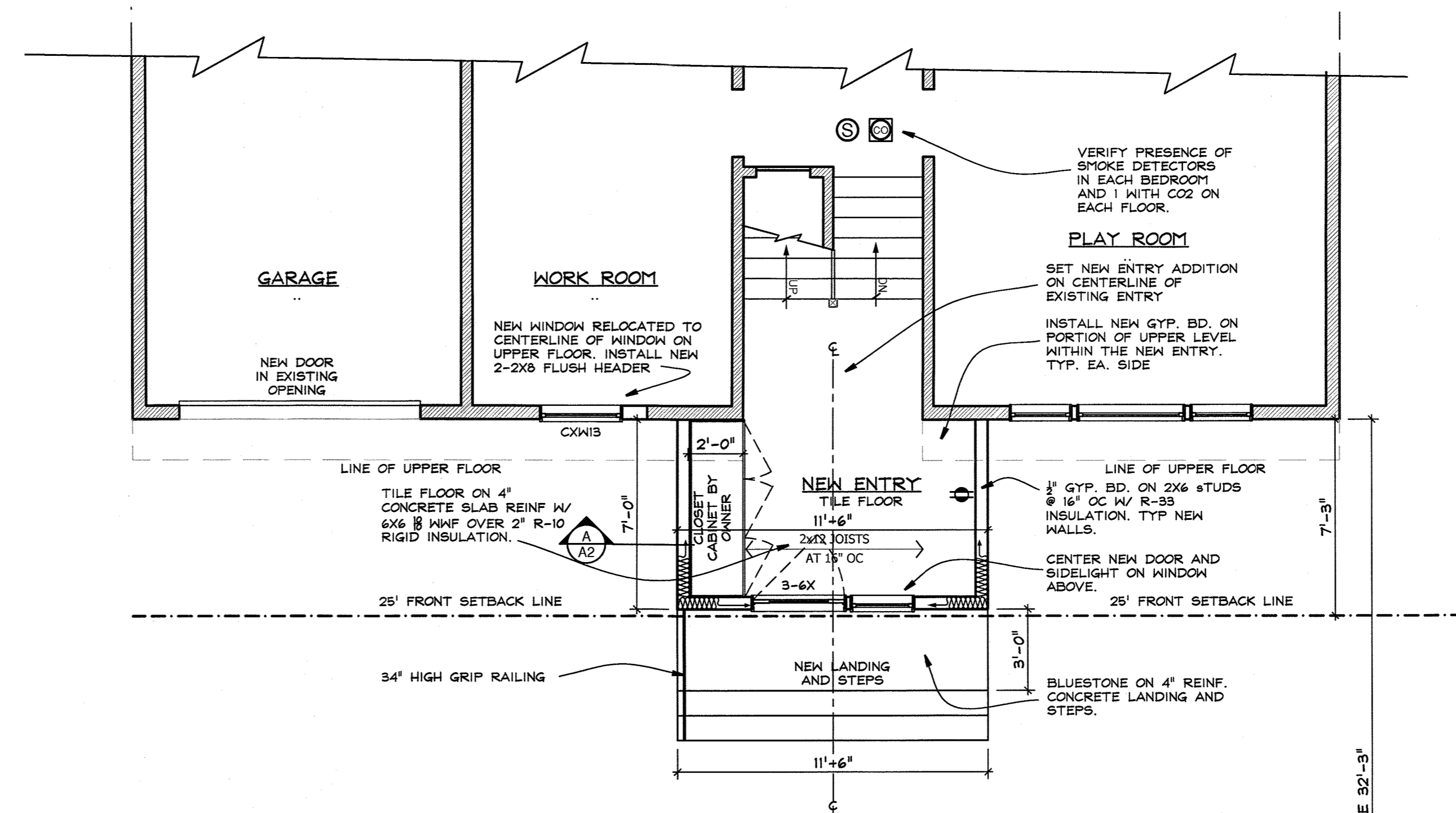
4 LOWER LEVEL DEMOLITION PLAN
 AI 1/4" = 1 FOOT



