

PROPOSED SINGLE FAMILY RENOVATION

59 TWEED BLVD - ORANGETOWN, NEW YORK

HAMLET OF UPPER GRANVIEW IN VILLAGE OF ORANGETOWN SECTION 71.13 | BLOCK 1 | LOT 20

Ike Kligerman Barkley
 330 West Forty-Second Street
 New York, NY 10036
 212 268 0128

SYMBOL LEGEND	
	DRAWING TITLE TAG
	DETAIL DRAWING CALL-OUT
	CENTER LINE
	INTERIOR ELEVATION TAG
	SECTION TAG
	ELEVATION DRAWING CALL-OUT
	DOOR NUMBER TAG
	WINDOW NUMBER TAG
	FLOOR ELEVATION CHANGE
	GAS BIB & HOSE BIB
	ELEVATION CALLOUT
	ROOM TAG

TABLE R301.2(1) CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA									
TOWN/ COUNTY	GROUND SNOW LOAD	WIND SPEED	SEISMIC DESIGN CAT.	WEATHERING	FROST DEPTH	TERMITE DAMAGE	ICE BARRIER REQUIRED	FLOOD HAZARDS	AIR FREEZING INDEX
VILLAGE OF NYACK	25 PSF	105 MPH	C	SEVERE	42" B.F.G.	MODERATE TO HEAVY	YES	FIRM 9.28.07 A.E. +12	1500 OR LESS

FLOOR AREA CALCULATIONS		
COMPONENT	EXISTING	PROPOSED
PRINCIPAL DWELLING		
MAIN FLOOR	3,795 SF	4585 SF
UPPER FLOOR	2,373 SF	2,531 SF
TOTAL PRINCIPAL DWELLING	6,168 SF	7,116 SF
PROPOSED OFFICE PAVILION		471 SF
TOTAL FLOOR AREA	6,168 SF	7,587 SF
PROPOSED TOTAL FLOOR AREA 7,587 SF IS LESS THAN THE ALLOWABLE TOTAL FLOOR AREA 9581 SF		

ZONING INFORMATION	
COMPONENT	AREA
TAX MAP	TOWN OF ORANGETOWN
ZONING DISTRICT:	R-22
TOTAL LOT SIZE:	47,906 SF
FRONT YARD SETBACK:	40 FT
SIDE YARD SETBACKS (LESSER SIDE / 2 SIDES COMBINED)	25 FT / 60 FT
REAR YARD SETBACK	45 FT

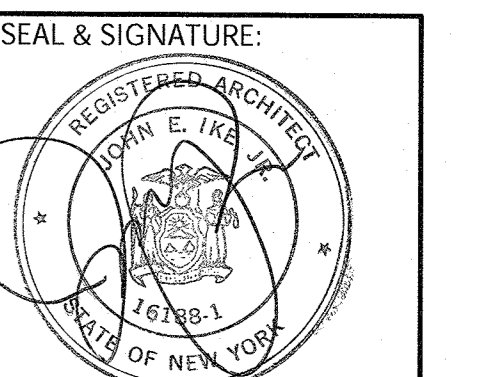
MATERIALS LEGEND	
	EARTH / SOIL
	GRAVEL / POROUS FILL
	CONCRETE
	BRICK MASONRY
	STONE
	C.M.U. BLOCKS
	METALS
	WOOD BLOCKING
	PLYWOOD
	FINISH CARPENTRY
	PLASTER/G.W.B./STUCCO
	BATT INSULATION
	SPRAY FOAM INSULATION
	GLASS

DRAWING LIST		
NUMBER	SCALE	DESCRIPTION
ARCHITECTURAL DRAWINGS		
---	-	COVER SHEET
T-100	NA	TITLE SHEET
D-100	3/32" = 1'-0"	SITE DEMOLITION PLAN
D-200	1/8" = 1'-0"	FIRST & SECOND FLOOR DEMOLITION PLANS
D-300	1/8" = 1'-0"	DEMOLITION ELEVATIONS
A-100	3/32" = 1'-0"	PROPOSED SITE PLAN
A-200	1/8" = 1'-0"	PROPOSED FOUNDATION PLANS
A-200A	1/4" = 1'-0"	PROPOSED ENLARGED FOUNDATION PLANS
A-201	1/8" = 1'-0"	PROPOSED 1ST AND 2ND FLOOR PLANS
A-201A	1/4" = 1'-0"	PROPOSED ENLARGED PH AND BAR PLANS
A-202	AS NOTED	ROOF PLANS
A-301	1/8" = 1'-0"	PROPOSED EXTERIOR ELEVATIONS
A-302	1/4" = 1'-0"	ENLARGED ELEVATIONS
A-303	1/4" = 1'-0"	ENLARGED ELEVATIONS
A-400	AS NOTED	POOL HOUSE SECTIONS
A-401	AS NOTED	POOL HOUSE SECTIONS
A-402	AS NOTED	BAR & KITCHENETTE SECTIONS
A-403	AS NOTED	SECTIONS THROUGH AWNING AT BAR & KITCHENETTE
A-404	1-1/2" = 1'-0"	TERRACE SECTIONS
A-405	1-1/2" = 1'-0"	RETAINING WALL SECTION
A-406	1-1/2" = 1'-0"	TERRACE STEPS SECTIONS
A-407	1-1/2" = 1'-0"	RETAINING WALL STEPS SECTION
A-408	1-1/2" = 1'-0"	RETAINING WALL STEPS SECTIONS
A-409	AS NOTED	OFFICE PAVILION SECTIONS
A-901	AS NOTED	DOOR & WINDOW SCHEDULES & ELEVATIONS

59 TWEED BLVD.

No.	REMARKS	DATE
1	ISSUED FOR BUILDING PERMIT	8.17.21
2		
3		

PROJECT:
RESIDENCE
 59 TWEED BOULEVARD
 ORANGETOWN, NY 10960



TITLE SHEET

DATE: 01.08.2021
 PROJECT No.: 20017
 DRAWING BY: MD
 CHK BY:
 DWG No.:

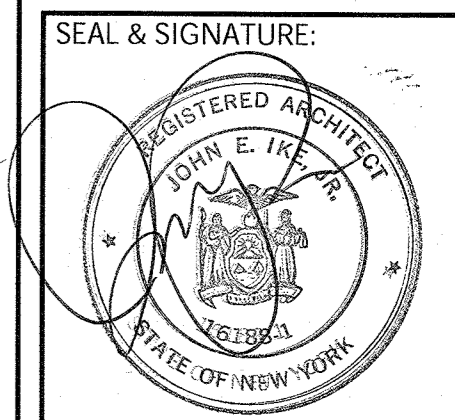
T-100

GENERAL NOTES:	CONSTRUCTION NOTES:	APPLICABLE BUILDING CODES	ELECTRICAL NOTES:
<ol style="list-style-type: none"> ALL WORK SHALL COMPLY WITH ALL LOCAL BUILDING CODES, LAWS, ORDINANCES, RULES AND REGULATIONS OF THE PUBLIC AUTHORITIES GOVERNING THE WORK. REVIEW DOCUMENTS, VERIFY DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT WORK IS BUILDABLE AS SHOWN. THE CONTRACTOR SHALL REPORT ANY CONFLICTS AND/OR OMISSIONS TO THE ARCHITECT PRIOR TO PERFORMING ANY WORK IN QUESTION. OTHERWISE, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS TO COMPLETE THE WORK STATED IN ON THE CONTRACT DOCUMENTS BASED UPON THE OPTIMAL ESTABLISHED QUALITY STANDARD. SUBMIT REQUESTS FOR SUBSTITUTIONS, REVISIONS, AND/OR CHANGES TO THE ARCHITECT, IN WRITING, FOR REVIEW PRIOR TO PURCHASE, FABRICATION OR INSTALLATION. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, THE CONTRACTOR SHALL SUBMIT A WRITTEN REQUEST FOR CLARIFICATION OR INFORMATION TO THE ARCHITECT. CONTRACTOR SHALL PROVIDE ALL SHORING, BRACING, BARRICADES, TEMPORARY FENCES, PARTITIONS, AND EXCAVATIONS, ETC., TO ACCOMPLISH ALL OF THE WORK IN AN APPROVED MANNER. ALL MATERIALS, ASSEMBLIES, FORMS AND METHODS OF CONSTRUCTION AND SERVICE EQUIPMENT SHALL BE ACCEPTABLE ACCORDING TO CURRENT CODES AT TIME OF INSTALLATION AND HAVE BEEN ACCEPTED FOR USE UNDER THE PRESCRIBED CODE TEST METHODS. EACH BEDROOM TO HAVE A MINIMUM WINDOW OPENING OF 5.7 SQ. FT. WITH A MINIMUM WIDTH OF 20" AND A SILL LESS THAN 44" OFF THE FLOOR WITH A MINIMUM CLEAR OPENING HEIGHT OF 24". THIS PROJECT IS LOCATED IN A 120 MILE PER HOUR WIND ZONE. ALL CONSTRUCTION MUST CONFORM TO HIGH WIND RESISTANCE CODES. WINDOWS AND DOORS MUST MEET WIND BORN DEBRIS REQUIREMENTS. 	<ol style="list-style-type: none"> ALL DIMS AND ELEVATIONS ARE TO BE USED FOR GENERAL INFORMATION ONLY. CONTRACTORS TO VERIFY CONDITIONS AT SPECIFIC LOCATIONS AS REQUIRED TO CONFIRM AND PERFORM ALL WORK AS SPECIFIED. MAINTAIN DIMENSIONS MARKED "CLEAR" OR "HOLD," ALLOW FOR THICKNESS OF FINISHES. DO NOT SCALE DRAWINGS. FOLLOW WRITTEN DIMENSIONS. THE WRITTEN DIMENSIONS HAVE PRECEDENCE OVER SCALE. THE CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS PRIOR TO THE COMMENCEMENT OF WORK & PRIOR TO ORDERING ANY PRODUCT OR PROPRIETARY SYSTEM. DETAILS, DIMENSIONS AND CONDITIONS ON SMALLER SCALE DRAWINGS ARE PRECEDED BY THOSE IN LARGER SCALE DRAWINGS. CONTRACTOR SHALL NOTIFY THE OWNER OF ANY EXISTING CONDITIONS REQUIRING MODIFICATION PRIOR TO THE BEGINNING OF ANY WORK. IN CASE OF OMISSIONS, OR DISCREPANCIES IN THESE DOCUMENTS, CONSULT WITH THE ARCHITECT PRIOR TO ORDERING ANY PRODUCT, MATERIAL, OR PROPRIETARY SYSTEMS, OR PRIOR TO PROCEEDING WITH SHOP DRAWINGS OR ANY OTHER WORK. DETAILS NOT SHOWN ARE SIMILAR IN CHARACTER THAN THOSE SHOWN WHERE SPECIFIC DIMENSIONS, DETAILS OR DESIGN INTENT CANNOT BE DETERMINED. CONSULT WITH THE ARCHITECT BEFORE PROCEEDING WITH WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURATE PLACEMENT OF THE ADDITION ON THE SITE. DISCOVERY OF ANY HAZARDOUS MATERIALS ON SITE SHALL BE CONTAINED OR REMOVED AS REQUIRED BY PROPER AUTHORITIES. PROVIDE TEMPORARY GUARD RAILS, STAIRS AND PROTECTION AND MAINTAIN SAFE WORKING CONDITIONS AS REQUIRED. ALL DRAWINGS TO BE SUBMITTED TO THE VILLAGE OF SLEEPY HOLLOW BUILDING DEPARTMENT FOR APPROVAL PRIOR TO COMMENCING WORK. ANY DETAILS, SYSTEMS, MATERIALS (ARCH., MEP, STRUCT., ETC.) PROPOSED TO BE CHANGED MUST FIRST BE REVIEWED BY THE ARCHITECT, OWNER & OWNER'S REPRESENTATIVE PRIOR TO THE PREPARATION OF SHOP DRAWINGS. PROVIDE ALL MISC. STEEL & METAL FABRICATIONS, REQUIRED BRACING, STIFFENERS, BACKING PLATES, BRACKETS, ETC. AS SPECIFIED HEREIN, IN THE SPECIFICATIONS, OR AS NEEDED FOR THE PROPER FABRICATION, ERECTION, INSTALLATION, OR CONSTRUCTION OF THIS PROJECT. SCOPE TO INCLUDE, BUT SHALL NOT BE LIMITED TO PARTITIONS, SUSPENDED SOFFITS & CEILINGS, AS WELL AS WALL MOUNTED OR SUSPENDED MECHANICAL, ELECTRICAL, FIRE PROTECTION, A/V, SECURITY, ETC. CONTRACTOR TO VERIFY SCOPE. PROVIDE ADEQUATE WATERPROOFING AS SPECIFIED HEREIN, IN THE SPECIFICATIONS, OR AS REQUIRED FOR THE PROPER INSTALLATION, CONSTRUCTION OF THIS PROJECT. CONTRACTOR SHALL COORD. ALL EQUIP. BASE & HOUSEKEEPING PADS WITH MEP CONTRACTORS. INSTALL PADS BENEATH THE PROJECTED AREA OF EQUIP. PROVIDE ACCESS PANELS AS REQUIRED BY APPLICABLE CODES & AS REQUIRED FOR MECHANICAL EQUIPMENT. ALL ACCESS PANELS SHALL BE CONCEALED AND ALL LOCATIONS SHALL BE REVIEWED BY THE ARCHITECT PRIOR TO PROCEEDING W/ WORK. ALL EXTERIOR JOINTS AROUND WINDOWS, DOORS, ETC. TO BE LEAKAGE/AIR INFILTRATION FREE. COORDINATE AND PROVIDE BLOCKING WITHIN PARTITIONS FOR ALL MILLWORK AND ITEMS ATTACHED OR MOUNTED TO WALLS OR CEILINGS. PATCH AND REPAIR ALL EXISTING WALLS, COLUMNS AND SURFACES SCHEDULED TO REMAIN AS REQUIRED TO LEAVE THEM SMOOTH AND EVEN TO RECEIVE NEW SCHEDULED FINISHES. 	<p>THE FOLLOWING BUILDING CODES SHALL BE IN EFFECT FOR ALL COMPONENTS OF THE WORK:</p> <ul style="list-style-type: none"> NEW YORK STATE RESIDENTIAL CODE 2015 NEW YORK STATE BUILDING CODE 2015 NEW YORK STATE ENERGY CONSERVATION CONSTRUCTION CODE 2014 NEW YORK STATE PLUMBING CODE 2015 NEW YORK STATE ELECTRICAL CODE 2015 VILLAGE OF NYACK LOCAL CODES ALONG WITH ANY OTHER APPLICABLE LOCAL AND STATE LAWS AND REGULATIONS 	<ol style="list-style-type: none"> COORDINATE INSTALLATION OF TELECOMMUNICATIONS, DATA, AUDIO-VISUAL AND SECURITY SYSTEMS. VERIFY EQUIPMENT SPECIFICATIONS, POWER AND INSTALLATION REQUIREMENTS WITH MANUFACTURER TO ENSURE PROPER FIT AND FUNCTION. MOUNT STANDARD WALL OUTLETS, THERMOSTATS AND OTHER DEVICES AS INDICATED ON THE STANDARD MOUNTING HEIGHT ELEVATIONS, UNLESS OTHERWISE NOTED. ALL LOCATIONS TO BE CONFIRMED BY THE ARCHITECT IN THE FIELD PRIOR TO INSTALLATION. INSTALL OUTLETS ON OPPOSITE SIDES OF PARTITIONS IN SEPARATE STUD CAVITIES, UNLESS OTHERWISE NOTED. DO NOT INSTALL BACK-TO-BACK. PROVIDE ALL DEVICES UNDER A COMMON FACEPLATE, UNLESS OTHERWISE NOTED. ARCHITECTURAL DRAWINGS ONLY INDICATE DEVICE LOCATIONS FOR ELECTRICAL, TELECOMMUNICATION, AUDIO-VISUAL AND SECURITY DEVICES. ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL EXISTING CONDITIONS, FOR COMPLYING WITH ALL APPLICABLE CODES, FOR PROPER SIZING AND CIRCUITING OF WORK AND FOR PROVIDING RECORD "AS-BUILT" DRAWINGS. SMOKE DETECTORS AND CARBON MONOXIDE DETECTORS MAY BE COMBINED PROVIDING THE DEVICES COMPLY WITH THE PROVISIONS OF TITLE OF THE ADMINISTRATIVE CODE OF NEW YORK STATE AND ANY APPLICABLE RULES PROMULGATED THEREUNDER. EACH SMOKE/ CARBON MONOXIDE DETECTOR SHALL BE INSTALLED OUTSIDE OF EACH SLEEPING ROOM IN THE IMMEDIATE VICINITY OR WITHIN 10'-0" OF THE ENTRANCE TO A SLEEPING ROOM. EACH SMOKE/ CARBON MONOXIDE DETECTOR SHALL BE OF A TYPE THAT ALLOWS FOR READILY TESTING OF SUCH DEVICE. CEILING MOUNTED DEVICES SHALL BE A MINIMUM DISTANCE OF 4" FROM ANY WALL. WALL MOUNTED DEVICES SHALL BE A MINIMUM OF 4" TO A MAXIMUM OF 12" FROM THE CEILING. WRITTEN INFORMATION OF TESTING AND MAINTENANCE OF THE DEVICES SHALL BE PROVIDED TO THE DWELLING OWNER. ALL EXTERIOR LIGHTING TO BE FULLY SHIELDED AS DESIGNED AND INSTALLED AND OPERATED TO PREVENT LIGHT POLLUTION. ALL EXTERIOR LIGHTING SHALL BE CONSTRUCTED, LAMPED, AND INSTALLED IN SUCH A MANNER THAT ALL LIGHT EMITTED, EITHER DIRECTED FROM THE LAMP OR A DIFFUSING ELEMENT OR INDIRECTLY BY REFLECTION OR REFRACTION FROM ANY PART OF THE FIXTURE, IS PROTECTED BELOW THE LIGHT SOURCE.
		<p>ENERGY COMPLIANCE STATEMENT</p> <p>"TO THE BEST OF MY KNOWLEDGE, BELIEF AND PROFESSIONAL JUDGMENT, THIS APPLICATION IS IN COMPLIANCE WITH THE NYSECC."</p> <p>-JOHN E. IKE, R.A.</p>	

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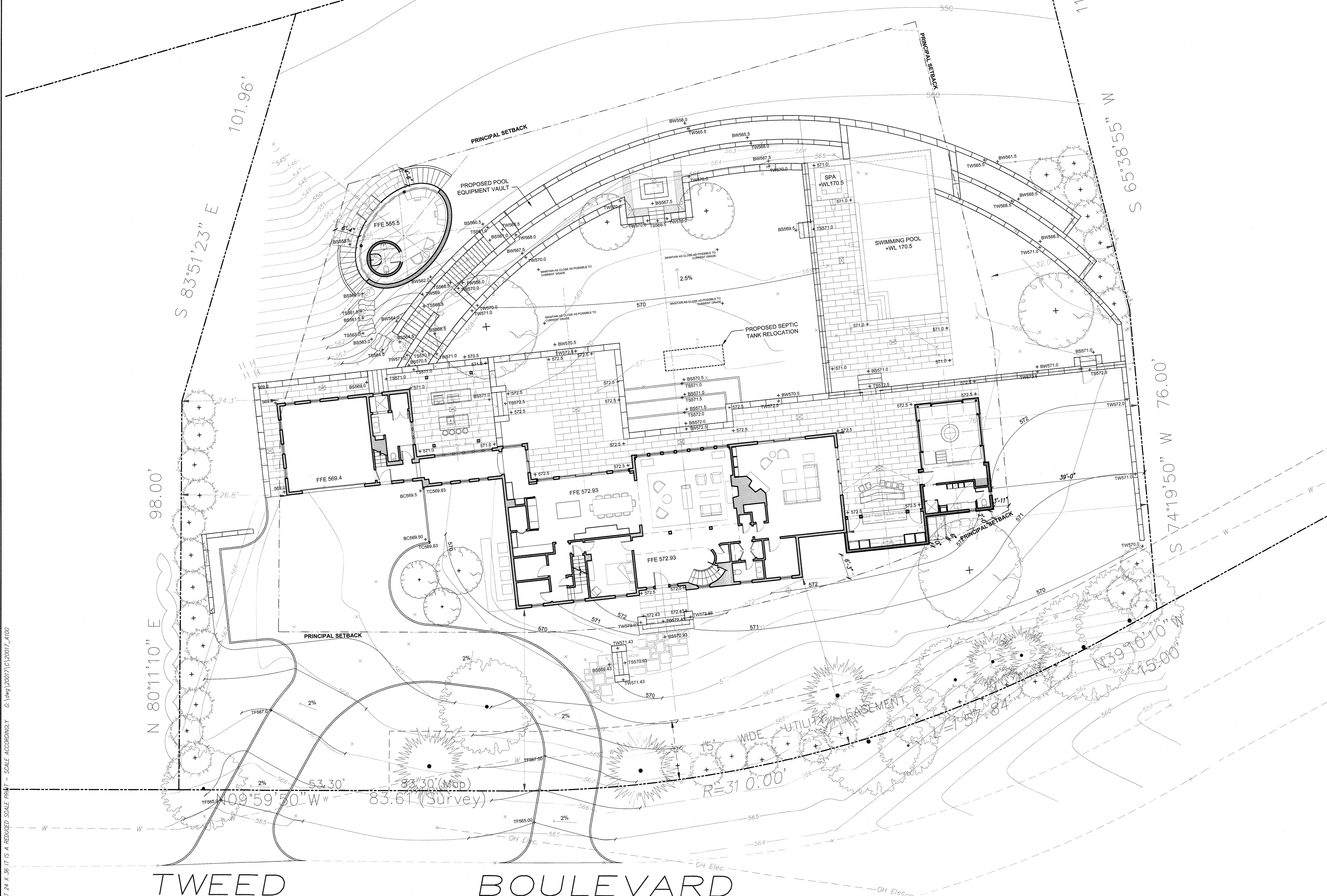
PROJECT:
RESIDENCE
59 TWEED BOULEVARD
ORANGEBURG, NY 10960



PROPOSED
SITE
PLAN

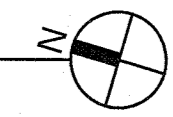
DATE: 01.08.2021
PROJECT No.: 20017
DRAWING BY: MD
CHK BY:
DWG No.:

A-100

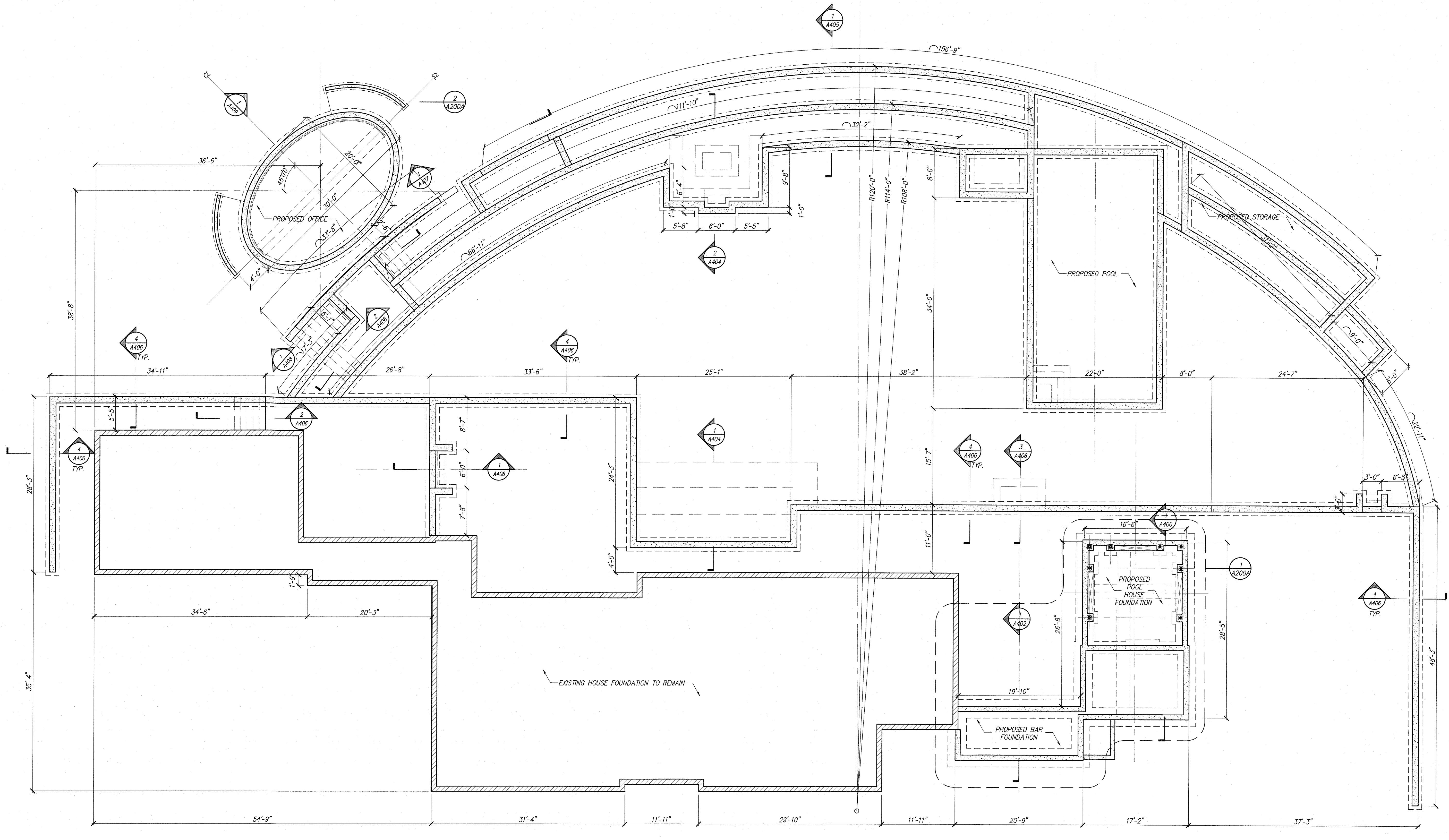


IF THIS SHEET IS NOT 24 X 36 IT IS A REDUCED SCALE PRINT - SCALE ACCORDINGLY - G:\img\2007\1\2007-A100

1 PROPOSED SITE PLAN
A100 SCALE: 3/32" = 1'-0"



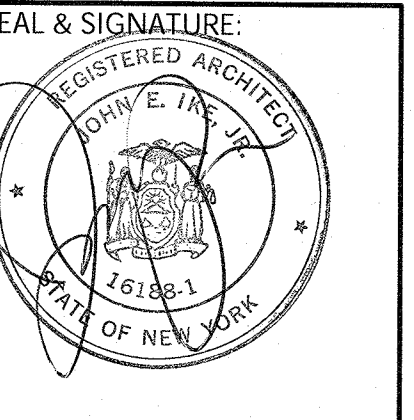
SEE DRAWINGS FO-100, FO-101 & FO-200
S-100, S-101, S-200 & S201



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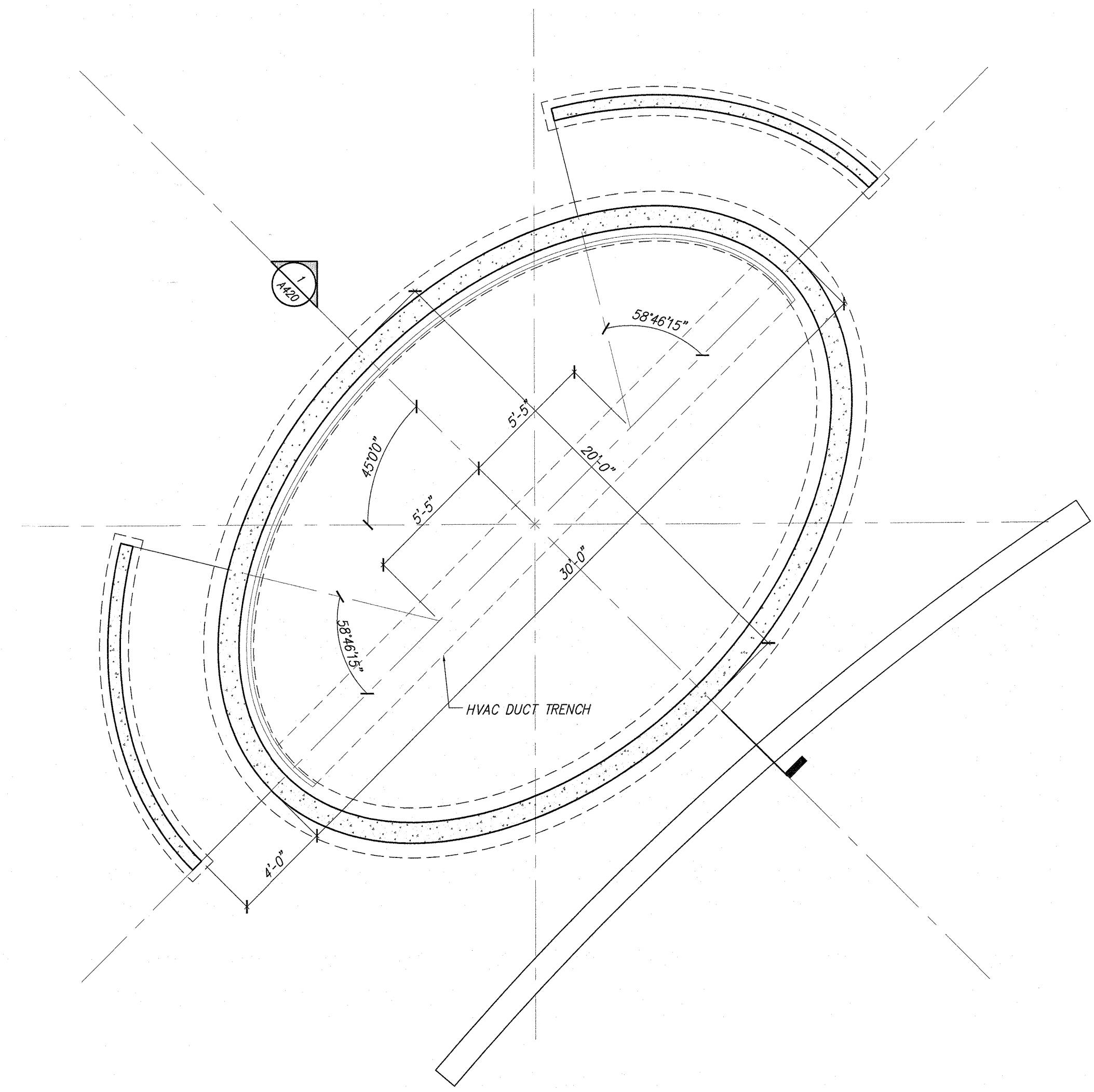
PROPOSED
FOUNDATION
PLANS

