

500 MIDDLETOWN ROAD SITE RENOVATIONS

500 MIDDLETOWN ROAD

PEARL RIVER, NY 10965

ARCHITECT/ LANDSCAPE ARCHITECT

Alloy Design Studio PLLC

29 Perryridge Road

Greenwich, Connecticut 06830

PH: (203) 661-2723

LIST OF DRAWINGS

A-T Title Sheet

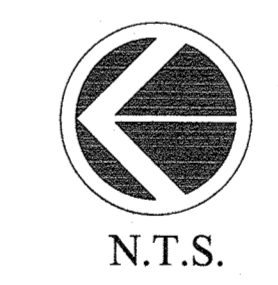
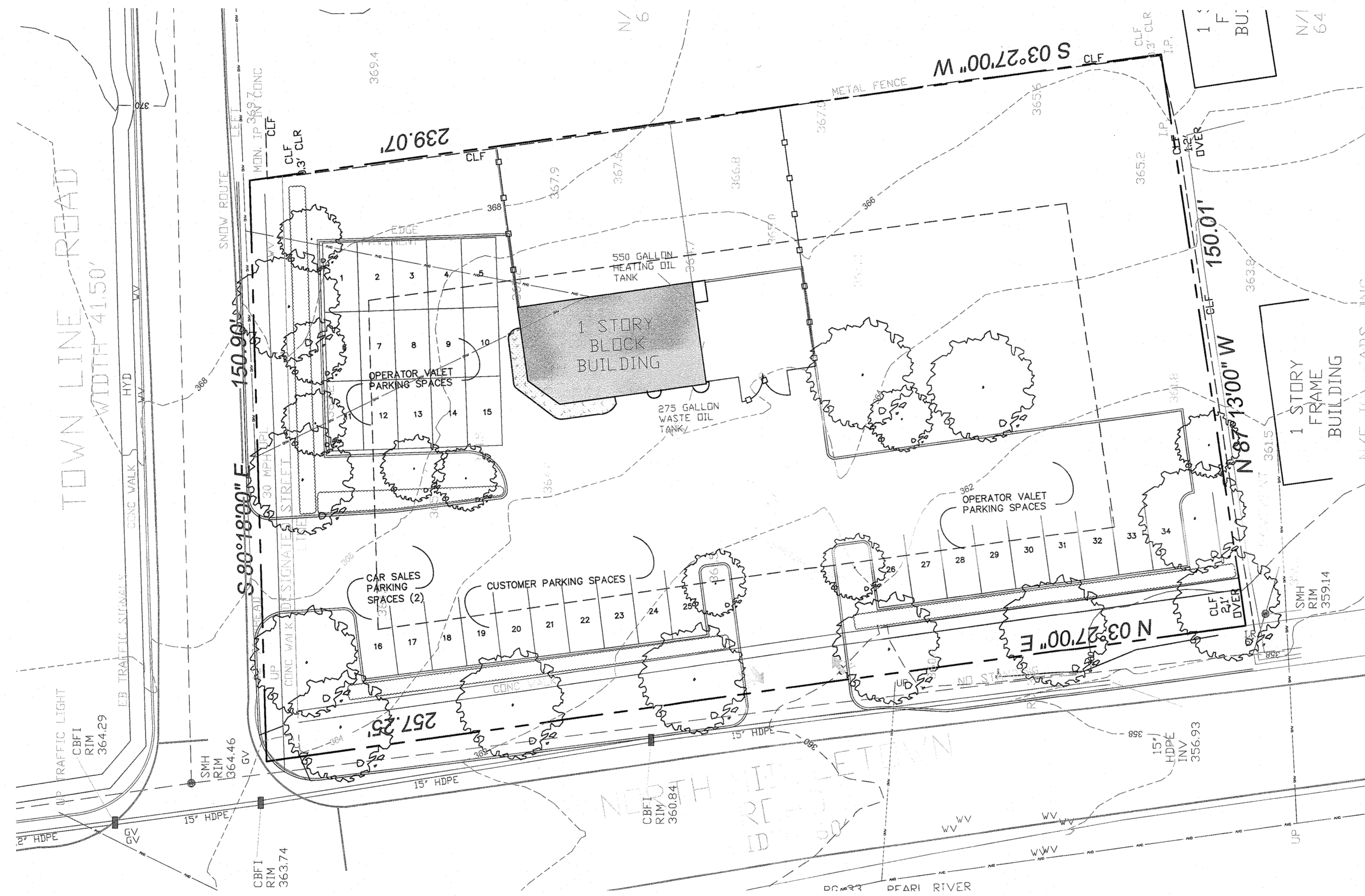
EXISTING SURVEY

Topographic Survey

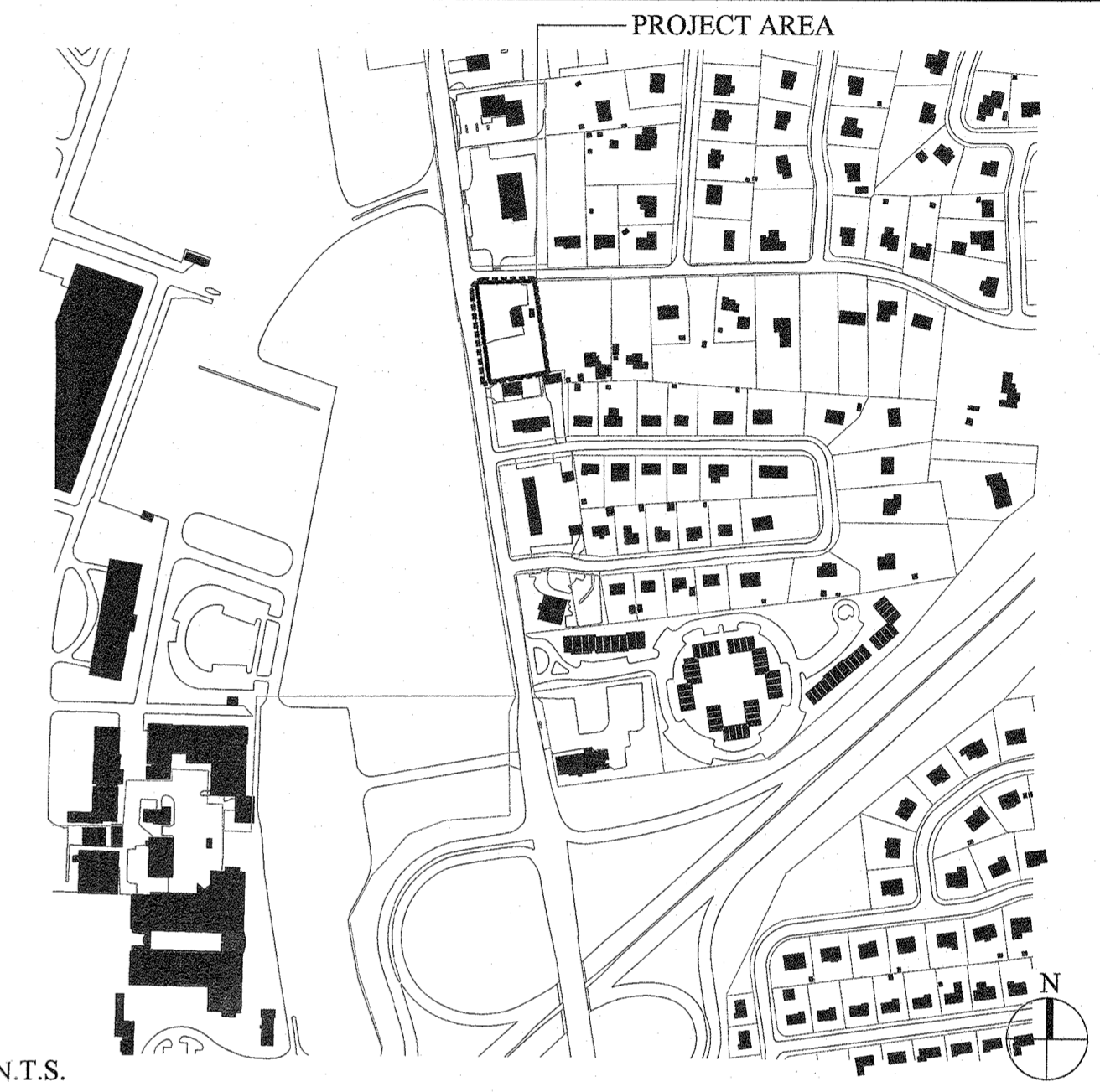
LANDSCAPE

L-050 Contact Plan
 L-100 Removals Plan
 L-200 Materials Plan
 L-300 Grading Plan
 L-400 Planting Plan
 L-500 Site Details
 L-501 Site Details

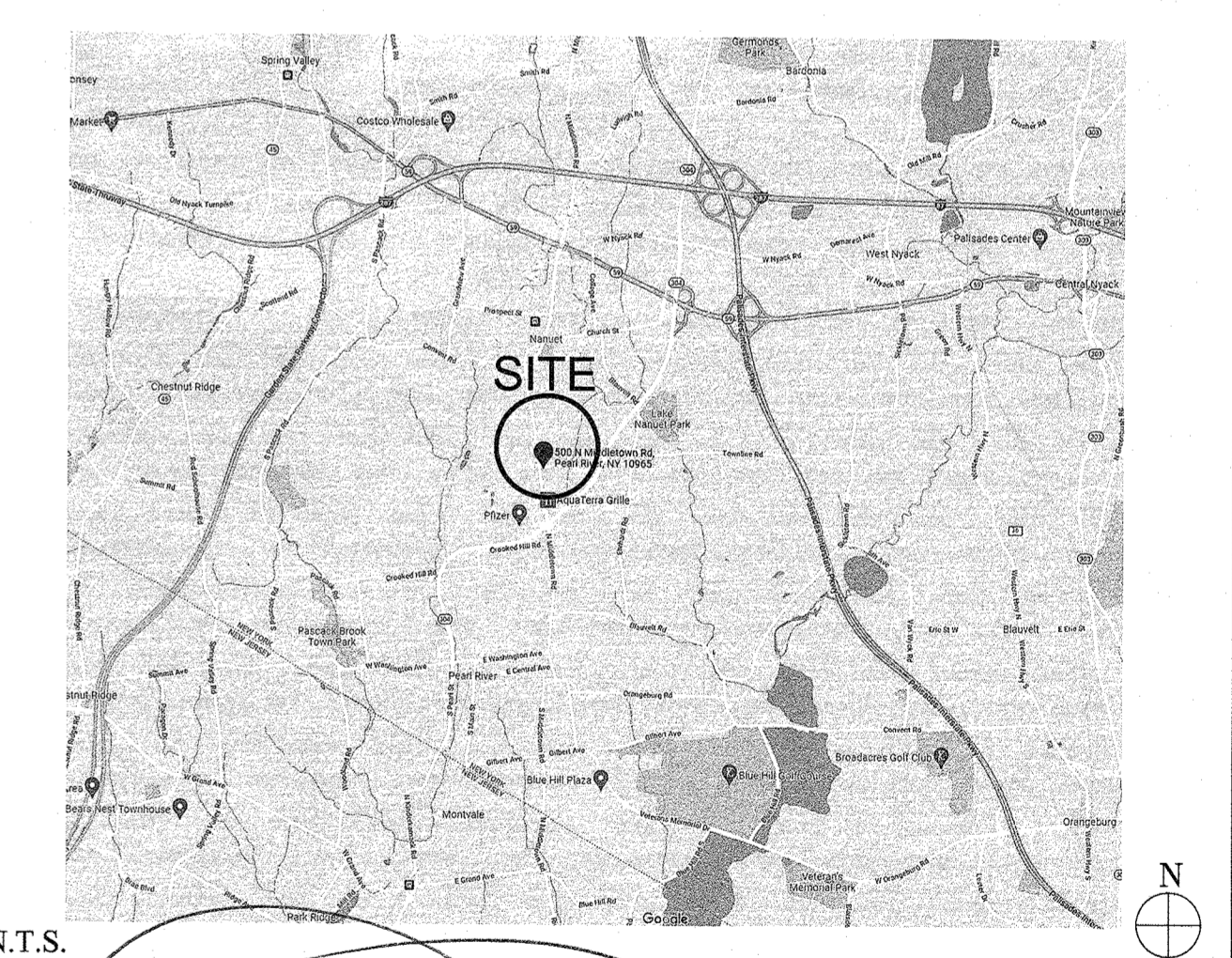
SITE PLAN



KEY PLAN



PROJECT LOCATION PLAN



GENERAL NOTES

ALL MATERIALS, ASSEMBLIES, FORMS AND METHODS OF CONSTRUCTION AND SERVICE EQUIPMENT SHALL COMPLY WITH THE REQUIREMENTS OF THE NEW YORK STATE BUILDING CONSTRUCTION CODE AND THE BRONXVILLE BUILDING DEPARTMENT, AND ANY OTHER APPLICABLE CODES HAVING JURISDICTION.

ALL CONTRACTORS AND SUBCONTRACTORS MUST CHECK AND VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT.

MANDATORY INSPECTIONS: TRADE CONTRACTORS SHALL BE RESPONSIBLE FOR MAKING ALL ARRANGEMENTS FOR ANY MANDATORY INSPECTIONS WHICH ARE REQUIRED BY AND WHICH ARE MADE BY THE BRONXVILLE BUILDING DEPARTMENT. MANDATORY INSPECTIONS SHALL COMPLY WITH THE BRONXVILLE BUILDING DEPARTMENT REGULATIONS. OTHER INSPECTIONS WILL BE ARRANGED FOR BY THE OWNER'S REPRESENTATIVE AND PAID FOR BY THE OWNER EXCEPT AS NOTED OTHERWISE IN THE DOCUMENTS.

ALL CONTRACTORS SHALL MAINTAIN SAFE EGRESS AT ALL TIMES TO ALL BUILDING EXITS. ALL EXITS SHALL BE KEPT READILY ACCESSIBLE AND UNOBSTRUCTED AT ALL TIMES. IF IT IS NECESSARY TO PROVIDE TEMPORARY PATHS OF EGRESS, ALL DETAILS OF SAME SHALL BE APPROVED BY LOCAL FIRE DEPARTMENT AS WELL AS OWNER.

DAMAGE TO SCHOOL PROPERTY SHALL BE CORRECTED BY THE CONTRACTOR SO INVOLVED AT NO COST TO THE OWNER. IF CONTRACTOR DOES NOT CORRECT DAMAGES WITHIN ONE WEEK, THE OWNER SHALL HAVE THE RIGHT TO BACK CHARGE CONTRACTOR FOR ALL REPAIRS NECESSARY.