2 FOUNDATION PLAN
 AI 1/4" = 1 FOOT



3 UPPER LEVEL PLAN
 AI 1/4" = 1 FOOT



1 LOWER LEVEL PLAN
 AI 1/4" = 1 FOOT

GENERAL NOTES

- DO NOT SCALE THE DRAWINGS. USE INDICATED DIMENSIONS ONLY.
- ALL WORK SHALL CONFORM TO LOCAL AND NEW YORK STATE CODE REQUIREMENTS. NO WORK SHALL COMMENCE UNTIL A BUILDING PERMIT HAS BEEN ISSUED AS REQUIRED BY THE LOCAL BUILDING DEPARTMENT.
- ALL DIMENSIONS ARE TO FACE OF STUD UNLESS OTHERWISE INDICATED. DOOR SIZES ARE IN FEET-INCHES. DOOR HEIGHT IS 6-8 UNLESS OTHERWISE INDICATED.
- ALL NEW EXTERIOR WALLS ARE 2x6 STUDS AT 16" OC UNLESS OTHERWISE NOTED. ALL INTERIOR WALLS ARE 2x4 STUDS AT 16" OC UNLESS OTHERWISE INDICATED.
- ALL WOOD IN CONTACT WITH MASONRY & CONCRETE SHALL BE PRESSURE TREATED WITH A WOOD PRESERVATIVE.
- ALL WALL BASE PLATES SHALL BE SET IN A MINIMUM 3/4" BEAD OF CAULK OR SEALANT. ALL PENETRATIONS THROUGH CEILINGS AND EXTERIOR WALLS SHALL BE AIR SEALED WITH EXPANDING FOAM AND/OR SILICONE CAULK.
- WINDOWS ARE 400 SERIES BY ANDERSEN. UNITS TO BE LOW-E COATED WITH INSULATING GLASS & ARGON GAS. PROVIDE ALL OPERATING UNITS WITH SCREENS. UNIT NUMBERS ARE INDICATED ON THE PLANS. MIN. U .30.
- FLASH ALL WINDOW ROUGH OPENINGS WITH A PEEL & STICK TYPE MEMBRANE FLASHING. FLASH SILLS TO CREATE A DRAIN PAN PITCHED TO THE EXTERIOR SIDE.
- SEAL AROUND ALL DOOR AND WINDOW ROUGH OPENINGS WITH MINIMALLY EXPANDING FOAM. FOLLOW MANUFACTURERS PRECAUTIONS.
- ALL FASTENERS, NAILS AND HANGERS WHICH COME IN CONTACT WITH PRESSURE TREATED LUMBER SHALL BE HOT-DIPPED GALVANIZED OR STAINLESS STEEL.
- INSTALL HANGERS AND CONNECTORS BY SIMPSON STRONG-TIE (SST) AS NOTED ON THE DRAWINGS. INSTALL ALL CONNECTORS WITH NAILS OR SCREWS AS SPECIFIED BY SIMPSON STRONG-TIE. DO NOT SUBSTITUTE CONNECTORS OR FASTENERS. ALL FASTENER COATINGS SHALL MATCH THE EXTERIOR COATING OF THE SPECIFIED HANGER, HDG TO HDG AND STAINLESS TO STAINLESS.
- ANY EXISTING EXTERIOR WALL CAVITY THAT IS OPENED SHALL BE FILLED TO THE FULL DEPTH OF THE CAVITY WITH HIGH DENSITY FIBERGLASS INSULATION, TYPICAL.

CONSTRUCTION LEGEND	
	NEW CONSTRUCTION
	EXISTING WALLS TO BE DEMOLISHED
	EXISTING MASONRY WALL
	EXISTING STUD WALL TO REMAIN
	SHEET NOTES CALL. SEE NOTES THIS SHEET
	HARDWIRED CARBON MONOXIDE DET.
	HARDWIRED SMOKE DETECTOR