DATE:	01.08.2021
PROJECT No.:	20017
DRAWING BY:	MD
CHK BY:	
DWG No.:	A-200

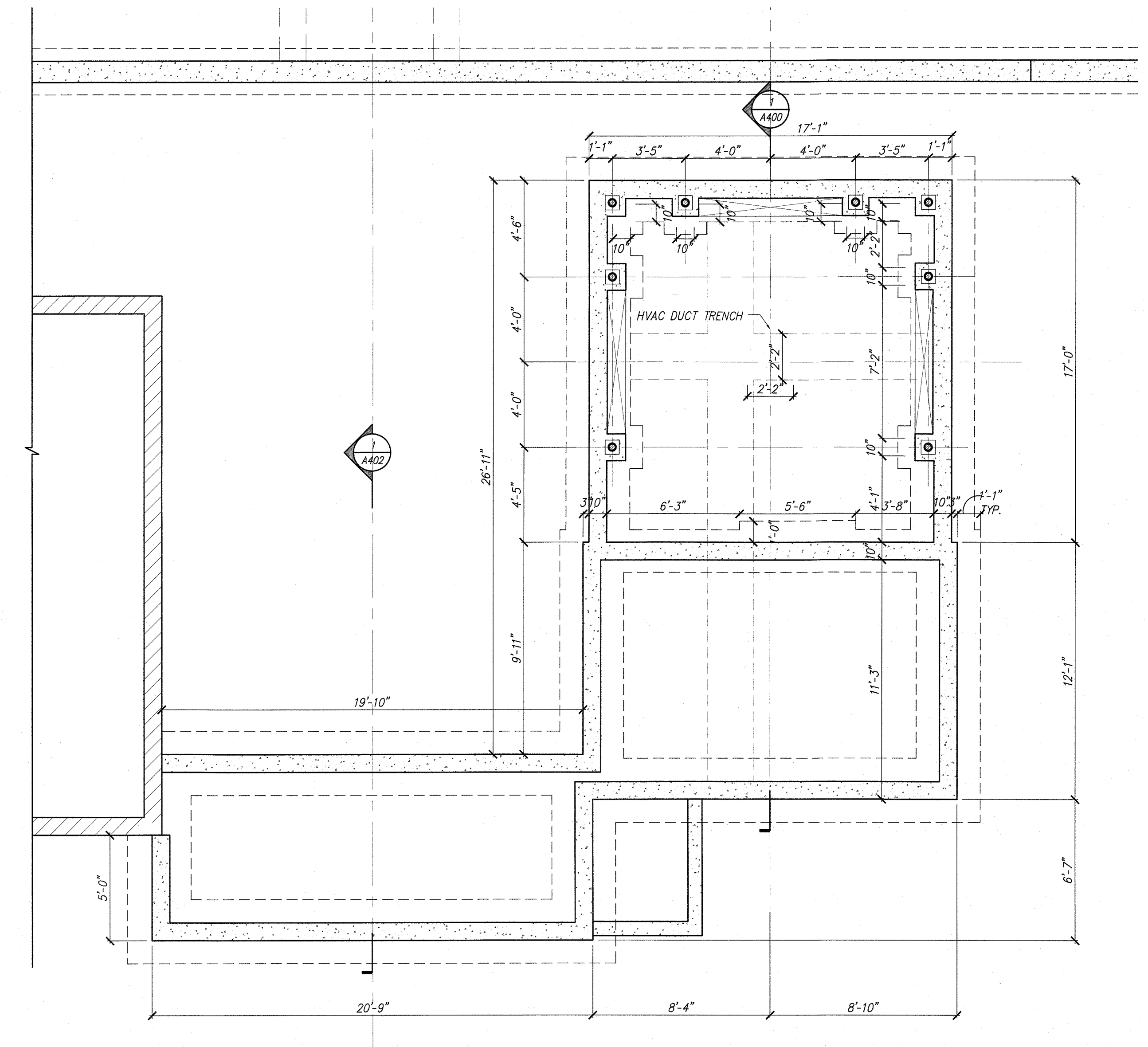
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1 PROPOSED FOUNDATION PLAN
SCALE: 1/8" = 1'-0"

SEE DRAWINGS FO-100, FO-101 & FO-200
 S-100, S-101, S-200 & S201



2 ENLARGED PLAN - FUTURE OFFICE PAVILION FOUNDATION
 A200A SCALE: 1/4" = 1'-0"

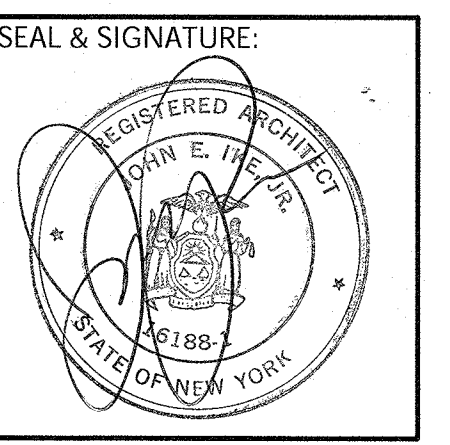


1 ENLARGED PLAN - POOL HOUSE + BAR FOUNDATION
 A200A SCALE: 1/4" = 1'-0"

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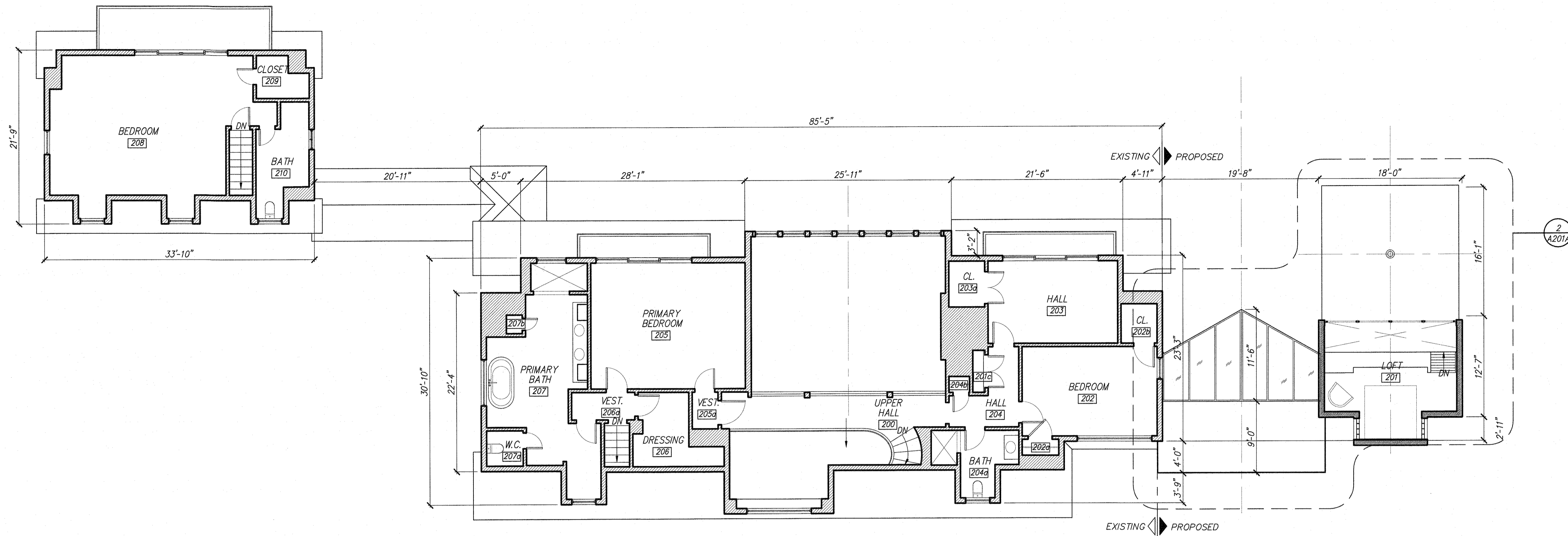
PROPOSED ENLARGED FOUNDATION

DATE: 01.08.2021
 PROJECT No.: 20017
 DRAWING BY: MD
 CHK BY:
 DWG No.:

A-200A

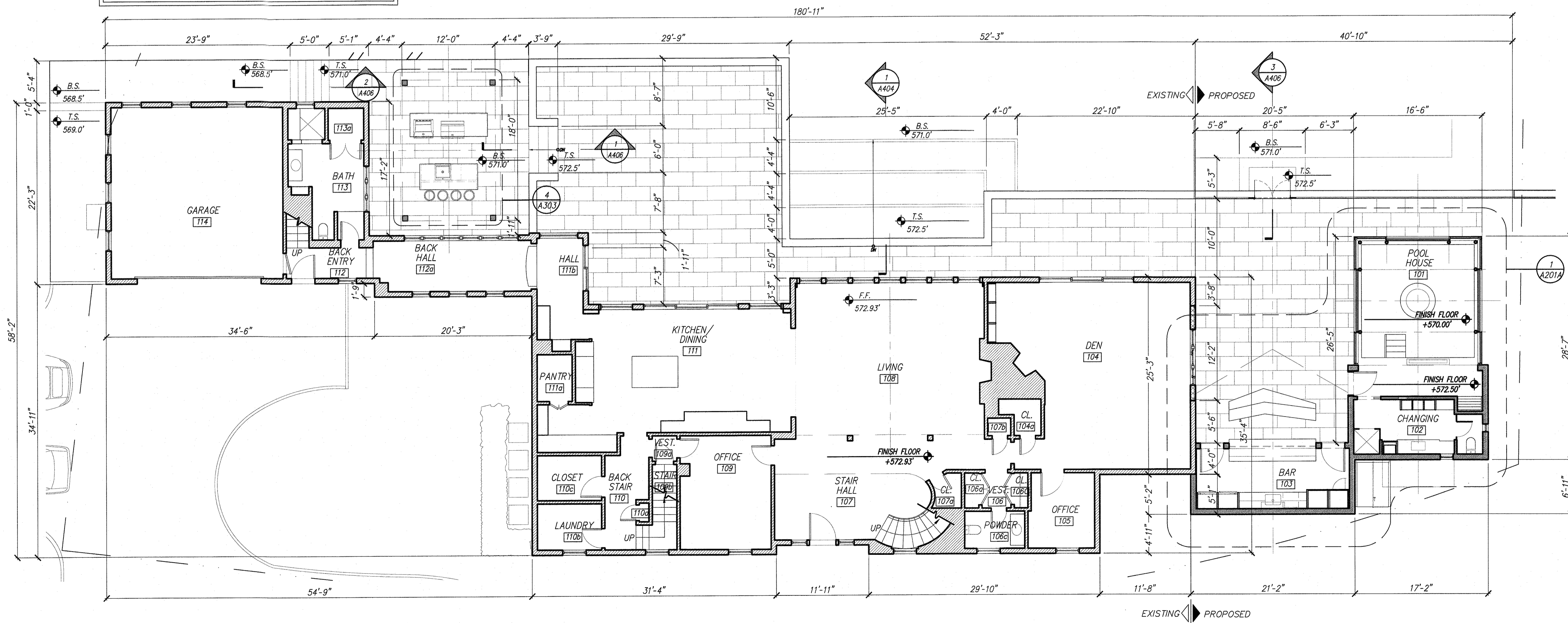
IF THIS SHEET IS NOT 24 X 36 IT IS A REDUCED SCALE PRINT - SCALE ACCORDINGLY G:\dwg\20017\C\20017_A200

VERIFY ALL DIMENSIONS IN FIELD



2 PROPOSED SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"

SEE DRAWING A-201A FOR OFFICE PAVILION PLAN



1 PROPOSED FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"

LEGEND

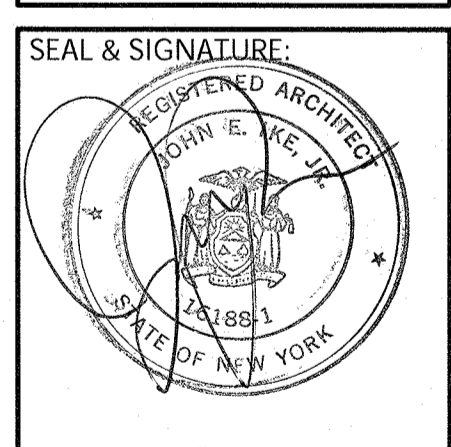
	EXISTING TO REMAIN
	NEW

Ike Kligerman Barkley
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212 268 0128

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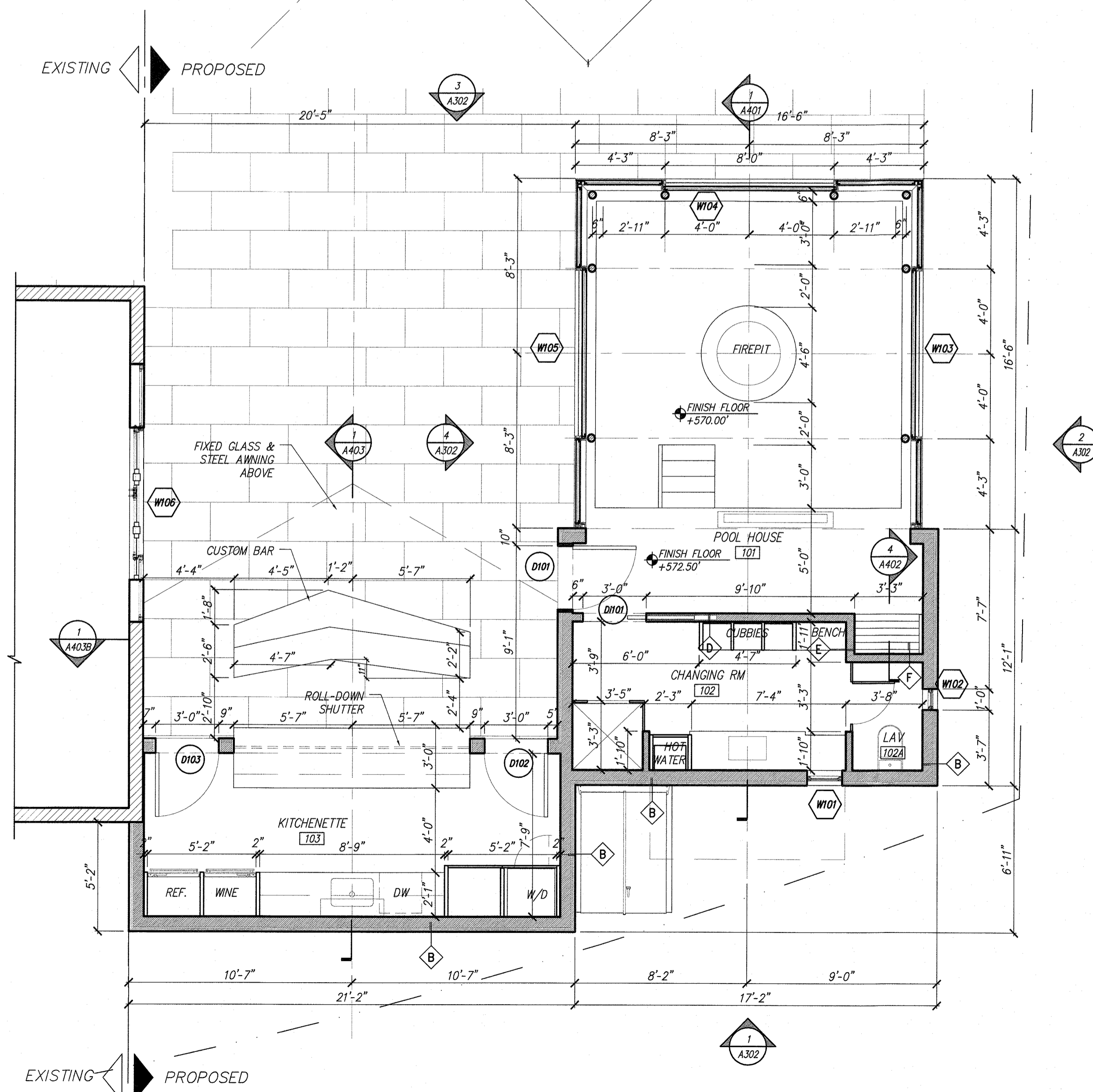
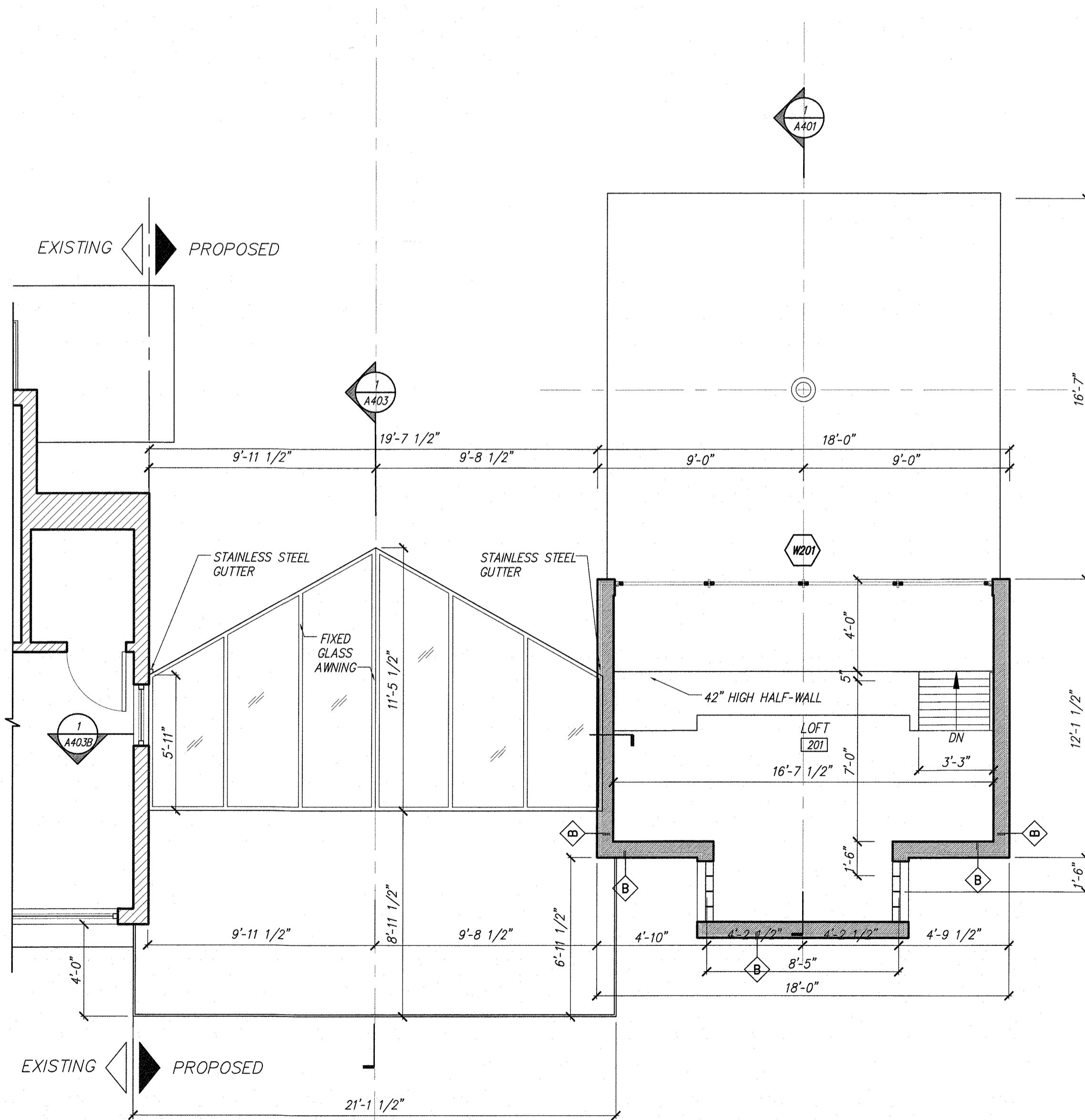
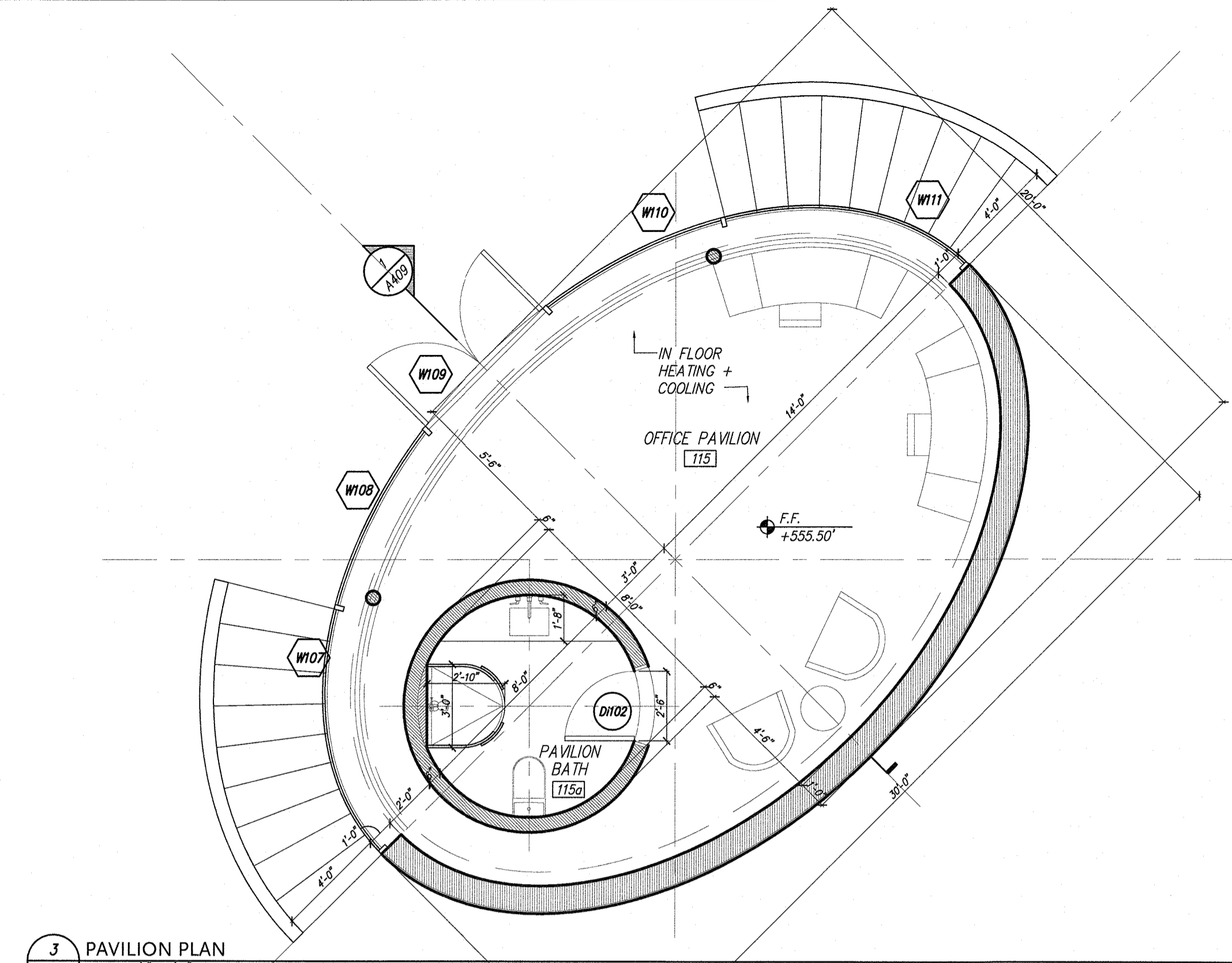
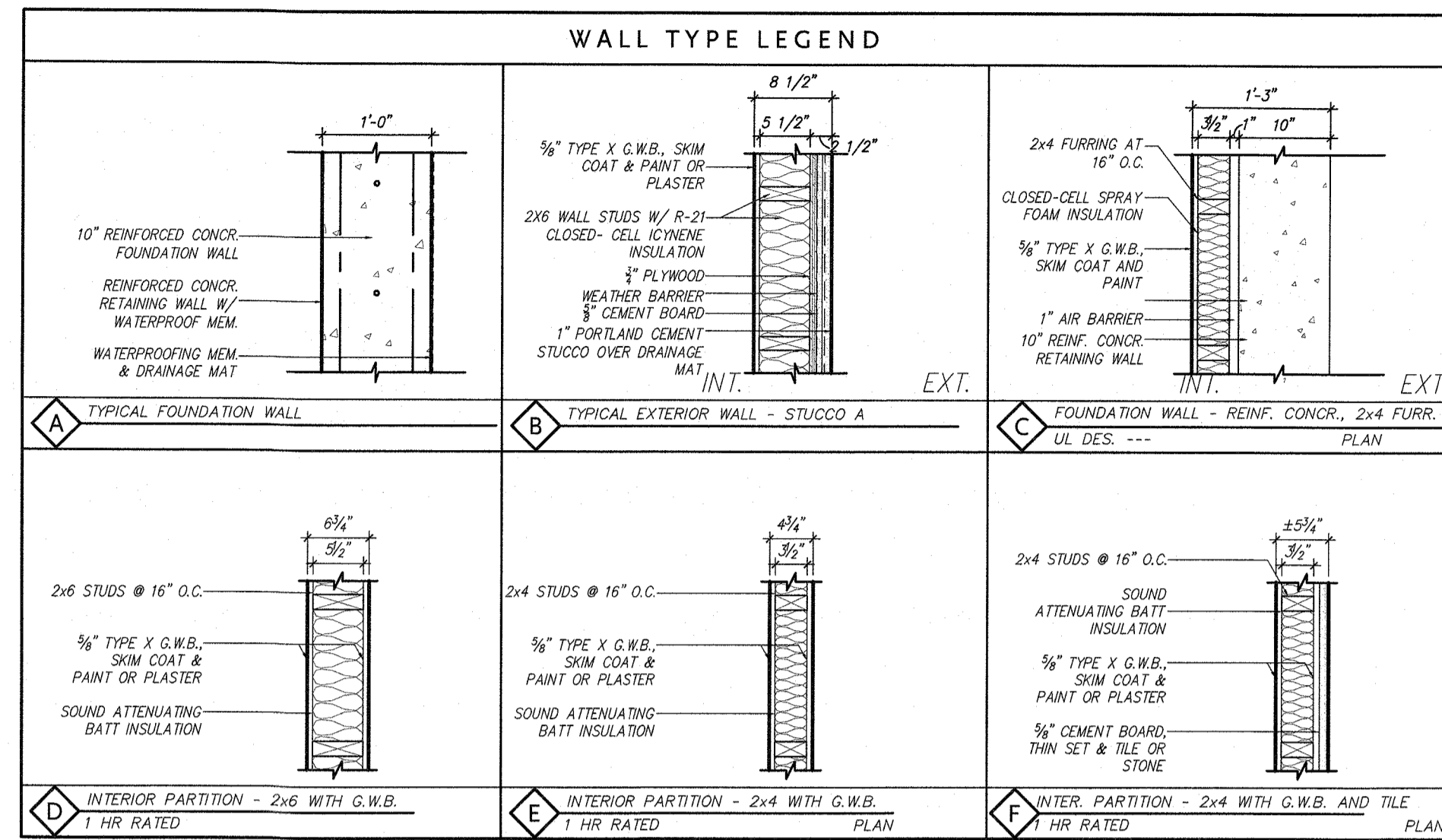


PROPOSED
FIRST & SECOND
FLOOR PLANS

DATE:	01.08.2021
PROJECT No.:	20017
DRAWING BY:	MD
CHK BY:	
DWG No.:	

A-201

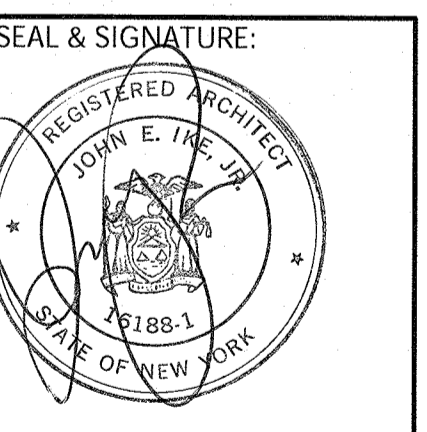
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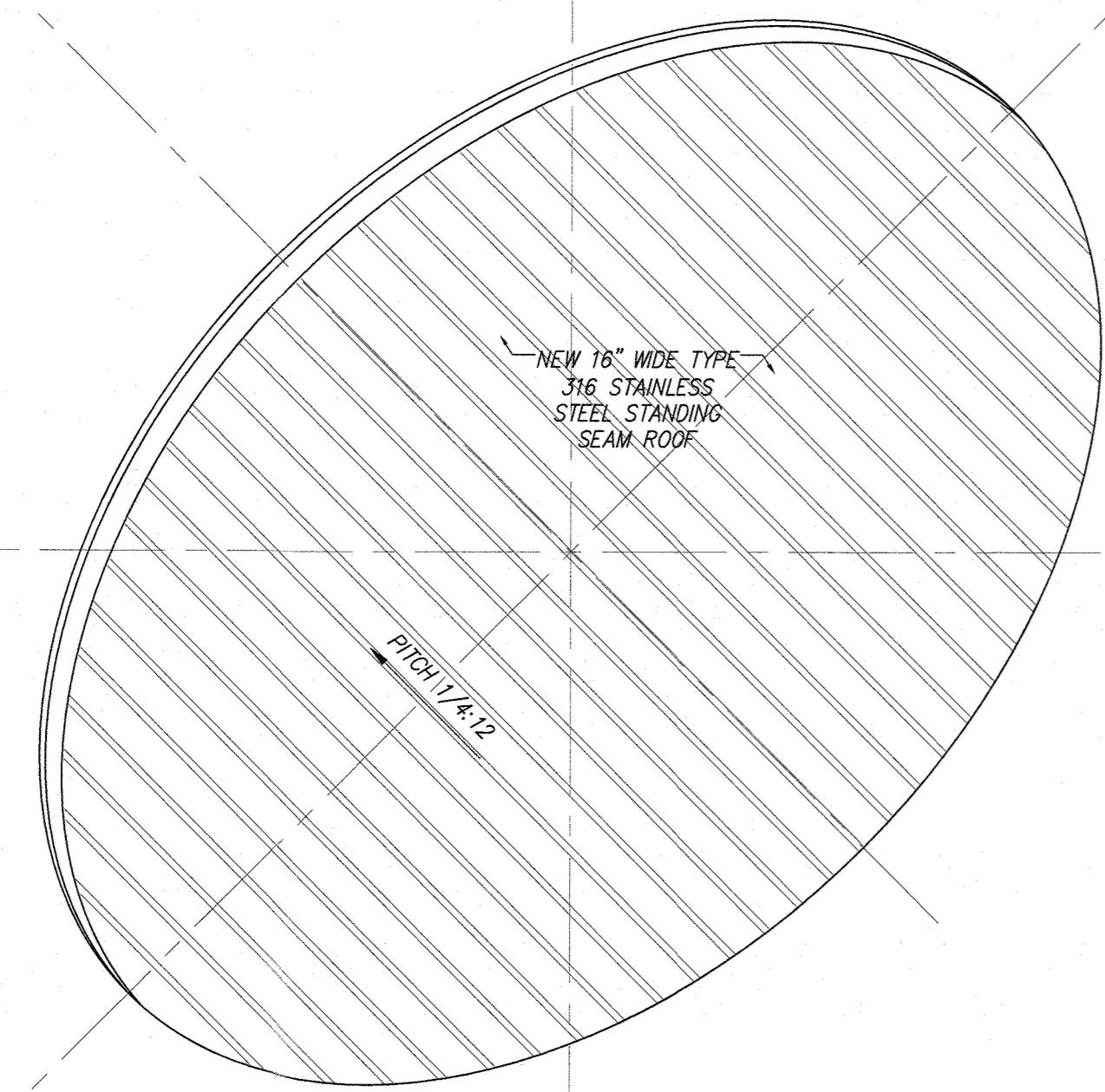
ENLARGED FLOOR PLAN
 POOL HOUSE & PAVILION

DATE: 01.08.2021
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 CHK BY:
 DWG No.:

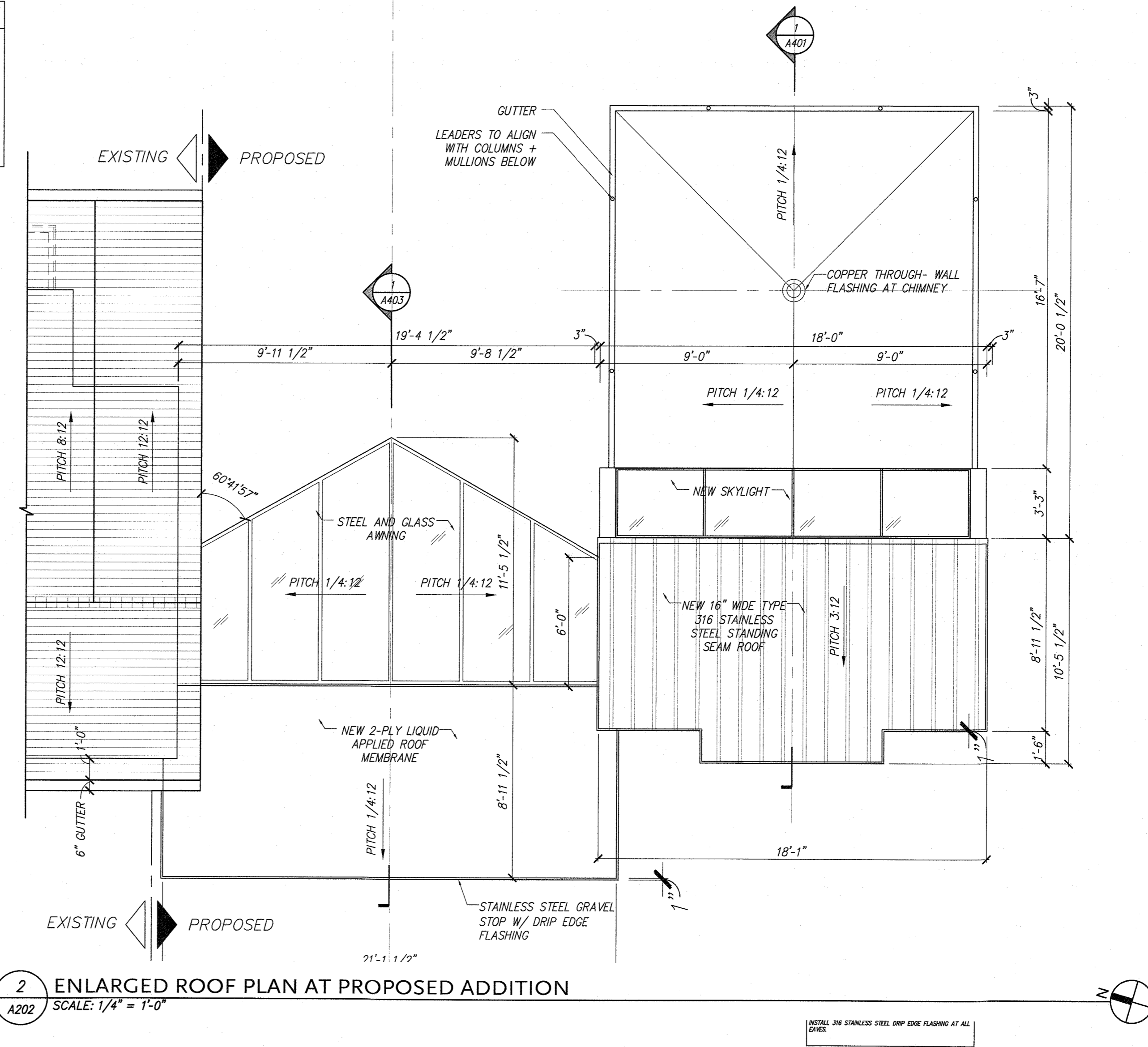
A-201A

VERIFY ALL DIMENSIONS IN FIELD

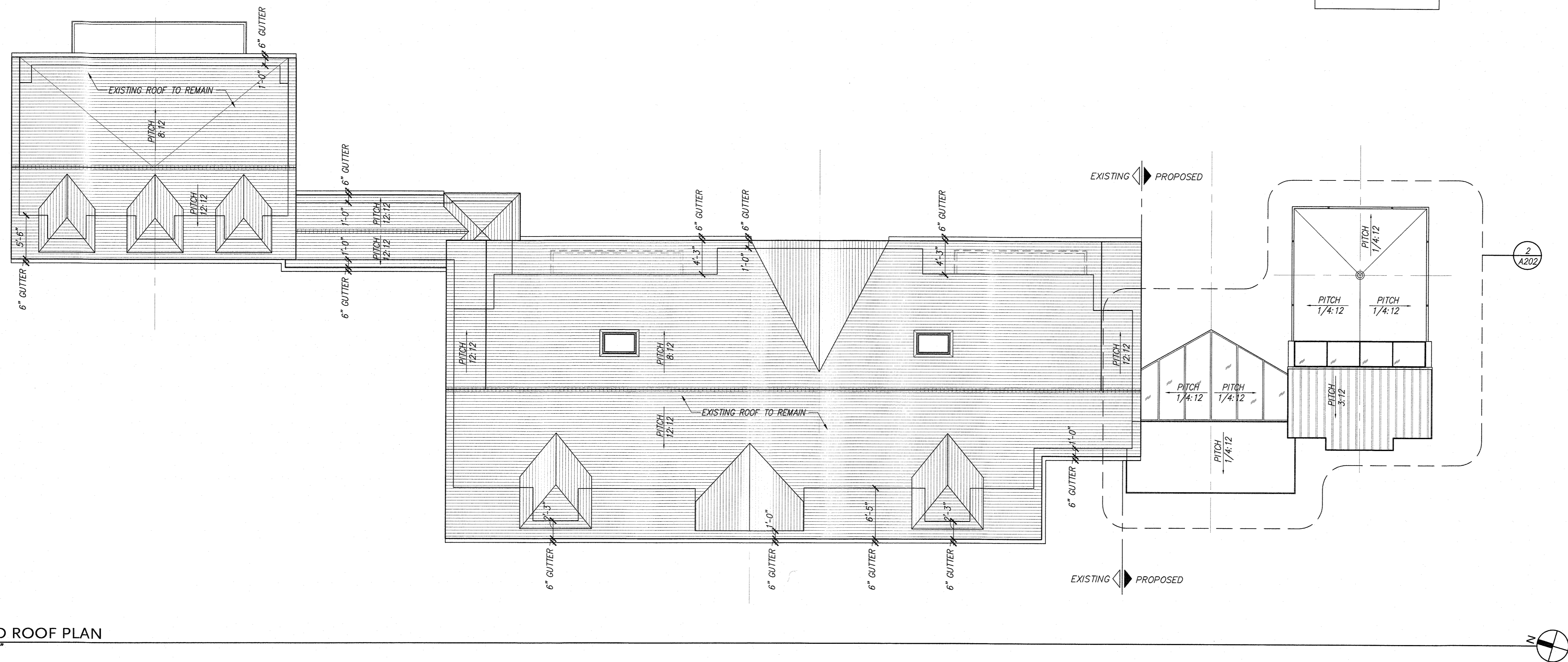
GENERAL ROOF & FLASHING NOTES
 INSTALL 16" WIDE STAINLESS STEEL STANDING SEAM METAL ROOF OVER POOL HOUSE ROOF WHERE INDICATED
 INSTALL KEMPER LIQUID APPLIED ROOF AT ALL FLAT ROOF LOCATIONS WHERE INDICATED
 INSTALL 316 STAINLESS STEEL DRIP EDGE FLASHING AT ALL EAVES.



3 ENLARGED ROOF PLAN AT OFFICE PAVILION
 SCALE: 1/4" = 1'-0"



2 ENLARGED ROOF PLAN AT PROPOSED ADDITION
 SCALE: 1/4" = 1'-0"



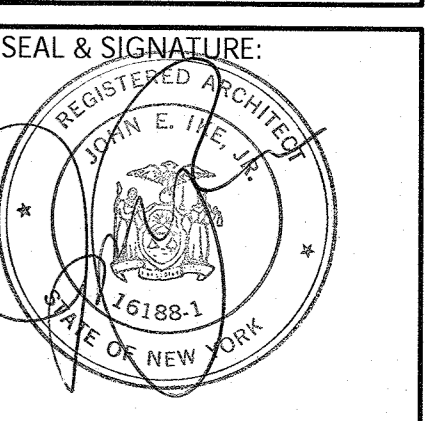
1 PROPOSED ROOF PLAN
 SCALE: 1/8" = 1'-0"

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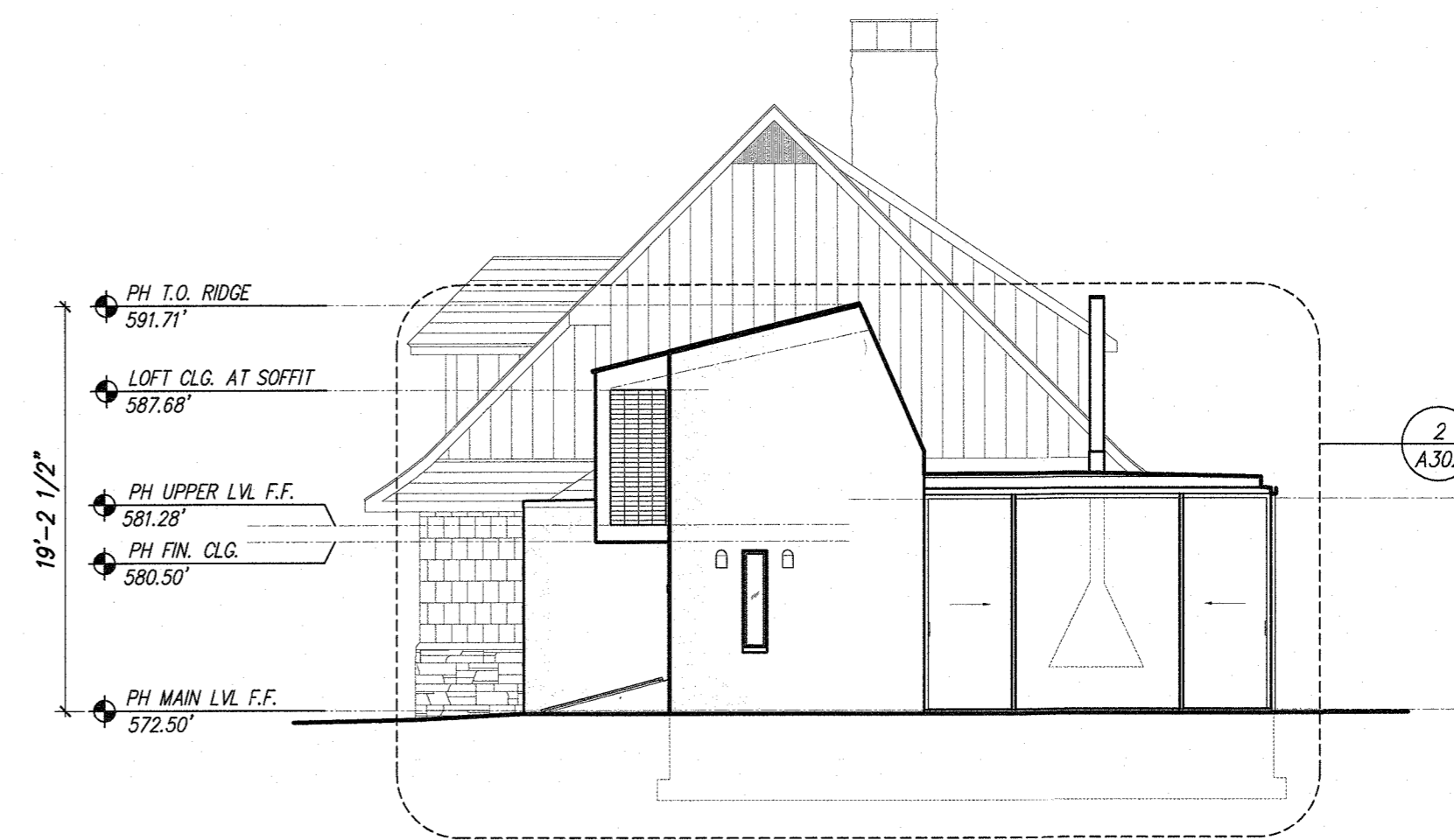
OVERALL +
 ENLARGED
 ROOF PLAN

DATE:	01.08.2021
PROJECT No.:	20017
DRAWING BY:	MD
CHK BY:	
DWG No.:	A-202

59 TWEED BLVD.



4 PROPOSED NORTH ELEVATION (NO WORK)
A301 SCALE: 1/8" = 1'-0"



3 PROPOSED SOUTH ELEVATION
A301 SCALE: 1/8" = 1'-0"



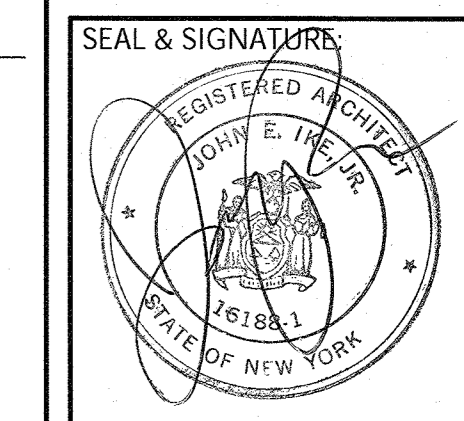
2 PROPOSED EAST ELEVATION
A301 SCALE: 1/8" = 1'-0"



1 PROPOSED WEST ELEVATION
A301 SCALE: 1/8" = 1'-0"

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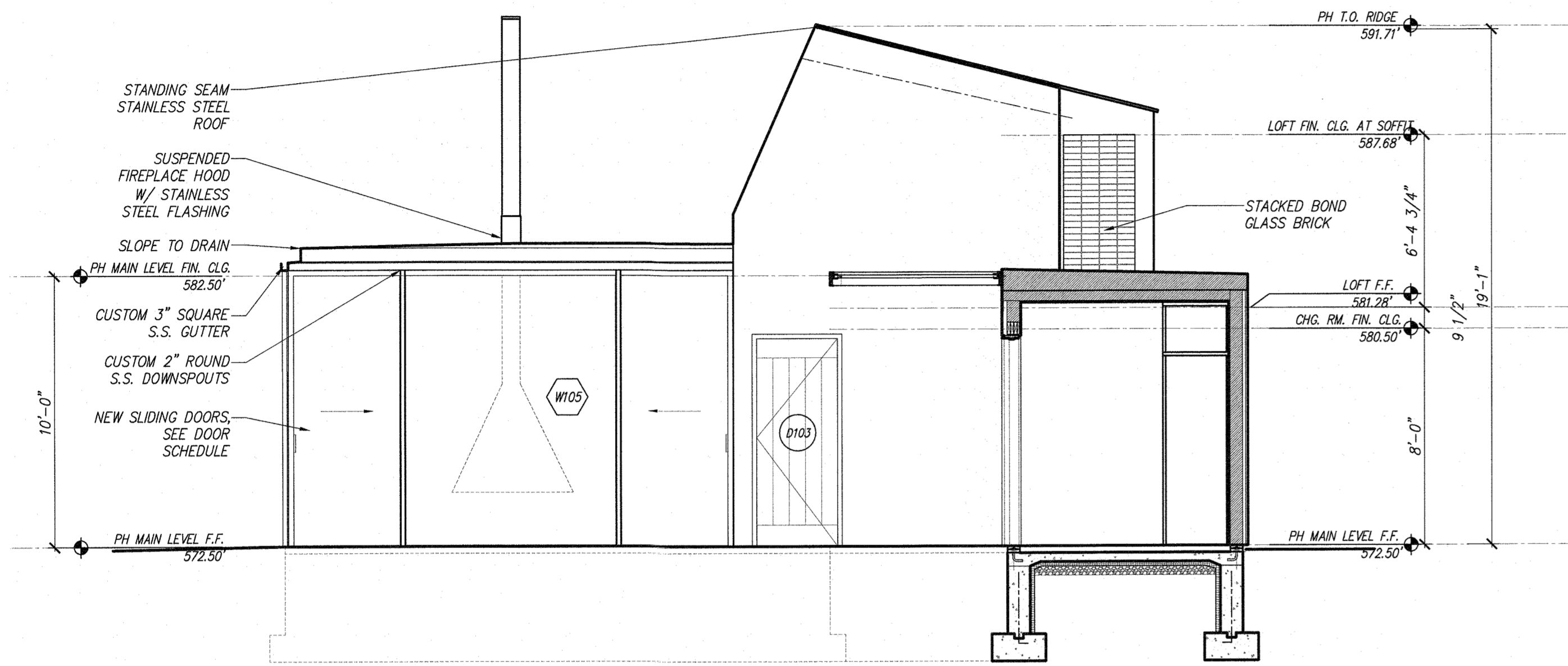
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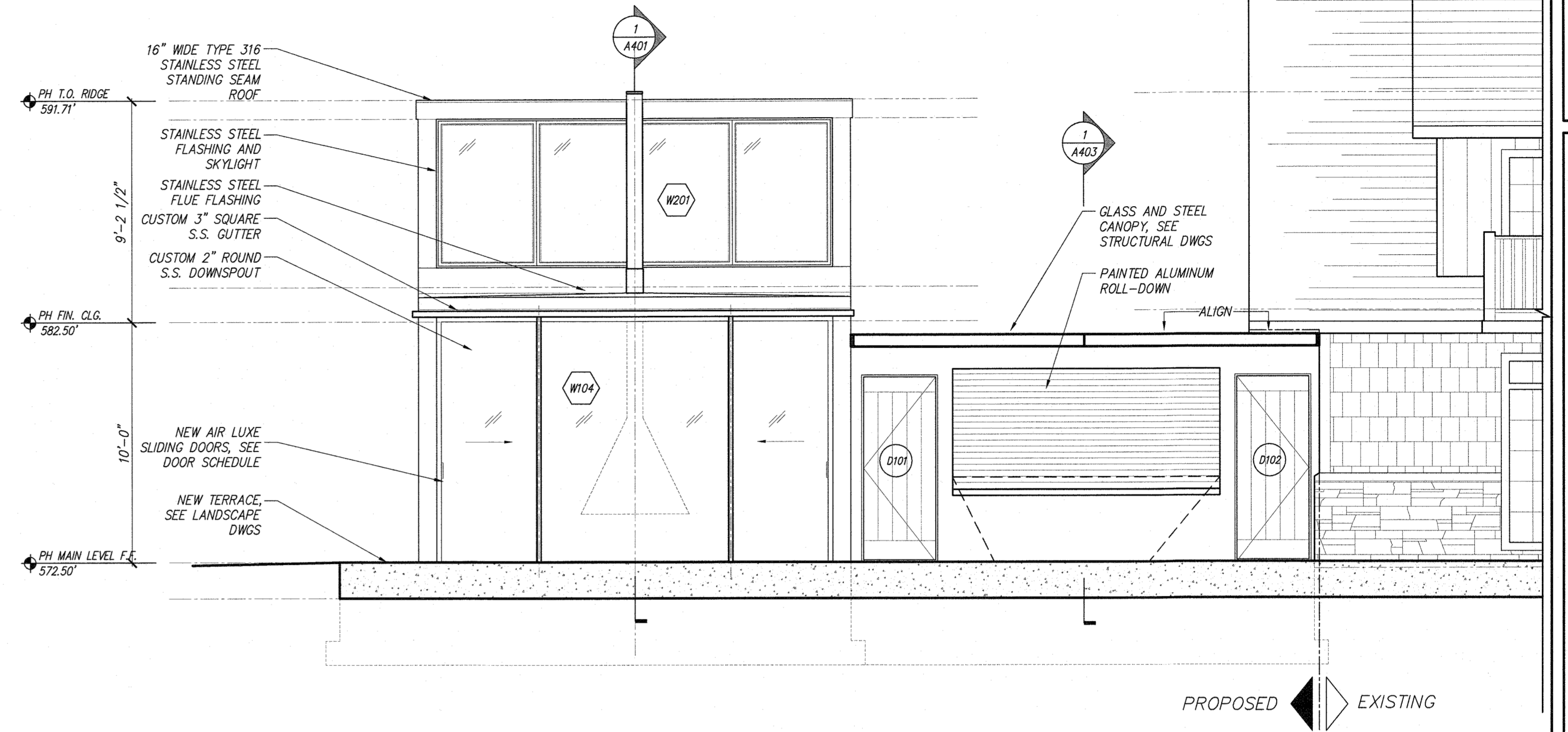
PROPOSED EXTERIOR ELEVATIONS

DATE: 01.08.2021
PROJECT No.: 20017
DRAWING BY: MD
CHK BY:
DWG No.:

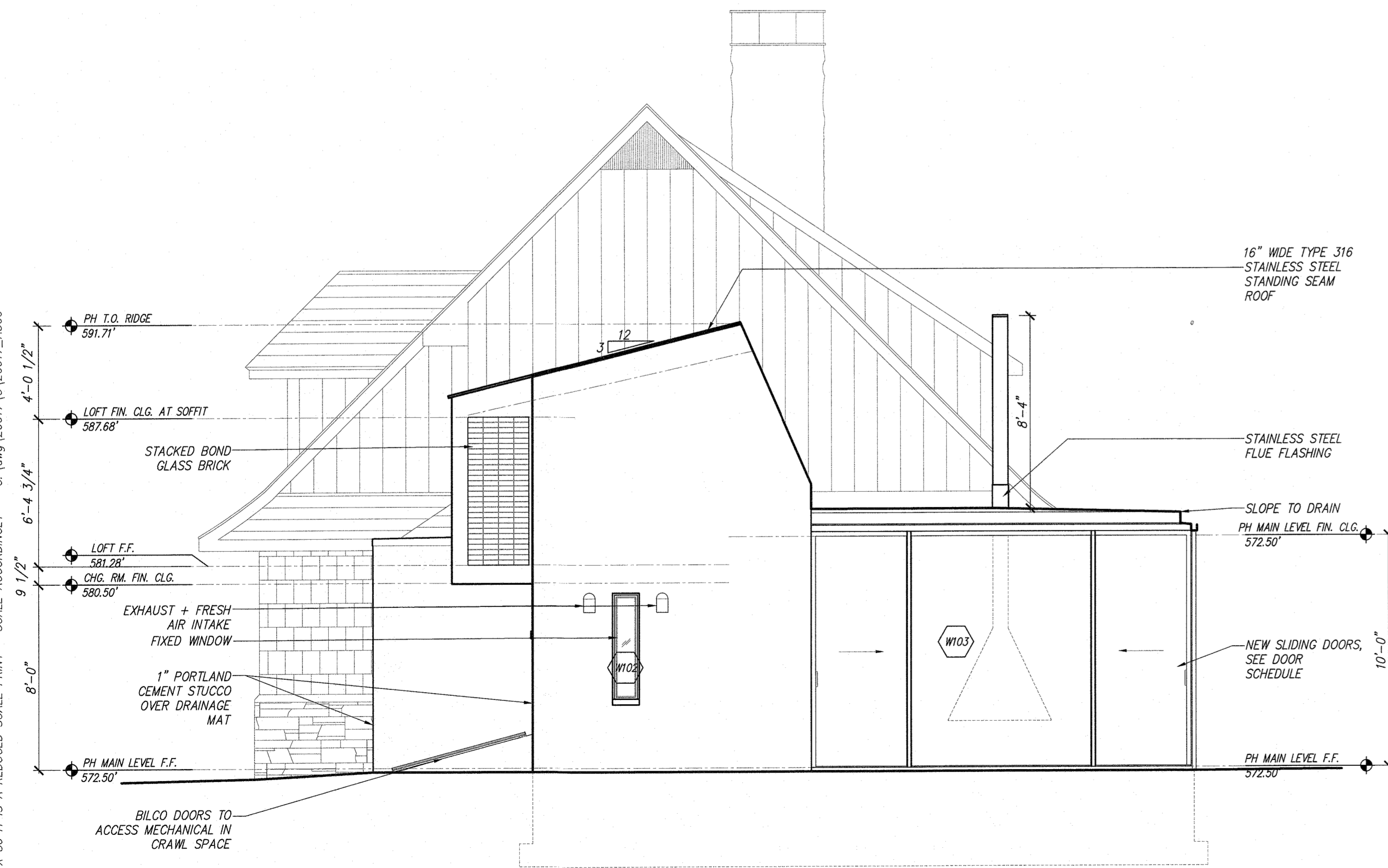
A-301



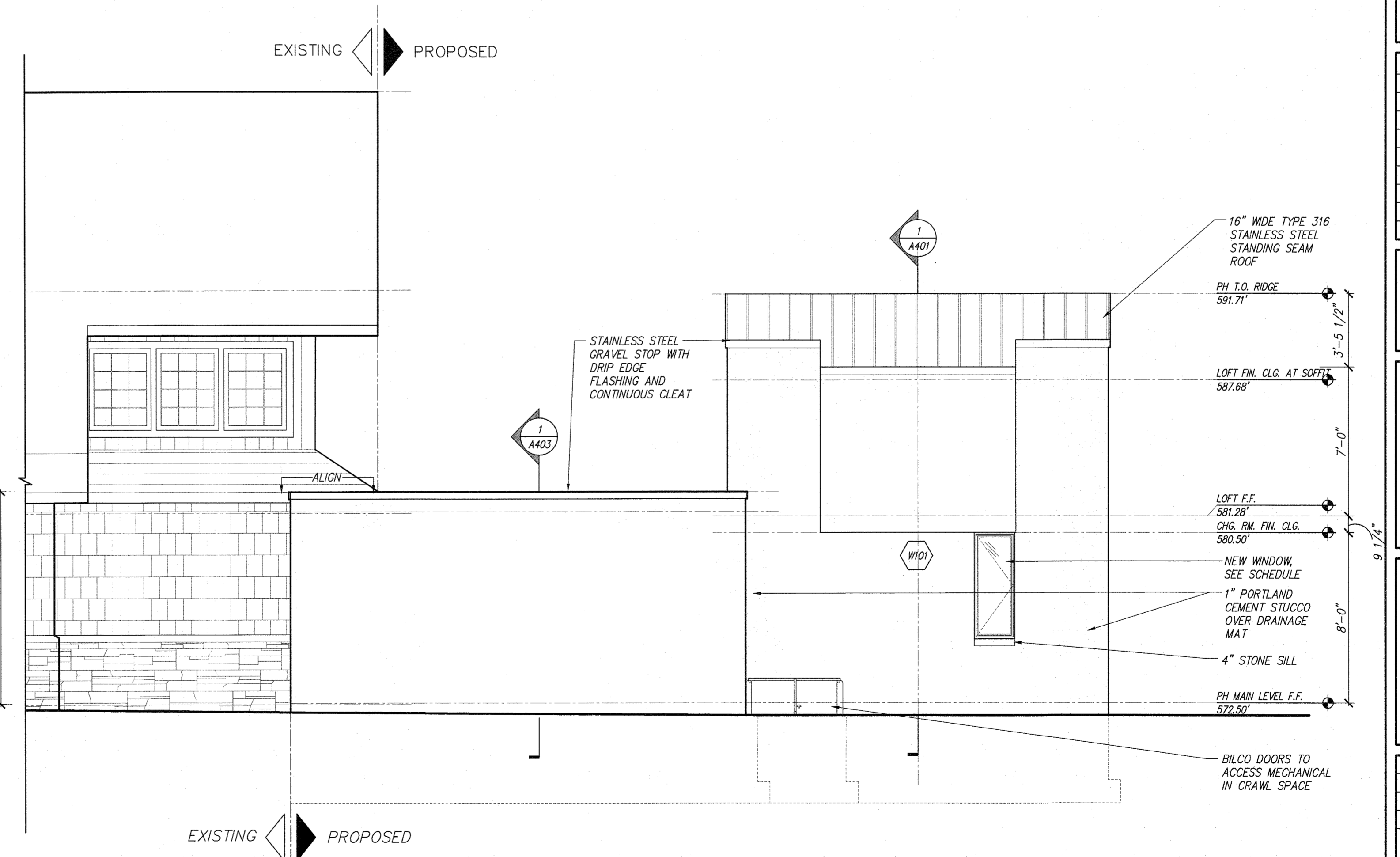
4 ENLARGED SECTION FACING SOUTH
SCALE: 1/4" = 1'-0"



3 ENLARGED EAST ELEVATION
SCALE: 1/4" = 1'-0"



2 ENLARGED SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

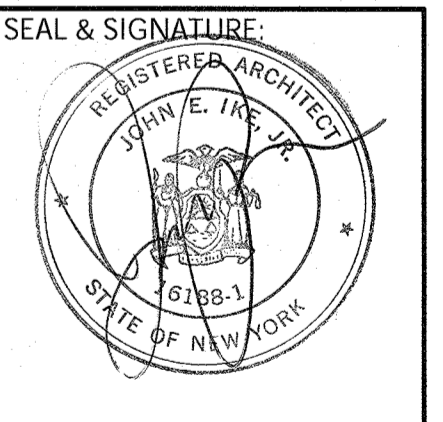


1 ENLARGED WEST ELEVATION
SCALE: 1/4" = 1'-0"

59 TWEED BLVD.

No.	REMARKS	DATE
1	ISSUED FOR BUILDING PERMIT	8.17.21
2		
3		

PROJECT:
RESIDENCE
59 TWEED BOULEVARD
ORANGEBURG, NY 10960

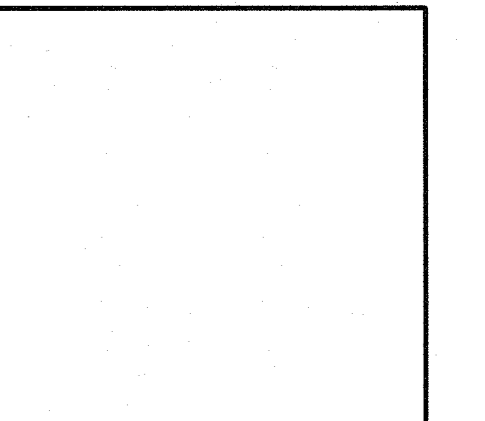


POOL HSE & BAR
ENLARGED
ELEVATIONS

DATE: 01.08.2021
PROJECT No.: 20017
DRAWING BY: MD
CHK BY:
DWG No.:

A-302

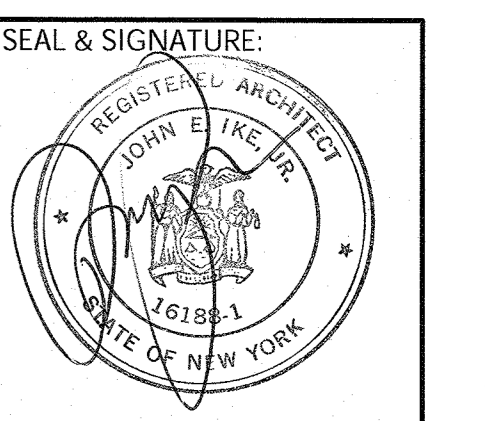
IF THIS SHEET IS NOT 24 X 36 IT IS A REDUCED SCALE PRINT - SCALE ACCORDINGLY G:\dwg\2007\1\2007_1\A302