6. ALL CONTRACTORS SHALL COMPLY WITH OSHA RULES AND REGULATIONS.

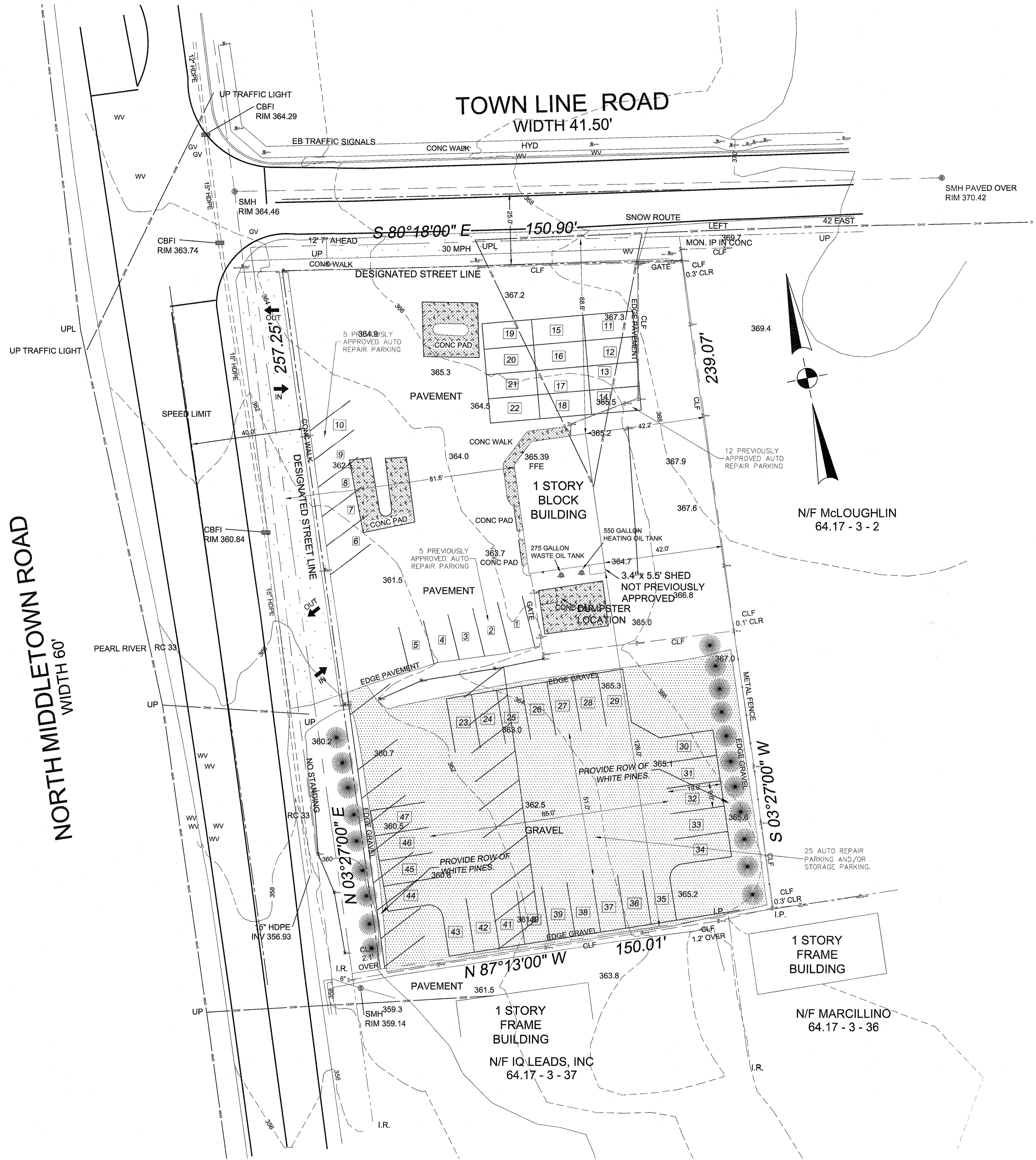
SEE THE TECHNICAL SPECIFICATIONS FOR SHOP DRAWINGS, MOCK-UPS, FINISH SAMPLES AND OTHER SUBMISSION REQUIREMENTS. EACH CONTRACTOR SHALL MAINTAIN ONE SET OF ALL SUBMISSIONS (SHOP DRAWINGS, SAMPLES, PRODUCT LITERATURE ETC.) ON THE JOB SITE AND AVAILABLE FOR REFERENCE. MOCK-UPS AND ACCEPTED SAMPLES SHALL BE AVAILABLE FOR REFERENCE. CONTRACTORS SHALL PROVIDE AS MANY MOCK-UPS OR SAMPLES AS NECESSARY IN ORDER TO OBTAIN OWNER'S/ARCHITECT'S APPROVAL.

WHERE DESIGNATED ON DRAWING "TO MATCH EXISTING", THE CONTRACTOR SHALL VISIT THE SITE, OBTAIN A SAMPLE OR PROFILE OF THE EXISTING ELEMENT, AND DUPLICATE. ALL CUSTOM FABRICATIONS SHALL BE SUBMITTED FOR REVIEW BY ARCHITECT.

- ALL SYMBOLS AND FINISH SCHEDULE DESIGNATIONS OF MATERIALS INDICATE NEW MATERIAL UNLESS OTHERWISE NOTED.
- ALL NEW INSTALLED EQUIPMENT SHALL BE UL LABELED. ALL LIGHTING FIXTURES SHALL BE REVIEWED AND APPROVED BY ARCHITECT AND CONSULTING ENGINEER AND SHALL HAVE UL LABEL.
- TRADE CONTRACTORS (PLUMBING, MECHANICAL AND ELECTRICAL) SHALL PROVIDE ACCESS DOORS RELATED TO THEIR WORK WITH APPROPRIATE RATING. THE DOORS SHALL BE INSTALLED BY THE CARPENTRY CONTRACTOR.
- EACH TRADE IS RESPONSIBLE FOR FIRESTOPPING, CAULKING & SEALANTS FOR THEIR PENETRATIONS. PROVIDE FIRESTOPPING AT ALL PENETRATIONS THROUGH RATED CONSTRUCTION.
- ALL ELECTRICAL, DATA, PLUMBING, MECHANICAL SYSTEMS THAT ARE TO BE INSTALLED OR RELOCATED ARE TO BE CONCEALED WITHIN NEW CONSTRUCTION. IT IS THE RESPONSIBILITY OF EACH TRADE CONTRACTOR TO COORDINATE WITH THE OTHER TRADES & ROUTE THESE SYSTEMS SUCH THAT THEY WILL NOT BE EXPOSED IN THE FINISHED SPACES. ANY ISSUES OR PROBLEMS MUST BE BROUGHT TO THE ARCHITECT'S ATTENTION BEFORE WORK IS TO CONTINUE.
- NO SUBSTITUTIONS SHALL BE MADE FOR ANY ITEMS SPECIFIED ON THE DRAWINGS WITHOUT PRIOR WRITTEN APPROVAL BY THE ARCHITECT OR OWNER.
- ALL CONTRACTORS SHALL BE LICENSED TO WORK IN THE COUNTY OF WESTCHESTER, NEW YORK AND MUST SUBMIT DOCUMENTATION AS REQUIRED BY THE VILLAGE OF BRONXVILLE BUILDING DEPARTMENT.
- ALL CONTRACTORS SHOULD BE AWARE OF THE VILLAGE OF BRONXVILLE NOISE ORDINANCE WHICH PROHIBITS NOISE FROM 6:00 PM TO 8:00 AM ON WEEKDAYS AND AT ALL TIMES ON WEEKENDS AND LEGAL HOLIDAYS. THIS ORDINANCE IS STRICTLY ENFORCED BY THE VILLAGE OF BRONXVILLE POLICE DEPARTMENT.

64-17-3-1
 500 N. Middletown Rd Rev Plans
 PLANNING BOARD MEETING
 JAN 18 2021
 Town of Orangetown

Stamp		Registered Landscape Architect Christopher A. Tramutola 002254-1 STATE OF NEW YORK
Drawing Title	Job No.	Drawing No.
TITLE SHEET	2105	L-T
Scale	Date	
Not To Scale	10/06/21	
ALLOY DESIGN STUDIO PLLC. 29 Perryridge road Greenwich, Connecticut 06830 (203) 661-2723 ctramutola@gmail.com		

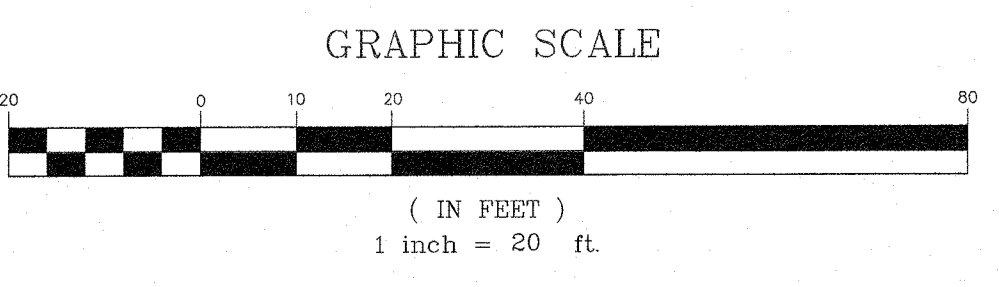


Bulk Requirement: Zone CO (Auto Repair)

	Max Floor Area Ratio	Min Lot Area	Min Lot Width	Min Street Frontage (N. Middletown)	Min Street Frontage (Townline)	Min Front Yard (N. Middletown)	Min Front Yard (Townline)	Min Side Yard	Total Side Yard	Min Rear Yard	Max Building Height
Required	0.20	30,000 SF	150 FT	50 FT	50 FT	30 FT	30 FT	35 FT	90 FT	50 FT	21 FT
Provided	0.03	37,224 SF	150 FT	257 FT	151 FT	81.5 FT	68.6 FT	42 FT	N/A	126 FT	1 story

GENERAL NOTES

- RECORD OWNER AND APPLICANT:
BRICKERS, INC.
500 N. MIDDLETOWN ROAD
PEARL RIVER, NY 10965
- TAX PARCEL: 64.17-3-1
- OVERALL AREA: 37,224 SF or 0.8545 ACRES
- BOUNDARY AND TOPOGRAPHIC INFORMATION IS BASED UPON A FIELD SURVEY COMPLETED BY CIVIL TEC ENGINEERING & SURVEYING PC ON JANUARY 21, 2020.
- ORIGINAL PARKING SPACES PREVIOUSLY APPROVED BY ZBA AS #96-11 ON MARCH 20, 1996.



DATE	ISSUE	DESCRIPTION
		S.B.L. 64.17-3-1 SITE PLAN FOR 500 NORTH MIDDLETOWN ROAD TOWN OF ORANGETOWN - ROCKLAND COUNTY - NEW YORK

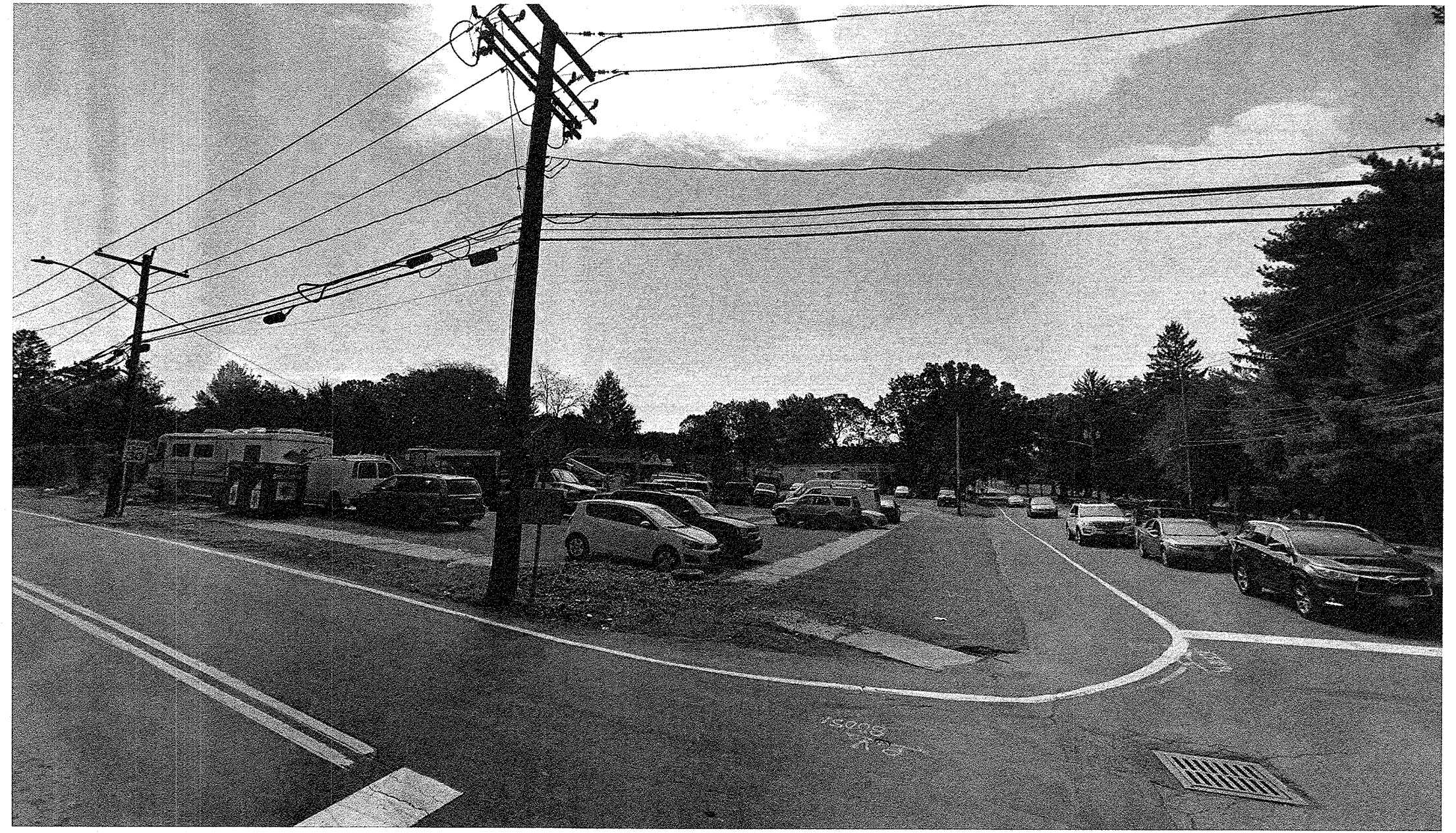
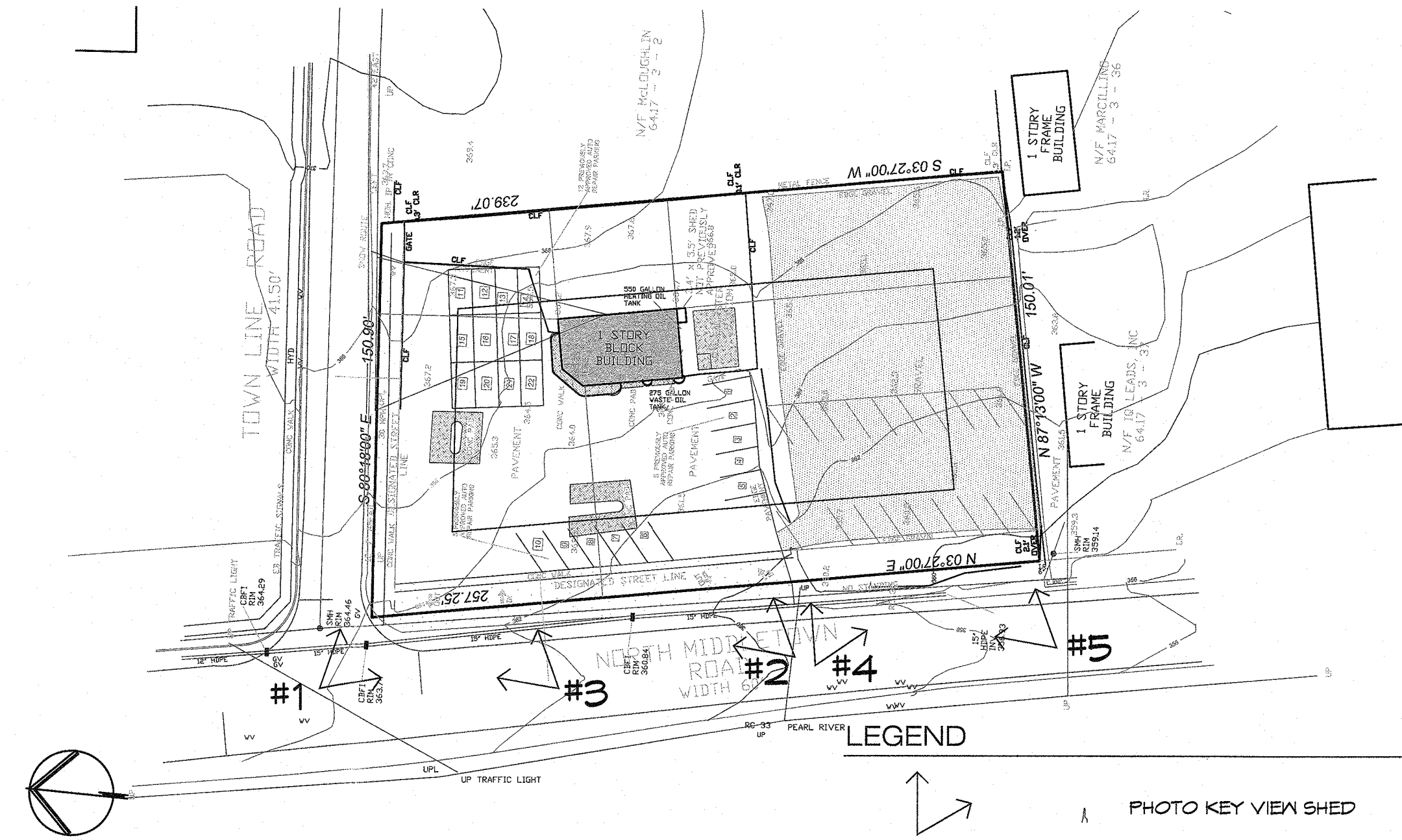