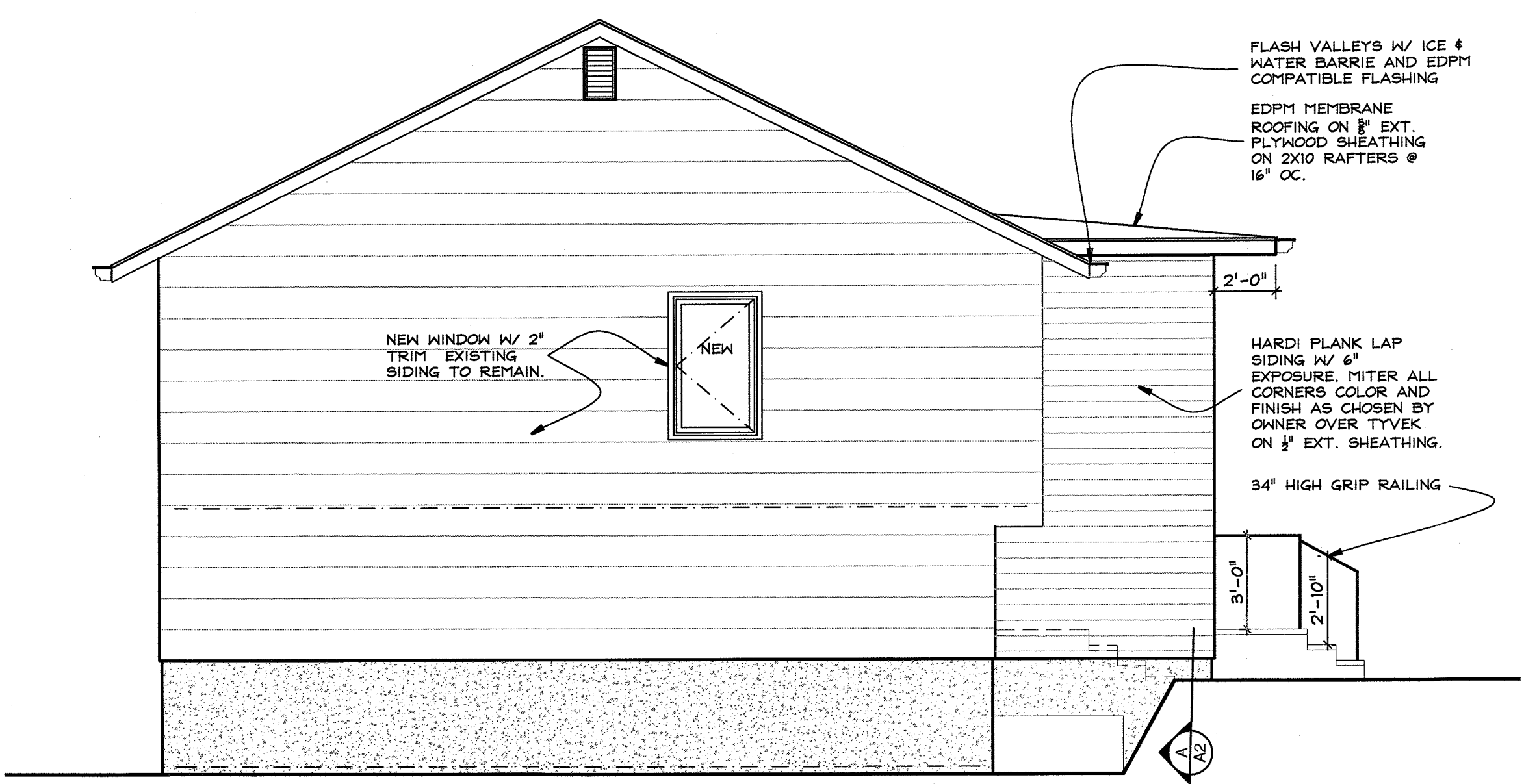
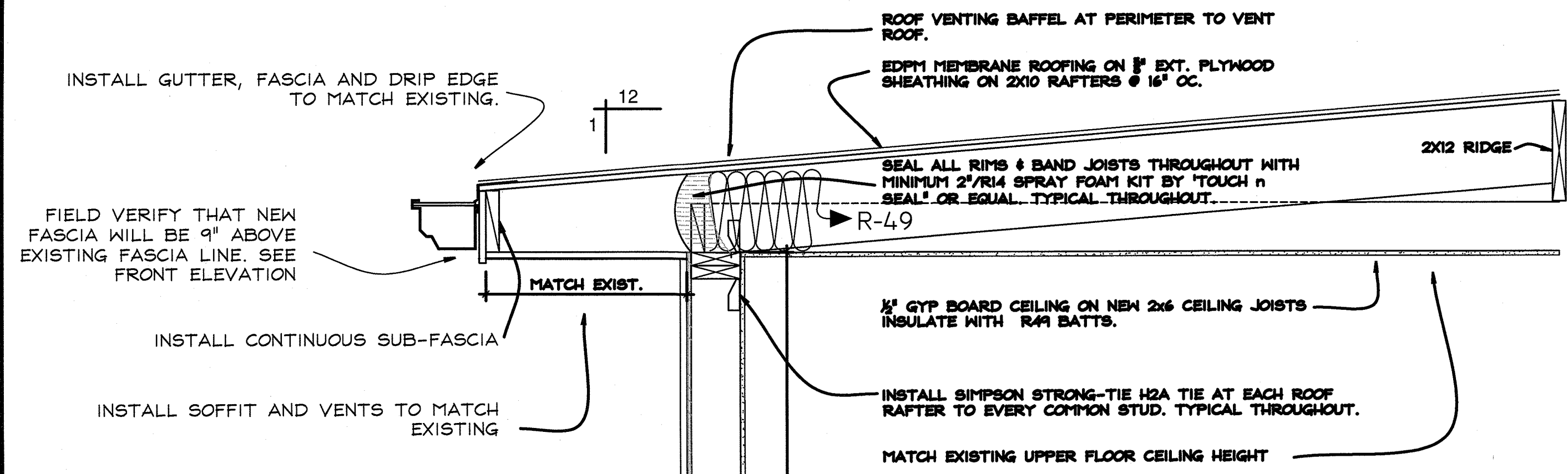