59 TWEED BLVD.

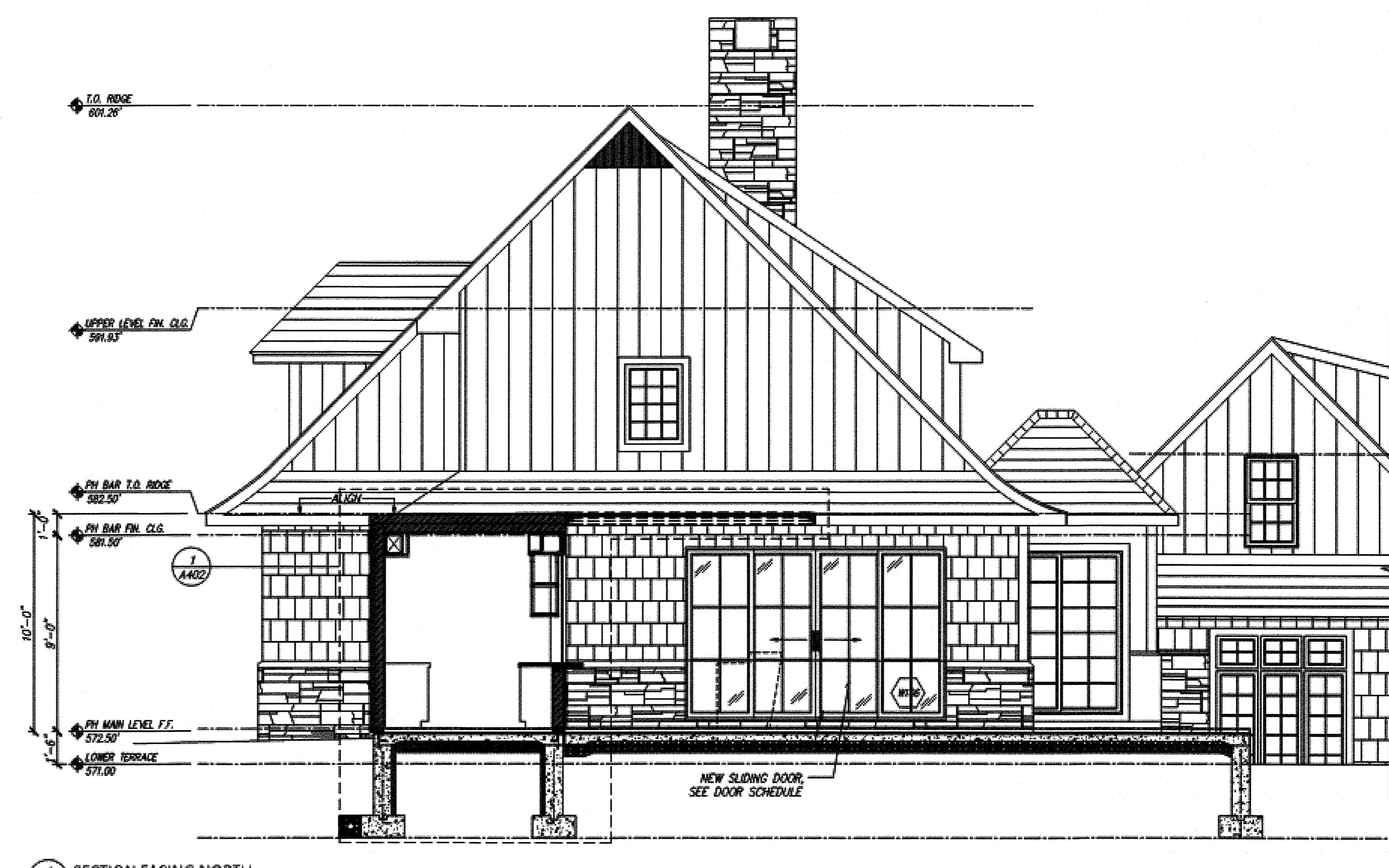
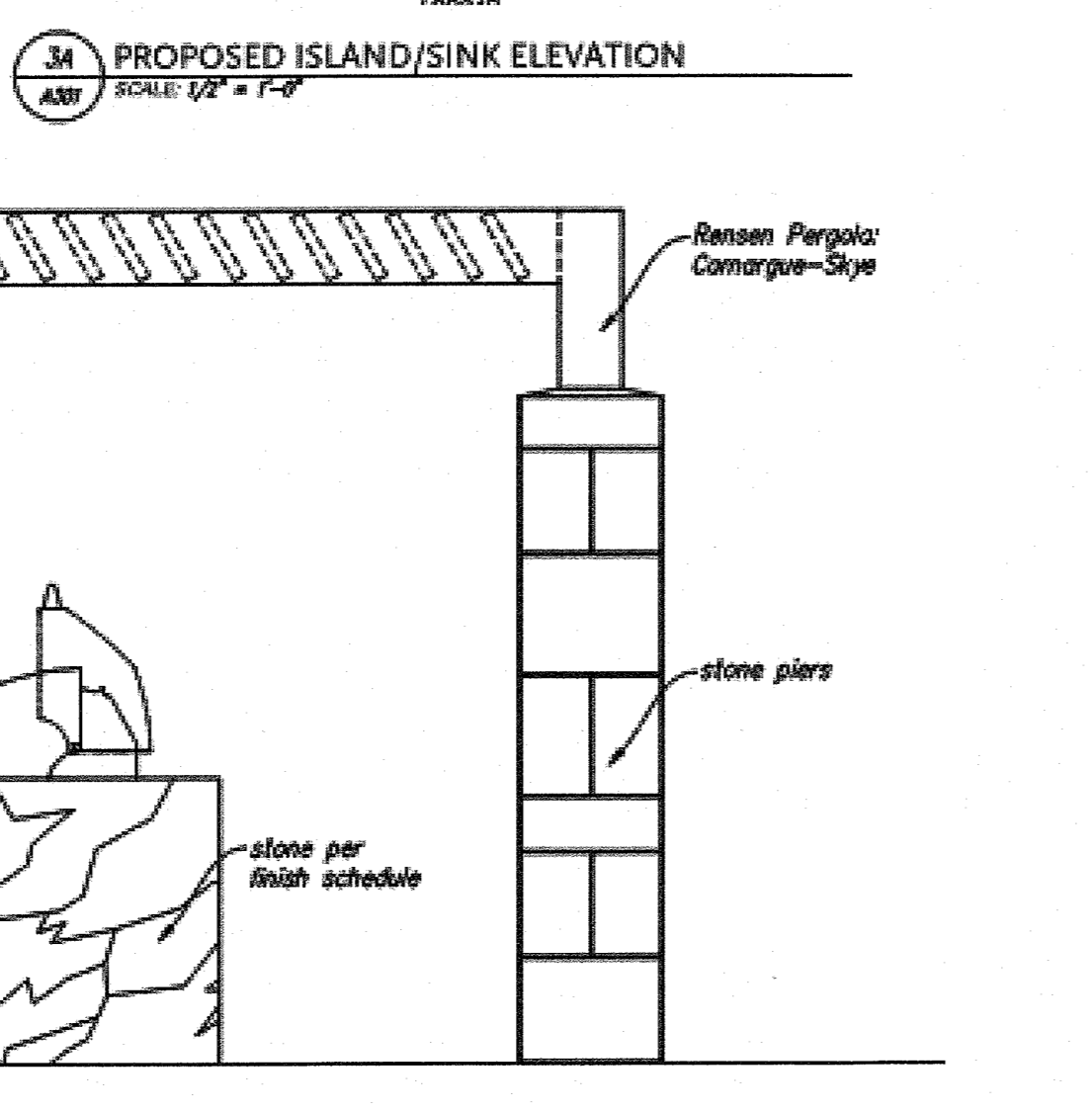
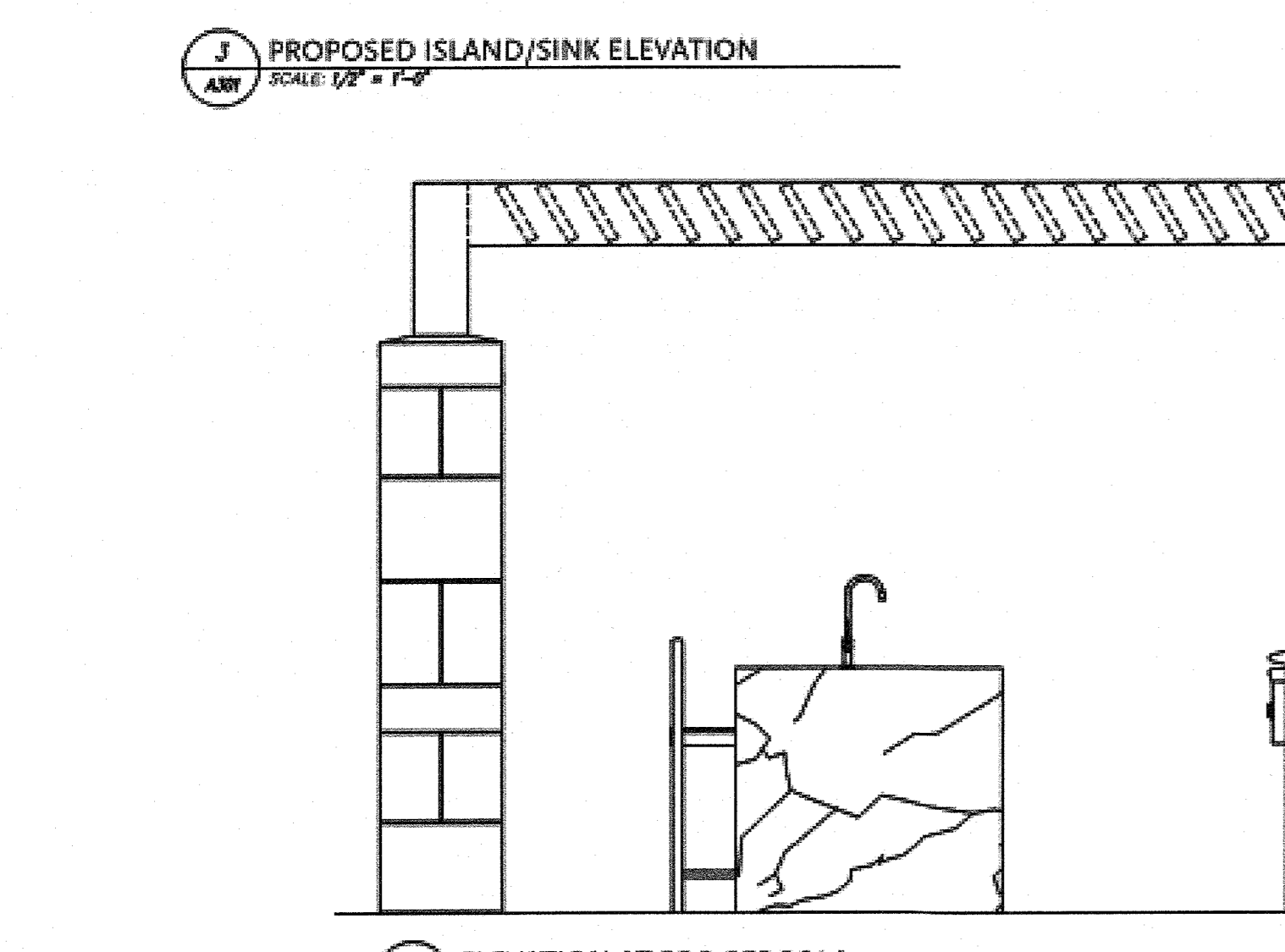
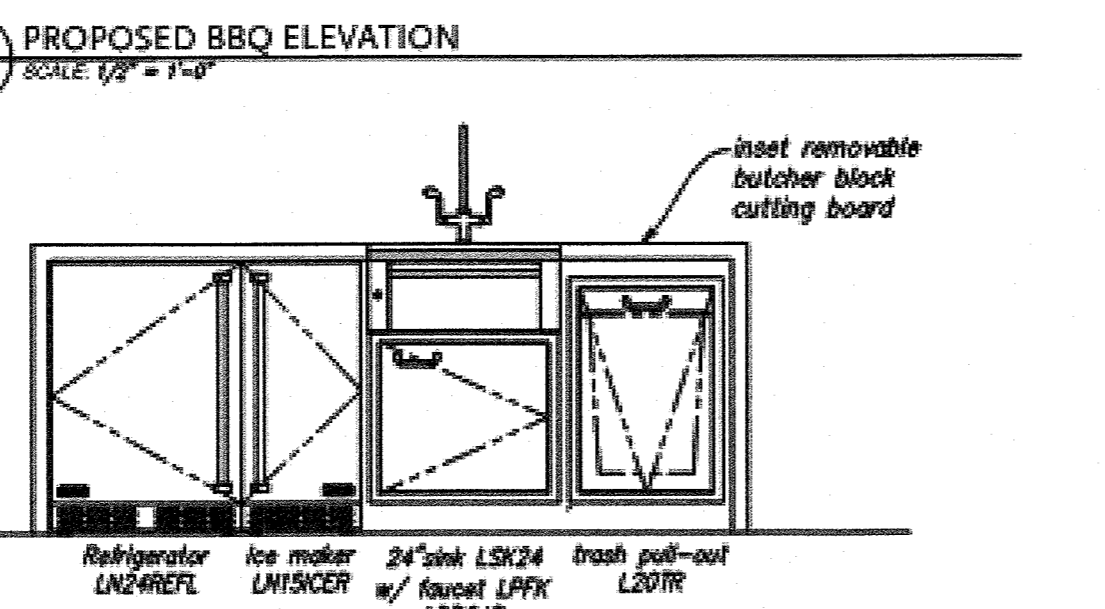
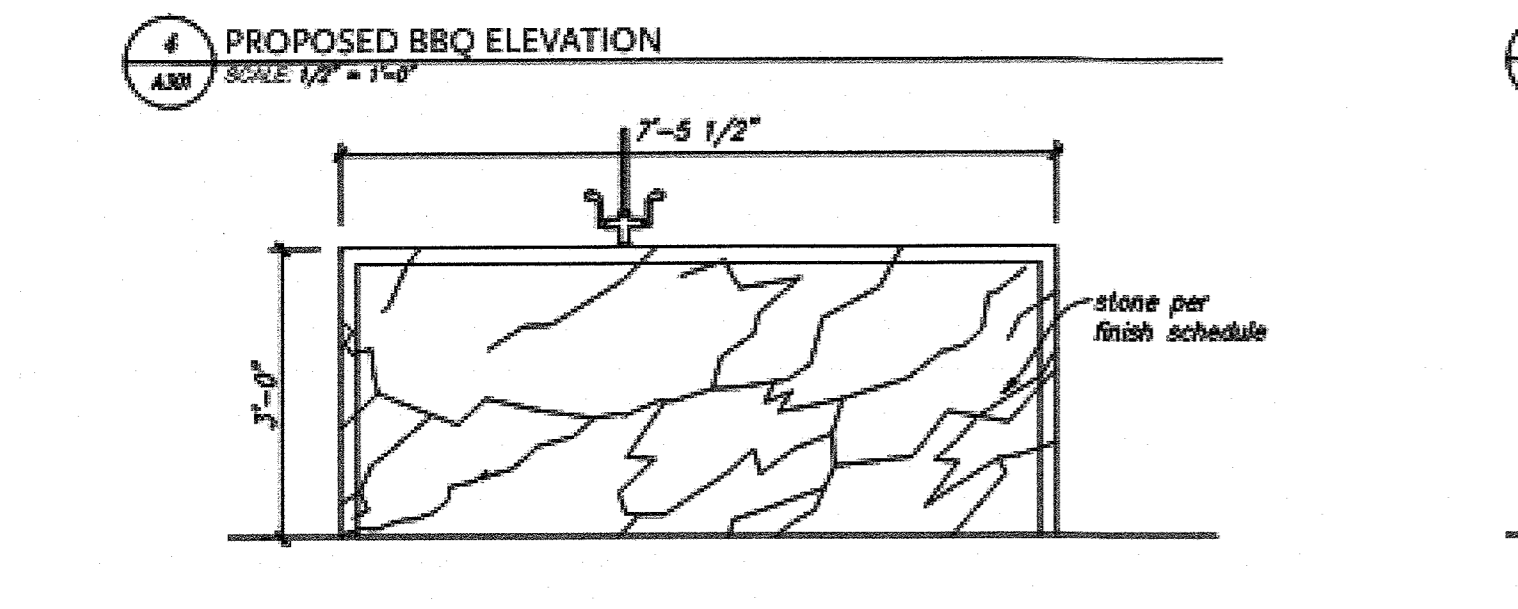
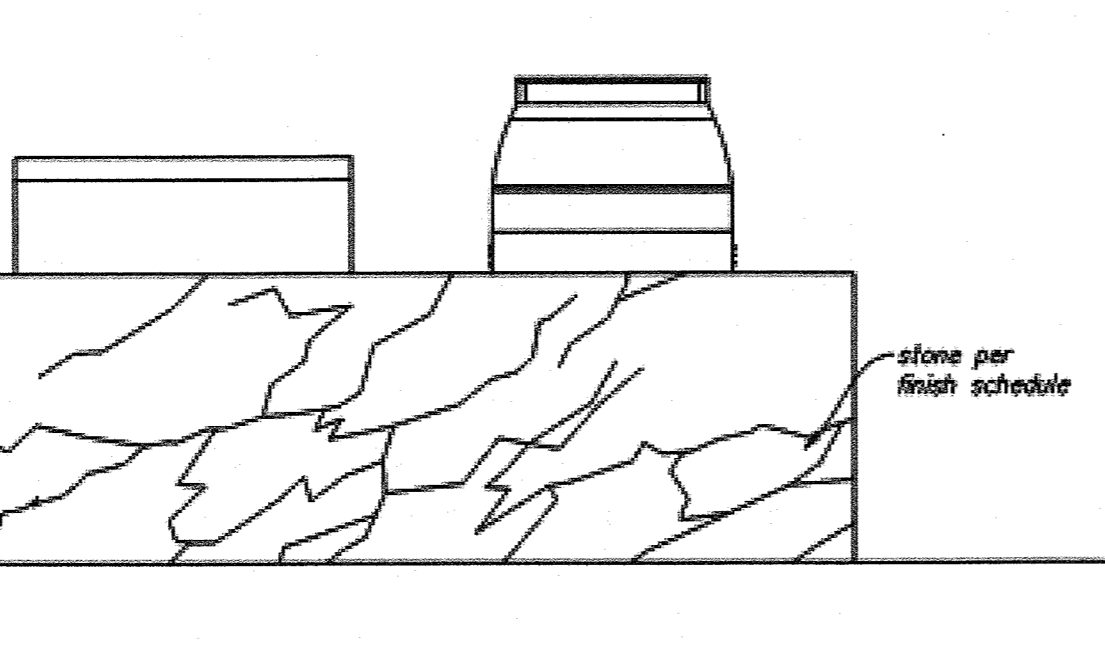
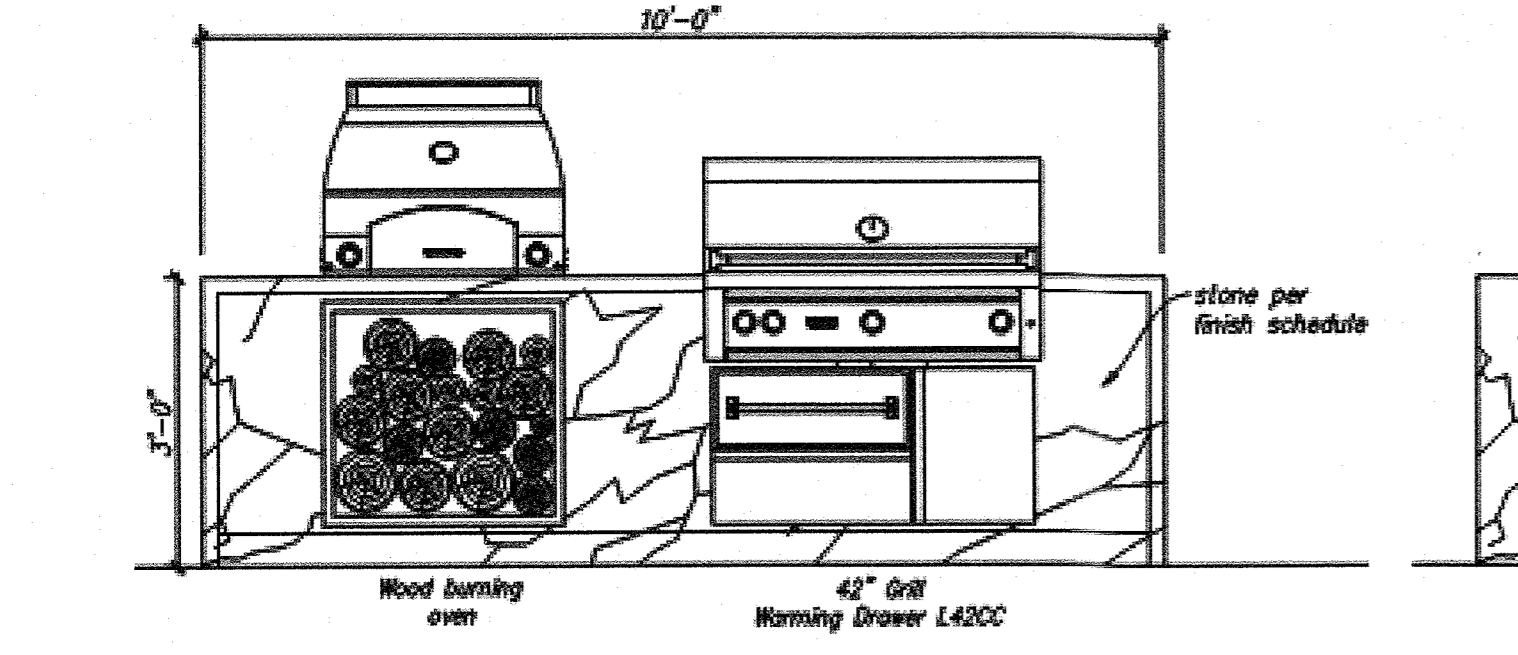
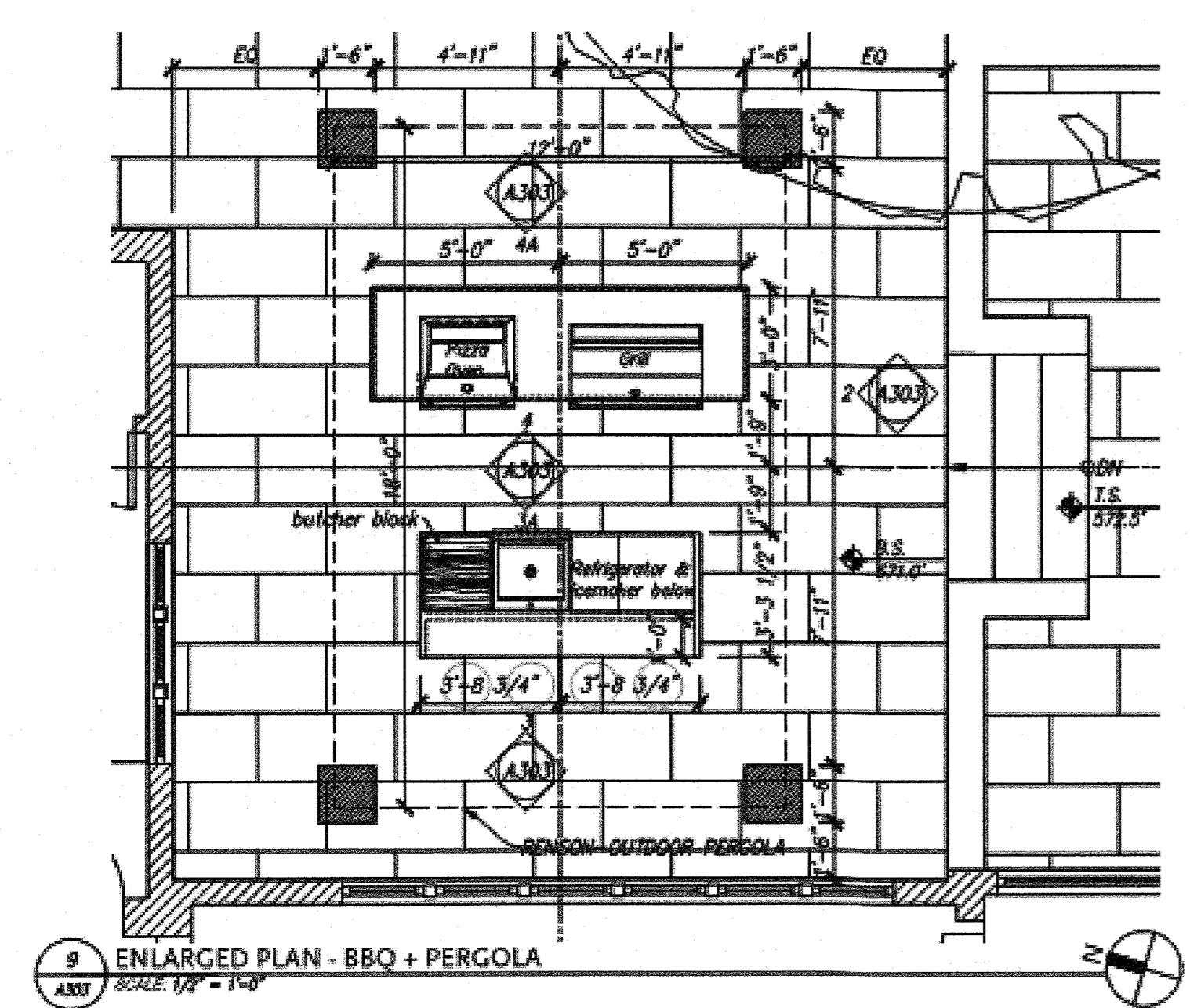
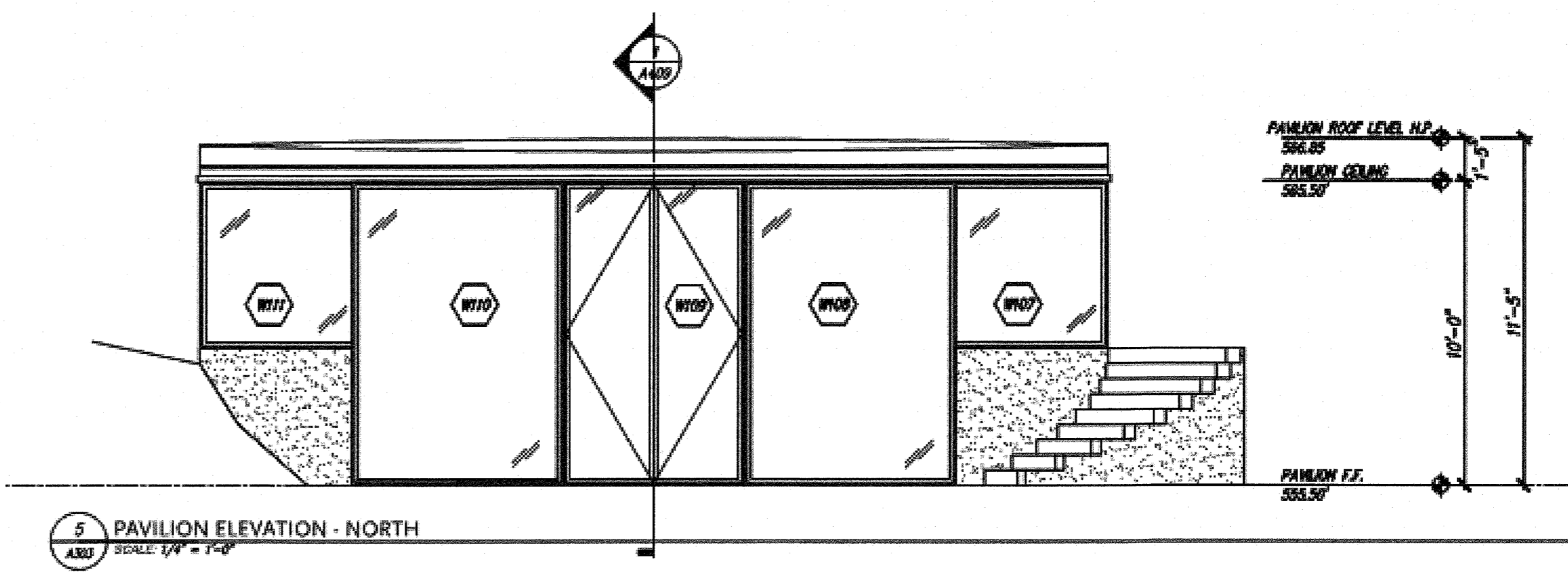
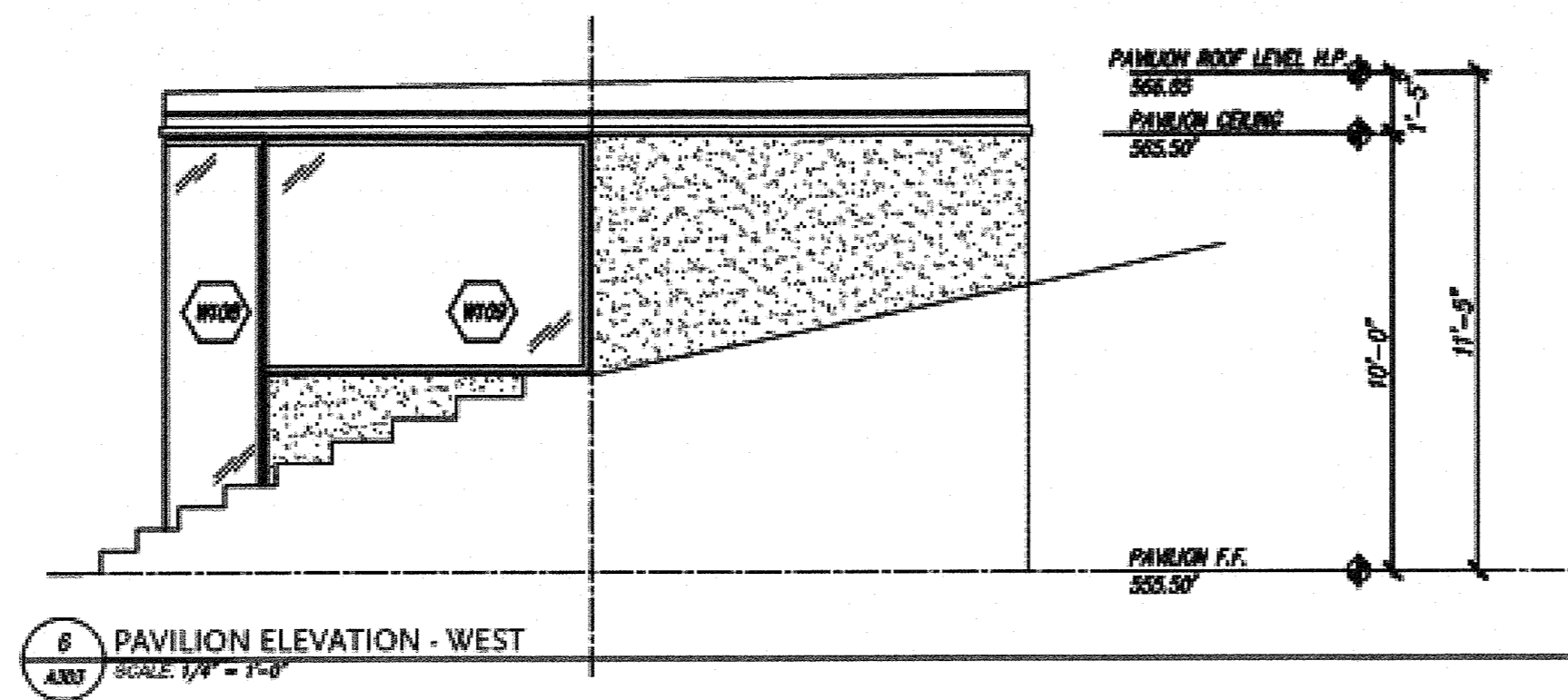
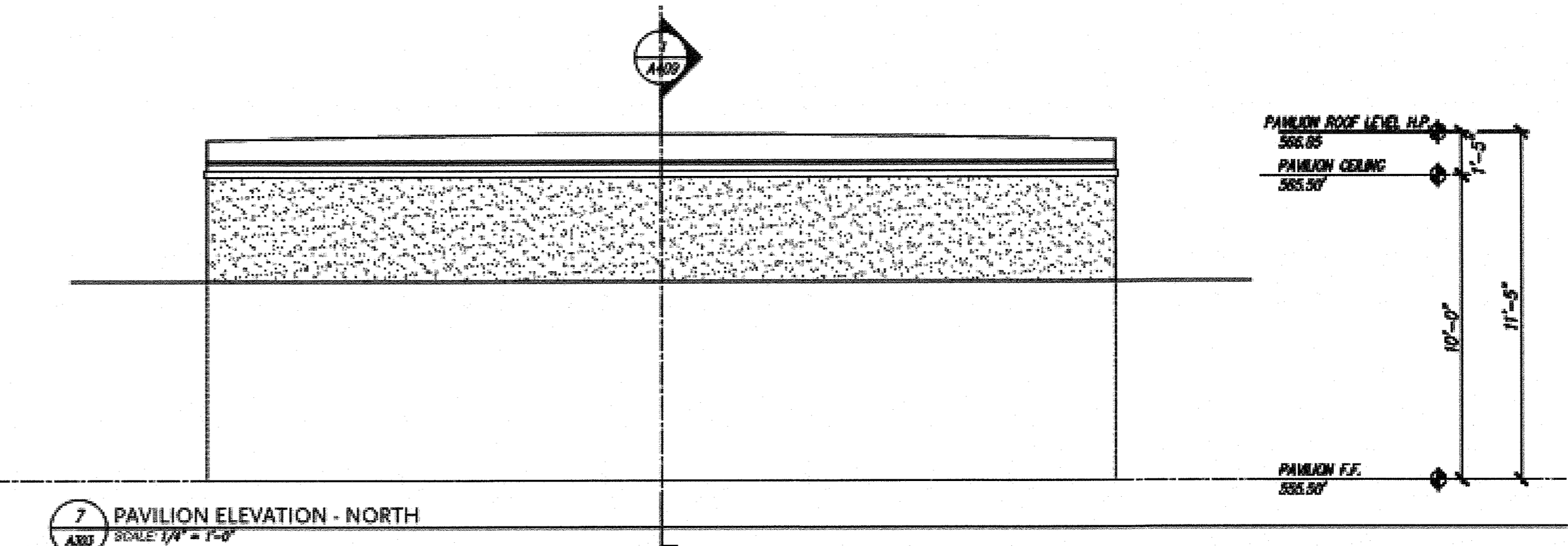
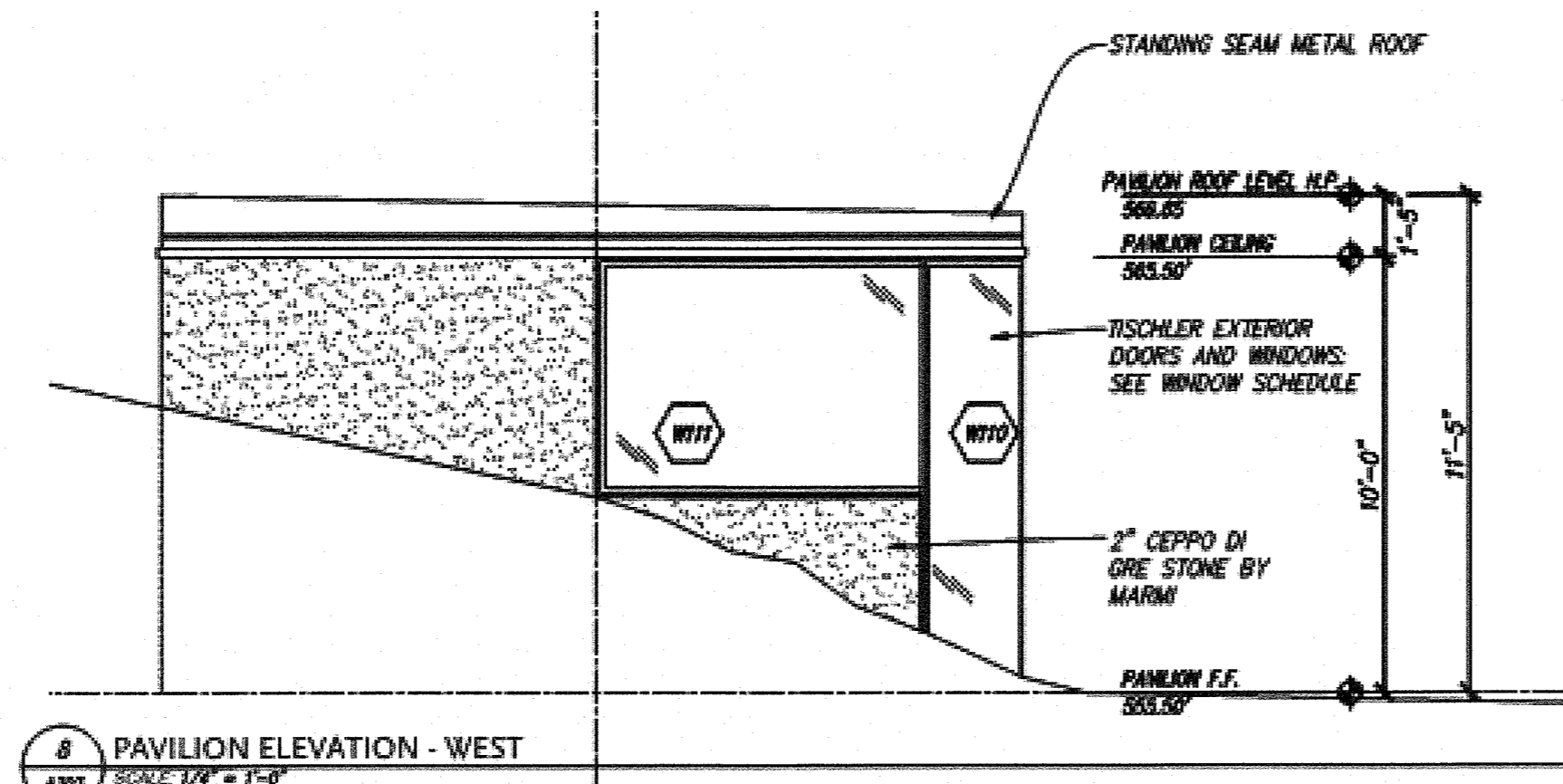
No.	REMARKS	DATE
1	ISSUED FOR BUILDING PERMIT	8.17.21
2		
3		