PHOTO: #1



PHOTO: #2



PHOTO: #3



PHOTO: #4

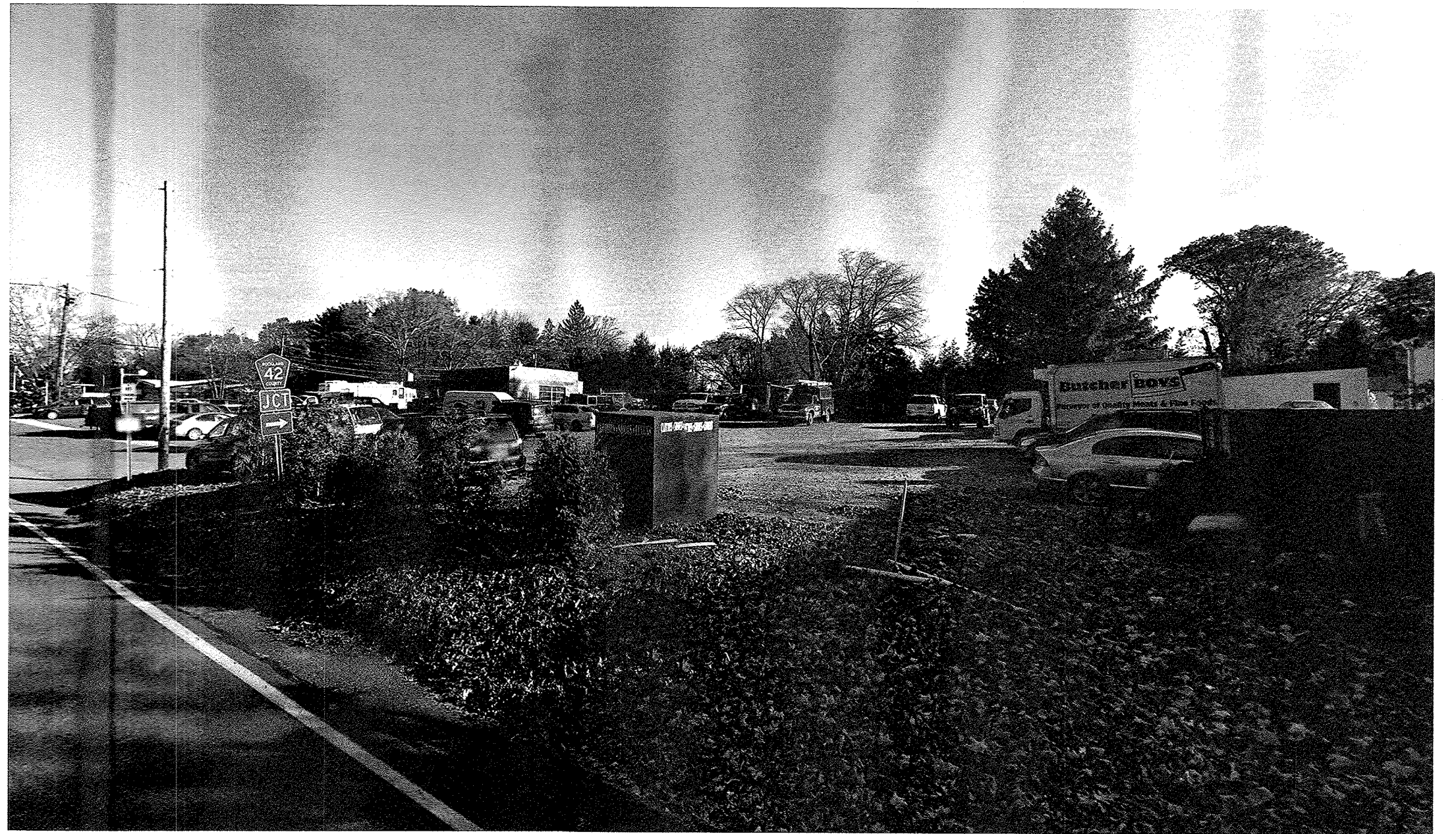
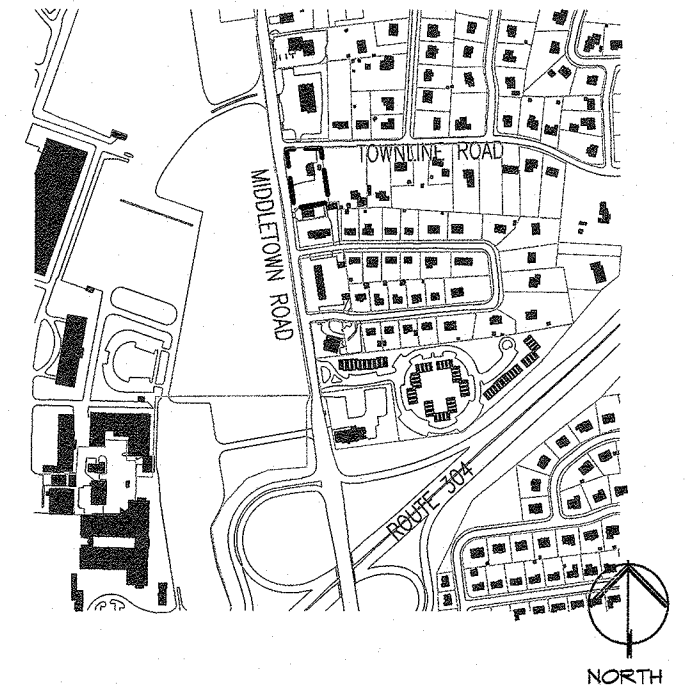
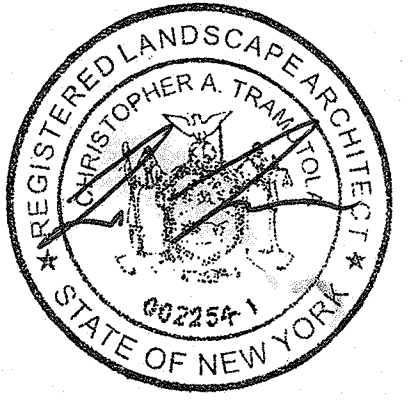


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Key Plan Not to Scale

No.	Date	Revision/Submission
1.	11/01/2021	Planning Board Submission



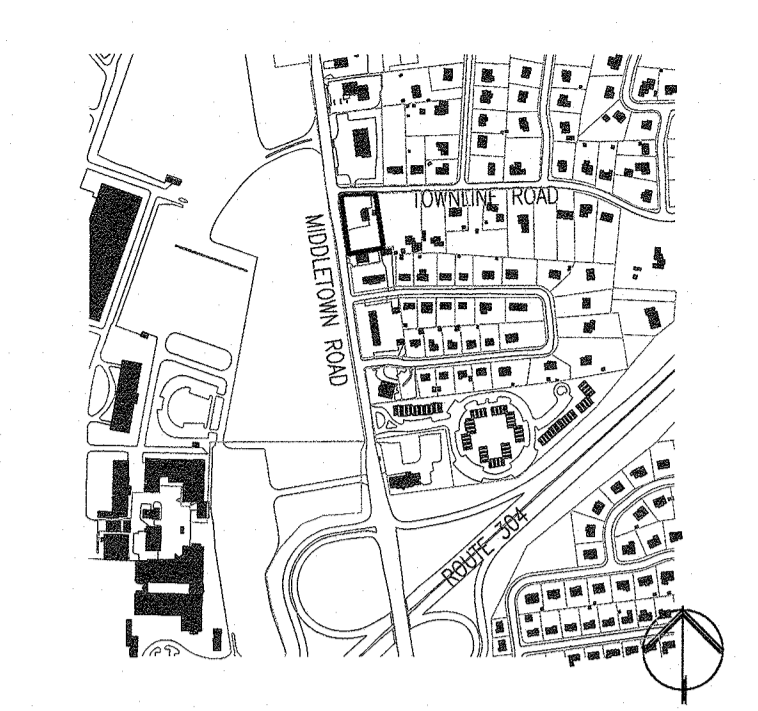
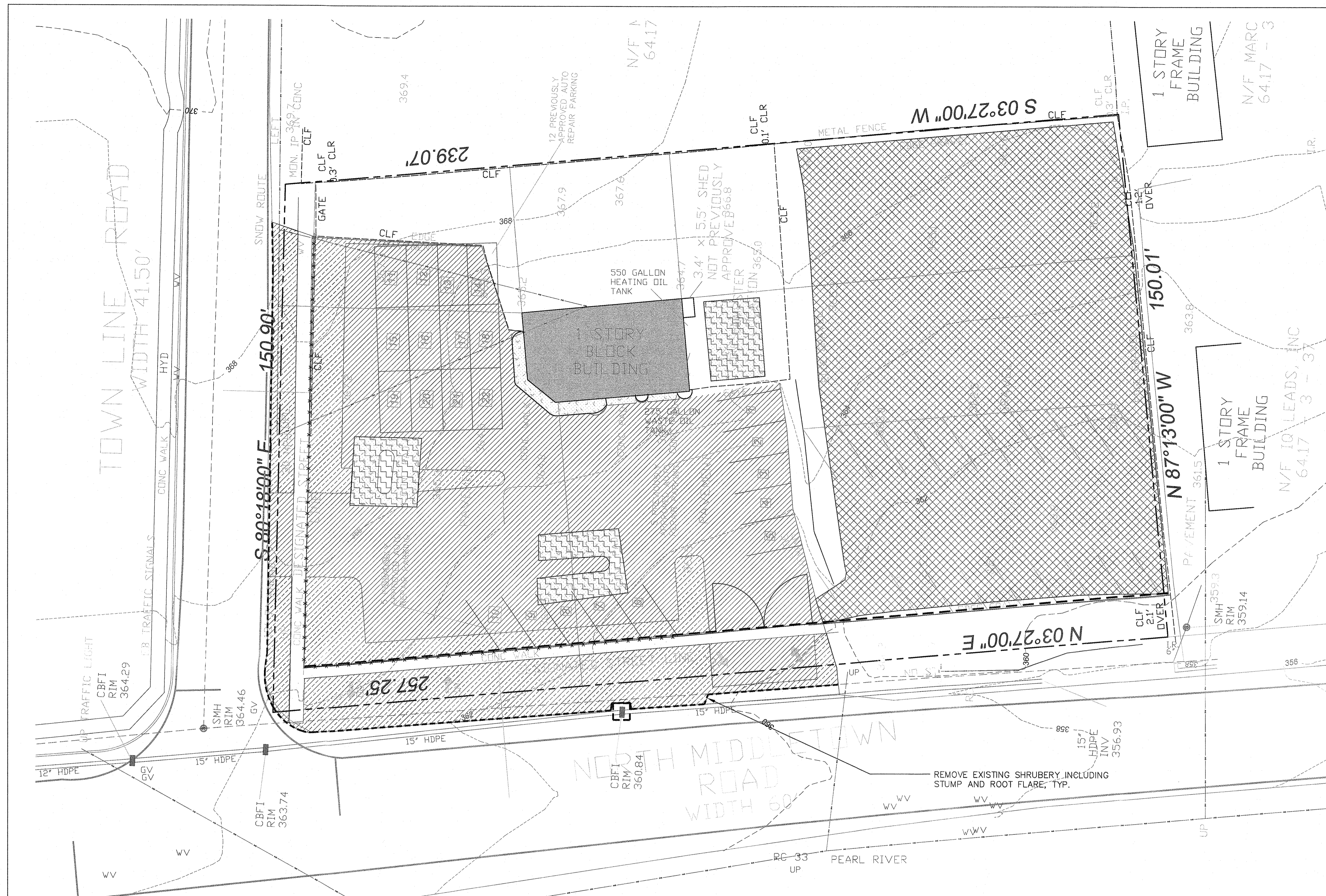
Project Title
**500 MIDDLETOWN ROAD
 SITE RENOVATION**

500 MIDDLETOWN ROAD
 PEARL RIVER, NY 10965

Drawing Title
SITE PHOTOS

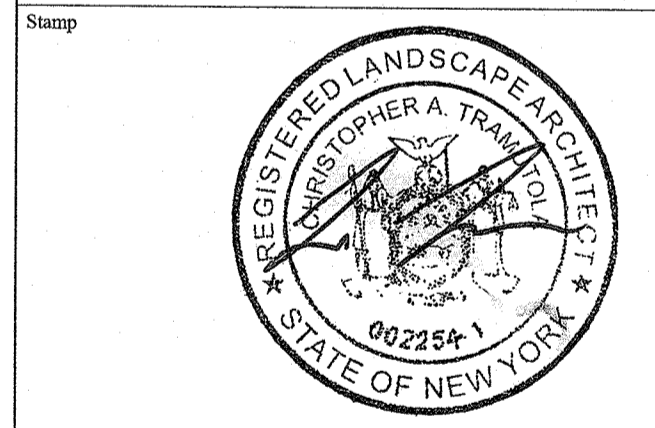
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AS SHOWN	N/A	09/25/2021	L-050
Drawn	Checked	Approved	
CT	CT	CT	

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 29 Perryridge road
 Greenwich, Connecticut 06830
 (203) 661-2723
 ctramutola@gmail.com



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Project Title
**500 MIDDLETOWN ROAD
 SITE RENOVATION**

500 MIDDLETOWN ROAD
 PEARL RIVER, NY 10965

Drawing Title
REMOVALS PLAN

Scale	Job No.	Date	Drawing No.
AS SHOWN	N/A	09/25/2021	L-100
Drawn	Checked	Approved	
CT	CT	CT	

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LEGEND

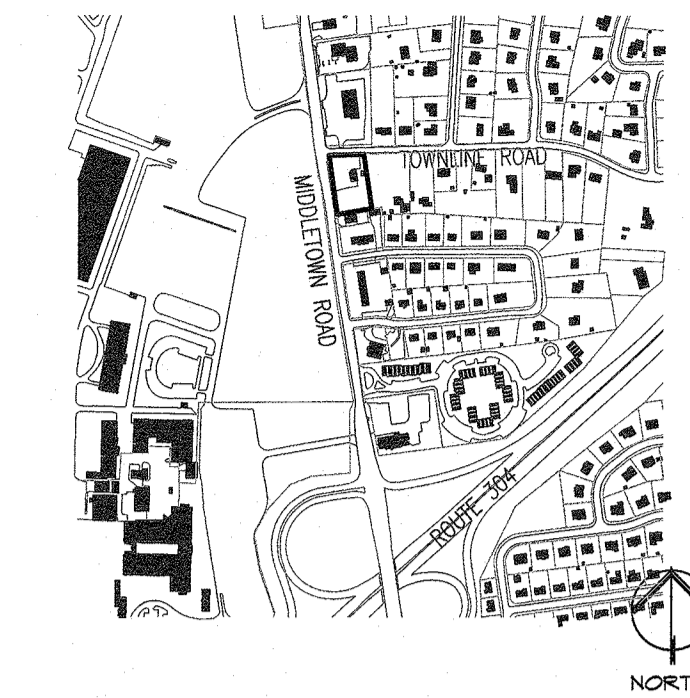
	PROPERTY LINE		EROSION CONTROL FENCING (4 L-503)
	REMOVE ASPHALT PAVING, PRESERVE GRAVEL BASE		EXIST. CONTOUR
	REMOVE EXISTING ASPHALT PAVING INCLUDING BASE		CONSTRUCTION FENCE (1 L-503)
	REMOVE EXISTING GRAVEL DOWN TO SUBSOIL BASE		CLEAN SAWCUT PAVEMENT
	REMOVE EXISTING CONCRETE PAVING/PAD		DRAIN INLET PROTECTION (2 L-503)