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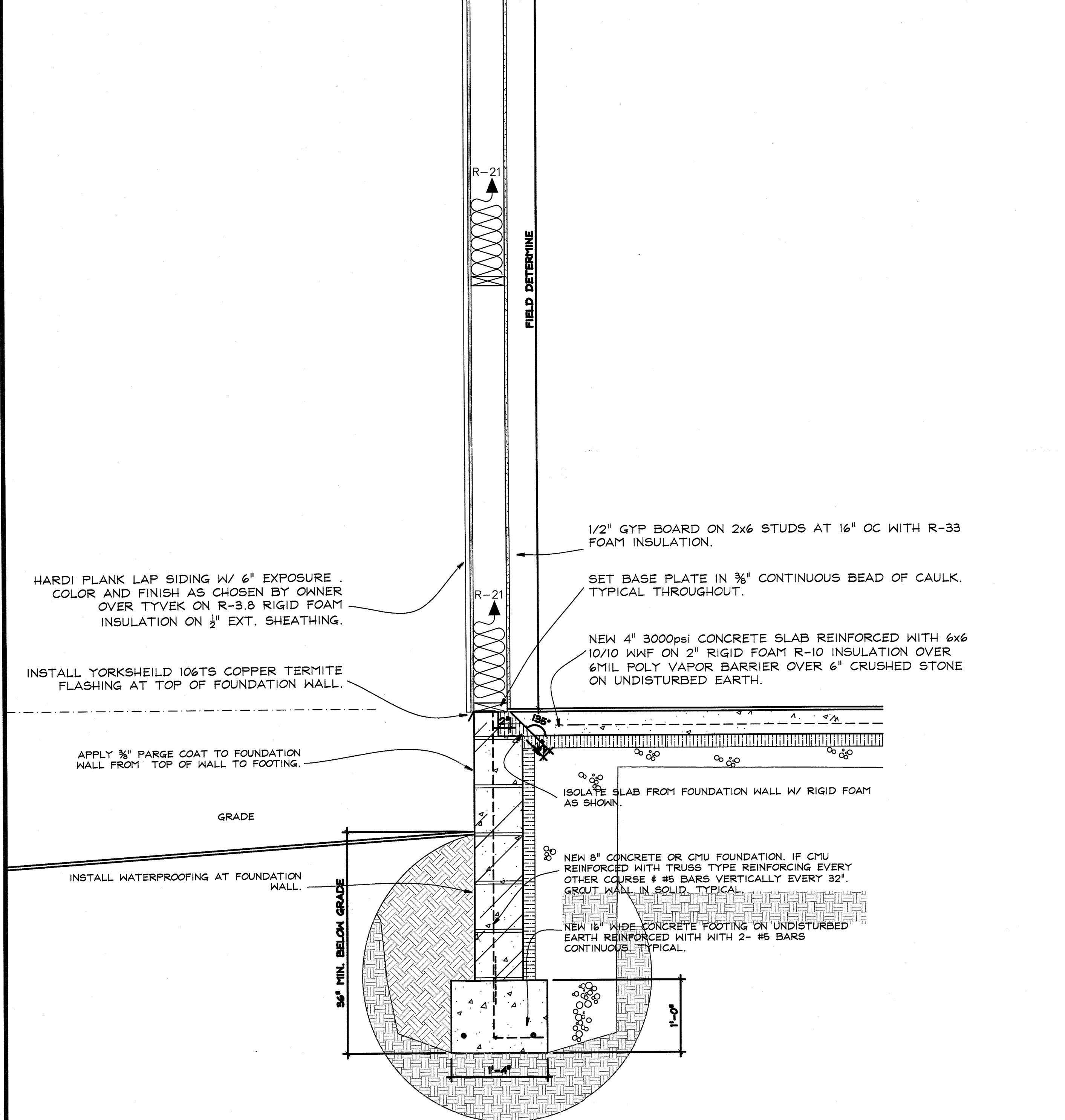
FLOOR PLANS

