

Name of Municipality: TOWN OF ORANGETOWN Date Submitted: \_\_\_\_\_

**2021 LAND USE BOARD APPLICATION**

*Please check all that apply:*

<input type="checkbox"/> Commercial <input type="checkbox"/> Planning Board <input checked="" type="checkbox"/> Zoning Board of Appeals  <input type="checkbox"/> Subdivision <input type="checkbox"/> Number of Lots <input type="checkbox"/> Site Plan <input type="checkbox"/> Conditional Use  <input type="checkbox"/> Special Permit <input type="checkbox"/> Variance <input type="checkbox"/> Performance Standards Review <input type="checkbox"/> Use Variance <input type="checkbox"/> Other (specify): _____	<input type="checkbox"/> Residential <input type="checkbox"/> Historical Board <input type="checkbox"/> Architectural Board  <input type="checkbox"/> Consultation <input type="checkbox"/> Pre-Preliminary/Sketch <input type="checkbox"/> Preliminary <input type="checkbox"/> Final <input type="checkbox"/> Interpretation
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PERMIT#: BDR-17-2021  
 ASSIGNED \_\_\_\_\_  
 INSPECTOR: Glenn  
 Referred from Planning Board: YES / NO  
 If yes provide date of Planning Board meeting: \_\_\_\_\_

**Project Name:** Kirill Grach & Maria Gililova

**Street Address:** 47 Polhemus St.  
Tappan, NY 10983

**Tax Map Designation:**  
Section: 77.08 Block: 2 Lot(s): 46  
Section: \_\_\_\_\_ Block: \_\_\_\_\_ Lot(s): \_\_\_\_\_

**Directional Location:**  
On the west side of Polhemus St., approximately 0 feet on the SW corner of the intersection of Austin Ave., in the Town of ORANGETOWN in the hamlet/village of Tappan.

Acreage of Parcel <u>.1605</u>	Zoning District <u>RG</u>
School District <u>South Orangetown</u>	Postal District <u>Tappan</u>
Ambulance District <u>SOAC</u>	Fire District <u>Tappan</u>
Water District <u>Suez</u>	Sewer District <u>Orangetown</u>

**Project Description:** *(If additional space required, please attach a narrative summary.)*  
front entry extension landing with front yard setback less than required due to landing height above grade  
and FAR to include existing shed

The undersigned agrees to an extension of the statutory time limit for scheduling a public hearing.  
Date: 12/13/2021 Applicant's Signature: Mama Grach

# APPLICATION REVIEW FORM

## FILL IN WHERE APPLICABLE.

( IF THE FOLLOWING DOES NOT APPLY PLEASE MOVE ON TO THE NEXT PAGE )

### If subdivision:

- 1) Is any variance from the subdivision regulations required? \_\_\_\_\_
- 2) Is any open space being offered? \_\_\_\_ If so, what amount? \_\_\_\_\_
- 3) Is this a standard or average density subdivision? \_\_\_\_\_

### If site plan:

- 1) Existing square footage \_\_\_\_\_
- 2) Total square footage \_\_\_\_\_
- 3) Number of dwelling units \_\_\_\_\_

If **special permit**, list special permit use and what the property will be used for.

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### Environmental Constraints:

Are there **slopes greater than 25%**? If yes, please indicate the amount and show the gross and net area NO

Are there **streams** on the site? If yes, please provide the names. NO

Are there **wetlands** on the site? If yes, please provide the names and type:

NO

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### Project History:

Has this project ever been reviewed before? NO

If so, provide a narrative, including the list case number, name, date, and the board(s) you appeared before, and the status of any previous approvals.

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List tax map section, block & lot numbers for all other abutting properties in the same ownership as this project.

NONE

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OFFICE OF BUILDING, ZONING, PLANNING,  
ADMINISTRATION AND ENFORCEMENT  
**TOWN OF ORANGETOWN**

20 Greenbush Road  
Orangeburg, N.Y. 10962

Jane Slavin, R.A.  
Director

(845)359-8410

Fax: (845) 359-8526

**DENIAL TO THE ZONING BOARD OF APPEALS**

Date: ~~October 28, 2021~~ 12-28-21

Applicant: Gililova

Address: 47 Polhemus, Tappan, NY

RE: Application Made at: same

Chapter 43, Table 3.12, Column 1 RG District, Column 2 Group Q, Column 3 SFR, Column 4 Max FAR 30% with 32% proposed, Column 8 Front Yard 25' with 22.58" proposed.  
2 variances required

Section: 77.08 Block: 2 Lot: 46

Dear Gililova:

Please be advised that the Building Permit Application, which you submitted on

October 25, 2021, has been denied. I have enclosed a Xerox copy of your application, where you will find at the bottom the reason for denial.

**In Accordance with Zoning, Chapter 43 Section 10.322 the time to appeal a determination of a Building Inspector or Similar administrative office is thirty (30) days from the filing of such a determination with the Town Clerk.**

The Clerk to the Zoning Board of Appeals, Debbie Arbolino, will assist you in the preparation necessary to appear before the board.

Sincerely,

*[Handwritten signature]* 12-28-21  
~~10-28-21~~

Richard Oliver  
Deputy Building Inspector

*[Handwritten signature]* 12-28-21  
~~10-28-21~~

Signature of Director  
NOTE: PLEASE KEEP FOR YOUR RECORDS  
12-31-18-CCC

Date  
CC: Rosanna Sfraga  
Liz Decort  
Debbie Arbolino

December 9, 2021

Maria Grach  
47 Polhemus Street  
Tappan, NY 10983

Town of Orangetown – Building Department  
20 Greenbush Rd.  
Orangeburg, NY 10962

Re: Written authorization for agent to appear on owner behalf  
47 Polhemus Street  
Tappan, NY 10983

Dear Zoning Board members,

I hereby authorize Kier B. Levesque Architect to appear on my behalf before the Town of Orangetown Zoning Board of Appeals as agent for the above referenced property.