PROJECT:
RESIDENCE
 59 TWEED BOULEVARD
 ORANBURG, NY 10960

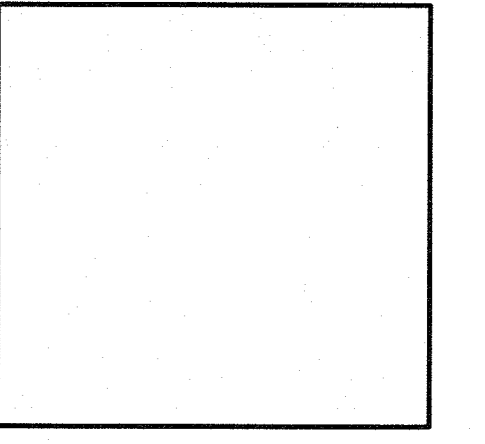


OFFICE PAVILION,
 BAR KITCHENETTE
 & BBQ ELEVATIONS

DATE: 01.08.2021
 PROJECT No.: 20017
 DRAWING BY: MD
 CHK BY:
 DWG No.: **A-303**



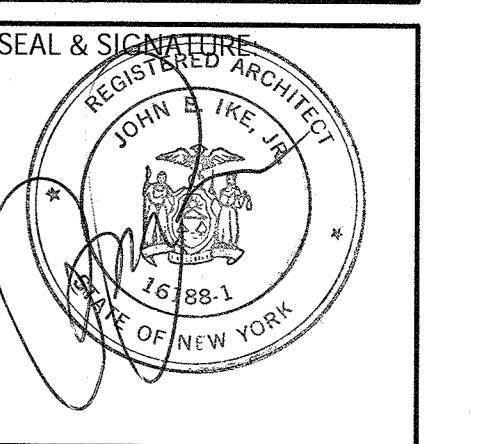
IF THIS SHEET IS NOT PLACED IN A REDUCED SCALE PRINT - SCALE ACCORDINGLY G:\dwg\2007\1\2007_1_A300



59 TWEED BLVD.

No.	REMARKS	DATE
1	ISSUED FOR BUILDING PERMIT	8.17.21
2		
3		

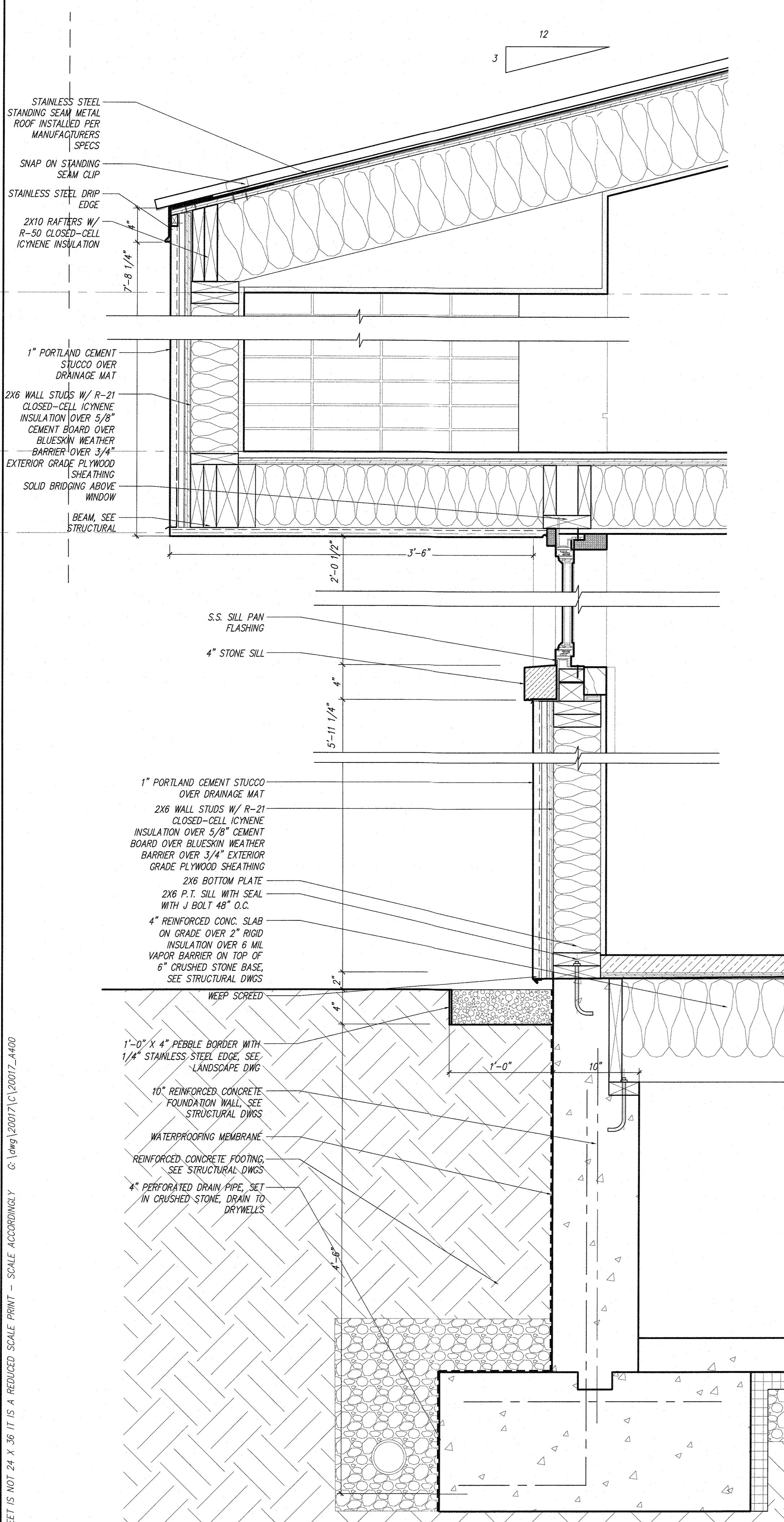
PROJECT:
RESIDENCE
 59 TWEED BOULEVARD
 ORANGETOWN, NY 10960



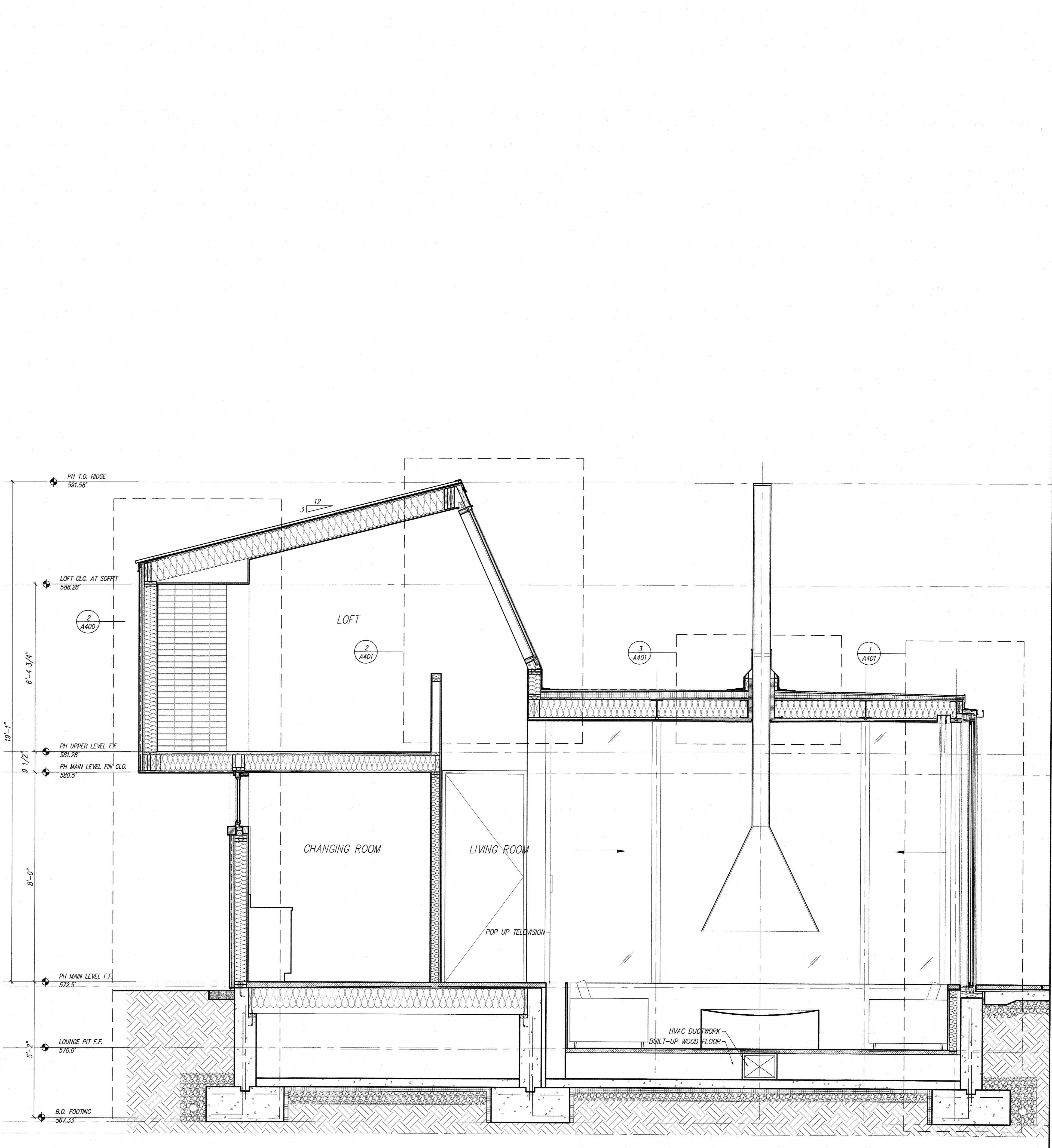
POOL HOUSE SECTIONS

DATE:	01.08.2021
PROJECT No.:	20017
DRAWING BY:	MD
CHK BY:	
DWG No.:	

A-400



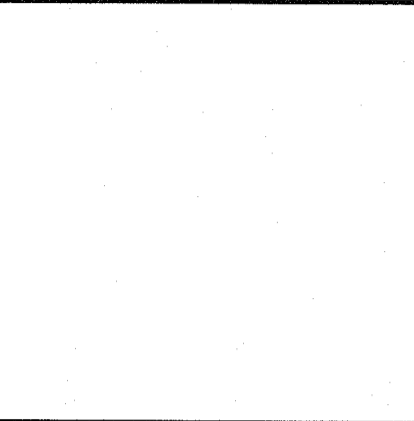
2 PROPOSED WALL SECTION THROUGH POOL HOUSE
 SCALE: 1/2" = 1'-0"



1 PROPOSED SECTION THROUGH POOL HOUSE
 SCALE: 1/2" = 1'-0"

IF THIS SHEET IS NOT 24 X 36 IT IS A REDUCED SCALE PRINT - SCALE ACCORDINGLY C:\dwg\20017\1\20017_A400

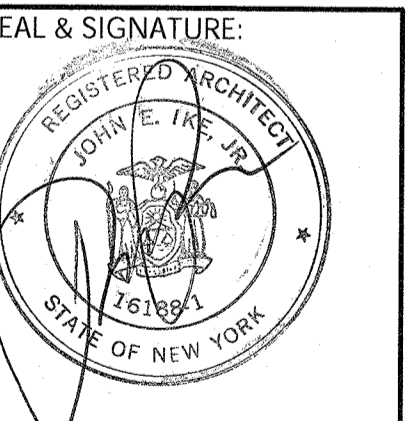
VERIFY ALL DIMENSIONS IN FIELD



59 TWEED BLVD.

No.	REMARKS	DATE
1	ISSUED FOR BUILDING PERMIT	8.17.21
2		
3		

PROJECT:
RESIDENCE
 59 TWEED BOULEVARD
 ORANGETOWN, NY 10960



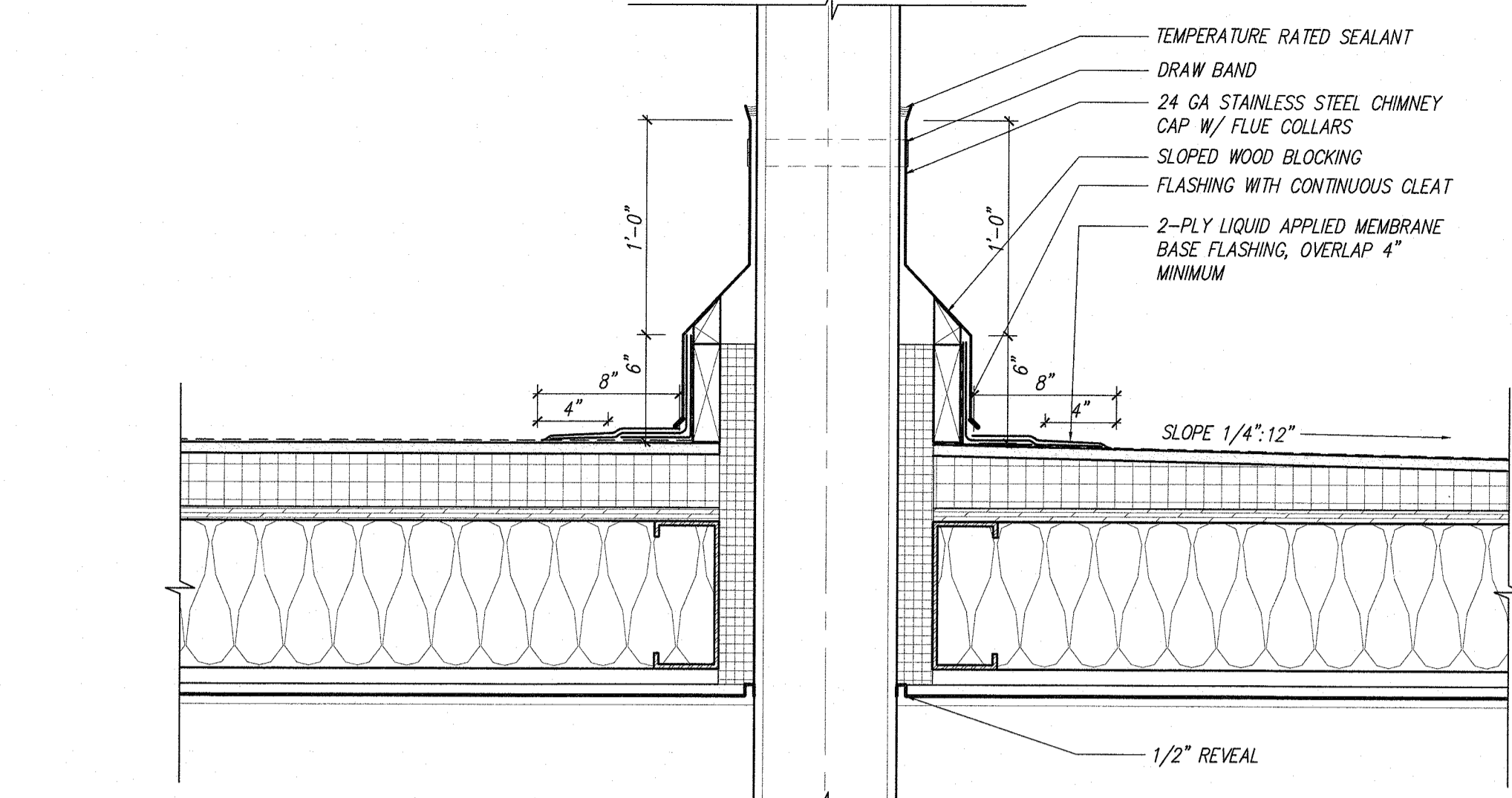
POOL HOUSE SECTIONS

DATE: 01.08.2021
 PROJECT No.: 20017
 DRAWING BY: MD
 CHK BY:
 DWG No.:

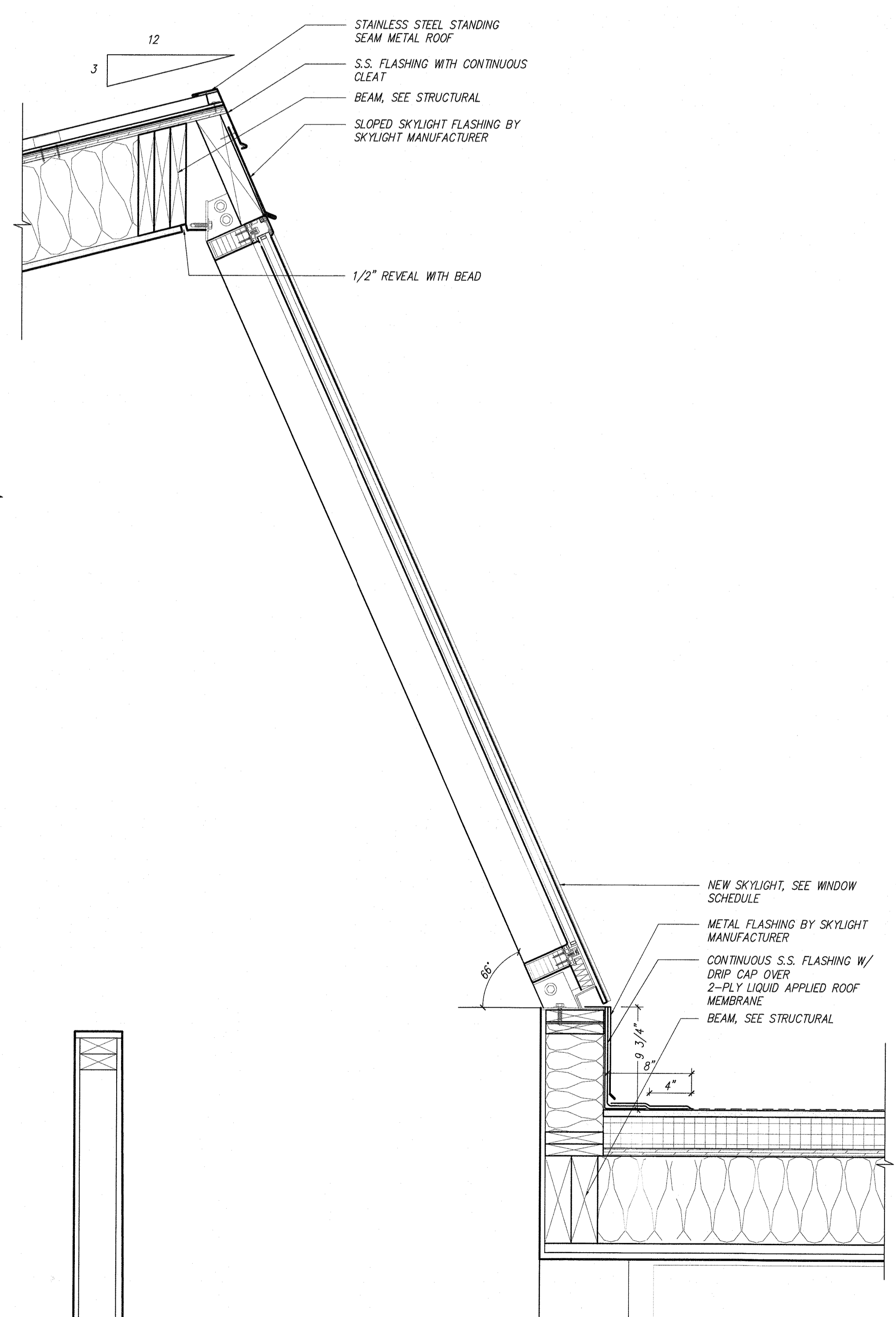
A-401



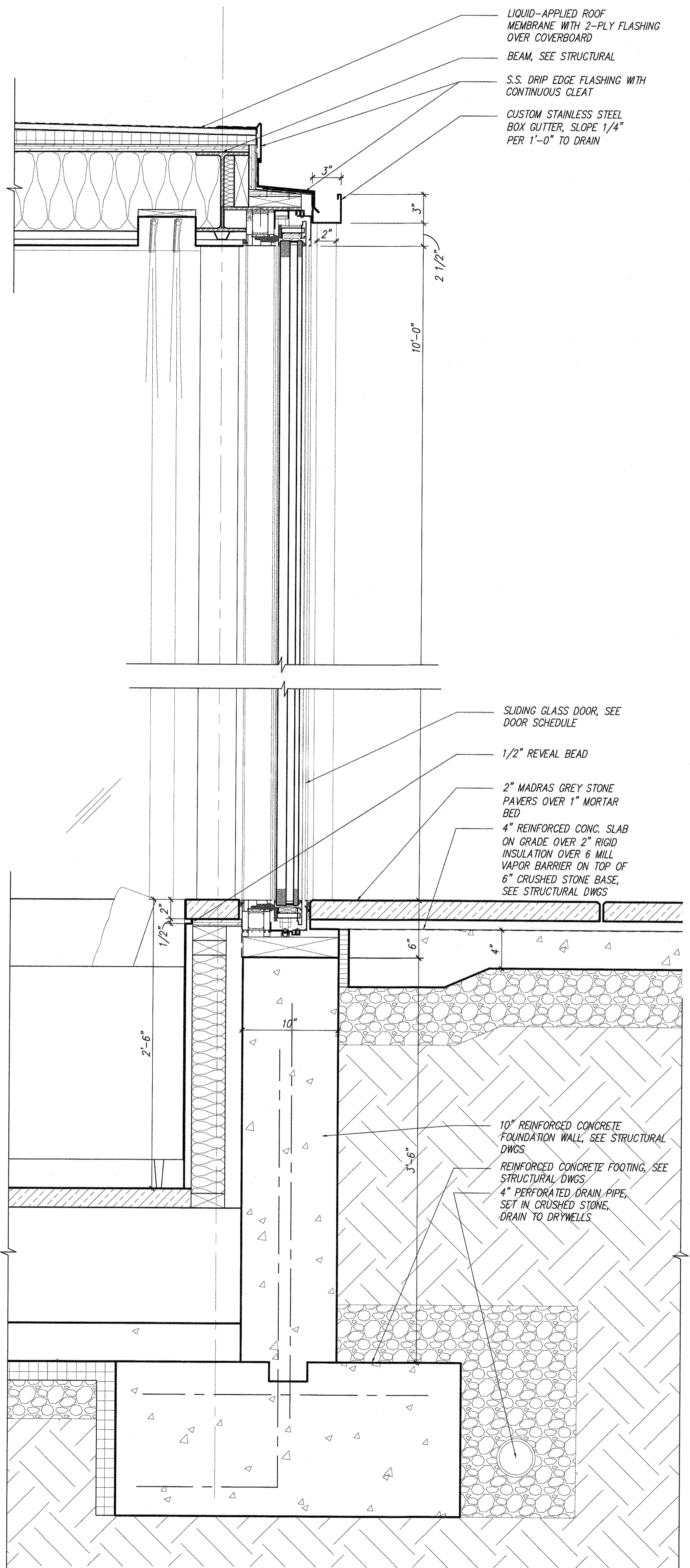
4 PROPOSED SECTION THROUGH POOL HOUSE STAIR
 SCALE: 1-1/2" = 1'-0"



3 PROPOSED SECTION THROUGH POOL HOUSE CHIMNEY FLUE
 SCALE: 1-1/2" = 1'-0"



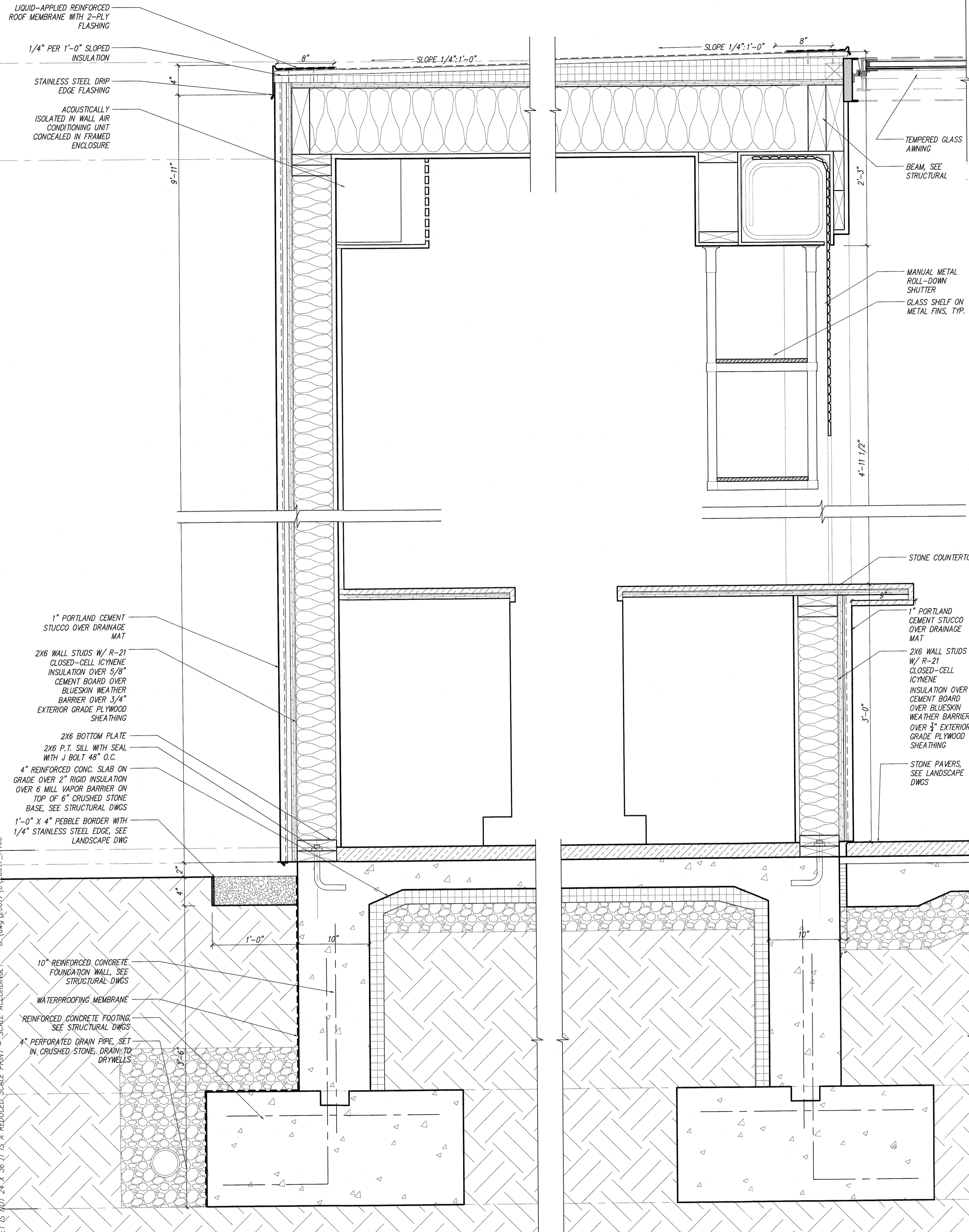
2 PROPOSED SECTION THROUGH POOL HOUSE SKYLIGHT
 SCALE: 1-1/2" = 1'-0"