SCALE: 1/16" = 1'-0"

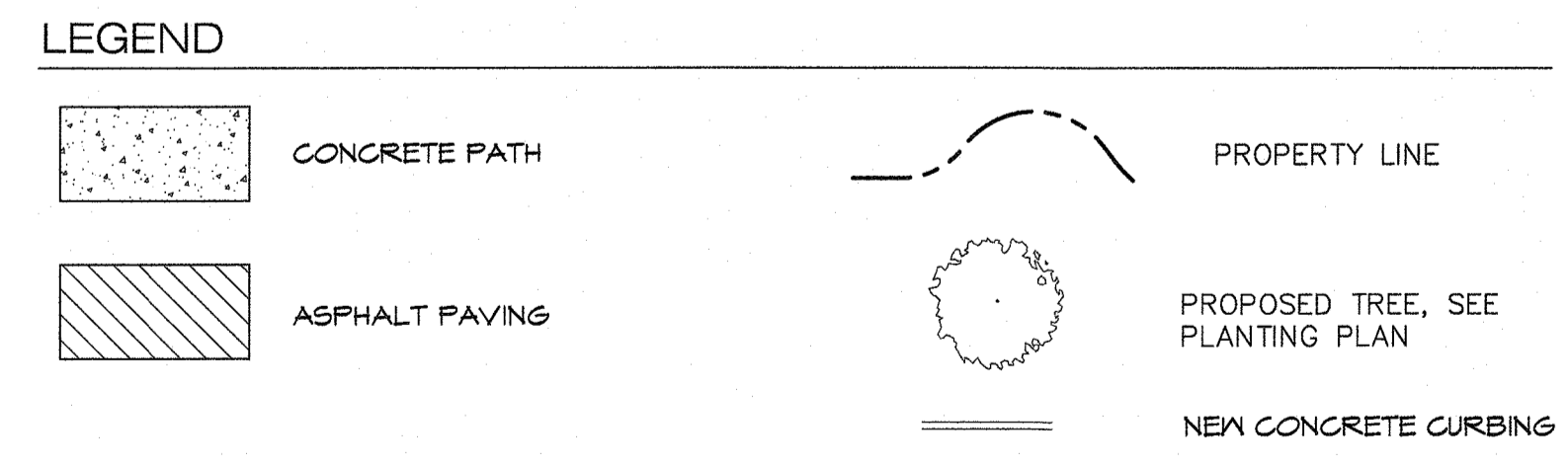
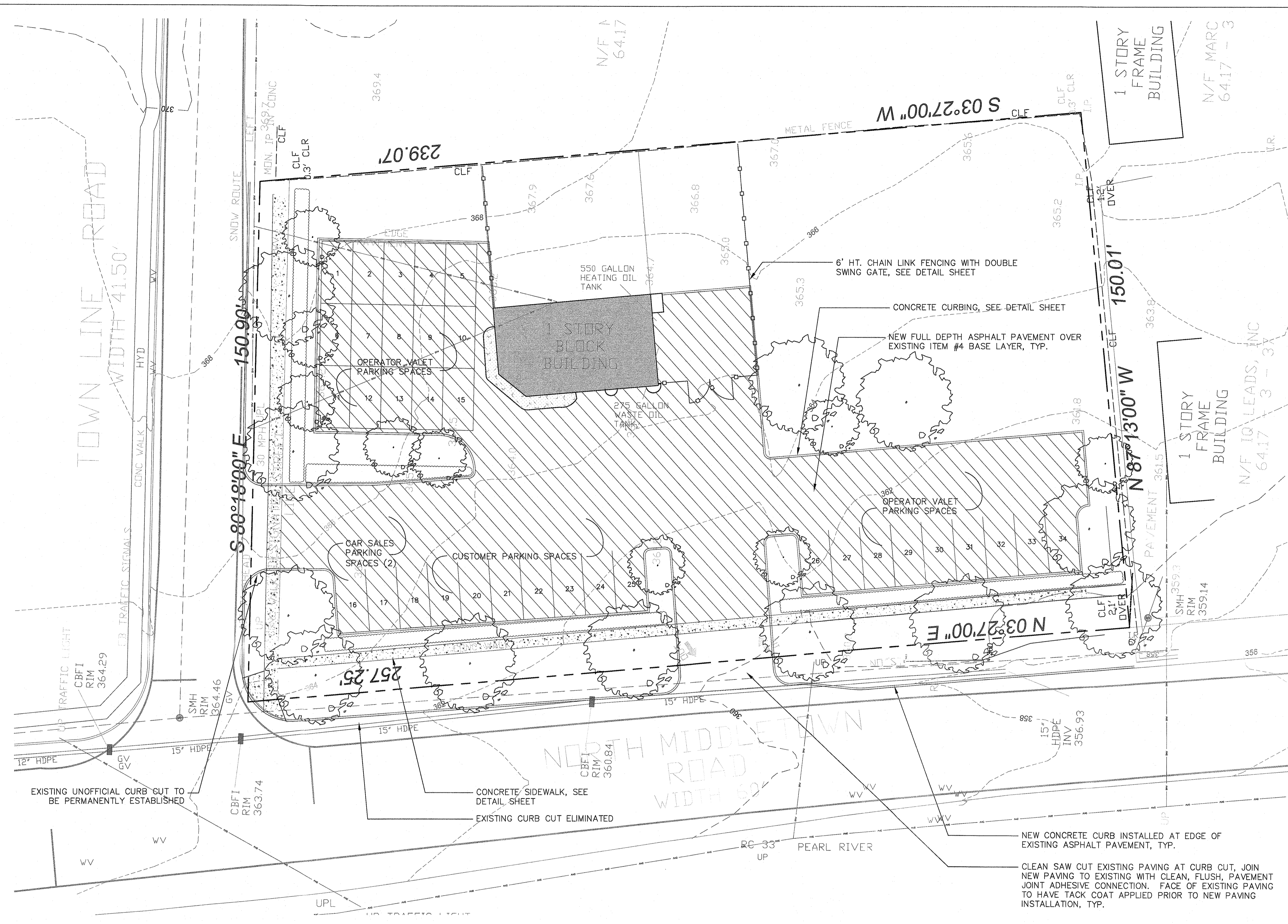
NORTH

DEMOLITION AND REMOVAL NOTES

- THE CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES AND FIELD CONDITIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION OPERATIONS. ANY DISCREPANCIES SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE OWNER'S REPRESENTATIVE FOR RESOLUTION PRIOR TO CONTINUING WORK.
- ALL REMOVALS SHALL BE AS SHOWN ON THE CONTRACT DRAWINGS AND/OR AS DIRECTED BY THE OWNER'S REPRESENTATIVE TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE.
- THE CONTRACTOR SHALL EXERCISE EXTREME CARE DURING REMOVAL OPERATIONS TO PROTECT EXISTING MATERIALS TO REMAIN EITHER BELOW GRADE OR ABOVE GRADE. ANY DAMAGE TO EXISTING MATERIALS RESULTING FROM CONSTRUCTION SHALL BE THE CONTRACTOR'S RESPONSIBILITY, AND SHALL BE RESTORED AT THE CONTRACTOR'S EXPENSE TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE.
- PRIOR TO DEMOLITION, ALL MATERIALS TO BE REMOVED AND SALVAGED BY THE CONTRACTOR SHALL BE NEATLY STORED IN A SECURED AREA APPROVED BY THE OWNER'S REPRESENTATIVE.
- VERIFY THE INTENDED DISPOSITION OF ALL ITEMS TO BE REMOVED AND SALVAGED, BUT NOT TO BE USED IN THE NEW IMPROVEMENTS WITH THE OWNER'S REPRESENTATIVE.
- IF THERE IS ANY CONFUSION AS TO WHAT IS TO REMAIN AND WHAT IS TO BE REMOVED, THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE FOR RESOLUTION PRIOR TO CONTINUING WITH WORK.
- THE CONTRACTOR SHALL PROVIDE ALL TEMPORARY SHORING, BRACING AND DEWATERING REQUIRED OR AS DIRECTED TO PROTECT THE SAFETY OF ADJACENT STRUCTURES AND UTILITIES. SEE HELLER & JOHNSON SOILS REPORT IN SPECIFICATIONS.
- FILL AND COMPACT ALL FOUNDATION REMOVAL EXCAVATIONS WITH APPROVED BACKFILL TO MEET EXISTING GRADE.
- WHERE NEW CONSTRUCTION ABUTS EXISTING PAVEMENTS, THE EXISTING MATERIAL SHALL BE CLEANLY SAWCUT TO PROVIDE A CLEAN NEAT MATCH WITH NO TRIP HAZARDS.
- THERE SHALL BE NO STOCKPILING, STAGING OR MACHINERY ON AREAS OUTSIDE THE PROPERTY LINE. ANY DAMAGE TO EXISTING LAWN, TREES, SHRUBS AND ANY OTHER MATERIALS SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT NO COST TO THE OWNER AND TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS.
- CONTRACTOR TO PROVIDE AND MAINTAIN EROSION & SEDIMENT CONTROL MEASURES THROUGHOUT THE DURATION OF THE PROJECT. TOPSOIL IS TO BE STOCKPILED IN A LOCATION APPROVED BY OWNER AND ENCLOSED BY SILT FENCING.
- THE VILLAGE ENGINEER AND BUILDING INSPECTOR MAY REQUIRE ADDITIONAL EROSION CONTROL MEASURES IF DEEMED APPROPRIATE TO MITIGATE UNFORESEEN SILTATION AND EROSION OF DISTURBED SOILS.
- NO DEMOLITION MATERIAL TO BE BURIED ON SITE



Key Plan Not to Scale



IMPERVIOUS SURFACE CALCULATIONS

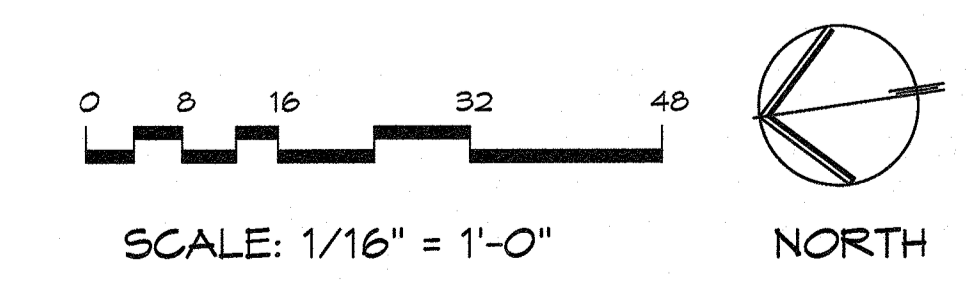
EXISTING IMPERVIOUS SURFACE (BUILDING):	1,187 SQ. FT.
EXISTING IMPERVIOUS SURFACE (PAVING):	15,064 SQ. FT.
PROPOSED IMPERVIOUS SURFACE (BUILDING):	1,187 SQ. FT.
PROPOSED IMPERVIOUS SURFACE (PAVING):	14,972 SQ. FT.
REDUCTION IN IMPERVIOUS SURFACE:	92 SQ. FT.

*SIDEWALK PAVING NOT INCLUDED IN CALCULATIONS

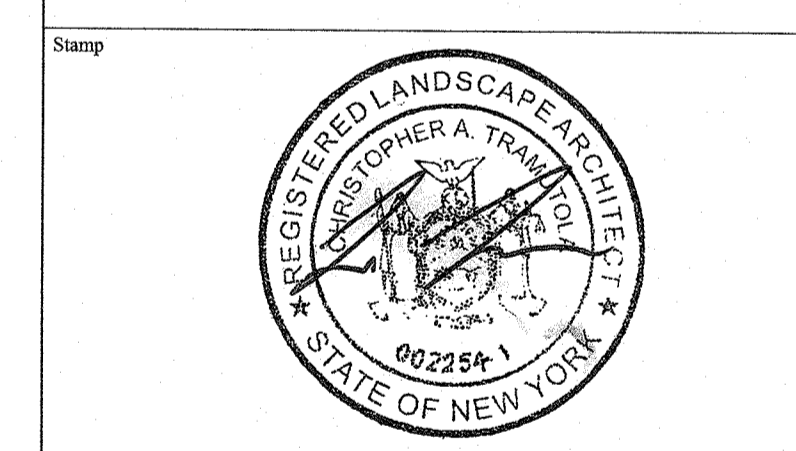
GENERAL NOTES

- THE CONTRACTOR SHALL VERIFY ALL FIELD CONDITIONS AND FAMILIARIZE THEMSELVES WITH THE SITE PRIOR TO COMMENCEMENT OF WORK. ACTUAL FIELD CONDITIONS MAY VARY FROM LAYOUT, DIMENSIONS AND EXISTING GRADES AS SHOWN ON THE PLANS. THE CONTRACTOR SHALL PERFORM THE WORK IN ACCORDANCE WITH EXISTING FIELD CONDITIONS. NOTIFY THE OWNER'S REPRESENTATIVE IN WRITING OF ANY DISCREPANCIES PRIOR TO CONTINUING WORK.
- THE CONTRACTOR SHALL SECURE THE WORK AREA WITH SPECIFIED BARRIERS AND FENCING AND MAINTAIN A SAFE AND SECURE CONSTRUCTION SITE.
- PEDESTRIAN AND VEHICULAR TRAFFIC ON ADJACENT ROADS AND SIDEWALKS SHALL BE MAINTAINED DURING CONSTRUCTION. CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PREVENT DAMAGE OR INTERRUPTION TO EXISTING UTILITY SERVICE. ANY DAMAGE OR INTERRUPTION TO EXISTING UTILITY SERVICE SHALL BE RESTORED BY THE CONTRACTOR AT NO EXPENSE TO THE OWNER.
- THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE AGENCIES AND UTILITY COMPANIES HAVING JURISDICTION (I.E. DEPARTMENT OF TRANSPORTATION, FIRE DEPARTMENT, DEPARTMENT OF ENVIRONMENTAL PROTECTION TELEPHONE, SEWER, GAS, ETC.), OBTAIN PERMITS AND PAY ANY FEES ASSOCIATED WITH WORK OF THIS PROJECT.

- IT IS ANTICIPATED THAT VARIOUS TYPES OF WORK FOR THIS CONTRACT WILL BE PERFORMED SIMULTANEOUSLY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WORK BETWEEN SUBCONTRACTORS AND UTILITY COMPANIES TO ENSURE COMPLETION OF HIS WORK IN A TIMELY AND WORKMAN LIKE MANNER.
- THE CONTRACTOR SHALL PERFORM ALL WORK WITH CARE TO ENSURE MATERIALS TO REMAIN SHALL NOT BE DAMAGED. ANY DAMAGE TO MATERIAL TO REMAIN SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE OWNER AND PAID FOR BY THE CONTRACTOR.
- REMOVE AND DISPOSE OF ALL ITEMS DESIGNATED AS REMOVALS OFF-SITE IN A LEGAL MANNER. ALL EXISTING INLETS, BASINS AND CONNECTIONS WITHIN THE PROJECT LIMIT SHALL BE CLEANED AND CLEARED TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE.
- UPON COMPLETION OF THE WORK THE CONTRACTOR SHALL RESTORE ALL "UNIMPROVED" AREAS UTILIZED FOR SITE ACCESS, STOCKPILING, CONSTRUCTION TRAILERS ETC. TO SERVICEABLE AND SAFE CONDITIONS AND TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE.
- AS-BUILT DRAWINGS OF THE IMPROVEMENTS SHALL BE PREPARED BY A NYS LICENSED SURVEYOR AND SUBMITTED TO THE VILLAGE ENGINEER FOR REVIEW PRIOR TO OBTAINING A CERTIFICATE OF COMPLIANCE.