SCALE AS SHOWN
 DATE SEPTEMBER 14, 2021
 JOB NO. 2020104
 REVISIONS: SHEET NO.

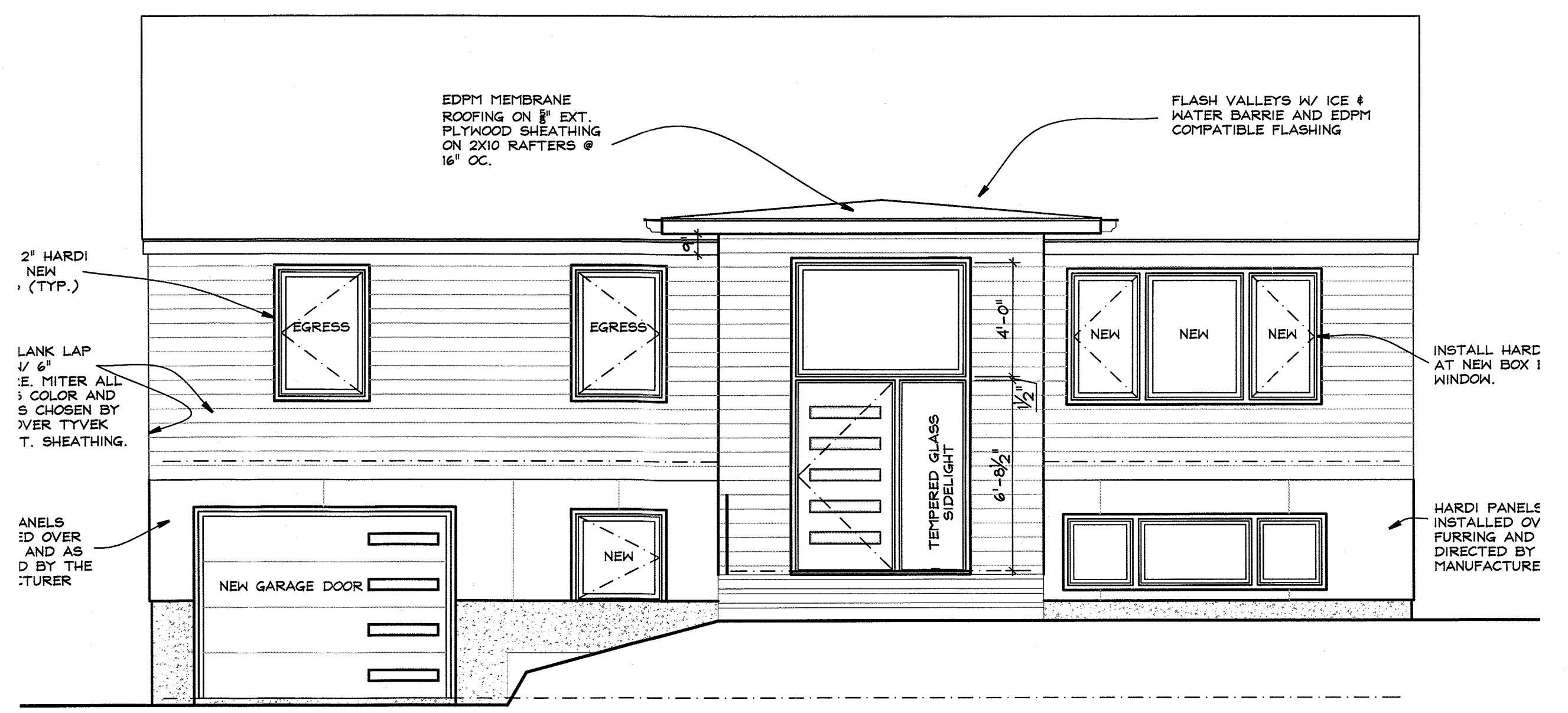
A-1



2 SIDE ELEVATION
1/4" = 1 FOOT



A WALL SECTION
1" = 1 FOOT



1 FRONT ELEVATION
1/4" = 1 FOOT

CONSTRUCTION LEGEND	
	NEW CONSTRUCTION
	EXISTING WALLS TO BE DEMOLISHED
	EXISTING MASONRY WALL
	EXISTING STUD WALL TO REMAIN
	SHEET NOTES CALL: SEE NOTES THIS SHEET
	HARDWIRED CARBON MONOXIDE DET.
	HARDWIRED SMOKE DETECTOR

GRACH RENOVATION
47 POLHEMUS ST.
TAPPAN, N.Y. 10983

KIER B. LEVESQUE, R.A.
ARCHITECT
49 THIRD AVENUE
NYACK, NEW YORK 10960
845-358-2359

ELEVATIONS

SCALE AS SHOWN
DATE ...
JOB NO. 2020104
REVISIONS:



PROGRESS PRINT
AUGUST 27, 2021

A-2