

H A H N

**Historical Areas Board of Review(HABR)**

Town of Orangetown Building Department  
20 Greenbush Road, Orangeburg, New York 10962

PROPERTY ADDRESS: 43 Old Tappan Rd, Tappan Section/Block/Lot: 77.10-3-22

1. Provide a narrative summary explaining the project and including any facts pertaining to this project which applicant feels would be of interest to the Board;
2. Architectural Plans;
3. It is preferable to the HABR if the Architect would appear at the meeting with the Applicant.
4. Please bring SAMPLES of building materials to the meeting.
5. Materials checklist: (please provide the brand name, type, style, model and color numbers):

	COLOR	MATERIAL	MANUFACTURER
Roof:	CHARCOAL GREY	ASPHALT	GAF
Siding:	BEN MOORE HC-125	RESIN + COMPOSIT	BORAL
Decorative Siding:			
Soffits & Fascia:	HC-125	"	"
Gutters & Leaders:	HC-125	ALUMINUM	
Windows:	HARTFORD GREEN 050	WOOD + ALUM CLDG.	SIERRA PACIFIC
Trim:	BEN MOORE HC-28	WOOD OR BORAL	BORAL
Shutters:	/		
Front Door:	/		
Back Door:	/		
Garage Door(s):	/		
Other Door(s):	/		
Lighting:			
Lighting:			
Stone or Rock being used on Structure:			
Stone or Rock being used on walkway(s):			
Other:			

Name of Municipality: TOWN OF ORANGETOWN Date Submitted: \_\_\_\_\_

2021 LAND USE BOARD APPLICATION

Please check all that apply:

Commercial  Residential

Planning Board  Historical Board

Zoning Board of Appeals  Architectural Board

Subdivision  Consultation

Number of Lots  Pre-Preliminary/Sketch

Site Plan  Preliminary

Conditional Use  Final

Special Permit  Interpretation

Variance

Performance Standards Review

Use Variance

Other (specify): \_\_\_\_\_

PERMIT#: 51514

ASSIGNED \_\_\_\_\_

INSPECTOR: Dom

Referred from Planning Board: YES / NO

If yes provide date of Planning Board meeting: \_\_\_\_\_

Project Name: HAHN RESIDENCE / SUNROOM ADDITION

Street Address: 43 OLD TAPPAN ROAD  
TAPPAN, NY

Tax Map Designation:  
Section: 77.10 Block: 3 Lot(s): 22  
Section: \_\_\_\_\_ Block: \_\_\_\_\_ Lot(s): \_\_\_\_\_

Directional Location:

On the SOUTH side of OLD TAPPAN RD., approximately  
203 feet FROM of the intersection of MAIN ST., in the  
Town of ORANGETOWN in the hamlet/village of TAPPAN.

Acreage of Parcel _____	Zoning District <u>CS</u>
School District <u>SO. O'TOWN</u>	Postal District <u>TAPPAN</u>
Ambulance District <u>O'TOWN</u>	Fire District <u>"</u>
Water District <u>SUEZ</u>	Sewer District <u>O'TOWN</u>

Project Description: (If additional space required, please attach a narrative summary.)

SUNROOM ADDITION TO SOUTH SIDE OF AN  
EXISTING HOUSE. REVIEW OF MODIFIED  
SHED BUILT WITHOUT PERMIT.

The undersigned agrees to an extension of the statutory time limit for scheduling a public hearing.

Date: 11.3.21 Applicant's Signature: Walter C. Ann

APPLICATION REVIEW FORM

FILL IN WHERE APPLICABLE.  
( IF THE FOLLOWING DOES NOT APPLY PLEASE MOVE ON TO THE NEXT PAGE )

If subdivision:

- 1) Is any variance from the subdivision regulations required? \_\_\_\_\_
- 2) Is any open space being offered? \_\_\_\_ If so, what amount? \_\_\_\_\_
- 3) Is this a standard or average density subdivision? \_\_\_\_\_

If site plan:

- 1) Existing square footage \_\_\_\_\_
- 2) Total square footage \_\_\_\_\_
- 3) Number of dwelling units \_\_\_\_\_

If special permit, list special permit use and what the property will be used for.

\_\_\_\_\_  
\_\_\_\_\_

Environmental Constraints:

Are there slopes greater than 25%? If yes, please indicate the amount and show the gross and net area \_\_\_\_\_

Are there streams on the site? If yes, please provide the names. \_\_\_\_\_

Are there wetlands on the site? If yes, please provide the names and type: \_\_\_\_\_

Project History:

Has this project ever been reviewed before? YES, BY ZBA

If so, provide a narrative, including the list case number, name, date, and the board(s) you appeared before, and the status of any previous approvals.

11.3.21

\_\_\_\_\_  
\_\_\_\_\_

List tax map section, block & lot numbers for all other abutting properties in the same ownership as this project.

N/A

\_\_\_\_\_  
\_\_\_\_\_

SWIS      PRINT KEY

NAME

ADDRESS

392489 77.10-3-20  
392489 77.10-3-21  
392489 77.10-3-22  
392489 77.10-3-23  
392489 77.10-3-24  
392489 77.10-3-34  
392489 77.10-3-35

U S Postal Service  
KTW Ent Inc  
Gerald Hahn  
Patrick Mc Kenna  
Margaret Anne Thomsen  
Daejin Nam  
Victoria H Baron

6 Griffin Rd No,Windsor, CT 06008-0120  
109 Newport Ave,Tappan, NY 10983  
43 Old Tappan Rd,Tappan, NY 10983  
39 Old Tappan Rd,Tappan, NY 10983  
10 Brandt Ave,Tappan, NY 10983  
45 Charles St,Tappan, NY 10983  
37 Charles St,Tappan, NY 10983

200ft.