Sincerely,

  
\_\_\_\_\_

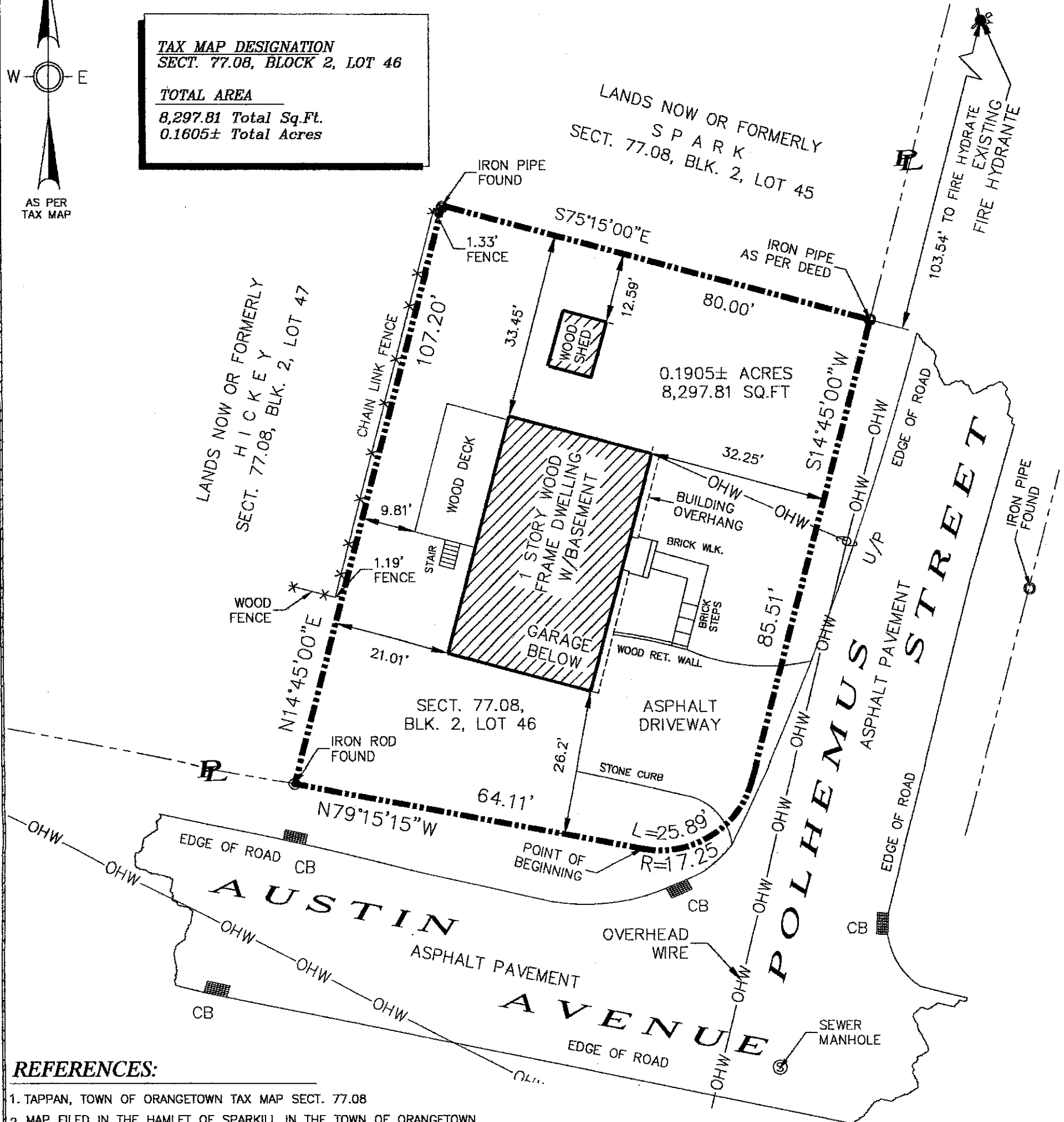
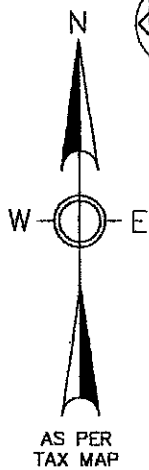
Maria Grach  
917.952.1440

**NVREC**  
**PROFESSIONAL LAND SURVEYORS-PLANNERS**

TITLE #: HAS-12872

**TAX MAP DESIGNATION**  
 SECT. 77.08, BLOCK 2, LOT 46

**TOTAL AREA**  
 8,297.81 Total Sq.Ft.  
 0.1805± Total Acres



**REFERENCES:**

1. TAPPAN, TOWN OF ORANGETOWN TAX MAP SECT. 77.08
2. MAP FILED IN THE HAMLET OF SPARKILL IN THE TOWN OF ORANGETOWN, COUNTY OF ROCKLAND AND STATE OF NEW YORK, AND SHOWN AND DESIGNATED AS LOTS NOS. 53-56, SECT. D, ON A CERTAIN MAP ENTITLED "MAP ADDITION TO SECT. D, B, & F, SPARKILL ESTATES, DEVELOPED BY AMSTERDAM DEVELOPMENT & SALES COMPANY OF N.Y., JUNE 1931 IN BLOK 19 OF MAPS AT PAGE 309 AS MAP NO. 340.

SCALE 1" = 20'



**NVREC**  
**PROFESSIONAL LAND SURVEYORS-PLANNERS**

3024 RADCLIFF AVENUE  
 BRONX, NEW YORK 10469  
 PH. # 718 601 9753  
 FAX : 718 796 9203  
 MOBILE # 917 544 8174  
 OFFICE # 718 884 2763

THIS SURVEY WAS PREPARED IN ACCORDANCE WITH THE EXISTING CODE OF PRACTICE FOR LAND SURVEYS ADOPTED BY THE NEW YORK STATE ASSOCIATION OF PROFESSIONAL LAND SURVEYORS. SAID CERTIFICATIONS SHALL RUN ONLY TO THE PERSON AND OR THE ORGANIZATION FOR WHOM THIS SURVEY IS PREPARED, AND ON HIS BEHALF TO THE TITLE COMPANY, GOVERNMENT AGENCY AND LENDING INSTITUTION LISTED HEREON AND TO THE SUCCESSORS AND OR ASSIGNEES OF THE LENDING INSTITUTION. CERTIFICATIONS ARE NOT TRANSFERABLE.

UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S SEAL IS A VIOLATION OF SECTION 7209, SUBSECTION 2, OF THE NEW YORK STATE EDUCATION LAW.

ONLY COPIES FROM THE ORIGINAL OF THIS SURVEY STAMPED WITH AN ORIGINAL OF THE LAND SURVEYOR'S EMBOSSED OR INKED SEAL SHALL BE CONSIDERED TO BE VALID TRUE COPIES.