No.	Date	Revision/Description
1.	11/01/2021	Planning Board Submission



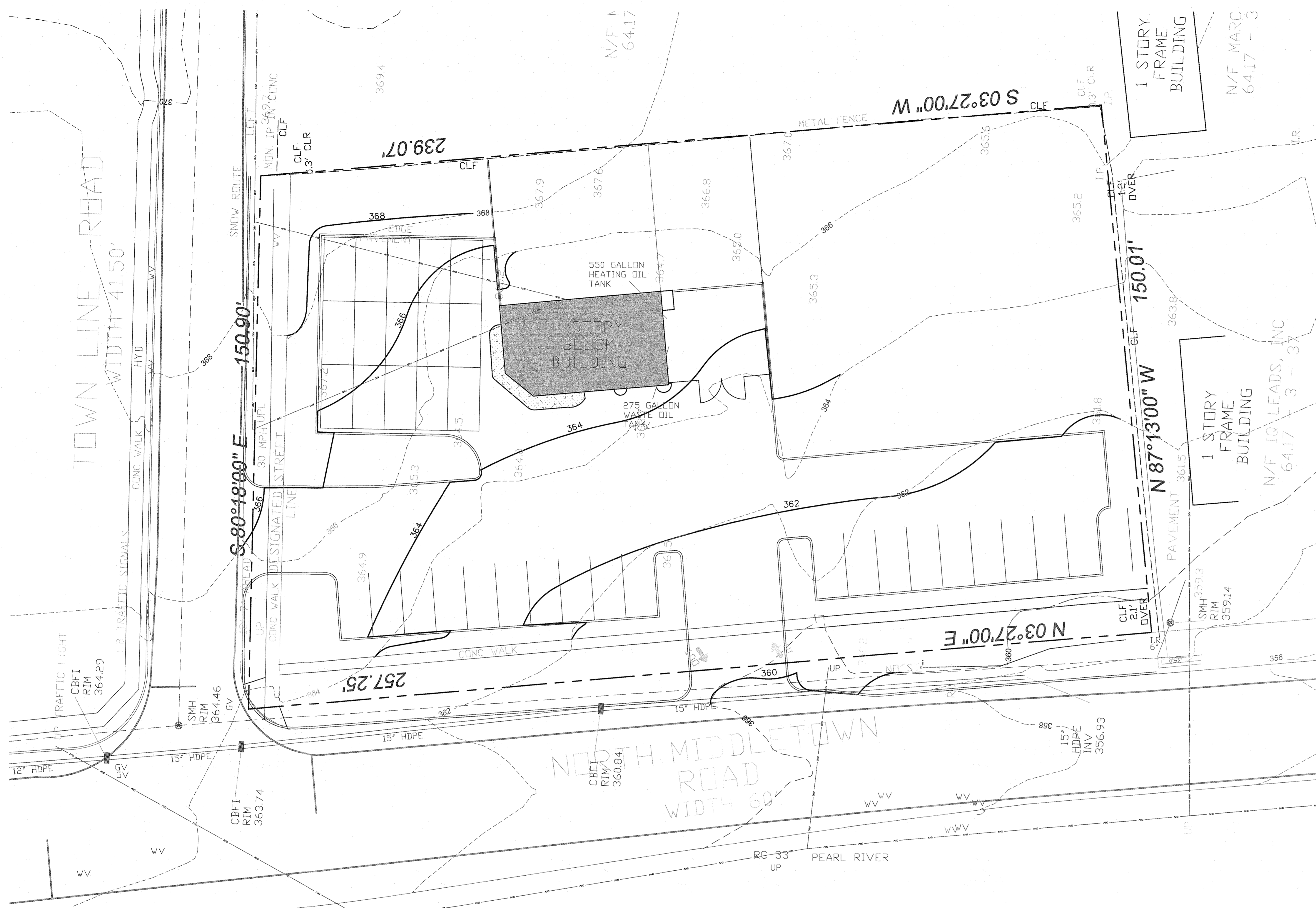
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 SITE RENOVATION**

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MATERIALS PLAN

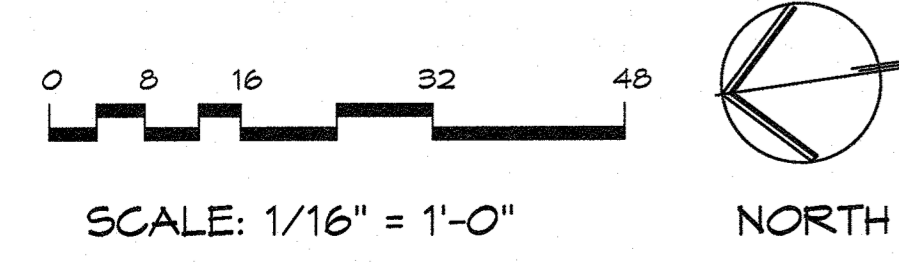
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Drawn	Checked	Approved	
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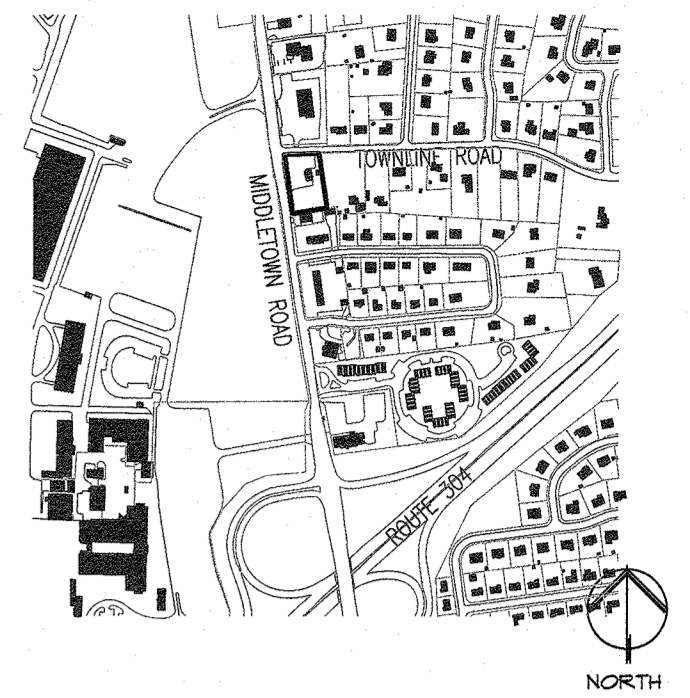
LEGEND

	27.0	PROPOSED CONTOUR
	x102.50	EXIST. SPOT ELEVATION
	+182.50	PROPOSED SPOT ELEVATION
	+HP	HIGH POINT
	442	EXISTING CONTOUR
	BS / TS	BOTTOM OF STAIR / TOP OF STAIR
	BW / TW	BOTTOM OF WALL / TOP OF WALL
	BC / TC	BOTTOM OF CURB / TOP OF CURB
	DI	TOP OF DRAIN INLET



GRADING NOTES

- REFER TO THE TOPOGRAPHIC SURVEY FOR EXISTING UTILITIES AND ELEVATIONS.
- PREPARE SUB-GRADE ELEVATIONS TO SUFFICIENT DEPTH TO INSURE NEW IMPROVEMENTS MEET EXISTING MATERIALS SMOOTHLY, EVENLY AND TO GRADE.
- IN ALL CASES, PAVEMENTS SHALL BE PITCHED TO AWAY FROM BUILDING AND IN A MANNER THAT PREVENTS PONDING AND PUDDLING. CONTRACTOR SHALL PERFORM A DRAINAGE TEST OF ALL PAVEMENTS TO INSURE POSITIVE DRAINAGE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR DEWATERING AS REQUIRED TO MAINTAIN ALL TRENCHES AND EXCAVATIONS FREE FROM WATER DURING THE CONSTRUCTION OPERATIONS.
- LOCATE NEW DRAINAGE STRUCTURES AT TRUE LOW POINT OF THEIR RESPECTIVE AREAS AS DETERMINED IN THE FIELD AND APPROVED BY THE OWNER'S REPRESENTATIVE.
- ALL NEW PAVEMENTS SHALL MEET EXISTING FLUSH.
- ALL PEDESTRIAN PATHS LONGITUDINAL PITCH IS NOT TO EXCEED 5% UNLESS OTHERWISE INDICATED AND CROSS PITCH NOT EXCEED 2% UNLESS OTHERWISE INDICATED.
- IMPORTED FILL MATERIAL SHALL BE CERTIFIED IN WRITING BY A NEW YORK STATE LICENSED PROFESSIONAL ENGINEER AS NON-CONTAMINATED CLEAN FILL SUITABLE FOR THE INTENDED USE.
- TOTAL AMOUNT OF EXPORTED FILL MATERIAL IS ESTIMATED TO BE 3000 CUBIC YARDS.



11/01/2021 Planning Board Submission

No. Date Revisor/Submission

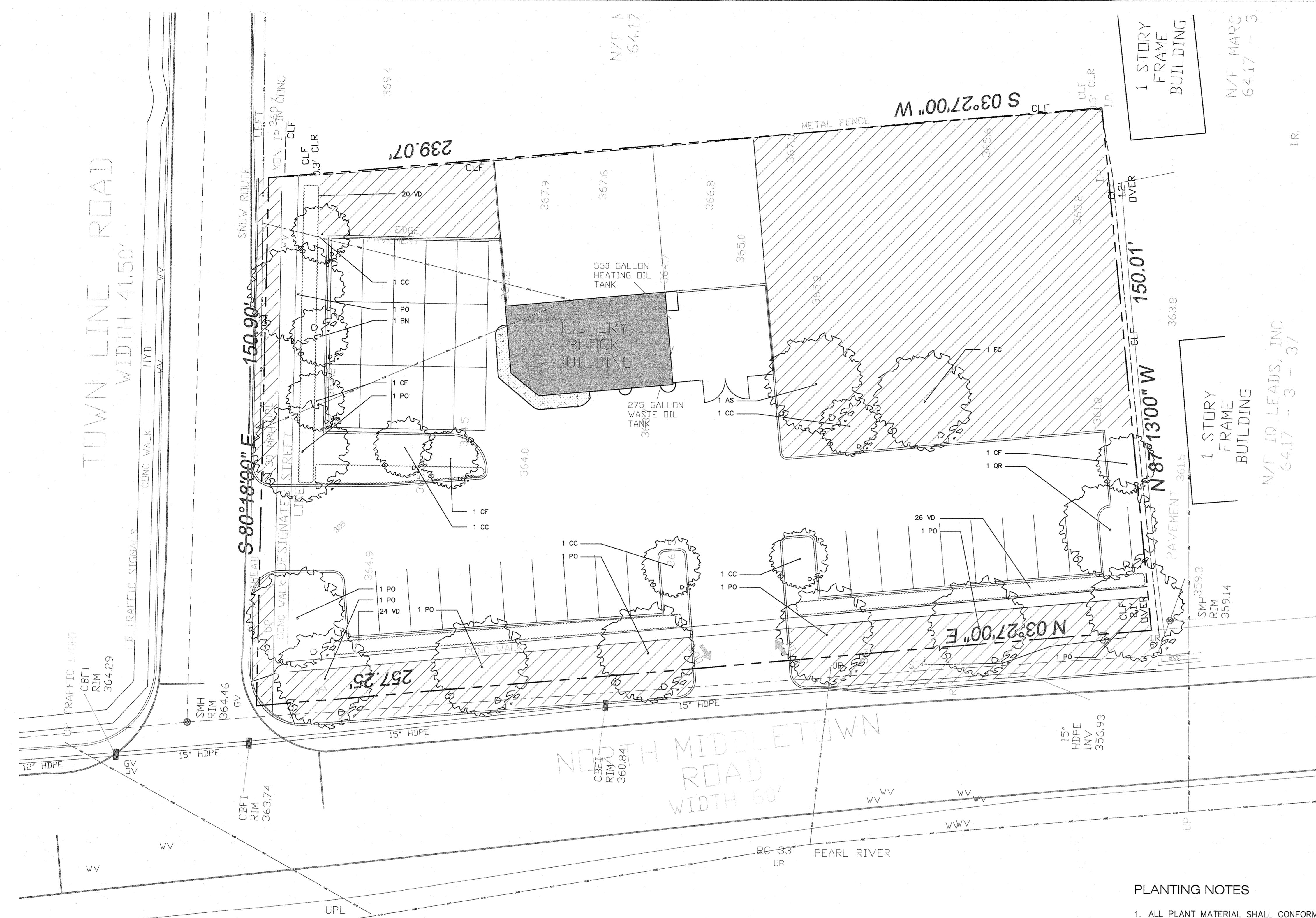
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Scale	Job No.	Date	Drawing No.
AS SHOWN	N/A	09/25/2021	L-300
Drawn	Checked	Approved	
CT	CT	CT	

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Key Plan Not to Scale



LEGEND

- PROPOSED SHADE TREE (3 L-502)
- PROPOSED FLOWERING/ DECORATIVE TREE (2 L-502)
- PROPOSED DECORATIVE SHRUB (2 L-502)
- KENTUCKY BLUEGRASS VAR. GRASS SOD SEE SPEC (1 L-502)
- SHREDDED CEDAR BARK MULCH (4 L-502)

SCALE: 1/16" = 1'-0"

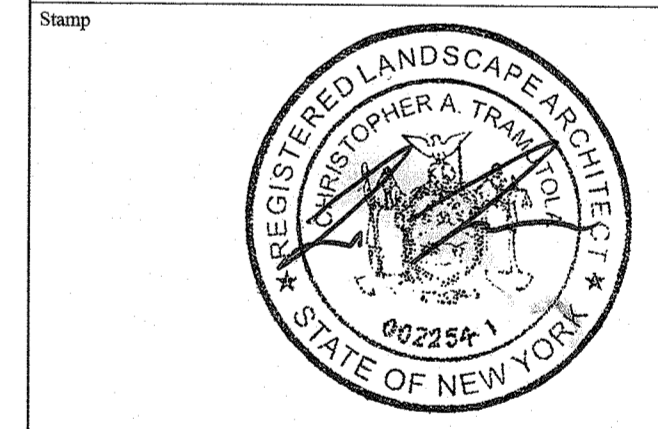
NORTH

PLANT LIST

TREES					
QTY.	KEY	BOTANICAL NAME	COMMON NAME	SIZE	COMMENTS
1	QR	QUERCUS RUBRA	RED OAK	1.5"-2" CAL.	FULL, SYMM., HEAD WITH SINGLE LEADER
9	PO	PLATANUS OCCIDENTALIS	AMERICAN SYCAMORE	1.5"-2" CAL.	FULL, SYMM., HEAD WITH SINGLE LEADER
1	AS	ACER SACCHARUM	SUGAR MAPLE	1.5"-2" CAL.	FULL, SYMM., HEAD WITH SINGLE LEADER
1	FG	FAGUS GRANDIFLORA	AMERICAN BEECH	1.5"-2" CAL.	FULL, SYMM., HEAD WITH SINGLE LEADER
5	CC	CERCIS CANADENSIS	EASTERN REDBUD	6'-8" HT.	FULL, SYMM., HEAD WITH SINGLE LEADER
3	CF	CORNUS FLORIDA	CHEROKEE PRINCESS DOGWOOD	6'-8" HT.	FULL, SYMM., HEAD WITH SINGLE LEADER
SHRUBS					
70	VD	VIBURNUM DENTATUM	ARROW WOOD VIBURNUM	2'-3' HT.	FULL, SYMM., HEAD WITH SINGLE LEADER
LAWN/SEEDING					
AREA	///	TRI-BLEND LAWN SEED	SEEDED LAWN	SEED	HAND BROADCAST