1 PROPOSED WALL SECTION THROUGH POOL HOUSE SLIDING DOOR
 SCALE: 1-1/2" = 1'-0"

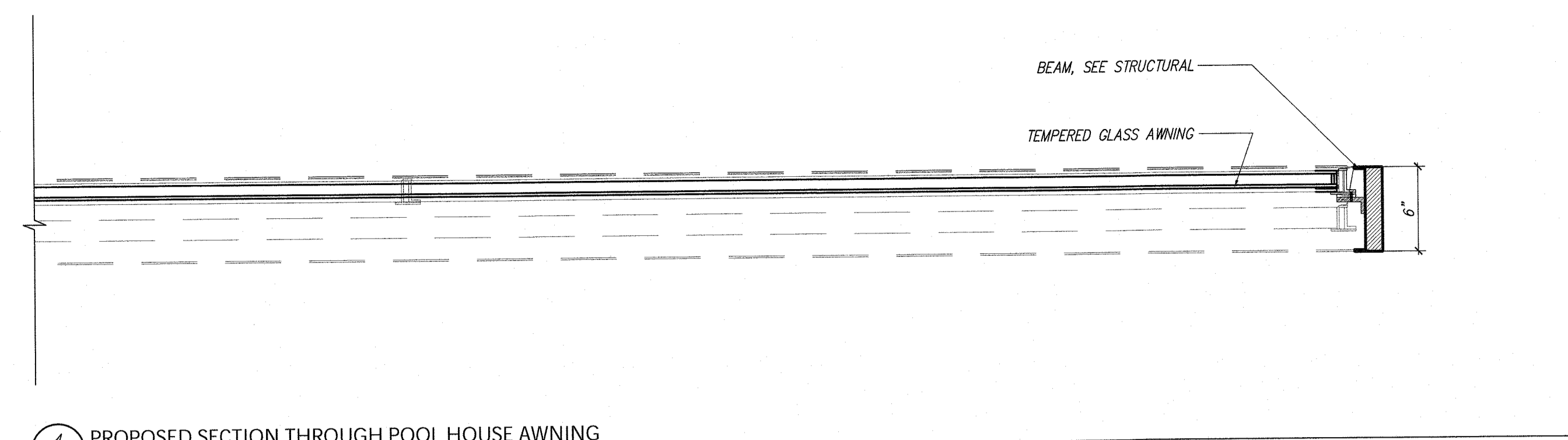
IF THIS SHEET IS NOT 24" X 36" IT IS A REDUCED SCALE PRINT - SCALE ACCORDINGLY

VERIFY ALL DIMENSIONS IN FIELD

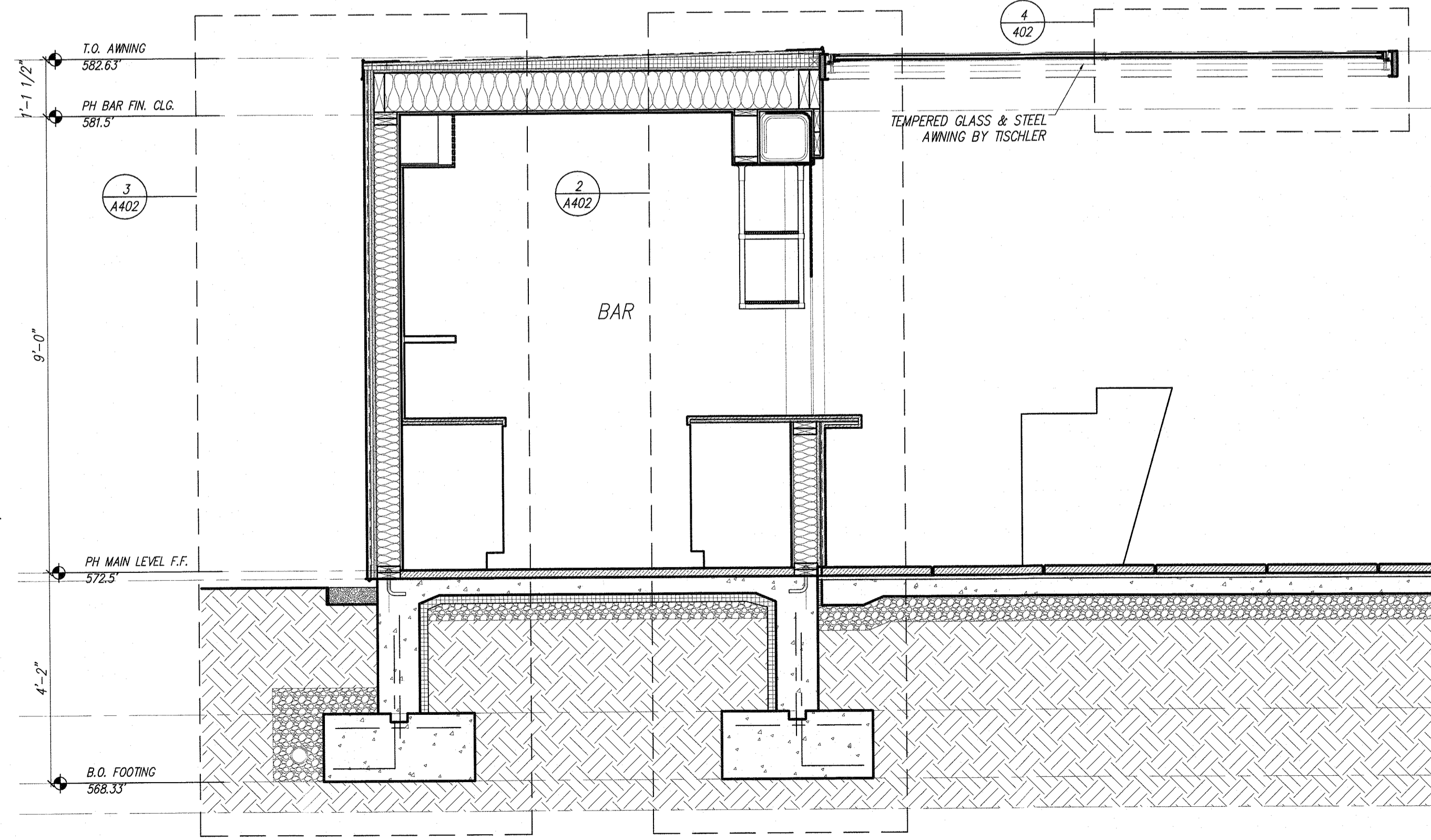


3 PROPOSED WALL SECTION THROUGH POOL HOUSE BAR
SCALE: 1/2" = 1'-0"

2 PROPOSED WALL SECTION THROUGH POOL HOUSE AWNING
SCALE: 1/2" = 1'-0"

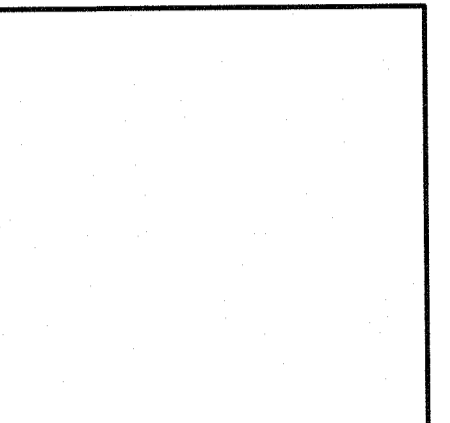


4 PROPOSED SECTION THROUGH POOL HOUSE AWNING
SCALE: 1/2" = 1'-0"



1 PROPOSED SECTION THROUGH POOL HOUSE BAR
SCALE: 1/2" = 1'-0"

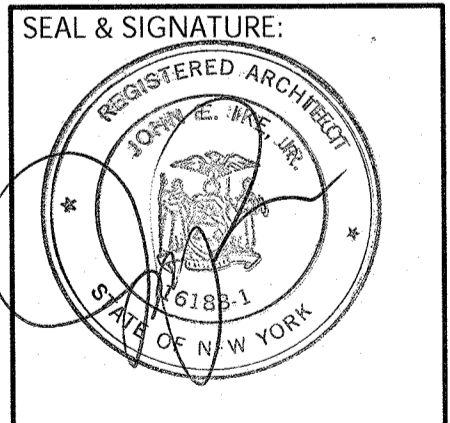
Ike Kligerman Barkley
330 West Forty-Second Street
New York, NY 10036
212 268 0128



59 TWEED BLVD.

No.	REMARKS	DATE
1	ISSUED FOR BUILDING PERMIT	8.17.21
2		
3		

PROJECT:
RESIDENCE
59 TWEED BOULEVARD
ORANGEBURG, NY 10960



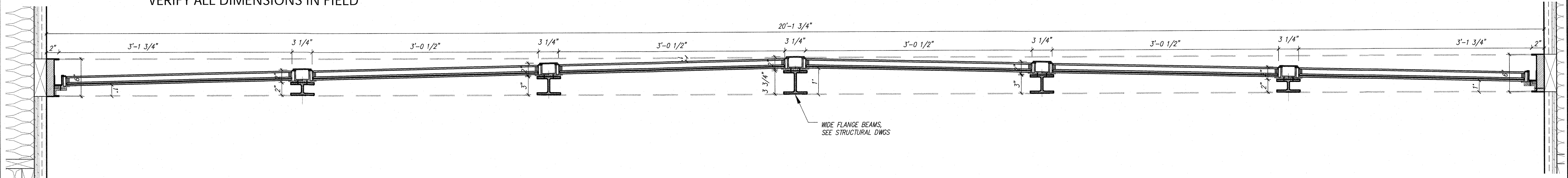
BAR & KITCHENETTE SECTIONS

DATE: 01.08.2021
PROJECT No.: 20017
DRAWING BY: MD
CHK BY:
DWG No.:

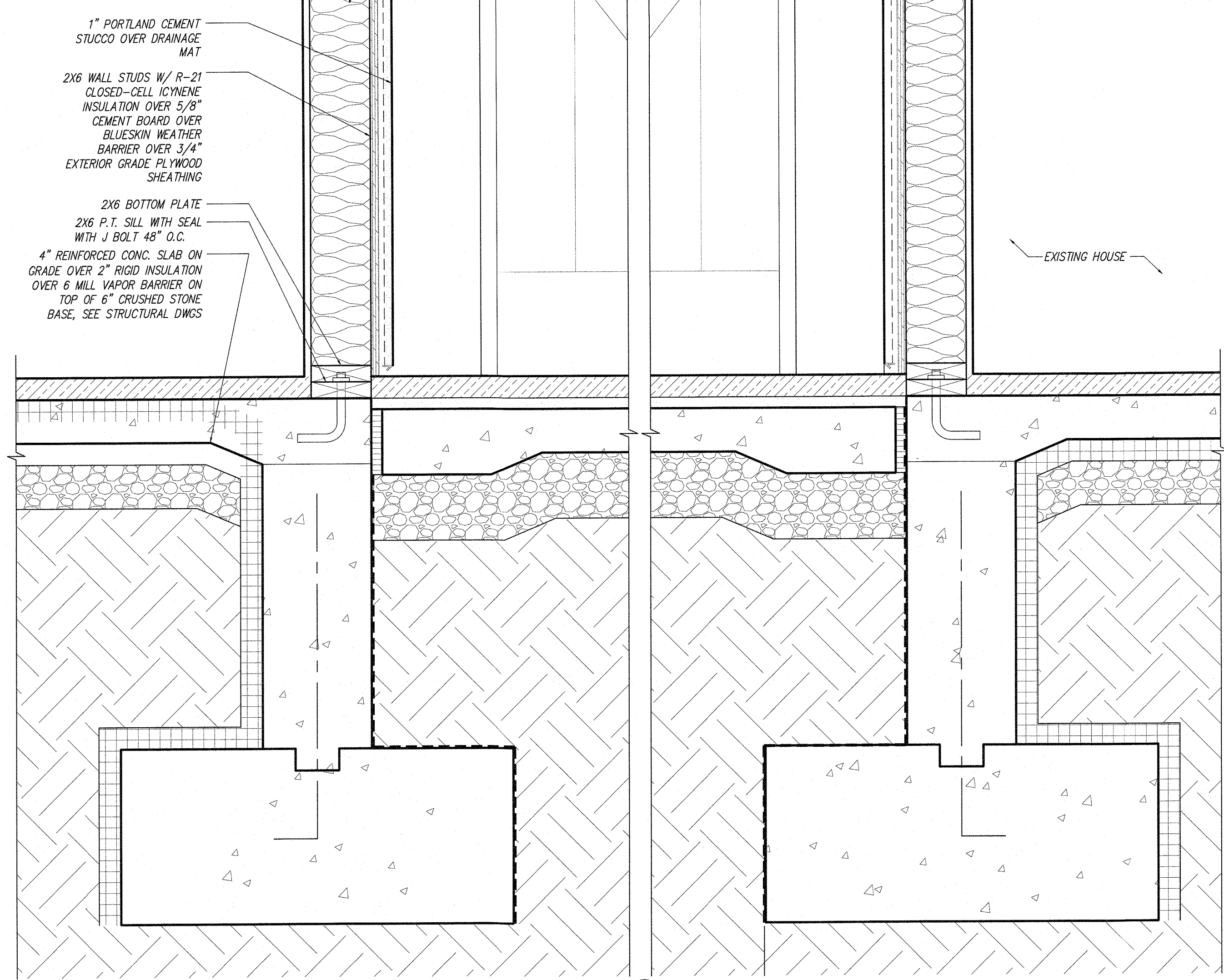
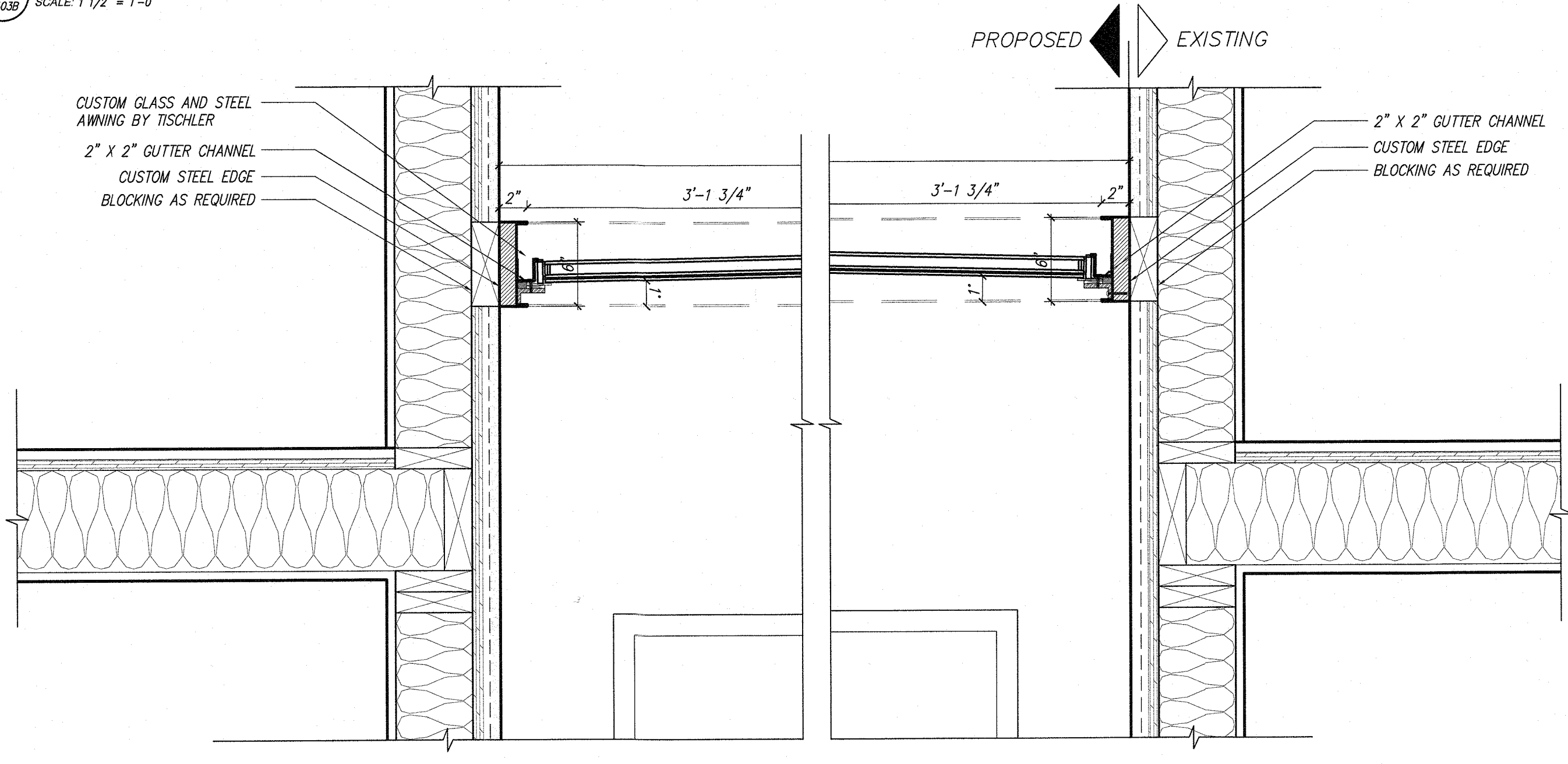
A-402

IF THIS SHEET IS NOT 24" X 36" IT IS A REDUCED SCALE PRINT - SCALE ACCORDINGLY
G:\img\20017\1\20017_A400

VERIFY ALL DIMENSIONS IN FIELD

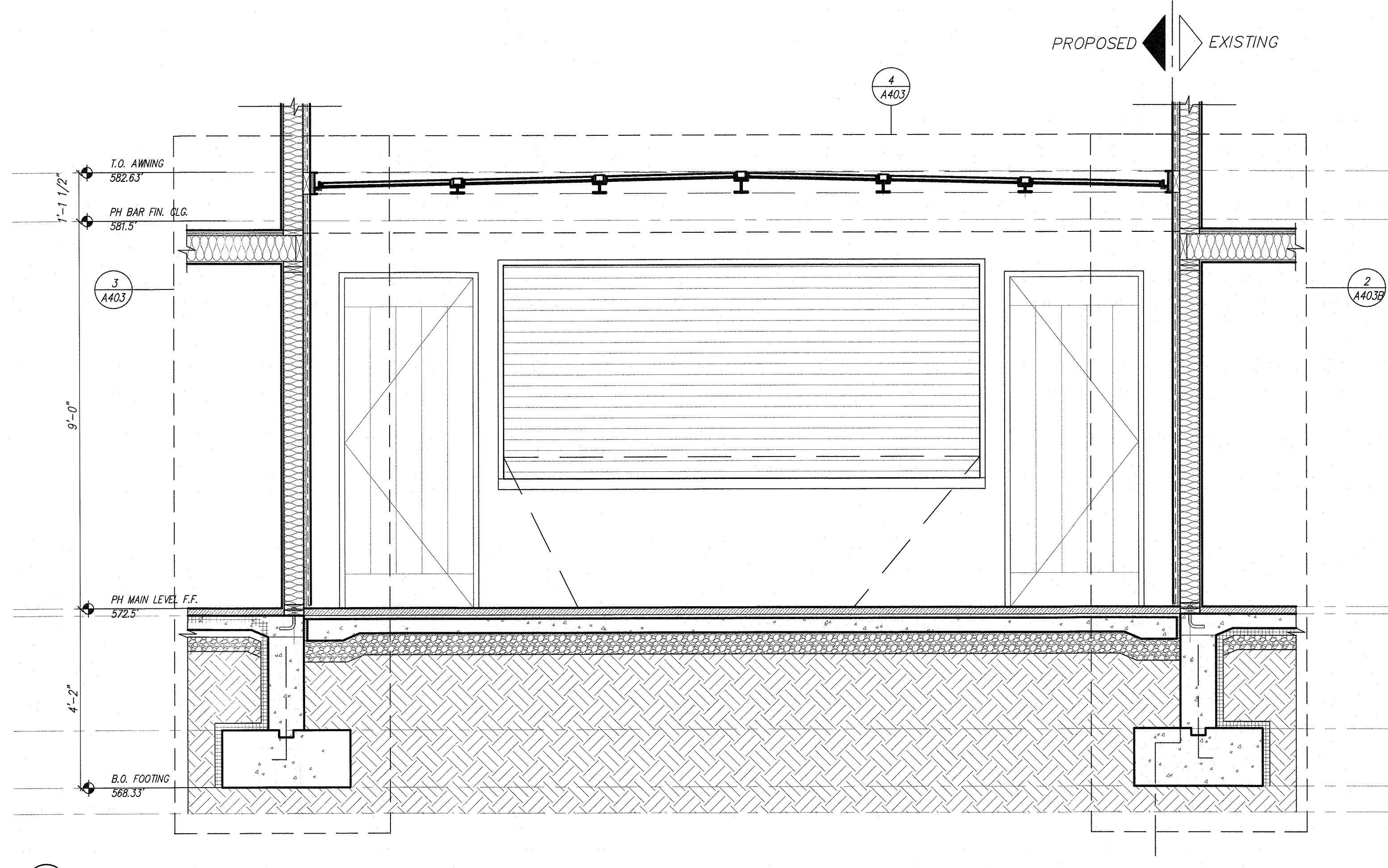


4 PROPOSED SECTION THROUGH POOL HOUSE AWNING
 SCALE: 1 1/2" = 1'-0"



3 PROPOSED WALL SECTION THROUGH POOL HOUSE AWNING
 SCALE: 1 1/2" = 1'-0"

2 PROPOSED WALL SECTION THROUGH POOL HOUSE AWNING
 SCALE: 1 1/2" = 1'-0"

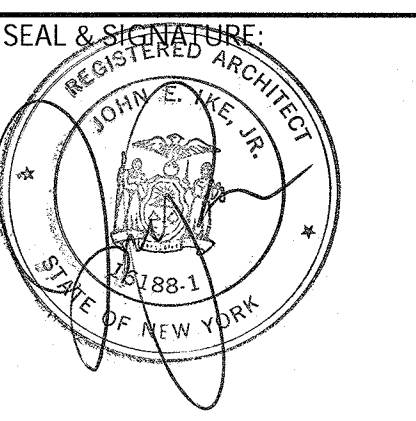


1 PROPOSED SECTION THROUGH POOL HOUSE AWNING
 SCALE: 1/2" = 1'-0"

59 TWEED BLVD.

No.	REMARKS	DATE
1	ISSUED FOR BUILDING PERMIT	8.17.21
2		
3		

PROJECT:
RESIDENCE
 59 TWEED BOULEVARD
 ORANGETOWN, NY 10960



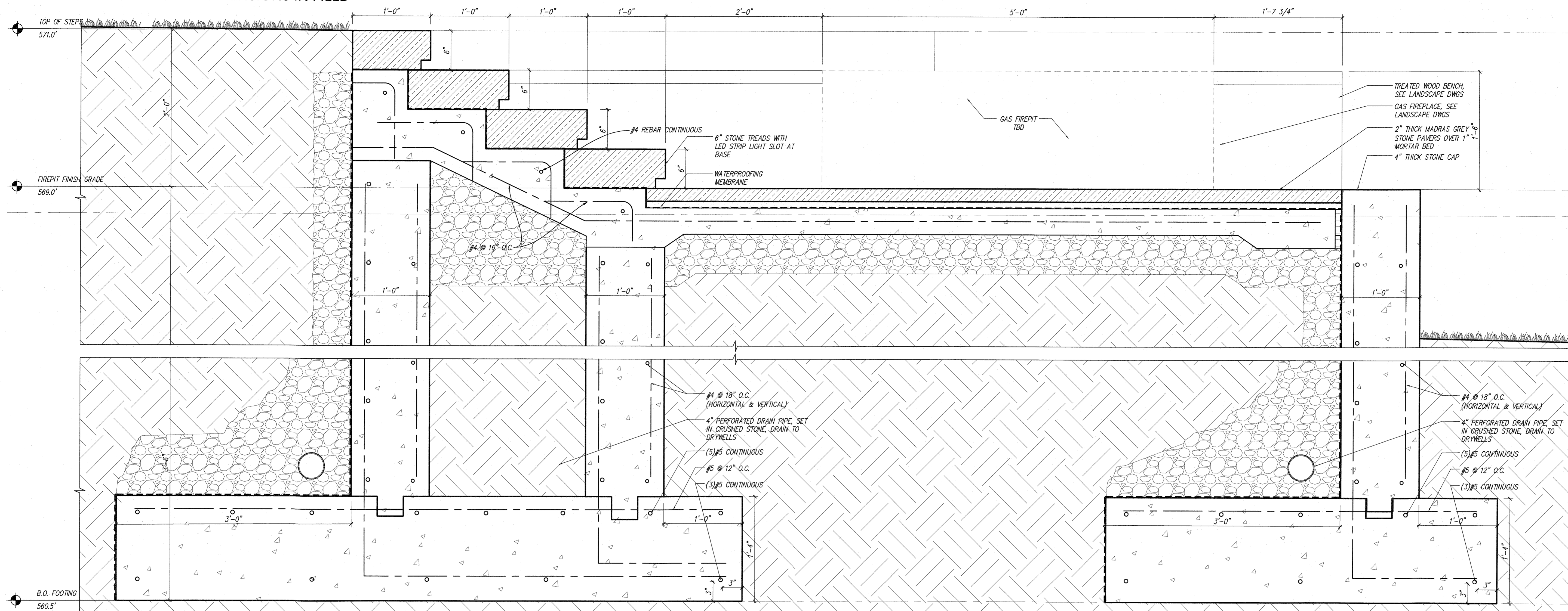
SECTIONS THRU
 AWNING AT BAR
 & KITCHENETTE

DATE: 01.08.2021
 PROJECT No.: 20017
 DRAWING BY: MD
 CHK BY:
 DWG No.:

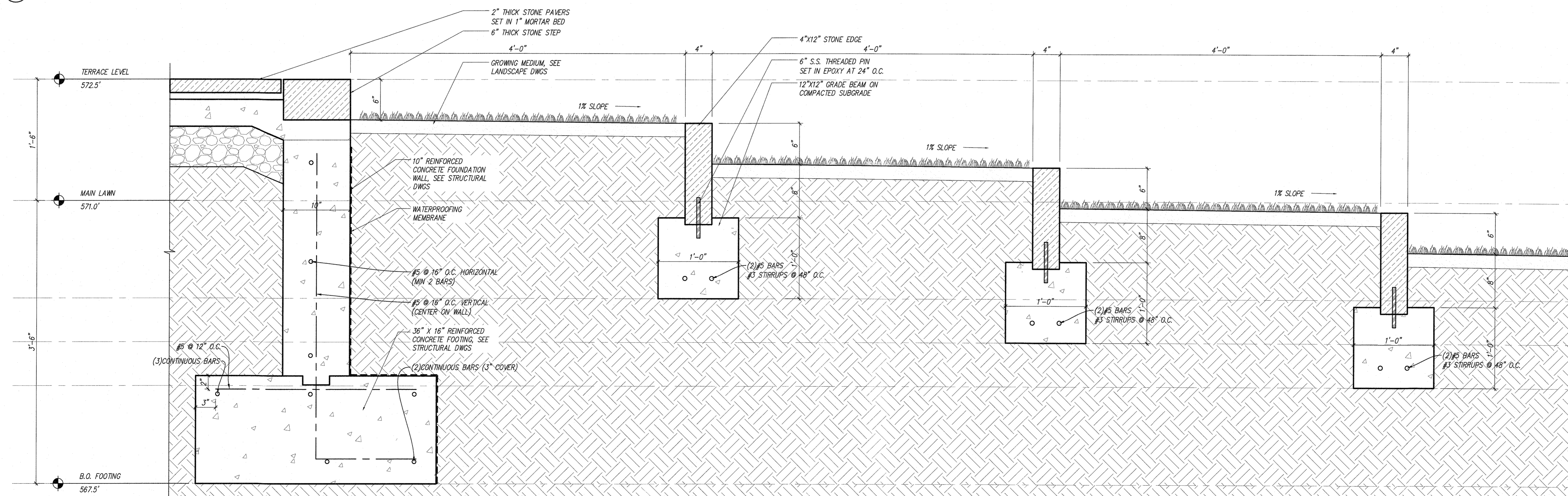
A-403

IF THIS SHEET IS NOT 24" X 36" IT IS A REDUCED SCALE PRINT - SCALE ACCORDINGLY G:\dwg\2007\1\2007_4403

VERIFY ALL DIMENSIONS IN FIELD



2 PROPOSED SECTION THROUGH FIREPIT
SCALE: 1 - 1/2" = 1'-0"



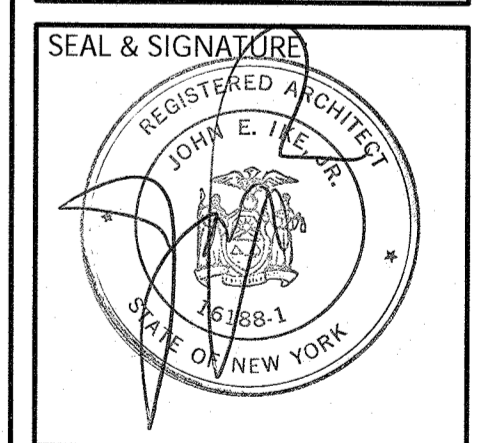
1 PROPOSED SECTION THROUGH LAWN STEPS
SCALE: 1 - 1/2" = 1'-0"

Ike Kligerman Barkley
330 West Forty-Second Street
New York, NY 10096
212 268 0128