THIS IS TO CERTIFY THAT THERE ARE NO VISIBLE STREAMS OR NATURAL WATER COURSES ACROSS THE PROPERTY AS SHOWN ON THIS SURVEY.

**CERTIFICATIONS:**

1. KIRILL GRACH AND MARIA GILIOVA
2. WACHOVIA MORTGAGE CORP.
3. HUDSON ABSTRACT SERVICES PROFESSIONAL LLC

**TITLE SURVEY**  
**OF**

47 POLHEMUS STREET  
 1 STORY DWELLING  
 SITUATED IN TAPPAN,  
 TOWN OF ORANGETOWN

STATE OF NEW YORK



DATE OF SURVEY JULY 19, 2007  
 DATE DRAFTED JULY 19, 2007

NEVILLE V. RAMSAY, PROFESSIONAL LAND SURVEYOR  
 NEW YORK STATE LICENSE No. 050294-1





# CLIMACTIC & GEOGRAPHIC DESIGN CRITERIA ROCKLAND COUNTY

GROUND SNOW LOAD	WIND DESIGN			SEISMIC DESIGN CAT	SUBJECT TO DAMAGE FROM:			WINTER DESIGN TEMP.	ICE BARRIER UNDERLAYMENT	FLOOD HAZARDS	AIR FREEZING INDEX	MEAN ANNUAL TEMP
	SPEED (MPH)	TOPOGRAPHIC EFFECTS	SPECIAL WIND REGION		WEATHERING	FROST DEPTH	TERMITES					
30	115	TBD BY AHJ	YES	B	SEVERE	36"	MOD/HVY	HDD4910 15 F	YES	TBD	1000	52.2 F

## ENERGY CODE COMPLIANCE

THE ARCHITECT CERTIFIES THAT TO THE BEST OF HIS KNOWLEDGE, THAT ALL APPLICABLE SECTIONS OF THE 2020 ECCC OF NEW YORK STATE ENERGY CODE HAVE BEEN MET OR EXCEEDED

## BUILDING CODE INFORMATION

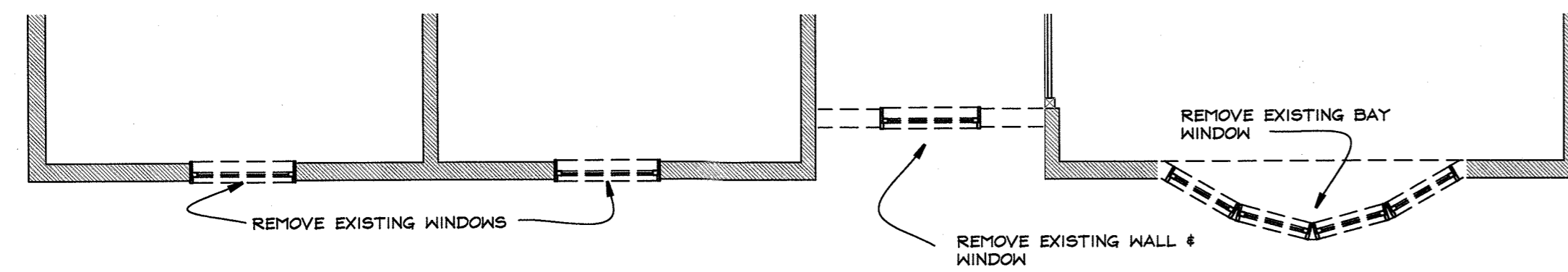
**CODE COMPLIANCE**  
 ALL CONSTRUCTION SHALL COMPLY WITH THE NEW YORK STATE:  
 2020 RESIDENTIAL CODE OF NEW YORK STATE  
 2017 NATIONAL ELECTRICAL CODE  
 2020 ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE  
 2020 FUEL GAS CODE OF NEW YORK STATE  
 2020 MECHANICAL CODE OF NEW YORK STATE  
 2020 PLUMBING CODE OF NEW YORK STATE

USE GROUP: R-3 SINGLE FAMILY DETACHED DWELLING  
 CONSTRUCTION TYPE: 5b  
 SMOKE ALARMS: COMPLY WITH SEC R314, R315 and NFPA 72

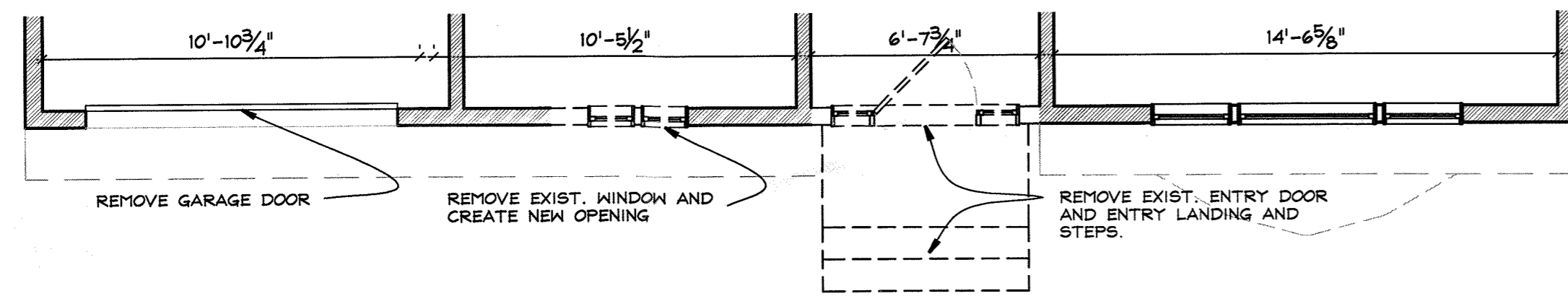
PER 2020 RCNYS R314 INSTALL INTERCONNECTED HARDWIRED SMOKE DETECTORS IN ALL SLEEPING ROOMS AND OUTSIDE OF SLEEPING ROOMS IN THE IMMEDIATE VICINITY, AND 1 ON EACH STORY. PER R314.4 EXCEPTION: NEW SMOKE ALARMS ARE NOT REQUIRED TO BE INTERCONNECTED TO EXISTING ALARMS WHEN THE NEW SMOKE ALARM IS NOT CAPABLE OF BEING INTERCONNECTED TO EXISTING ALARMS. PER R314.5 COMBINATION SMOKE AND CARBON MONOXIDE ALARMS SHALL BE PERMITTED IN LIEU OF SMOKE ALARMS. PER R314.6 POWER SOURCE, SMOKE ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING.