PLANTING NOTES

- ALL PLANT MATERIAL SHALL CONFORM TO THE REQUIREMENTS AS ESTABLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMAN, LATEST EDITION.
- ALL PLANT MATERIAL SHALL BE VIGOROUS AND FREE OF INJURY, INSECTS OR DEFECTS. PLANT MATERIAL SHALL BE STOCK FROM A RECOGNIZED NURSERY WITHIN THE NORTHEAST AND MID-ATLANTIC REGIONS.
- ALL PLANTS TO BE SELECTED AND TAGGED IN THE FIELD BY THE LANDSCAPE ARCHITECT.
- CONTRACTOR SHALL VERIFY QUANTITIES AS SHOWN ON THE CONTRACT DRAWINGS. IF A DISCREPANCY EXISTS BETWEEN THE PLANT COUNT AS SHOWN ON THE PLANT LIST AND THE PLANTING PLAN(S), THE PLAN(S) SHALL TAKE PRECEDENCE.
- THE LANDSCAPE ARCHITECT MAY REJECT ANY MATERIAL WHICH DOES NOT REPRESENT SPECIES AS OUTLINED IN THE PLANT LIST.
- NO SUBSTITUTION WILL BE MADE UNLESS AUTHORIZED BY THE LANDSCAPE ARCHITECT.
- ALL PLANTING BEDS SHALL BE PREPPED PRIOR TO PLANTING BY TILLING TOP 18" OF EXISTING SOIL AND INCORPORATING FRESH TOPSOIL/COMPOST MIX AT 1 CUBIC YARD PER 100 SQUARE FEET.
- ALL TREES SHALL BE PLANTED SO THAT THE ROOT FLARE IS 1" - 2" ABOVE FINISHED GRADE. CONTRACTOR SHALL VERIFY ROOT FLARE PRIOR TO PLANTING. REMOVE EXCESS SOIL OVER BALL AS REQUIRED TO EXPOSE THE ROOT FLARE ONLY AS DIRECTED BY THE LANDSCAPE ARCHITECT.
- ALL TREE PITS AND ENTIRE SHRUB/PERENNIAL BEDS TO RECEIVE 2" LAYER OF DOUBLE SHREDDED HARDWOOD BARK MULCH. MULCH SHALL NOT COME IN DIRECT CONTACT WITH TREE TRUNKS.
- PLANTED AREAS SHALL BE WATERED BY THE CONTRACTOR WHEN RAINFALL IS LESS THAN 1" PER WEEK AND PERIODS OF EXCESSIVE HEAT. SHRUBS SHALL RECEIVE 3-5 GALLONS PER PLANT AND TREES 7-10 GALLONS PER INCH OF CALIPER PER WEEK OR AS DIRECTED BY THE LANDSCAPE ARCHITECT.
- TREES SHALL BE GUYED OR STAKED AS INDICATED ON THE DRAWING. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL GUYING/STAKING FOR A PERIOD OF A YEAR. THE CONTRACTOR IS RESPONSIBLE FOR REMOVAL OF ALL GUYING/STAKING AFTER THIS PERIOD UPON DIRECTION OF THE OWNER'S REPRESENTATIVE.
- ALL PLANTING BEDS SHALL BE PREPPED BY TILLING THE SOIL 12" DEEP MINIMUM, MIXING IN 1 CUBIC YARD OF COMPOST/TOPSOIL MIX PER 200 SQ FT. AFTER PLANTING ALL BEDS SHALL BE LEFT WITH ALL NATURAL, NO-DYE DARK CEDAR MULCH 3" DEEP.



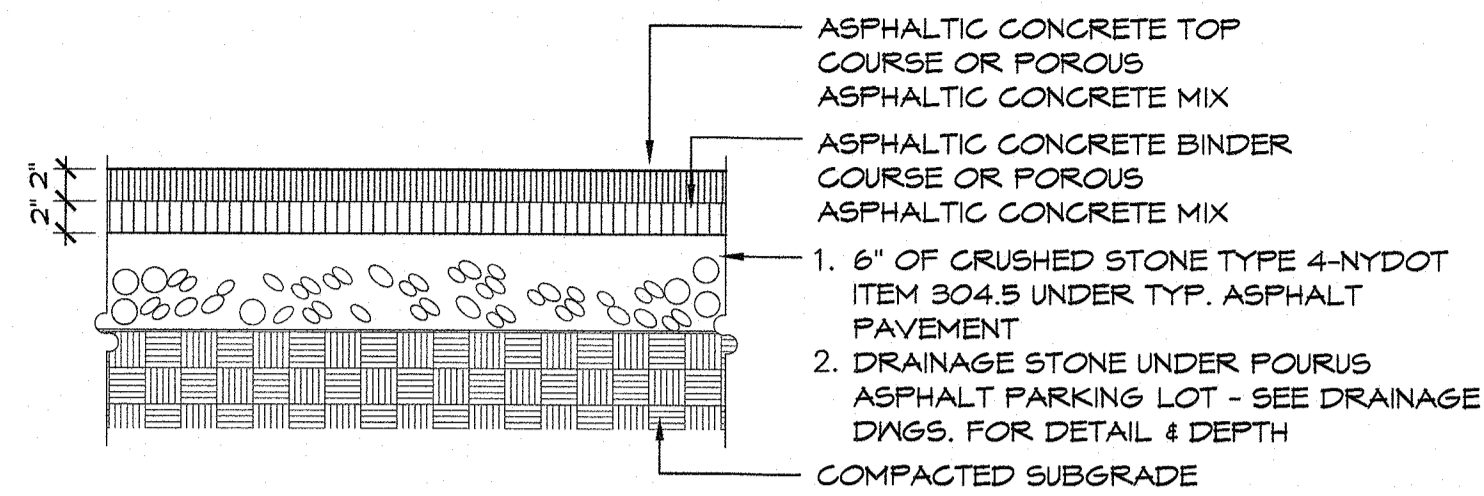
Project Title
**500 MIDDLETOWN ROAD
 SITE RENOVATION**

500 MIDDLETOWN ROAD
 PEARL RIVER, NY 10965

PLANTING PLAN

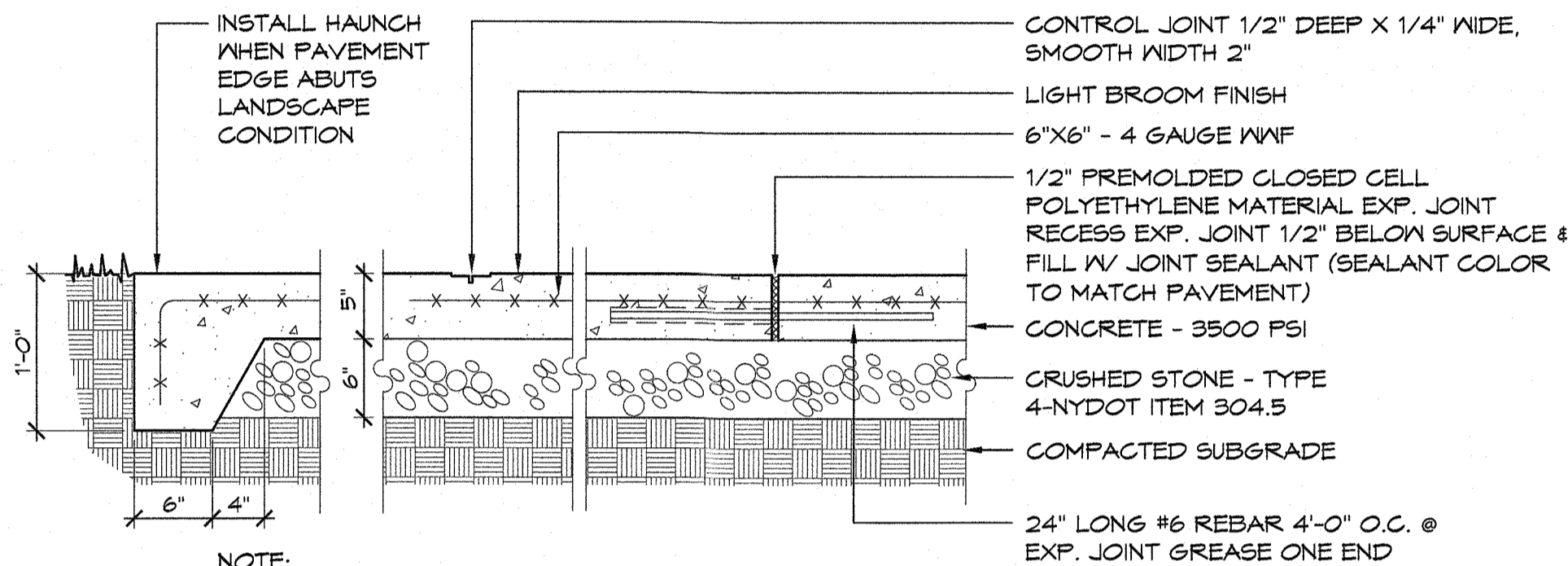
Scale	Job No.	Date	Drawing No.
AS SHOWN	N/A	09/25/2021	L-400
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 29 Perryridge road
 Greenwich, Connecticut 06830
 (203) 661-2723
 ctramutola@gmail.com



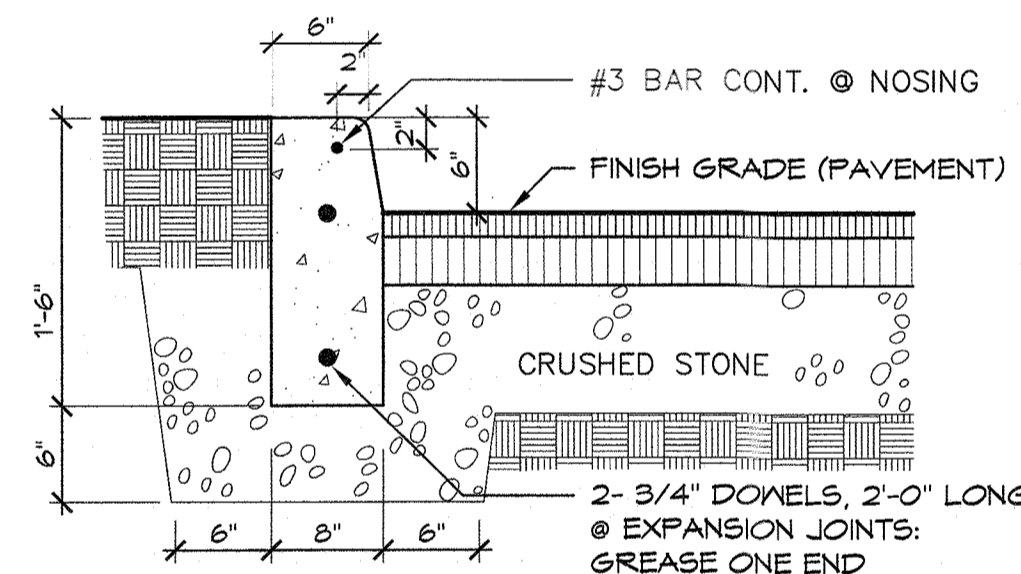
1 ASPHALT PAVEMENT (FULL DEPTH)

SCALE: 1" = 1'-0"



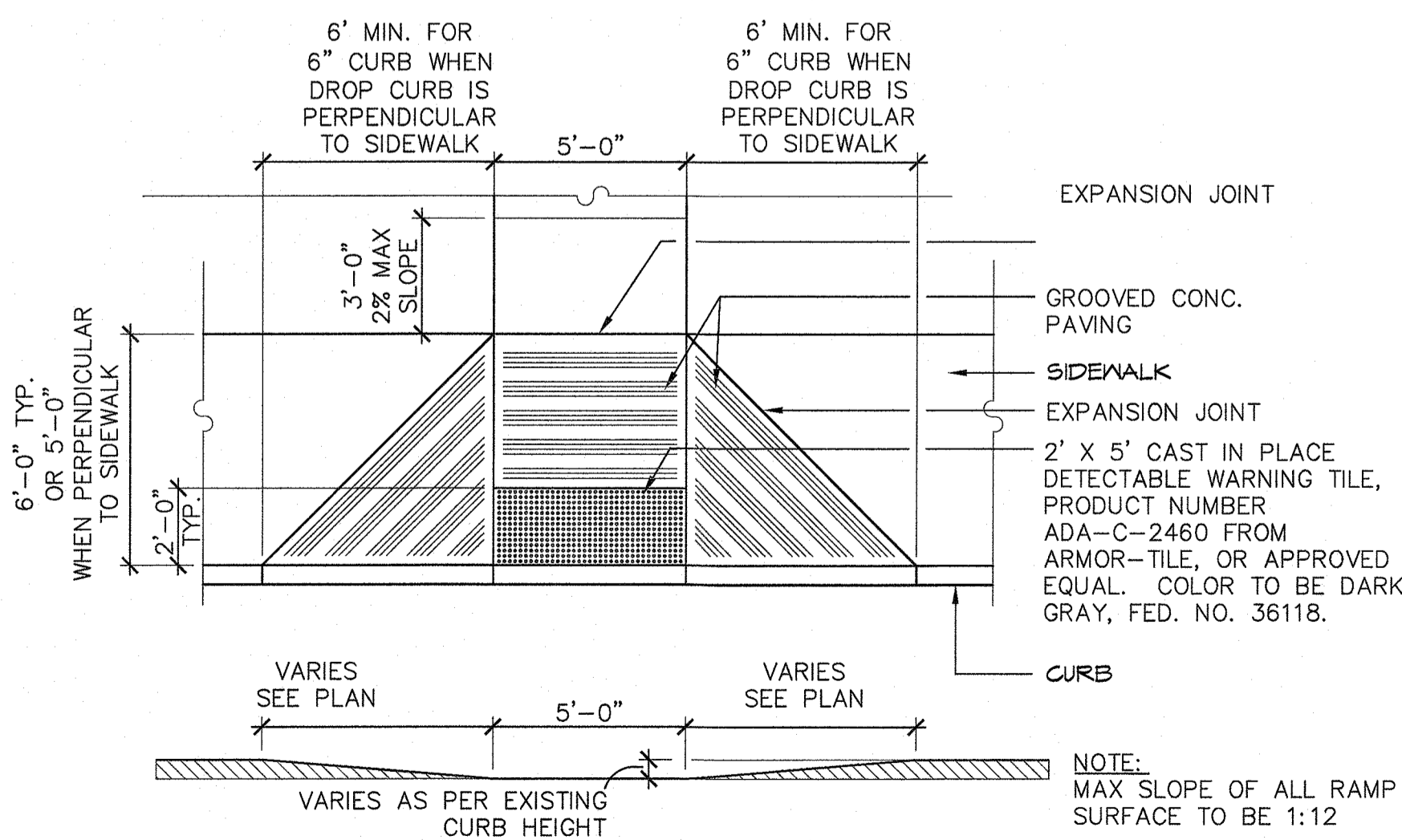
2 CONCRETE PAVING (PATH)

SCALE: 1" = 1'-0"