59 TWEED BLVD.

No.	REMARKS	DATE
1	ISSUED FOR BUILDING PERMIT	8.17.21
2		
3		

PROJECT:
RESIDENCE
59 TWEED BOULEVARD
ORANGEBURG, NY 10960



TERRACE SECTIONS

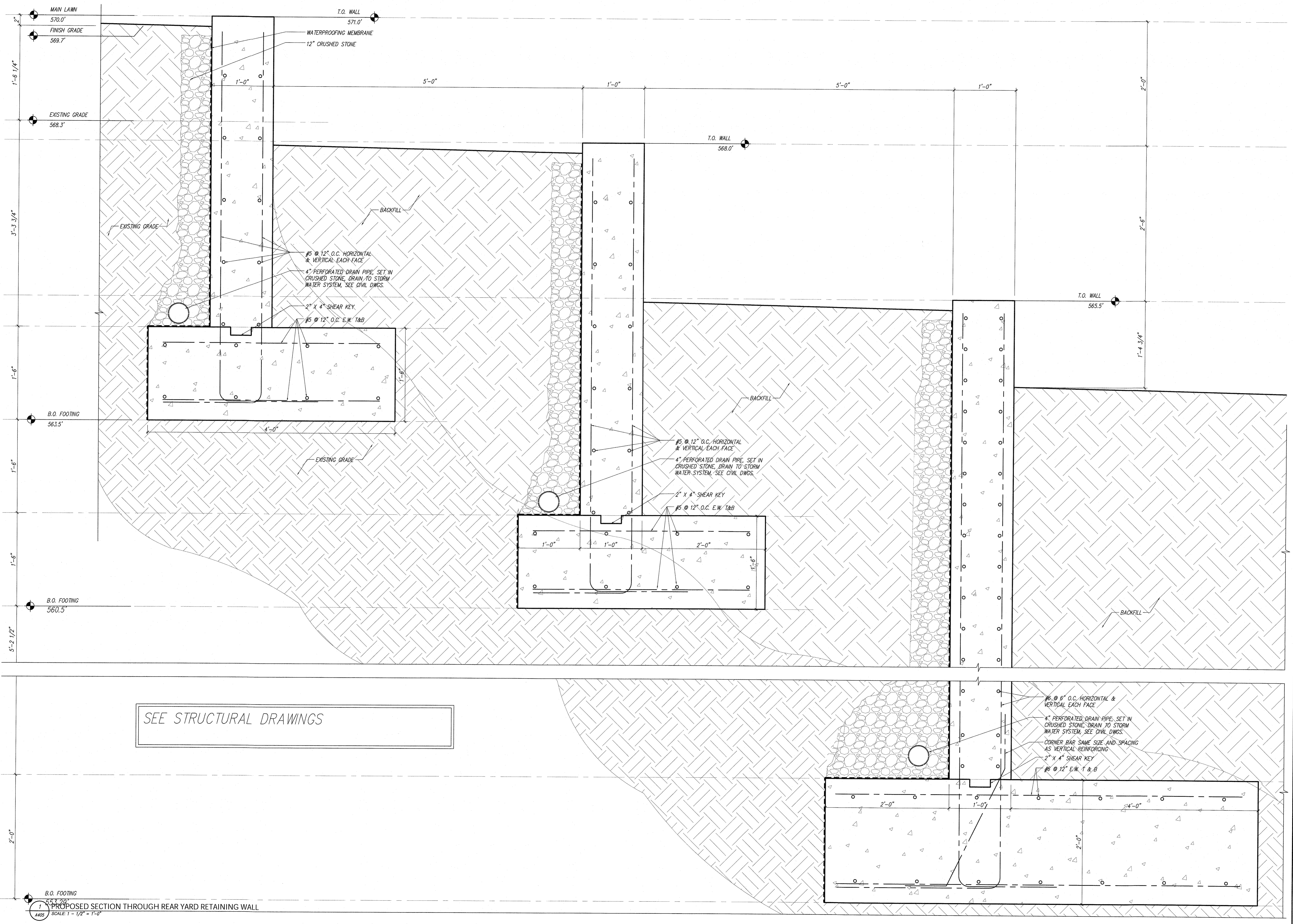
DATE: 01.08.2021
PROJECT No.: 20017
DRAWING BY: MD
CHK BY:
DWG No.: A-404

IF THIS SHEET IS NOT 24 X 36 IT IS A REDUCED SCALE PRINT - SCALE ACCORDINGLY G:\dwg\2007\1\2007_1_A404

VERIFY ALL DIMENSIONS IN FIELD

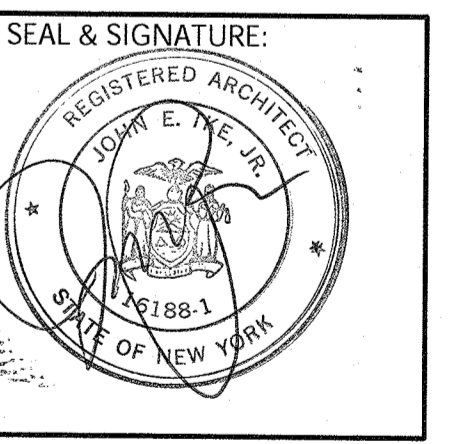
Ike Kligerman Barkley
 330 West Forty-Second Street
 New York, NY 10036
 212 268 0128

59 TWEED BLVD.



No.	REMARKS	DATE
1	ISSUED FOR BUILDING PERMIT	8.17.21
2		
3		

PROJECT:
RESIDENCE
 59 TWEED BOULEVARD
 ORANBURG, NY 10960



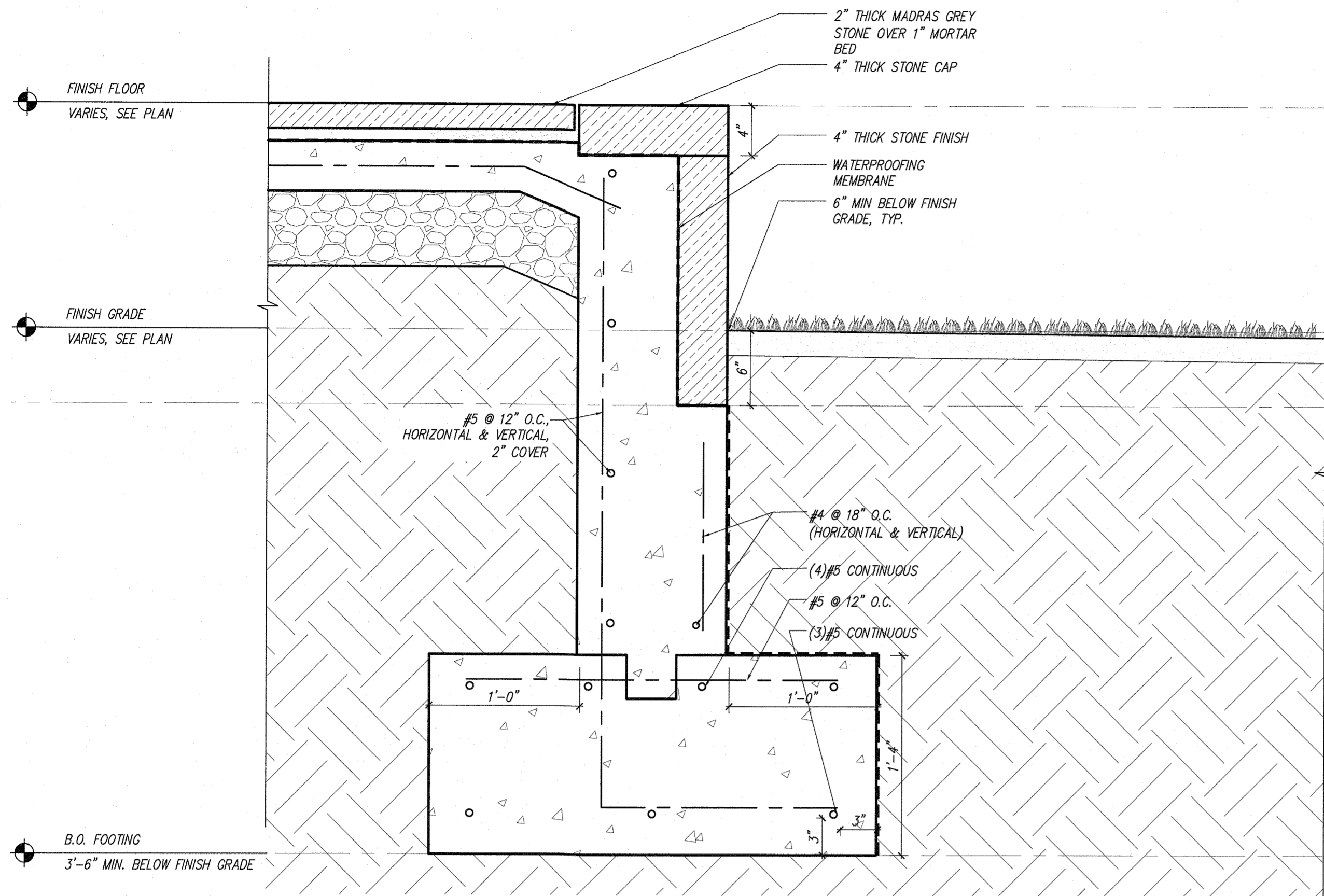
RETAINING WALL SECTION

DATE: 01.08.2021
 PROJECT No.: 20017
 DRAWING BY: MD
 CHK BY:
 DWG No.:

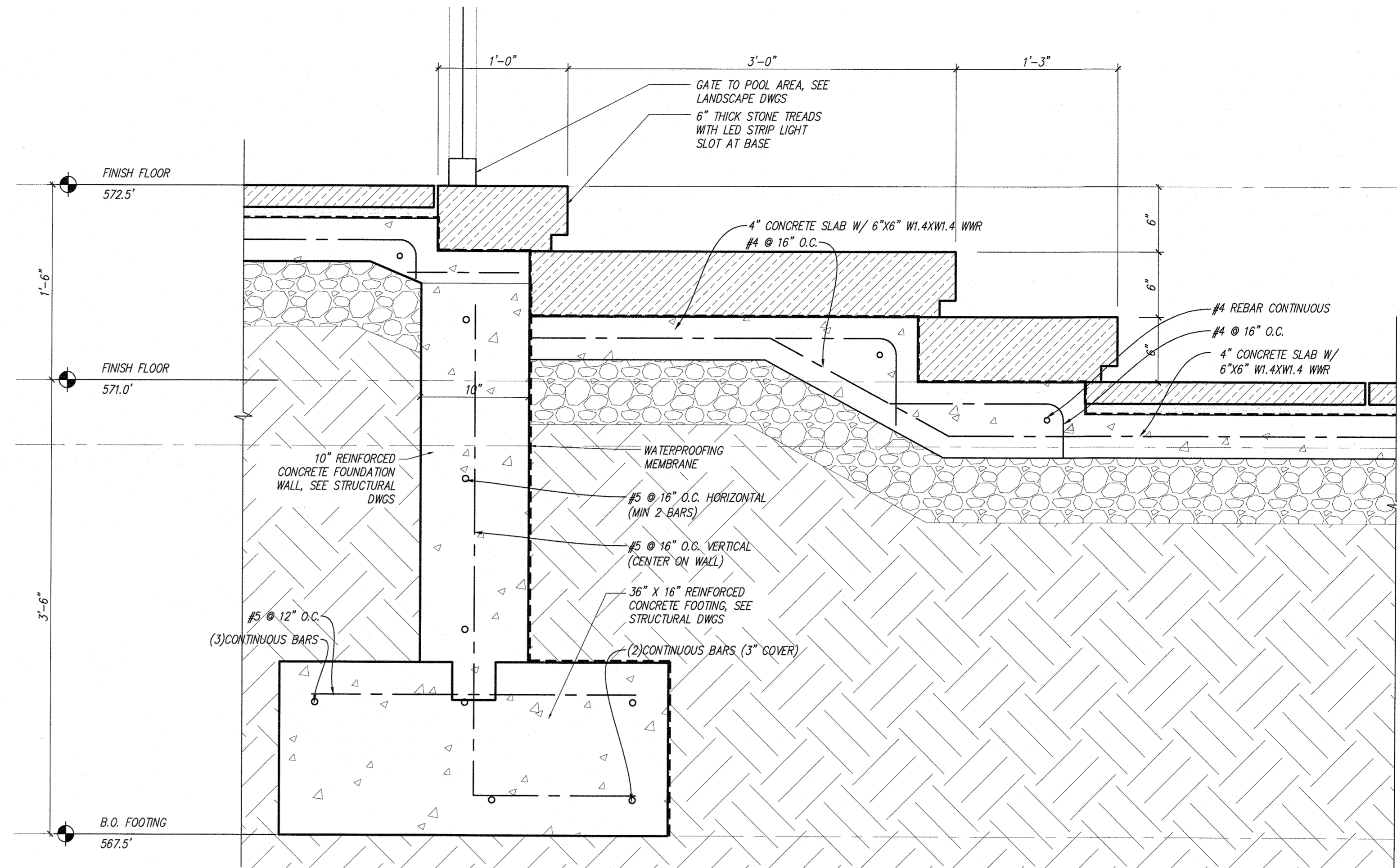
A-405

IF THIS SHEET IS NOT 24 X 36 IT IS A REDUCED SCALE PRINT - SCALE ACCORDINGLY

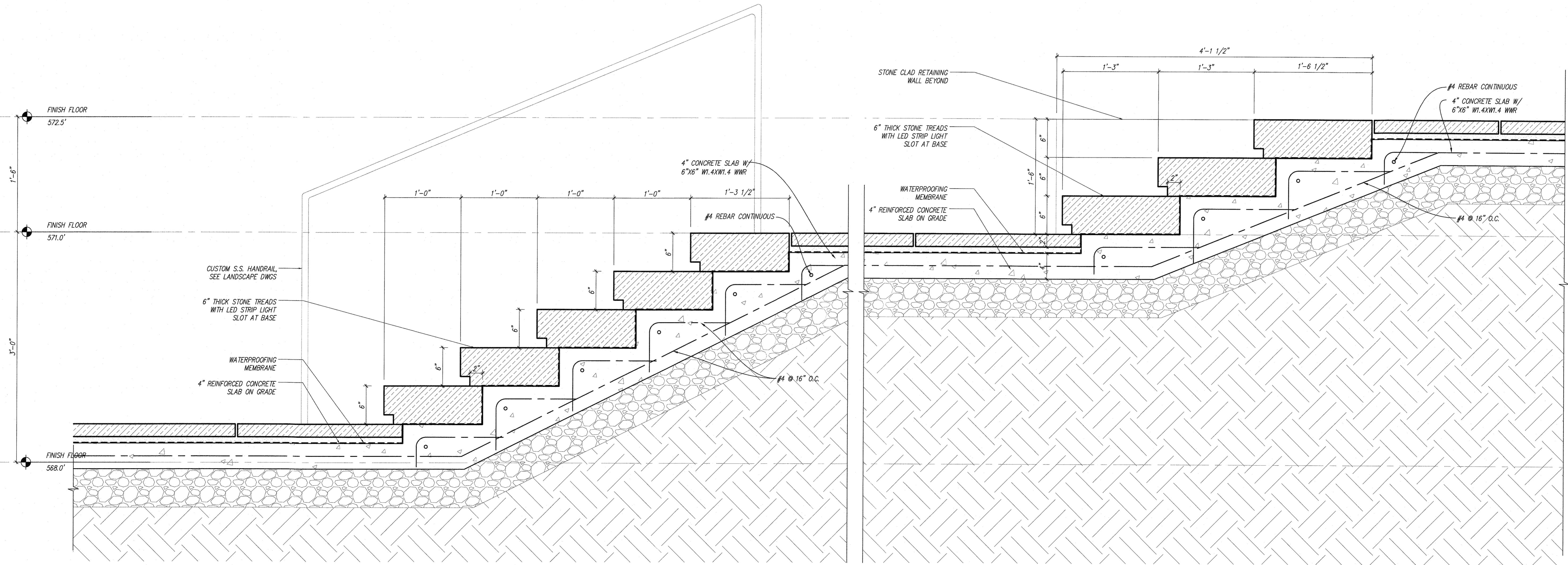
B.O. FOOTING
 563.20
PROPOSED SECTION THROUGH REAR YARD RETAINING WALL
 SCALE 1 - 1/2" = 1'-0"



4 PROPOSED SECTION THROUGH TYP RETAINING WALL
 SCALE: 1 - 1/2" = 1'-0"



3 PROPOSED SECTION THROUGH STEPS TO POOL AREA
 SCALE: 1 - 1/2" = 1'-0"



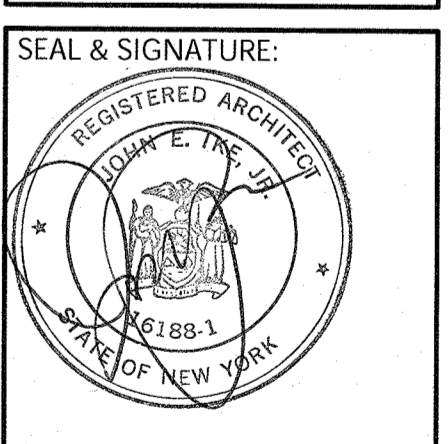
2 PROPOSED SECTION THROUGH TERRACE STEPS
 SCALE: 1 - 1/2" = 1'-0"

1 PROPOSED SECTION THROUGH TERRACE STEPS
 SCALE: 1 - 1/2" = 1'-0"

59 TWEED BLVD.

No.	REMARKS	DATE
1	ISSUED FOR BUILDING PERMIT	8.17.21
2		
3		

PROJECT:
RESIDENCE
 59 TWEED BOULEVARD
 ORANBURG, NY 10960



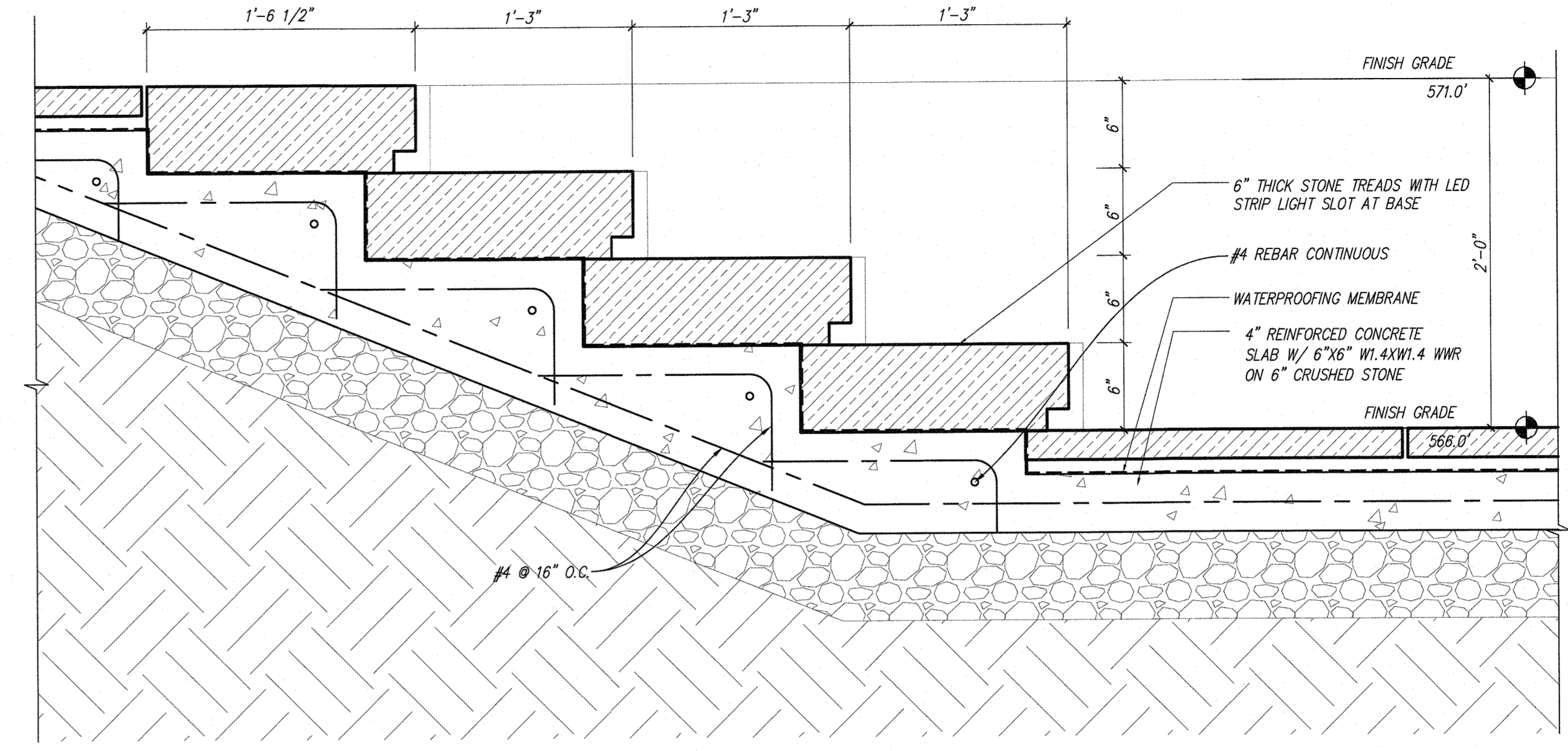
TERRACE STEP SECTIONS

DATE: 01.08.2021
 PROJECT No.: 20017
 DRAWING BY: MD
 CHK BY:
 DWG No.: A-406

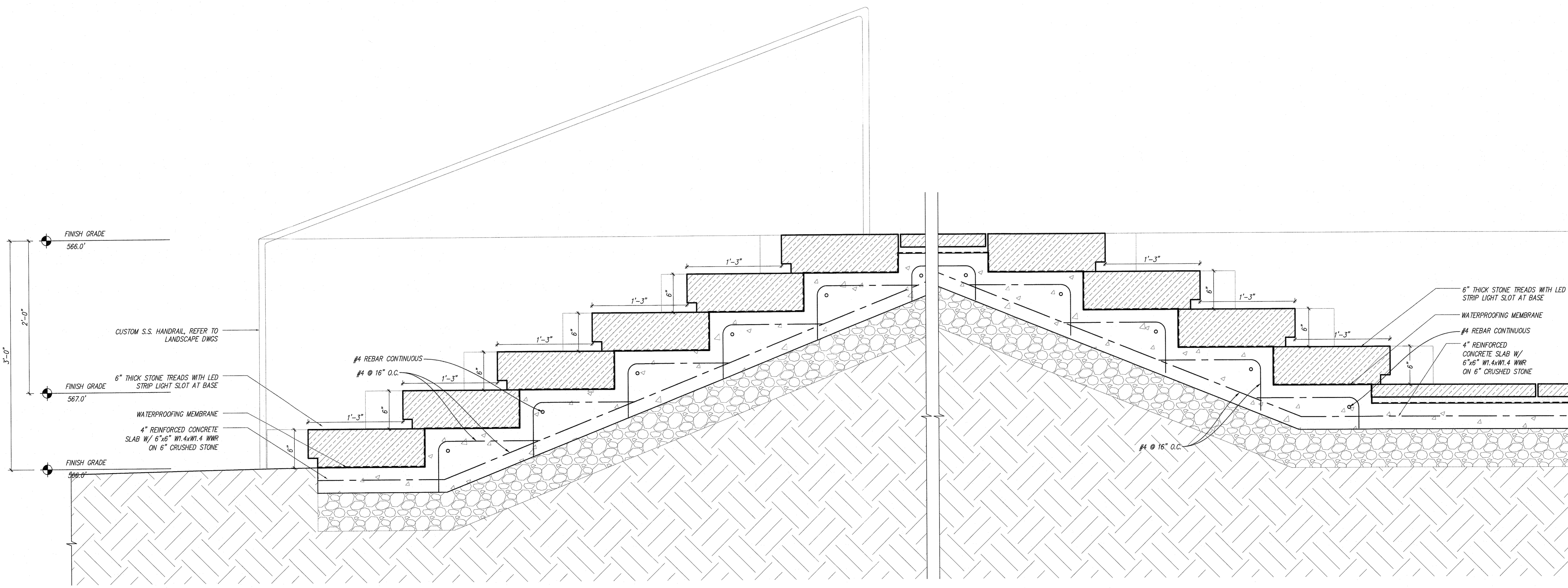
IF THIS SHEET IS NOT 24 X 36 IT IS A REDUCED SCALE PRINT - SCALE ACCORDINGLY © dwg 20017 (C) 2007_A406

VERIFY ALL DIMENSIONS IN FIELD

Ike Kligerman Barkley
 330 West Forty-Second Street
 New York, NY 10096
 212 268 0128



2 PROPOSED SECTION THROUGH RETAINING WALL STEPS
 SCALE: 1 - 1/2" = 1'-0"

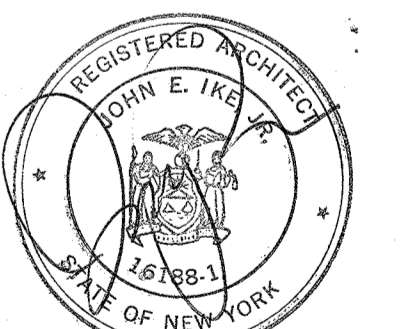


1 PROPOSED SECTION THROUGH RETAINING WALL STEPS
 SCALE: 1 - 1/2" = 1'-0"

59 TWEED BLVD.

No.	REMARKS	DATE
1	ISSUED FOR BUILDING PERMIT	8.17.21
2		
3		

PROJECT:
RESIDENCE
 59 TWEED BOULEVARD
 ORANGETOWN, NY 10960

SEAL & SIGNATURE:


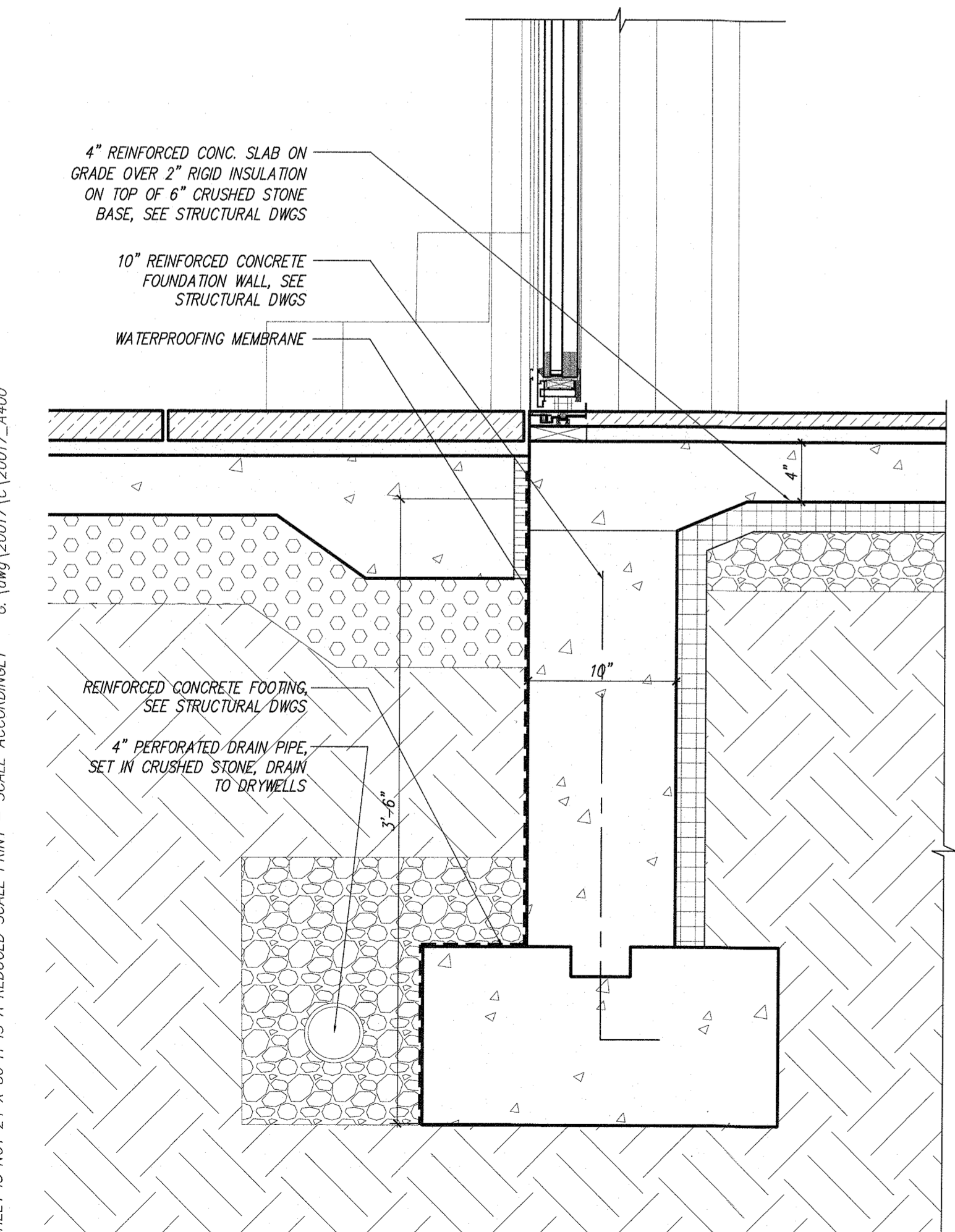
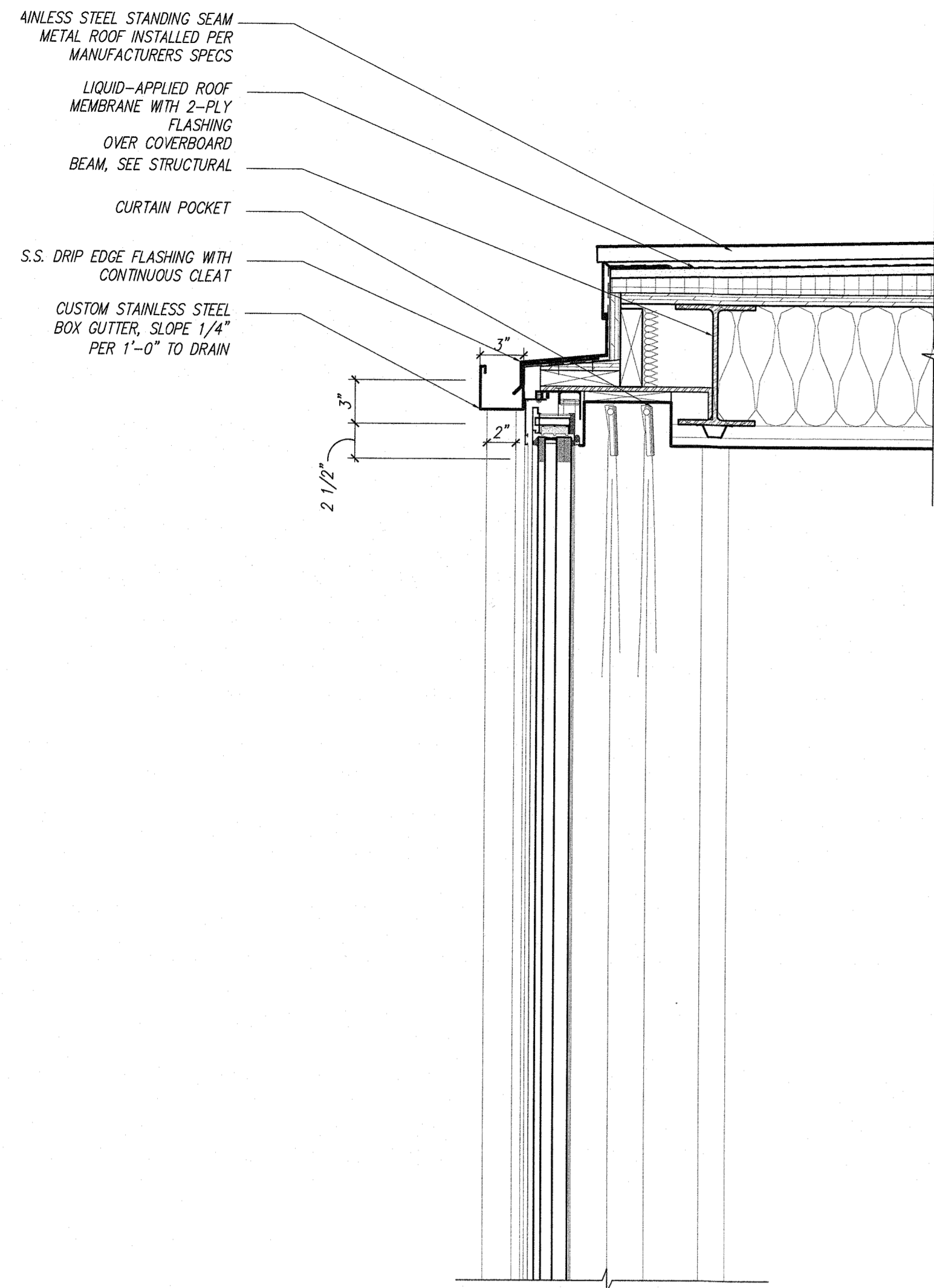
RETAINING WALL
 STEP SECTIONS