## DEMOLITION

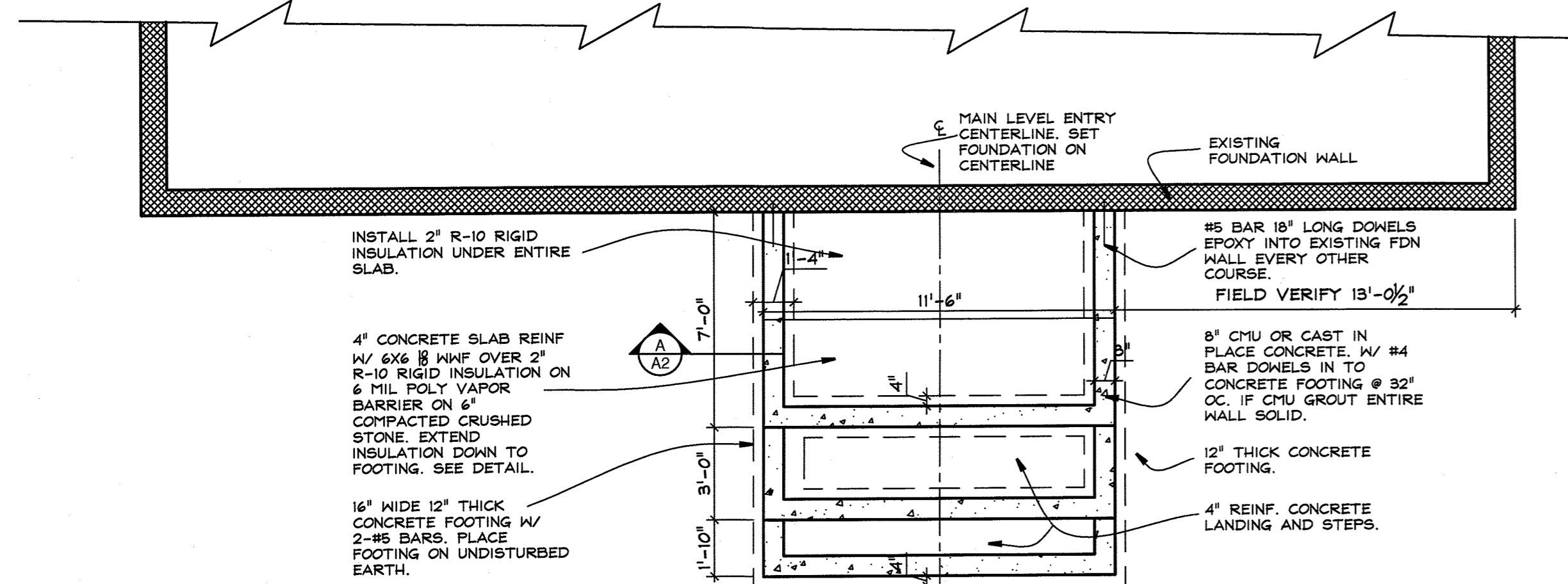
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SHORING, BRACING AND PROTECTION OF ANY PART OF THE JOBSITE TO REMAIN.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MATERIALS, METHODS, PROCEDURES, SAFETY DIRECTIVES, AND REQUIREMENTS DURING THE COURSE OF DEMOLITION AND CONSTRUCTION.
- THE CONTRACTOR SHALL PROTECT ALL ADJACENT BUILDING AREAS AND PROPERTIES. ANY DAMAGE DONE TO ADJACENT AREAS SHALL BE REPAIRED OR REPLACED WITHOUT CHARGE TO THE OWNER.
- ALL MATERIALS WHICH ARE REMOVED OR DEMOLISHED SHALL BE DISPOSED OF OFF SITE AS REQUIRED BY LOCAL REGULATIONS.
- DOORS AND OTHER MATERIALS INTENDED FOR REUSE SHALL BE REMOVED, STORED AND PROPERLY PROTECTED.
- THE CONTRACTOR SHALL KEEP THE PREMISES FREE FROM ACCUMULATED DEBRIS AT ALL TIMES. EACH AREA SHALL BE LEFT IN A BROOM CLEAN CONDITION DAILY.
- THE GENERAL CONTRACTOR SHALL PROVIDE TEMPORARY LIGHTING AS REQUIRED BY CODE.
- REMOVE ALL EXISTING TELEPHONE AND ELECTRICAL RECEPTACLES NOT BEING RE-USED. REMOVE ALL WIRING BACK TO THE PANEL.
- EXISTING FLOORS SHALL HAVE FINISH MATERIALS REMOVED AND BE SCRAPPED CLEAN IN PREPARATION FOR NEW FINISHES.
- REMOVE ALL EXISTING WALL FINISHES, AND GYPSUM BOARD.