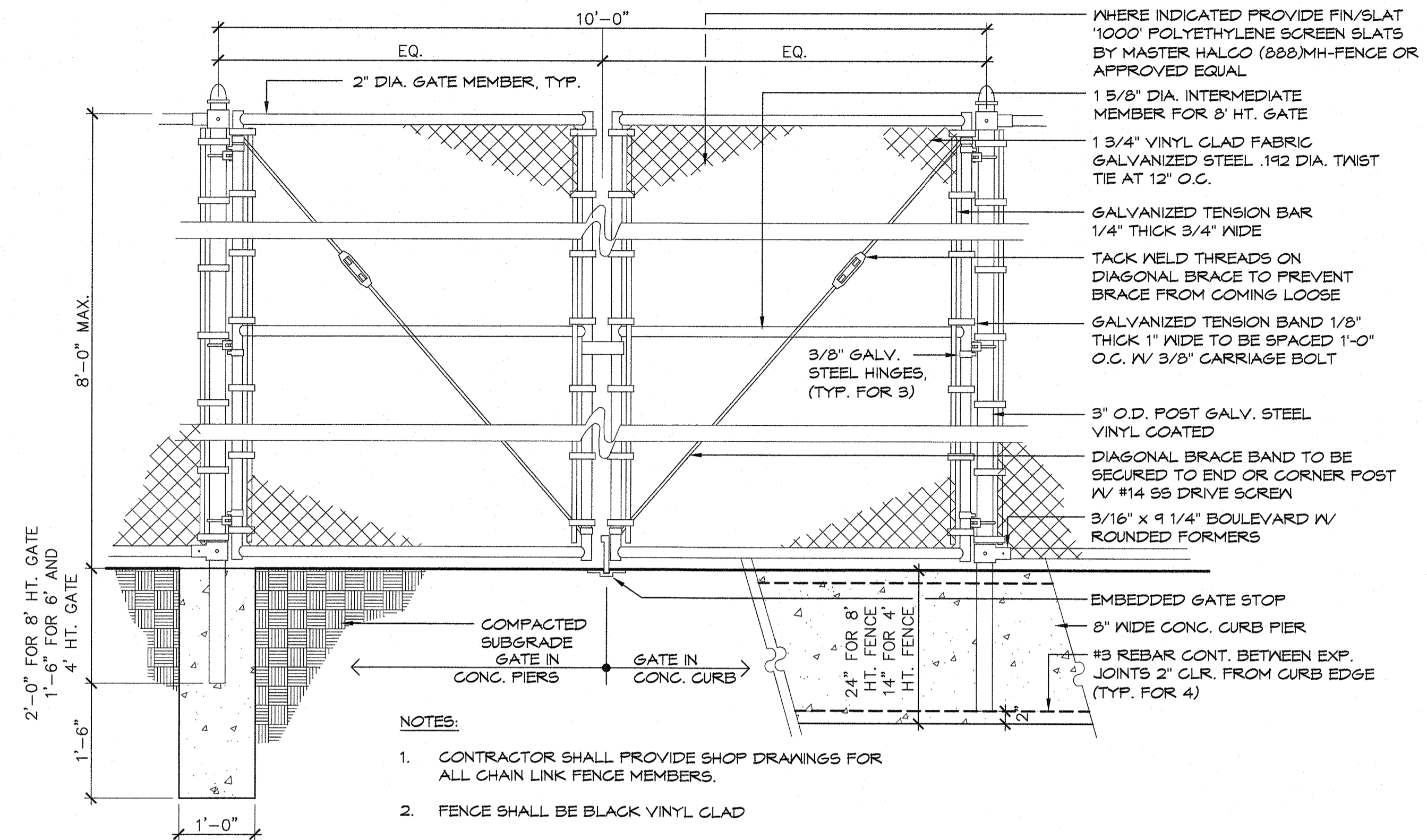
3 CONCRETE CURB

SCALE: 1" = 1'-0"



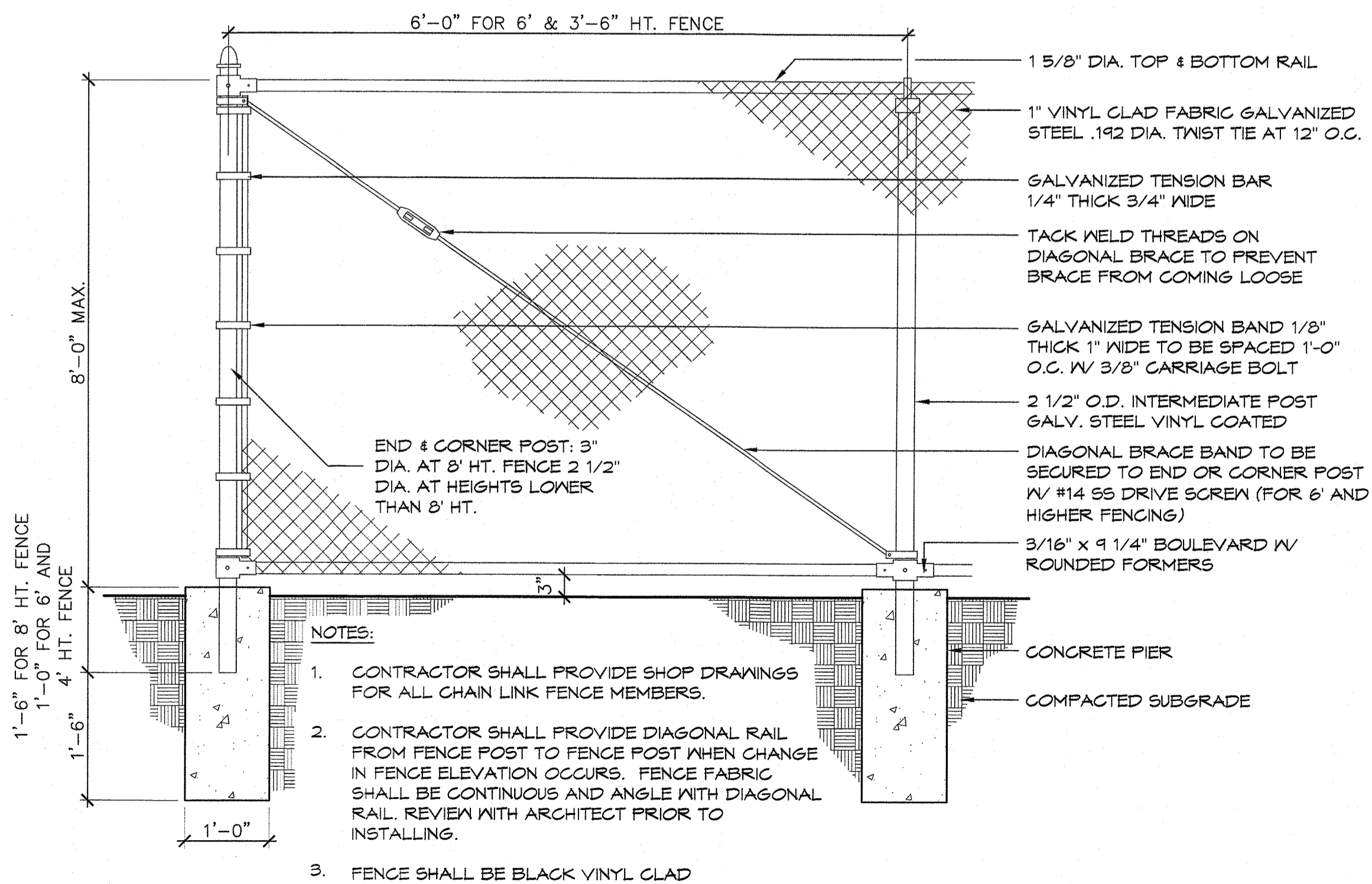
4 DROP-CURB (PEDESTRIAN ADA)

SCALE: 1/4" = 1'-0"



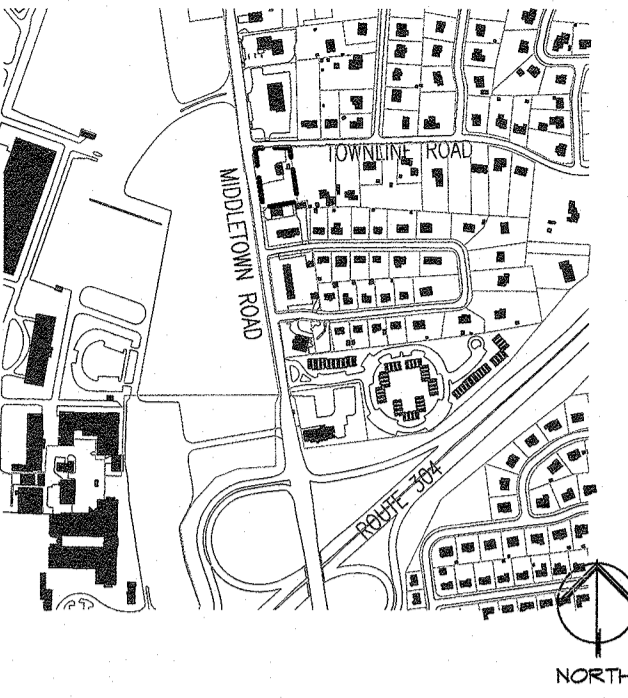
5 SOD DETAIL

SCALE: 3/4" = 1'-0"



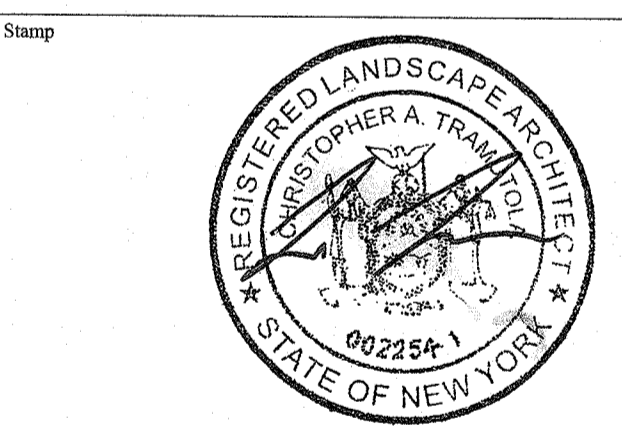
6 SOD DETAIL

SCALE: 3/4" = 1'-0"



Key Plan Not to Scale

No.	Date	Revision/Submission
1.	11/01/2021	Planning Board Submission



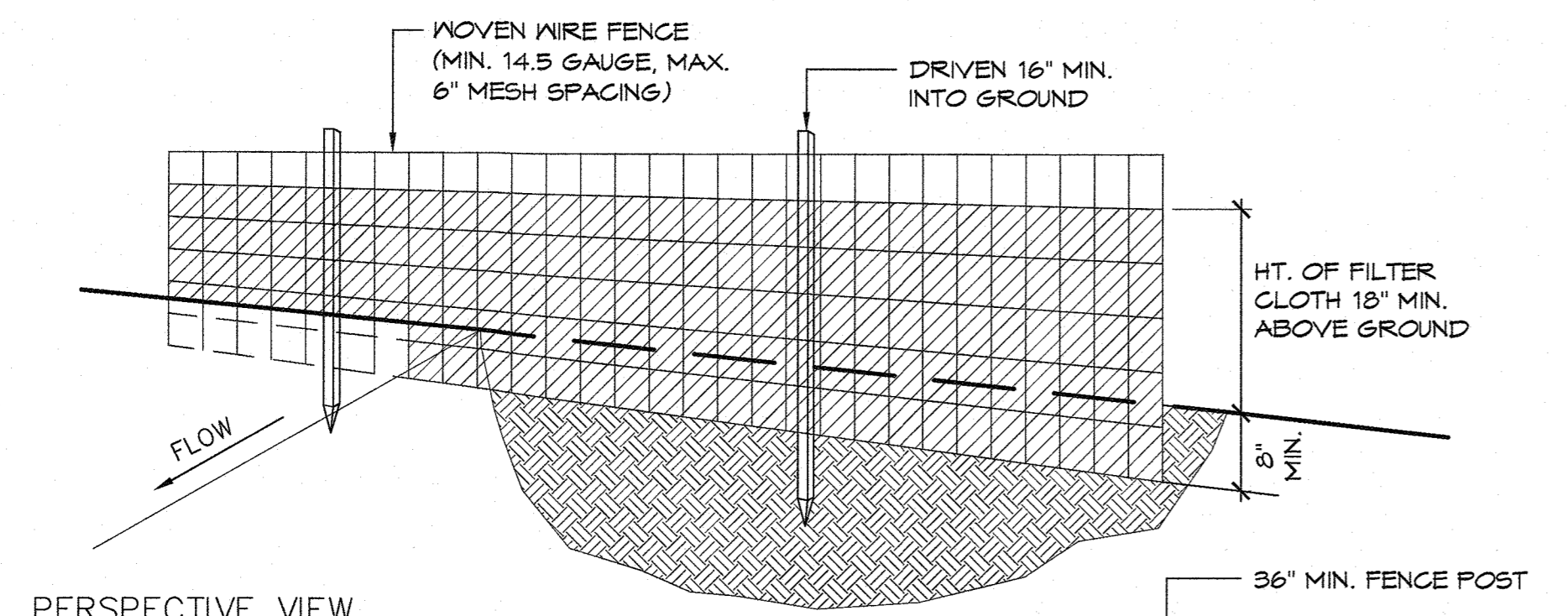
Project Title
**500 MIDDLETOWN ROAD
 SITE RENOVATION**

500 MIDDLETOWN ROAD
 PEARL RIVER, NY 10965

SITE DETAILS

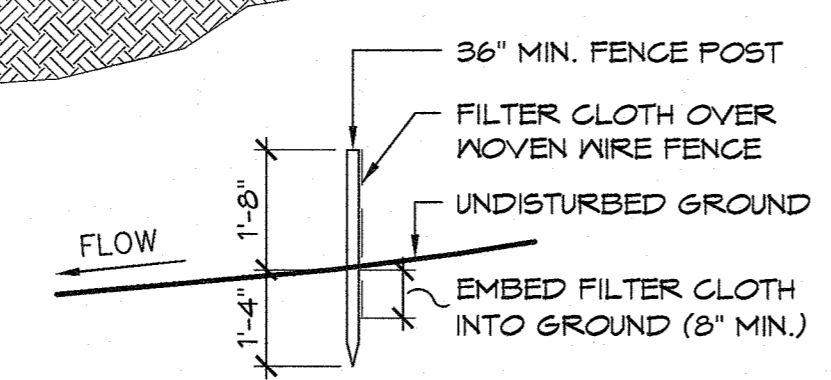
Scale	Job No.	Date	Drawing No.
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INSTALLATION NOTES

1. WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POST W/ WIRE TIES OR STAPLES.
2. FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE W/ TIES SPACED EVERY 24" AT TOP AND MID SECTION.
3. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER, THEY SHALL BE OVERLAPPED BY 6" AND FOLDED.
4. MAINTANANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.



POSTS: STEEL, EITHER T OR U TYPE, OR 2" HARDWOOD.

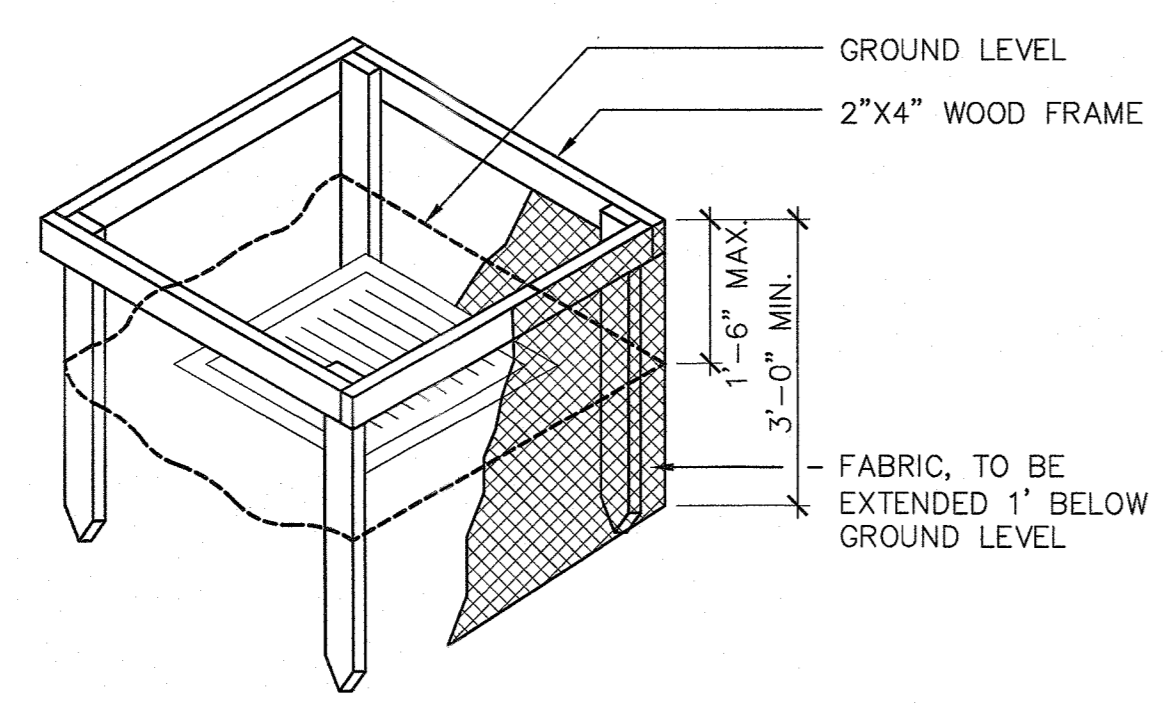
FENCE: WOVEN WIRE, 14.5 GAUGE 6" MAX. MESH OPENING.