DATE: 01.08.2021
 PROJECT No.: 20017
 DRAWING BY: MD
 CHK BY:
 DWG No.:

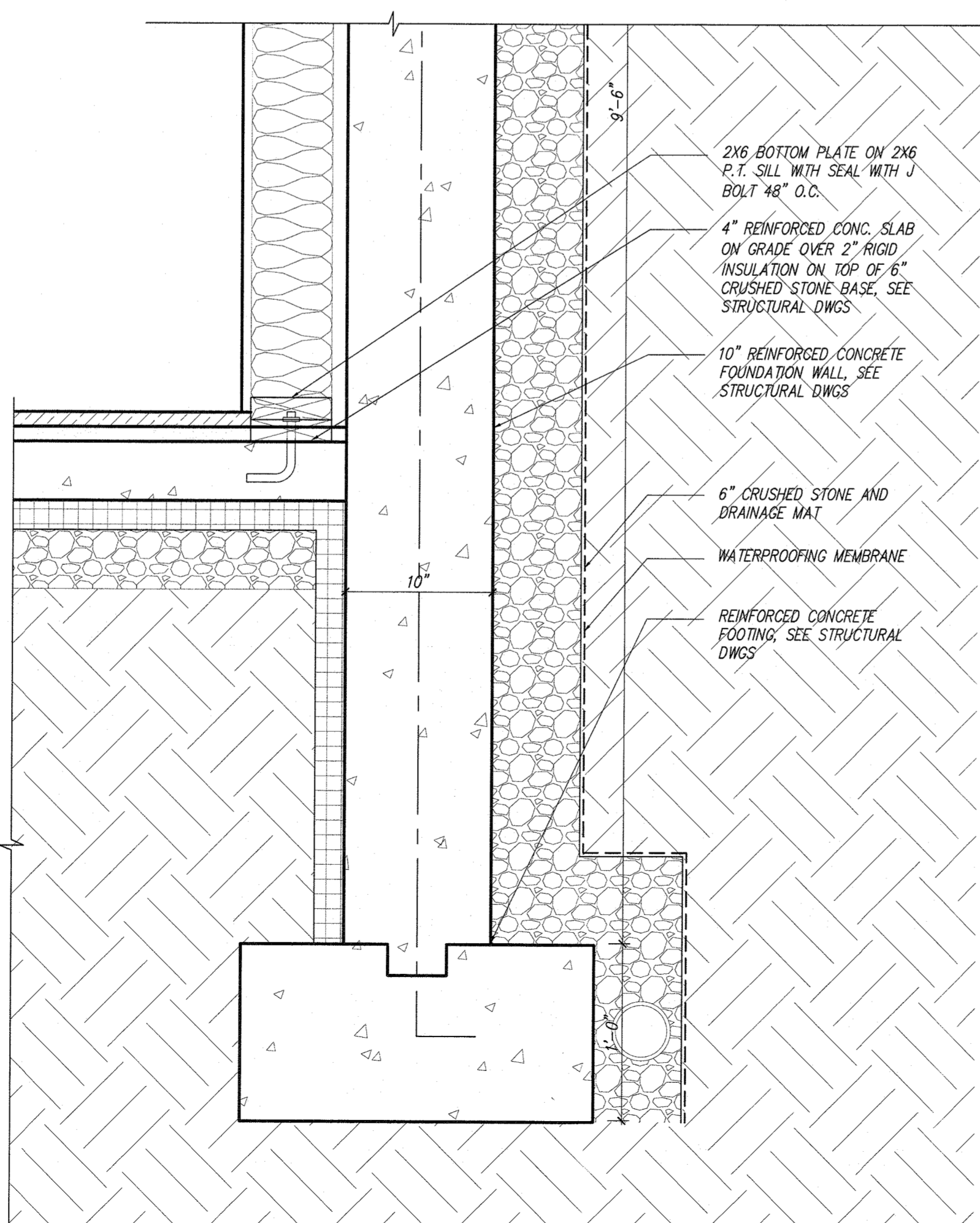
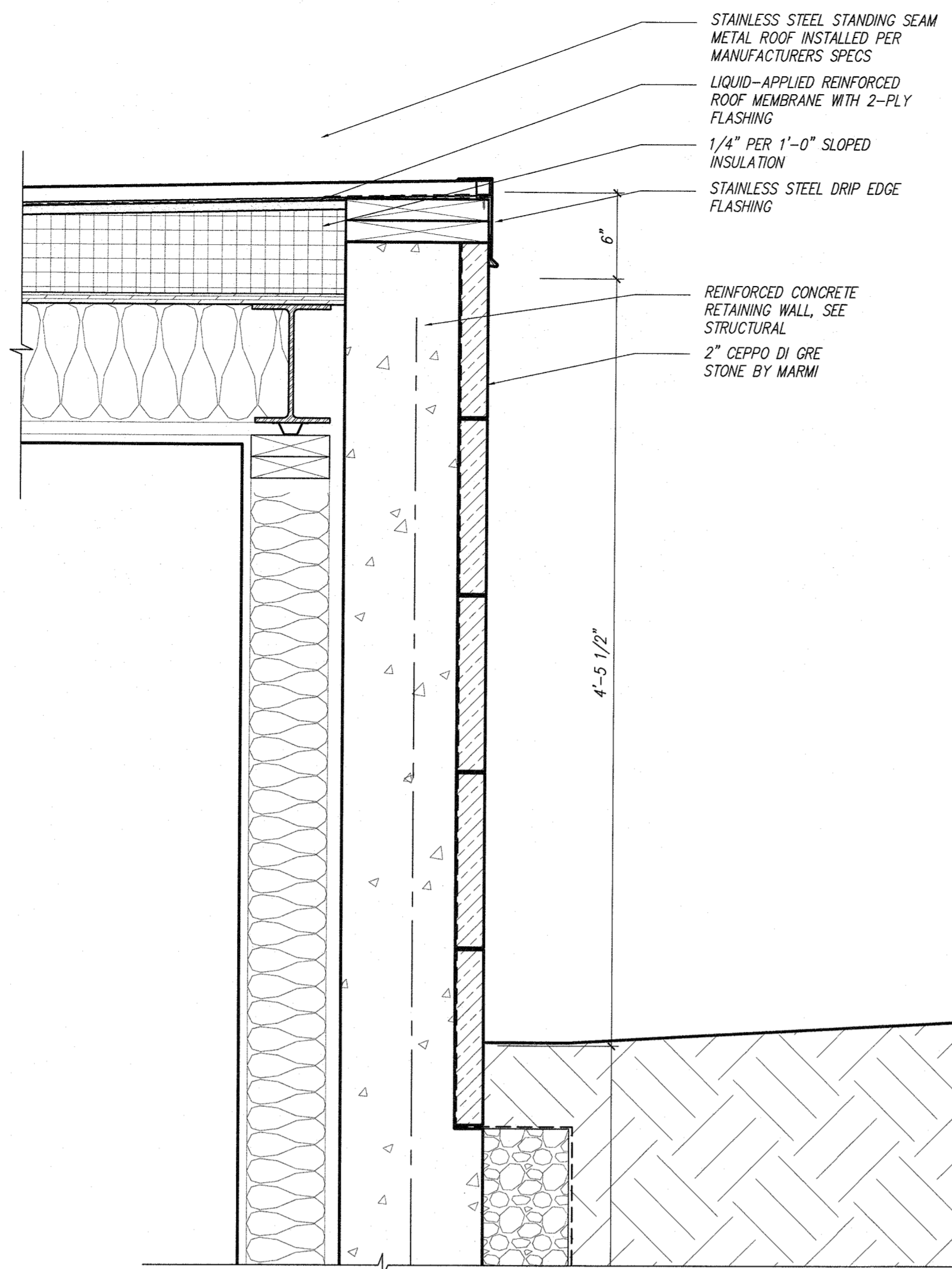
A-408

IF THIS SHEET IS NOT 24 X 36 IT IS A REDUCED SCALE PRINT - SCALE ACCORDINGLY © Ike Kligerman Barkley Architects, PC 2007-2021 A-408

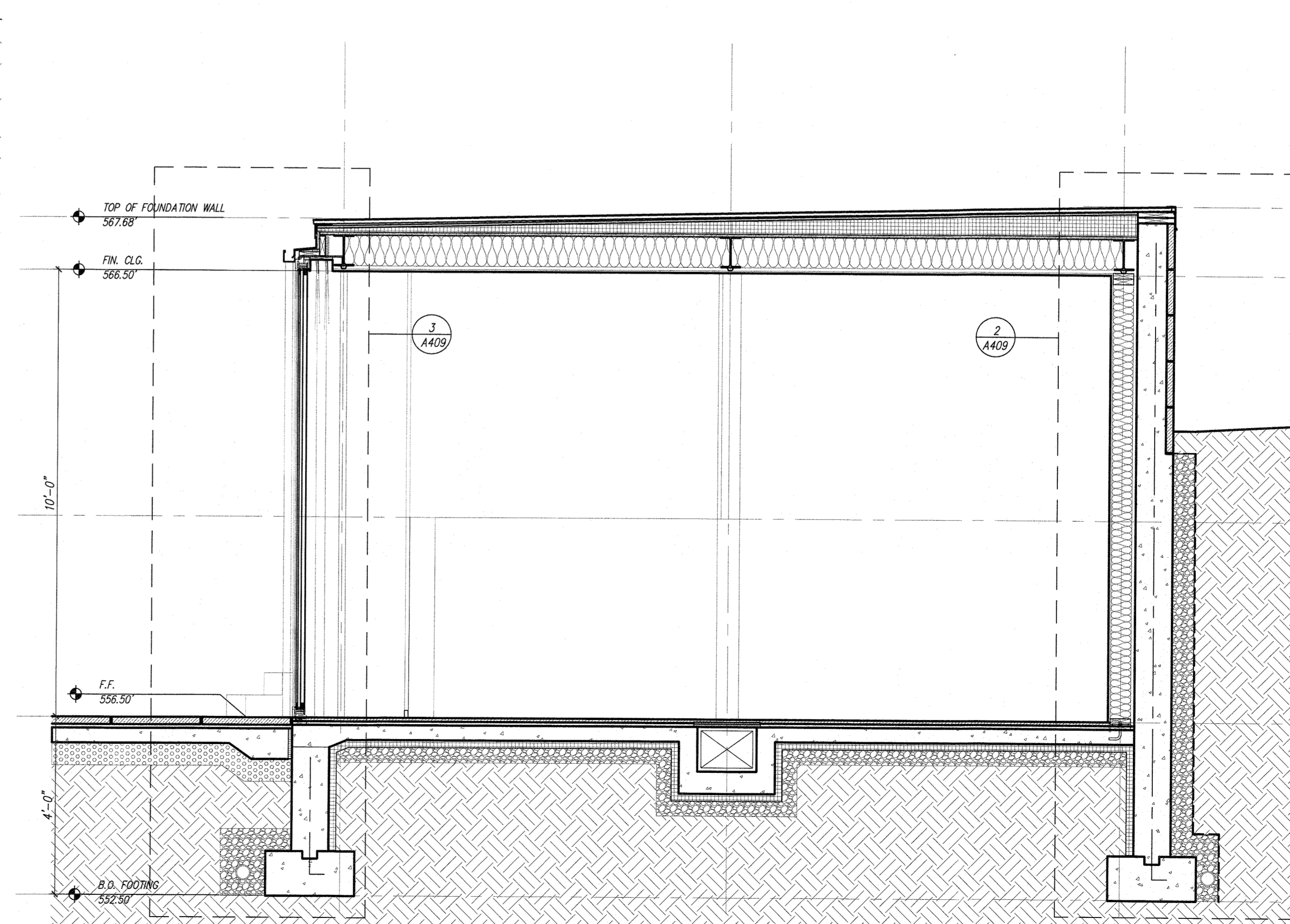
VERIFY ALL DIMENSIONS IN FIELD



3 PROPOSED WALL SECTION THROUGH OFFICE PAVILION
SCALE: 1/2" = 1'-0"



2 PROPOSED WALL SECTION THROUGH OFFICE PAVILION
SCALE: 1/2" = 1'-0"



1 PROPOSED OFFICE PAVILION SECTION
SCALE: 1/2" = 1'-0"

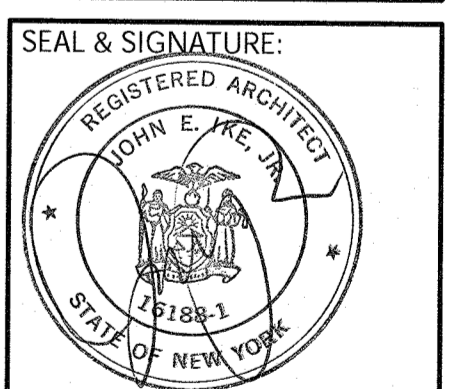
NOTE:
FOR FUTURE CONSTRUCTION

Ike Kligerman Barkley
330 West Forty-Second Street
New York, NY 10036
212 268 0128

59 TWEED BLVD.

No.	REMARKS	DATE
1	ISSUED FOR BUILDING PERMIT	8.17.21
2		
3		

PROJECT:
RESIDENCE
59 TWEED BOULEVARD
ORANBURG, NY 10960



OFFICE PAVILION
SECTIONS

DATE: 01.08.2021
PROJECT No.: 20017
DRAWING BY: MD
CHK BY:
DWG No.:

A-409

IF THIS SHEET IS NOT 24 X 36 IT IS A REDUCED SCALE PRINT - SCALE ACCORDINGLY © I&K (2007) (C) 20017_A409

VERIFY ALL DIMENSIONS IN FIELD

DOOR AND WINDOW ELEVATIONS

TYPE A QUANTITY: 1 TYPE B QUANTITY: 1 TYPE C QUANTITY: 1 TYPE D QUANTITY: 1

TYPE E QUANTITY: 3 TYPE F QUANTITY: 2 TYPE G QUANTITY: 2 TYPE H QUANTITY: 1

TYPE J QUANTITY: 3 TYPE K QUANTITY: 1 TYPE L QUANTITY: 1

WINDOW AND DOOR SCHEDULE

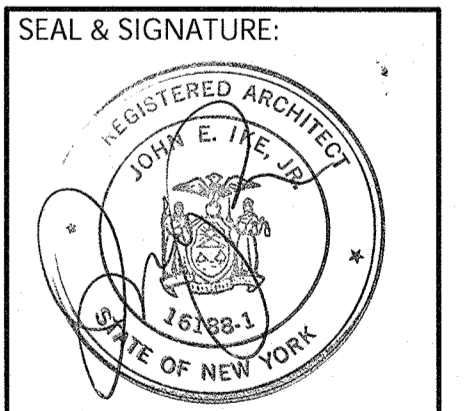
MAIN FLOOR WINDOWS															
NUMBER	TYPE	LOCATION	MANUF.	MODEL NO.	UNIT SIZE (W x H)	HEAD	JAMB	SILL	OPERATION	INTERIOR	EXTERIOR	HARDWARE	SCREENS	HURRICANE	NOTES
W101	A	PH CHANGING RM 102	TISCHLER	-	2'-0" X 5'-0"	-	-	-	CASEMENT	316 ST. ST.	316 STAINLESS STEEL	TBD	NO	NO	-
W102	B	POOL HOUSE LAV 102A	TISCHLER	-	1'-0" X 4'-6"	-	-	-	FIXED	316 ST. ST.	316 STAINLESS STEEL	TBD	NO	NO	-
W103	E	POOL HOUSE 101	TISCHLER	-	16'-6" X 10'-0"	-	-	-	SLIDING	316 ST. ST.	316 STAINLESS STEEL	TBD	NO	NO	-
W104	E	POOL HOUSE 101	TISCHLER	-	16'-6" X 10'-0"	-	-	-	SLIDING	316 ST. ST.	316 STAINLESS STEEL	TBD	NO	NO	-
W105	E	POOL HOUSE 101	TISCHLER	-	16'-6" X 10'-0"	-	-	-	SLIDING	316 ST. ST.	316 STAINLESS STEEL	TBD	NO	NO	-
W106	C	MAIN HOUSE DEN 104	TISCHLER	-	12'-0" X 8'-0"	-	-	-	SLIDING	316 ST. ST.	316 STAINLESS STEEL	TBD	NO	NO	-
W107	F	OFFICE PAVILION	TISCHLER	-	5'-2" X 5'-6"	-	-	-	FIXED	316 ST. ST.	316 STAINLESS STEEL	TBD	NO	NO	-
W108	G	OFFICE PAVILION	TISCHLER	-	6'-8" X 10'-0"	-	-	-	FIXED	316 ST. ST.	316 STAINLESS STEEL	TBD	NO	NO	-
W109	H	OFFICE PAVILION	TISCHLER	-	6'-0" X 10'-0"	-	-	-	OUT-SWING	316 ST. ST.	316 STAINLESS STEEL	TBD	NO	NO	-
W110	G	OFFICE PAVILION	TISCHLER	-	6'-8" X 10'-0"	-	-	-	FIXED	316 ST. ST.	316 STAINLESS STEEL	TBD	NO	NO	-
W111	F	OFFICE PAVILION	TISCHLER	-	5'-2" X 5'-6"	-	-	-	FIXED	316 ST. ST.	316 STAINLESS STEEL	TBD	NO	NO	-
UPPER FLOOR WINDOWS															
NUMBER	TYPE	LOCATION	MANUF.	MODEL NO.	UNIT SIZE (W x H)	HEAD	JAMB	SILL	OPERATION	INTERIOR	EXTERIOR	HARDWARE	SCREENS	HURRICANE	NOTES
W201	D	POOL HOUSE LOFT 201	TISCHLER	-	16'-6" X 6'-2 1/4"	-	-	-	FIXED	316 ST. ST.	316 STAINLESS STEEL	TBD	NO	NO	-
MAIN FLOOR DOORS - EXTERIOR															
NUMBER	TYPE	LOCATION	MANUF.	MODEL NO.	UNIT SIZE (W x H)	HEAD	JAMB	SILL	OPERATION	INTERIOR	EXTERIOR	HARDWARE	SCREENS	HURRICANE	NOTES
D101	J	POOL HOUSE 101			3'-0" X 7'-8"	-	-	-	IN-SWING			TBD	NO	NO	-
D102	J	BAR KITCHENETTE 103			3'-0" X 7'-8"	-	-	-	IN-SWING			TBD	NO	NO	-
D103	J	BAR KITCHENETTE 103			3'-0" X 7'-8"	-	-	-	IN-SWING			TBD	NO	NO	-
MAIN FLOOR DOORS - INTERIOR															
NUMBER	TYPE	LOCATION	MANUF.	MODEL NO.	UNIT SIZE (W x H)	HEAD	JAMB	SILL	OPERATION	INTERIOR	EXTERIOR	HARDWARE	SCREENS	HURRICANE	NOTES
D1101	K	POOL HSE 101/CHG 102			3'-0" X 7'-8"	-	-	-	POCKET			TBD			-
D1102	L	OFFICE PAVILION			2'-6" X 7'-8"	-	-	-	SWING			TBD			-

Ike Kligerman Barkley
 330 West Forty-Second Street
 New York, NY 10036
 212 268 0128

59 TWEED BLVD.

No.	REMARKS	DATE
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2		
3		

PROJECT:
RESIDENCE
 59 TWEED BOULEVARD
 ORANGEBURG, NY 10960




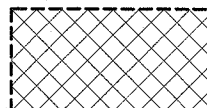
DOOR & WINDOW SCHEDULES

DATE: 01.08.2021
 PROJECT No.: 20017
 DRAWING BY: MD
 CHK BY:
 DWG No.:

A-901

VERIFY ALL DIMENSIONS IN FIELD

DEMOLITION LEGEND

-  ELEMENT TO BE DEMOLISHED
-  AREA TO BE DEMOLISHED

GENERAL DEMOLITION NOTES

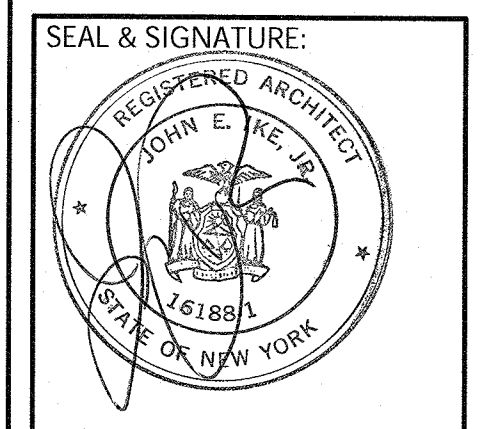
- CONTRACTOR SHALL PERFORM ALL OPERATIONS OF DEMOLITION AND REMOVAL AS INDICATED ON THE DRAWINGS AND AS MAY BE REQUIRED BY THE WORK. ALL WORK SHALL BE DONE CAREFULLY AND NEATLY, AND IN A SYSTEMATIC MANNER.
- ALL EXISTING SURFACES AND EQUIPMENT TO REMAIN SHALL BE FULLY PROTECTED FROM DAMAGE. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR THE DAMAGE AND SHALL MAKE REPAIRS REQUIRED WITHOUT ADDITIONAL COST TO THE OWNER.
- NO DEBRIS SHALL BE ALLOWED TO ACCUMULATE ON THE SITE. DEBRIS SHALL BE REMOVED BY THE CONTRACTOR AS THE JOB PROCEEDS. THE SITE SHALL BE LEFT BROOM CLEAN AT THE COMPLETION OF DEMOLITION.
- THE SITE SHALL BE LEFT BROOM SWEEP CLEAN AT THE COMPLETION OF DEMOLITION.
- THE CONTRACTOR SHALL REMOVE ALL EXISTING EXTERIOR FINISHES, SHINGLES, MOISTURE PROTECTION, INSULATION, FLASHING AND REPLACE WITH NEW AS SPECIFIED.
- ALL ADJOINING PROPERTY AFFECTED BY ANY OPERATIONS OF DEMOLITION SHALL BE PROTECTED PER THE REQUIREMENTS OF THE NEW YORK STATE AND VILLAGE OF SAGAPONACK BUILDING AND LOCAL CODES.
- THE CONTRACTOR SHALL PROVIDE, ERECT AND MAINTAIN ALL TEMPORARY PARTITIONS AND GUARDS, AND ALL TEMPORARY SHORING AND BRACING AS REQUIRED BY DEPARTMENT OF BUILDING RULES AND REGULATIONS.
- THE CONTRACTOR SHALL PROVIDE ADEQUATE WEATHER PROTECTION FOR THE BUILDING AND ITS CONTENTS DURING THE COURSE OF WORK. ALL OPENINGS IN ANY WALL OR ROOF SHALL BE PROTECTED FROM ALL FORMS OF WEATHER OR WATER PENETRATION.
- CONTRACTOR TO VERIFY IN THE FIELD AND REPORT DISCREPANCIES TO THE ARCHITECT. DEMOLITION DRAWINGS ARE APPROXIMATE AND NOT LIMITED TO THE AREAS SHOWN. FIELD OBSERVATION IS REQUIRED BY THE CONTRACTOR TO DETERMINE THE EXTENT OF THE DEMOLITION WORK.
- CONTRACTOR IS TO COORDINATE WITH OTHER TRADES FOR EXTEND WITH DEMOLITION WORK, SALVAGING AND PROTECTION OF EXISTING AND NEW WORK TO BE PERFORMED.
- THE CONTRACTOR SHALL FILE ALL NECESSARY CERTIFICATES OF INSURANCE WITH THE NECESSARY CERTIFICATES OF INSURANCE WITH THE DEPARTMENT OF BUILDINGS, PAY ALL FEES, OBTAIN ALL PERMITS AND PROVIDE ANY AND ALL BONDS REQUIRED BY ANY CITY AGENCY IN ORDER TO DO THE WORK HEREIN DESCRIBED.
- REFER TO STRUCTURAL, ELECTRICAL AND MECHANICAL DRAWINGS FOR ADDITIONAL DEMOLITION WORK. REFER TO ARCHITECT'S DRAWINGS FOR THE EXTENT OF NEW WORK.

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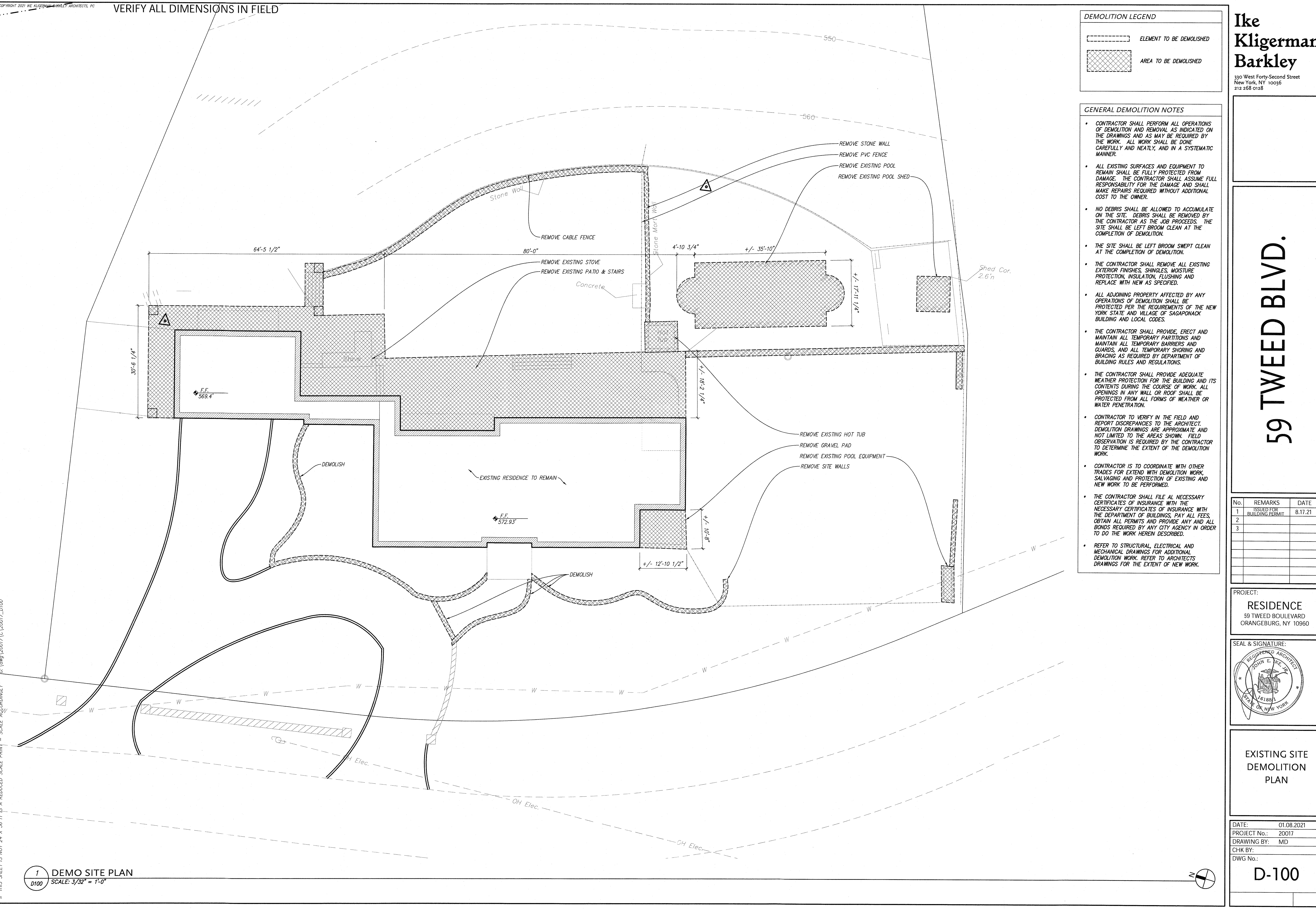
EXISTING SITE
 DEMOLITION
 PLAN

DATE: 01.08.2021
 PROJECT No.: 20017
 DRAWING BY: MD
 CHK BY:
 DWG No.:

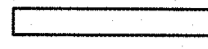

D-100

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1 DEMO SITE PLAN
 D100 SCALE: 3/32" = 1'-0"



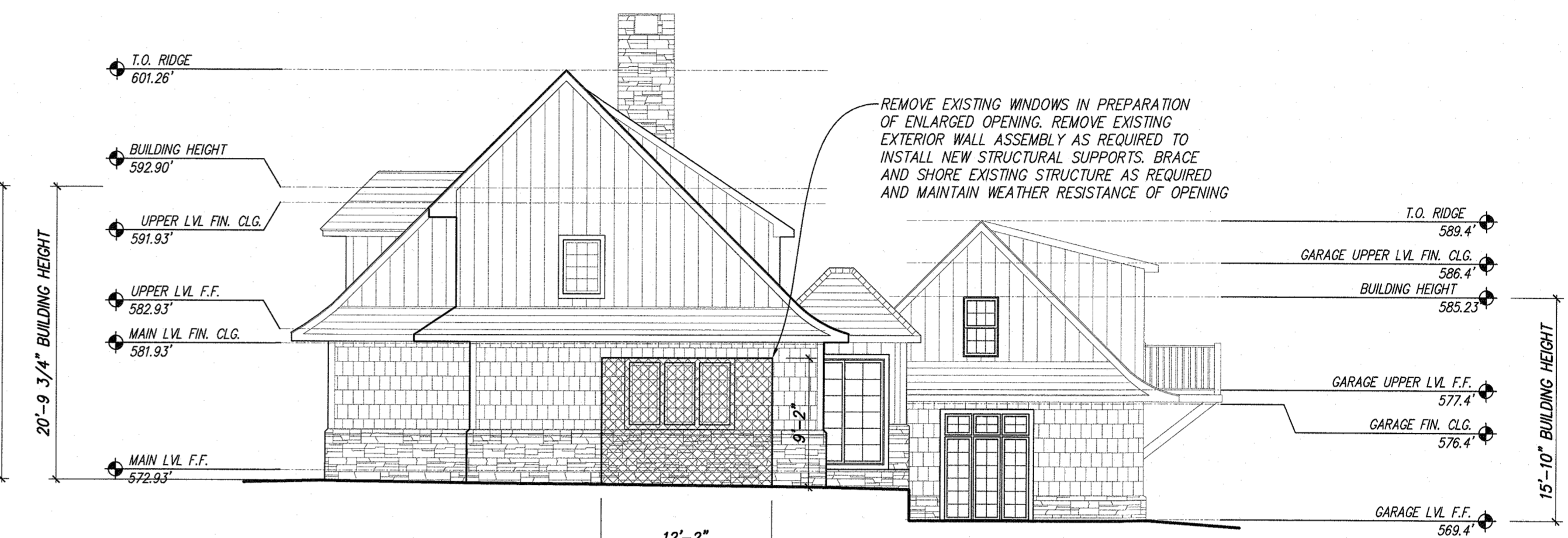
DEMOLITION LEGEND

 ELEMENT TO BE DEMOLISHED
 AREA TO BE DEMOLISHED

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4 NORTH ELEVATION (NO WORK)
SCALE: 1/8" = 1'-0"



3 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



2 EAST ELEVATION (NO WORK)
SCALE: 1/8" = 1'-0"



1 WEST ELEVATION (NO WORK)
SCALE: 1/8" = 1'-0"

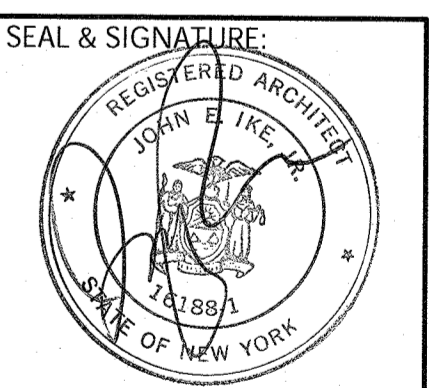
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DEMOLITION ELEVATIONS

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PROJECT No.: 20017
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CHK BY:

DWG No.: **D-300**

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