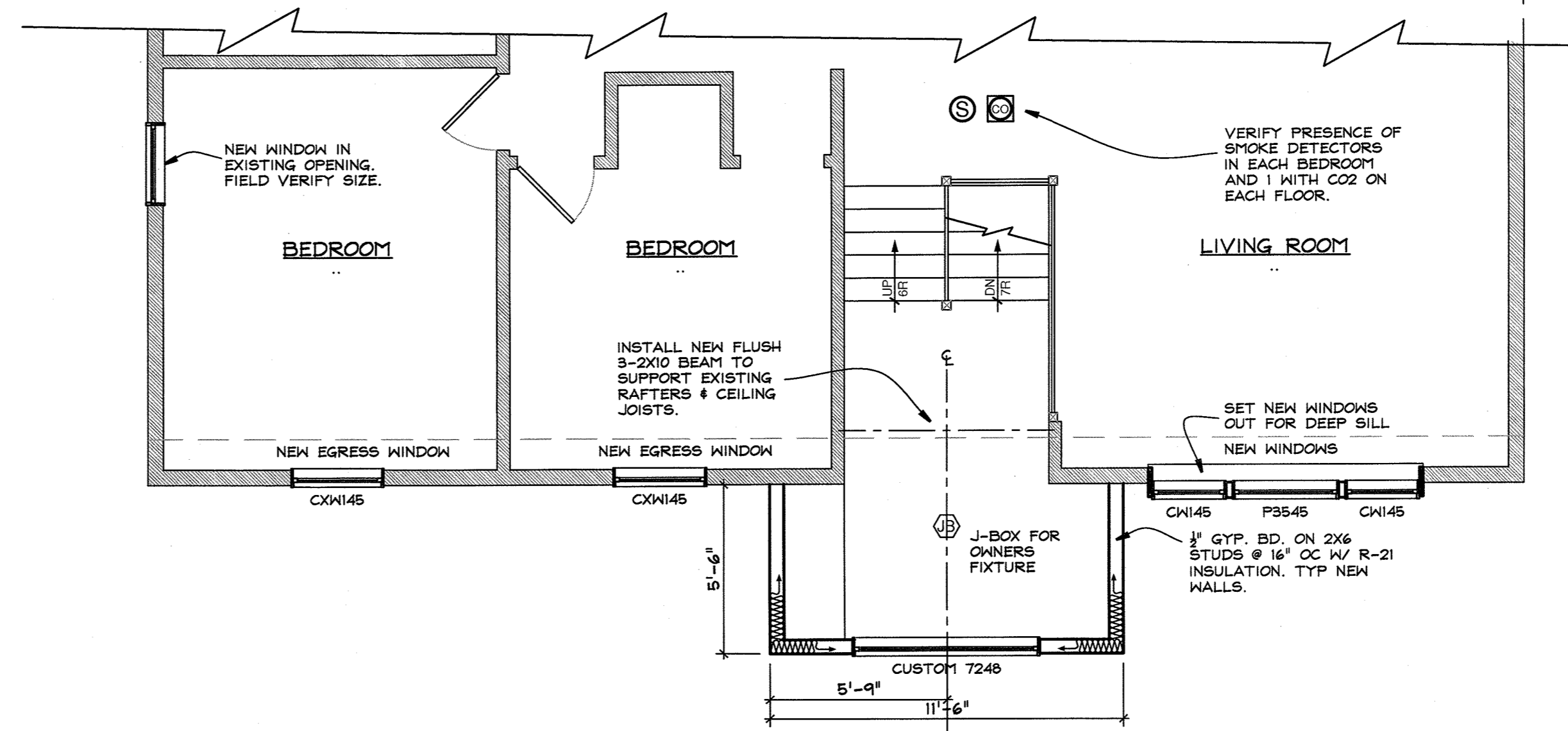
5 UPPER LEVEL DEMOLITION PLAN  
 AI 1/4" = 1 FOOT



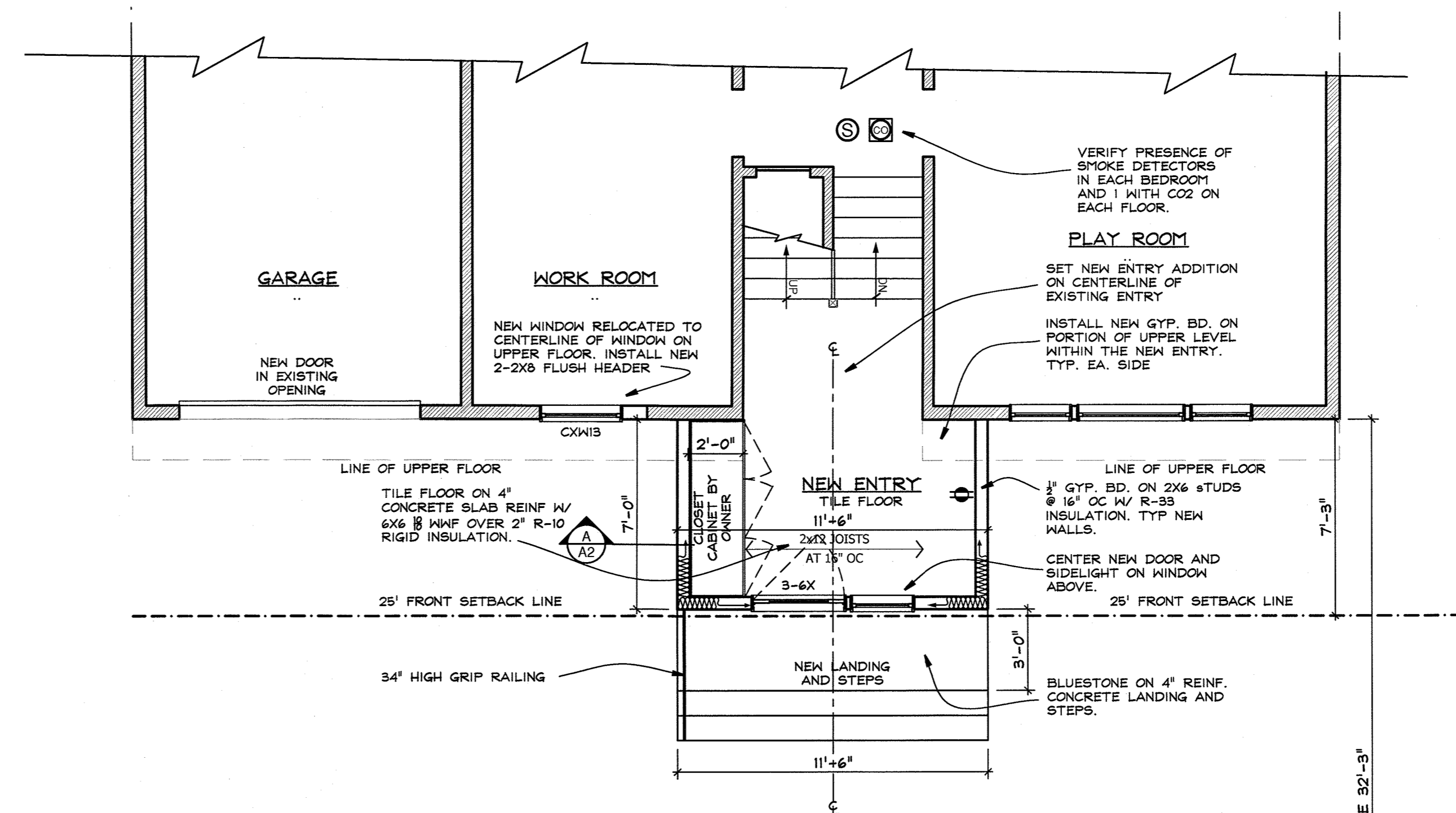
4 LOWER LEVEL DEMOLITION PLAN  
 AI 1/4" = 1 FOOT