FILTER CLOTH: FILTER X, MIRAFI 100X, STABLINKA T1400N OR APPROVED EQUAL.

FABRICATED UNIT: GEOFAB, ENVIROFENCE OR APPROVED EQUAL.

1 EROSION CONTROL FENCING

SCALE: 3/8" = 1'-0"

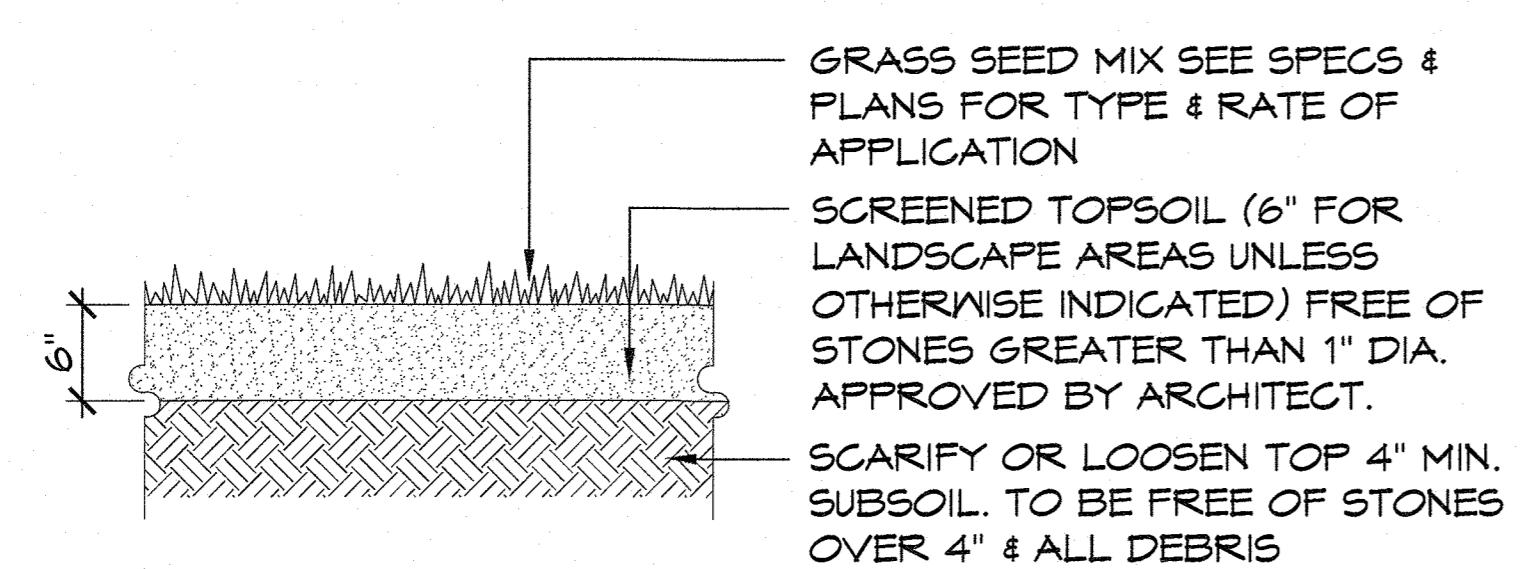


CONSTRUCTION SPECIFICATIONS

1. FILTER FABRIC TO HAVE ANEOS OF 40-85. BURLAP MAY BE USED FOR SHORT TERM APPLICATIONS.
2. CUT FABRIC FROM A CONTINUOUS ROLL TO ELIMINATE JOINTS. IF JOINTS ARE NEEDED THEY WILL BE OVERLAPPED TO THE NEXT STAKE.
3. STAKE MATERIALS SHALL BE STANDARD 2"x4" WOOD OR EQUIVALENT METAL WITH A MINIMUM LENGTH OF 3 FEET.
4. SPACE STAKES EVENLY AROUND INLET 3 FEET APART AND DRIVE A MINIMUM 18 INCHES DEEP. SPANS GREATER THAN 3 FEET MAY BE BRIDGED WITH THE USE OF WIRE MESH BEHIND THE FILTER FABRIC FOR SUPPORT.
5. FABRIC WILL BE EMBEDDED 1 FOOT MINIMUM BELOW GROUND AND BACKFILLED. IT SHALL BE SECURELY FASTENED TO THE STAKES AND FRAME.
6. A 2"x4" WOOD FRAME SHALL BE COMPLETED AROUND THE CREST OF THE FABRIC FOR OVERFLOW STABILITY.

2 DRAIN INLET PROTECTION

SCALE: 1/2" = 1'-0"

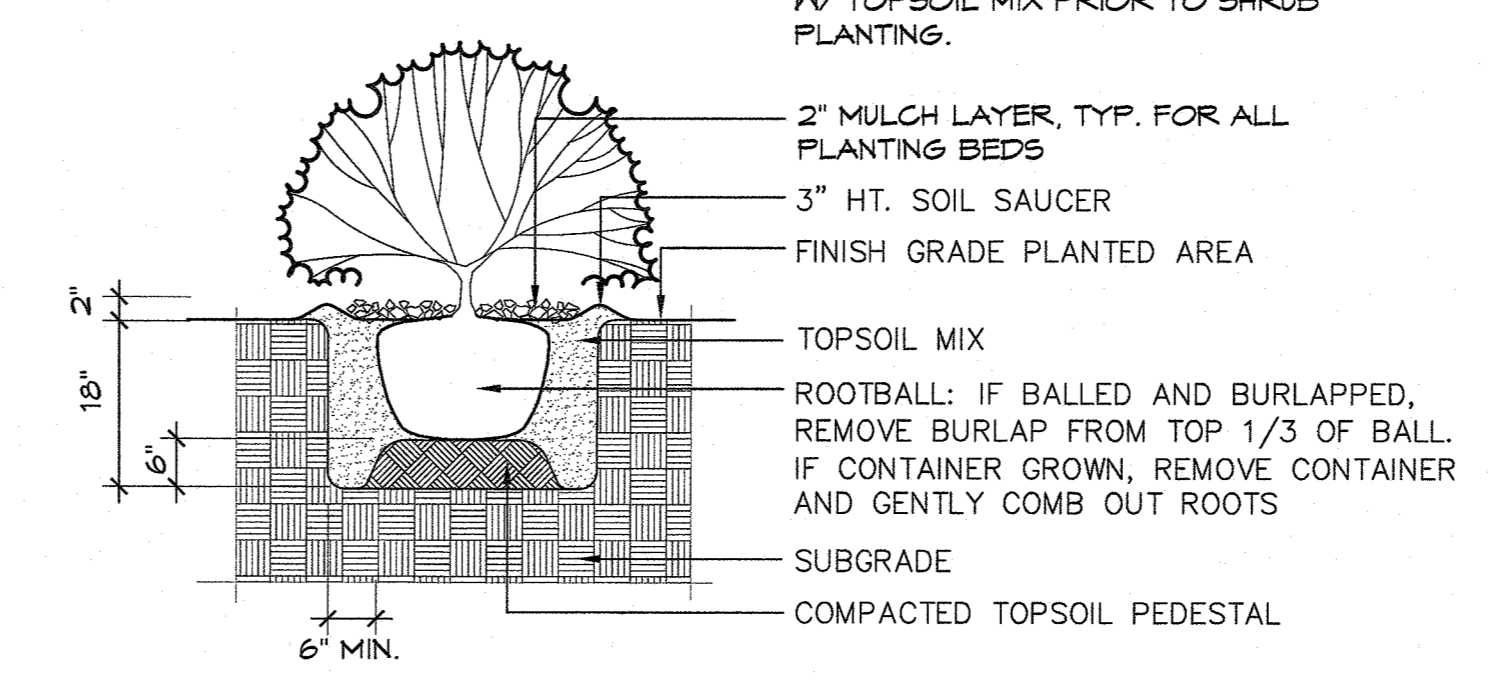


3 SEEDING

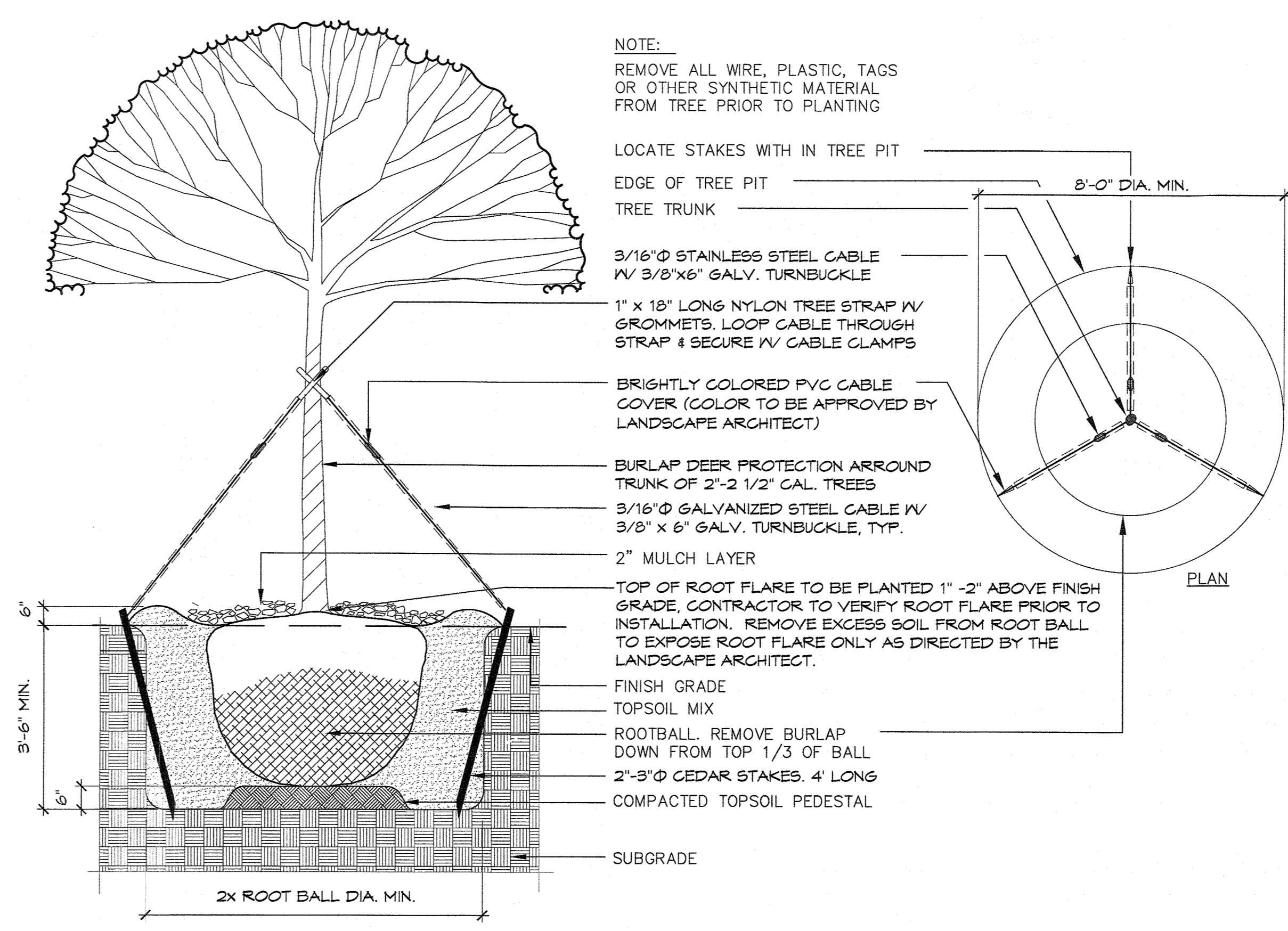
SCALE: 3/4" = 1'-0"

4 SHRUB PLANTING

SCALE: 1/2" = 1'-0"

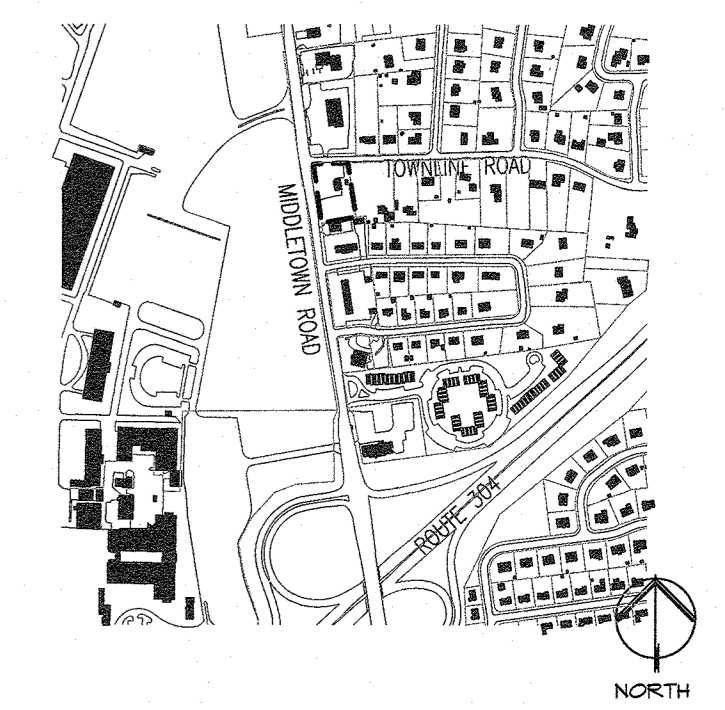


- NOTES:**
1. REMOVE ALL WIRE, PLASTIC, TAGS OR OTHER SYNTHETIC MATERIAL FROM SHRUB PRIOR TO PLANTING.
 2. CONTINUOUS BEDS SHALL BE PREPARED W/ TOPSOIL MIX PRIOR TO SHRUB PLANTING.

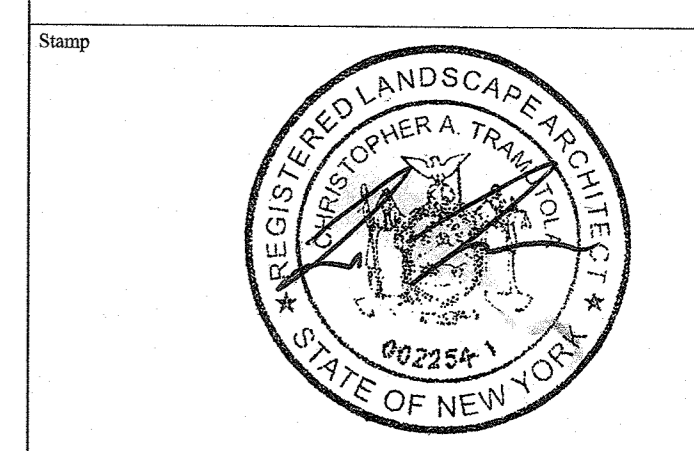


5 TREE PLANTING

SCALE: 3/8" = 1'-0"



1.	11/01/2021	Planning Board Submission
No.	Date	Revision/Submission



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SITE DETAILS

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