2 FOUNDATION PLAN  
 AI 1/4" = 1 FOOT



3 UPPER LEVEL PLAN  
 AI 1/4" = 1 FOOT



1 LOWER LEVEL PLAN  
 AI 1/4" = 1 FOOT

## GENERAL NOTES

- DO NOT SCALE THE DRAWINGS. USE INDICATED DIMENSIONS ONLY.
- ALL WORK SHALL CONFORM TO LOCAL AND NEW YORK STATE CODE REQUIREMENTS. NO WORK SHALL COMMENCE UNTIL A BUILDING PERMIT HAS BEEN ISSUED AS REQUIRED BY THE LOCAL BUILDING DEPARTMENT.
- ALL DIMENSIONS ARE TO FACE OF STUD UNLESS OTHERWISE INDICATED. DOOR SIZES ARE IN FEET-INCHES. DOOR HEIGHT IS 6-8 UNLESS OTHERWISE INDICATED.
- ALL NEW EXTERIOR WALLS ARE 2x6 STUDS AT 16" OC UNLESS OTHERWISE NOTED. ALL INTERIOR WALLS ARE 2x4 STUDS AT 16" OC UNLESS OTHERWISE INDICATED.
- ALL WOOD IN CONTACT WITH MASONRY & CONCRETE SHALL BE PRESSURE TREATED WITH A WOOD PRESERVATIVE.
- ALL WALL BASE PLATES SHALL BE SET IN A MINIMUM 3/4" BEAD OF CAULK OR SEALANT. ALL PENETRATIONS THROUGH CEILINGS AND EXTERIOR WALLS SHALL BE AIR SEALED WITH EXPANDING FOAM AND/OR SILICONE CAULK.
- WINDOWS ARE 400 SERIES BY ANDERSEN. UNITS TO BE LOW-E COATED WITH INSULATING GLASS & ARGON GAS. PROVIDE ALL OPERATING UNITS WITH SCREENS. UNIT NUMBERS ARE INDICATED ON THE PLANS. MIN. U .30.
- FLASH ALL WINDOW ROUGH OPENINGS WITH A PEEL & STICK TYPE MEMBRANE FLASHING. FLASH SILLS TO CREATE A DRAIN PAN PITCHED TO THE EXTERIOR SIDE.
- SEAL AROUND ALL DOOR AND WINDOW ROUGH OPENINGS WITH MINIMALLY EXPANDING FOAM. FOLLOW MANUFACTURERS PRECAUTIONS.
- ALL FASTENERS, NAILS AND HANGERS WHICH COME IN CONTACT WITH PRESSURE TREATED LUMBER SHALL BE HOT-DIPPED GALVANIZED OR STAINLESS STEEL.
- INSTALL HANGERS AND CONNECTORS BY SIMPSON STRONG-TIE (SST) AS NOTED ON THE DRAWINGS. INSTALL ALL CONNECTORS WITH NAILS OR SCREWS AS SPECIFIED BY SIMPSON STRONG-TIE. DO NOT SUBSTITUTE CONNECTORS OR FASTENERS. ALL FASTENER COATINGS SHALL MATCH THE EXTERIOR COATING OF THE SPECIFIED HANGER. HDG TO HDG AND STAINLESS TO STAINLESS.
- ANY EXISTING EXTERIOR WALL CAVITY THAT IS OPENED SHALL BE FILLED TO THE FULL DEPTH OF THE CAVITY WITH HIGH DENSITY FIBERGLASS INSULATION, TYPICAL.

CONSTRUCTION LEGEND	
	NEW CONSTRUCTION
	EXISTING WALLS TO BE DEMOLISHED
	EXISTING MASONRY WALL
	EXISTING STUD WALL TO REMAIN
	SHEET NOTES CALL. SEE NOTES THIS SHEET
	HARDWIRED CARBON MONOXIDE DET.
	HARDWIRED SMOKE DETECTOR

**GRACH RENOVATION**  
 47 POLHEMUS ST.  
 TAPPAN, N.Y. 10983

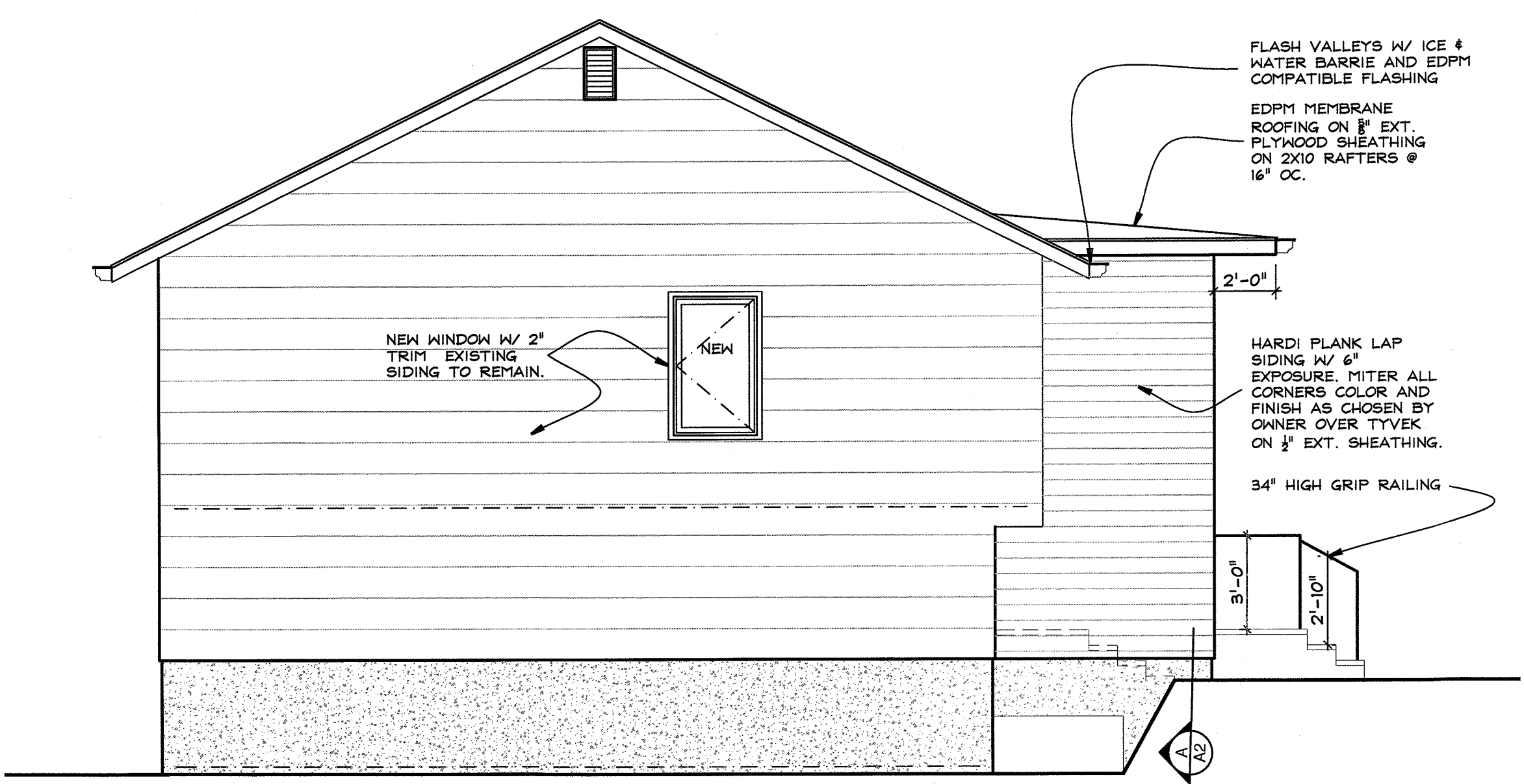
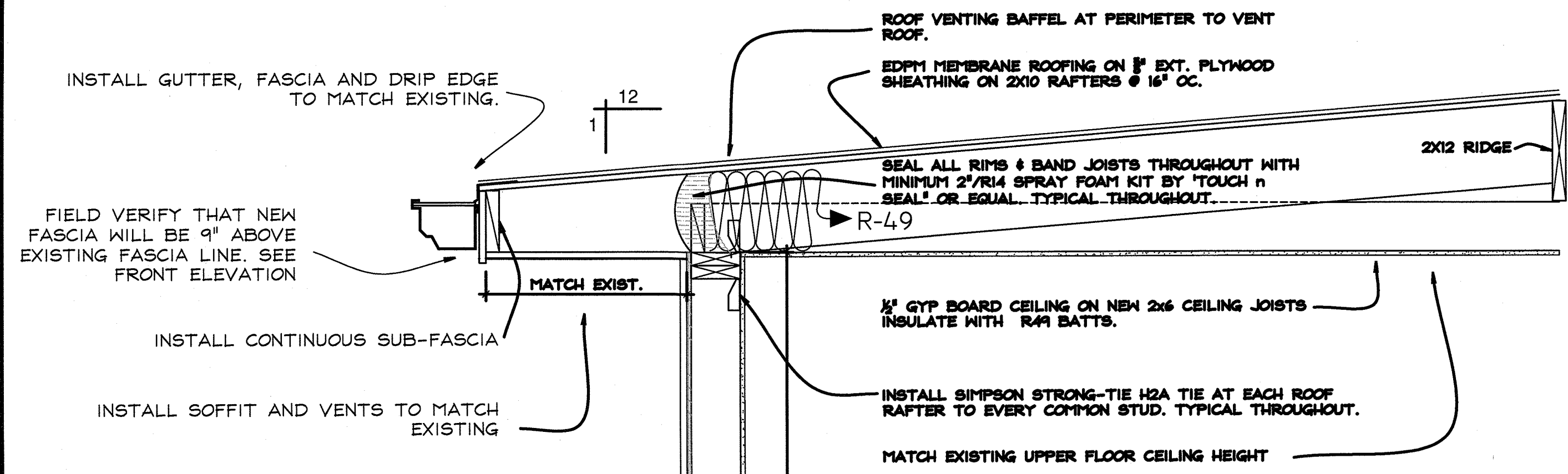
**KIER B. LEVESQUE, R.A.**  
 ARCHITECT  
 49 THIRD AVENUE  
 NYACK, NEW YORK 10960  
 845-358-2359

**FLOOR PLANS**

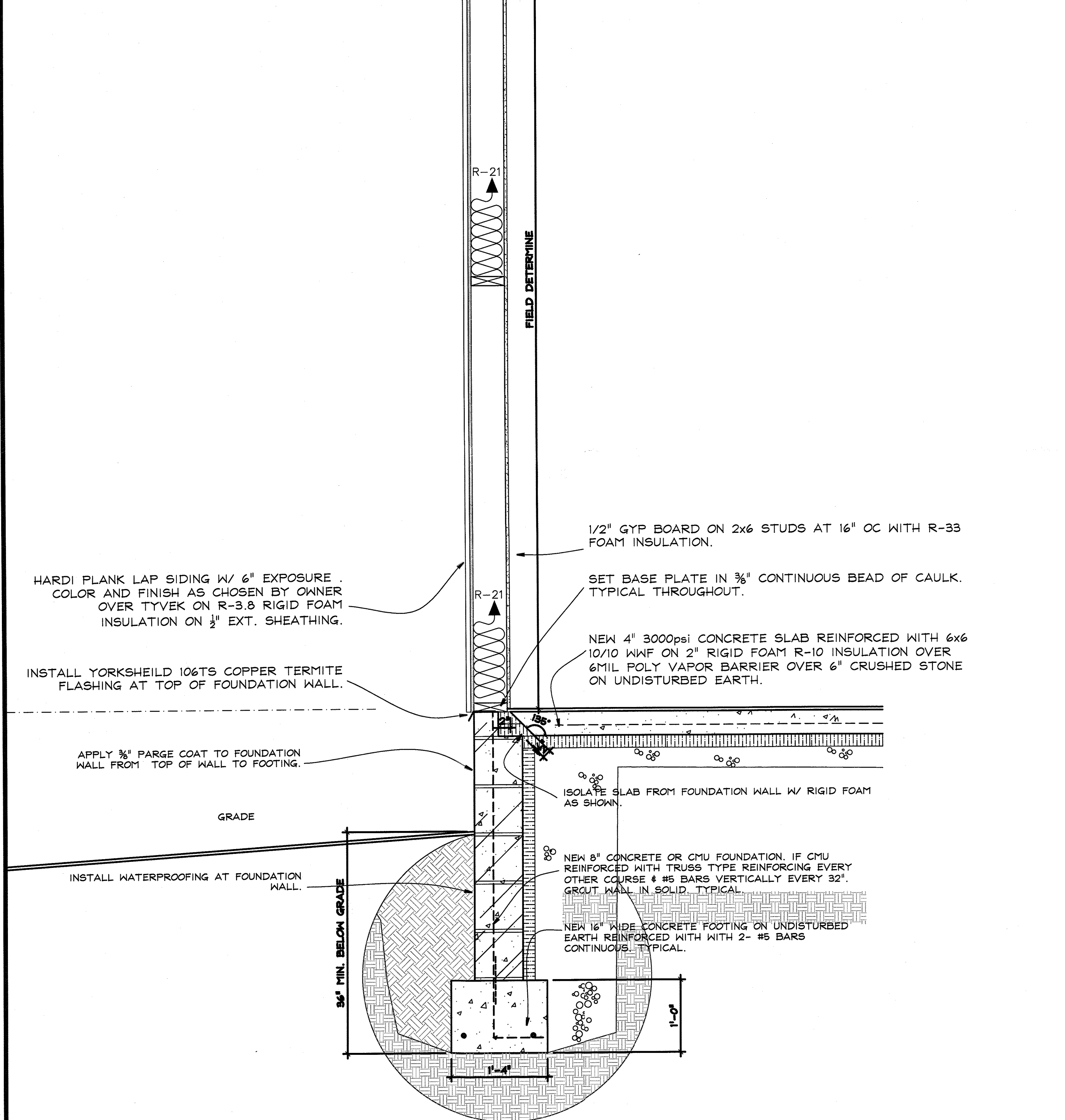
SCALE AS SHOWN  
 DATE SEPTEMBER 14, 2021  
 JOB NO. 2020104  
 REVISIONS: SHEET NO.

**A-1**

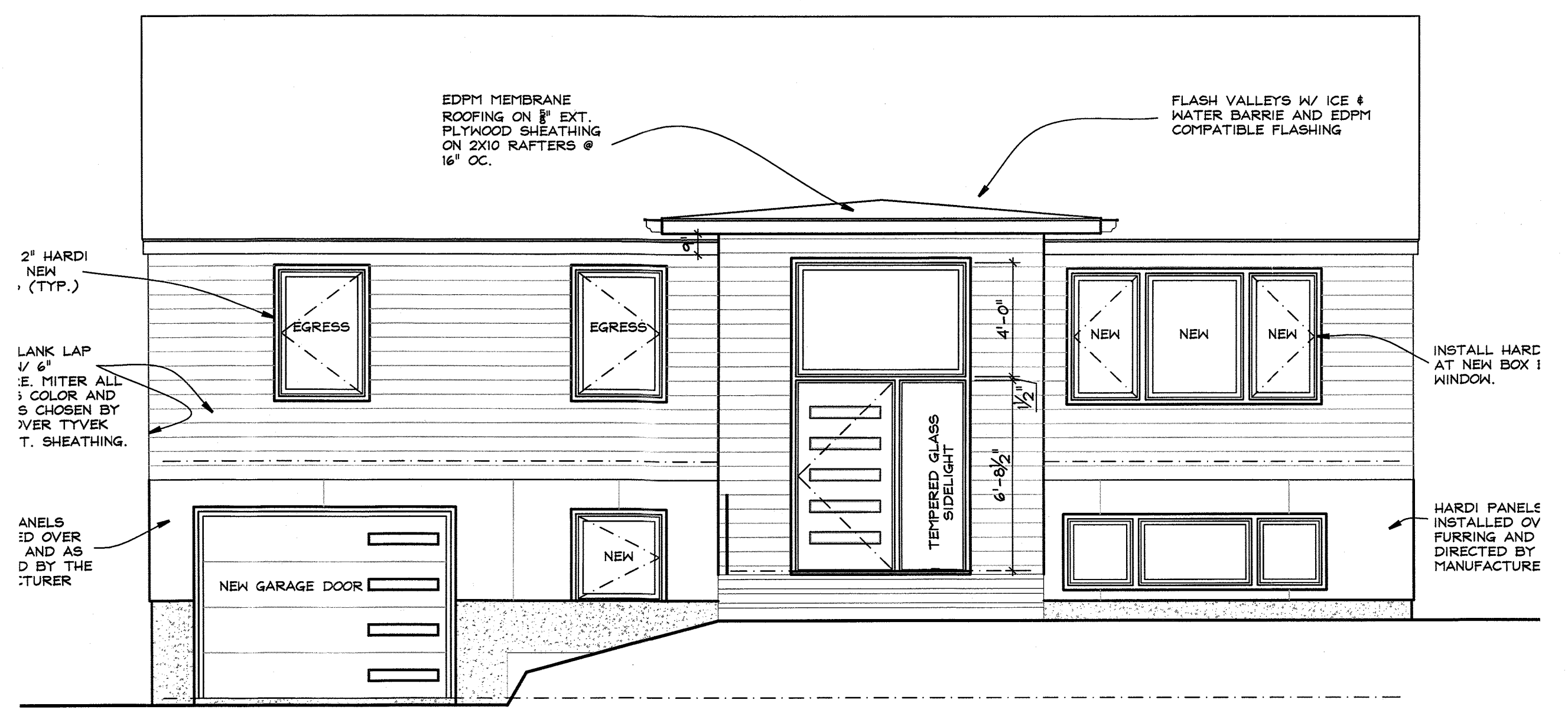




2 SIDE ELEVATION  
1/4" = 1 FOOT



A WALL SECTION  
1" = 1 FOOT



1 FRONT ELEVATION  
1/4" = 1 FOOT

CONSTRUCTION LEGEND	
	NEW CONSTRUCTION
	EXISTING WALLS TO BE DEMOLISHED
	EXISTING MASONRY WALL
	EXISTING STUD WALL TO REMAIN
	SHEET NOTES CALL: SEE NOTES THIS SHEET
	HARDWIRED CARBON MONOXIDE DET.
	HARDWIRED SMOKE DETECTOR

GRACH RENOVATION  
47 POLHEMUS ST.  
TAPPAN, N.Y. 10983

KIER B. LEVESQUE, R.A.  
ARCHITECT  
49 THIRD AVENUE  
NYACK, NEW YORK 10960  
845-358-2359

ELEVATIONS

SCALE AS SHOWN  
DATE ...  
JOB NO. 2020104  
REVISIONS:



PROGRESS PRINT  
AUGUST 27, 2021

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