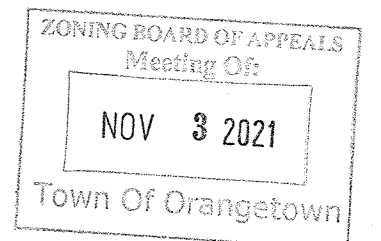












**Sunroom Addition**  
for Father Jerry Hahn  
43 Old Tappan Road, Tappan, New York



CONSTRUCTION DOCUMENTS FOR PERMIT

REVISIONS:  
DRAWING TITLE:  
**COVER SHEET**

DATE: 09/07/2021  
PROJ TEAM: MRG  
PROJ PARTNER: WCA  
PROJ NO.: 21120

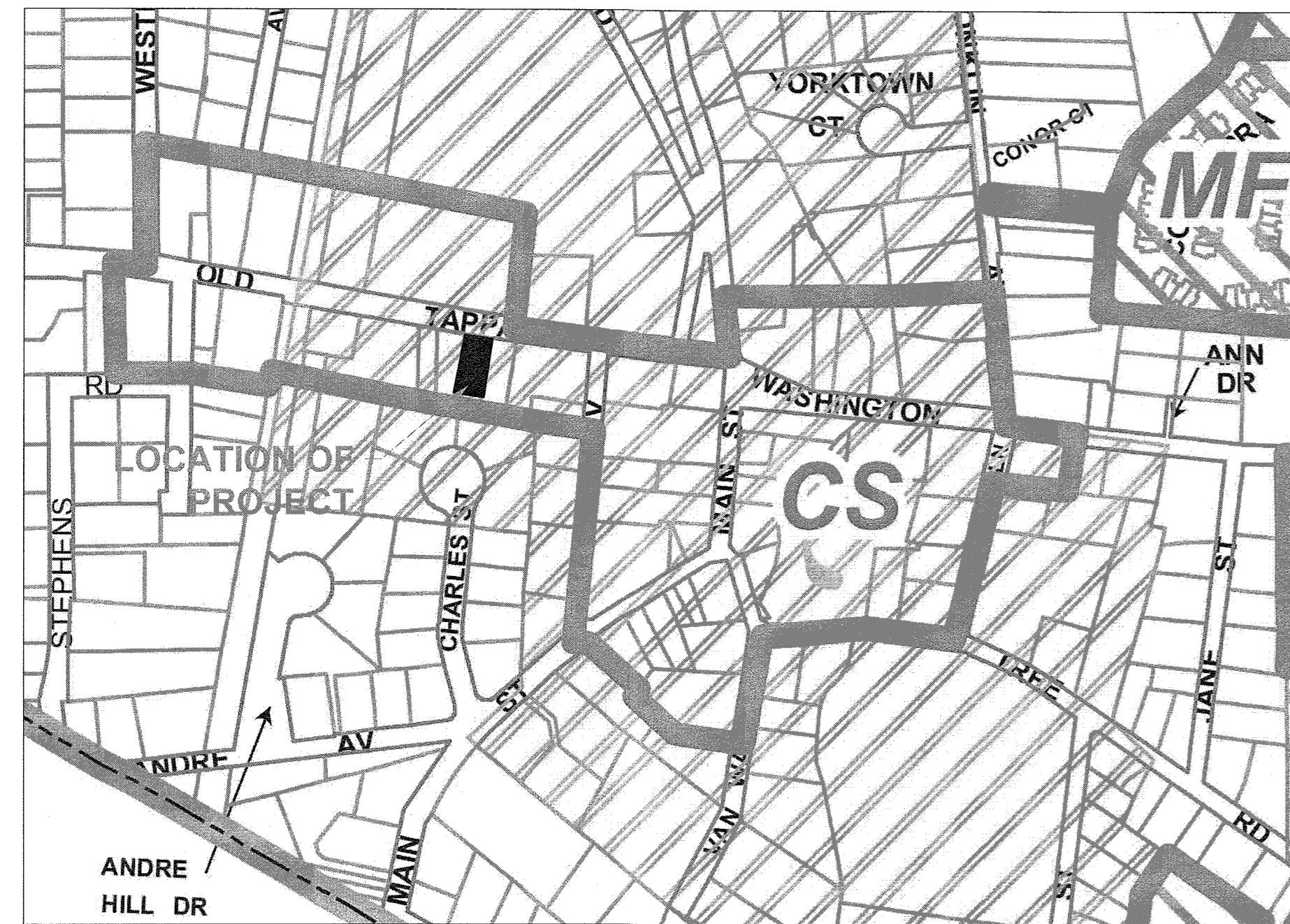
**T-1**

# SUNROOM ADDITION

## FOR FATHER JERRY HAHN

### 43 OLD TAPPAN ROAD

### TAPPAN, NEW YORK



VICINITY MAP  
TAPPAN, NEW YORK

CS DISTRICT ZONING BULK TABLE ANALYSIS - HOUSE			
ADDRESS: 43 OLD TAPPAN ROAD, TAPPAN, NY SECTION 77.10, BLOCK 3, LOT 22 * EXISTING NON-CONFORMING			
REGULATION	REQUIRED	EXISTING	PROPOSED HOUSE
MAXIMUM FLOOR AREA RATIO	1.0	0.23	0.27 HOUSE & SHED
MINIMUM LOT AREA	2500 S.F.	8602.7 SF	8602.7 SF
MINIMUM WIDTH	25'	55.08'	55.08'
MINIMUM STREET FRONT	25'	55.08'	55.08'
REQUIRED FRONT YARD	0 OR 45'	15.2' *	15.2' *
REQUIRED SIDE YARD	0 / 12'	12.8' & 10.1' *	22.4' & 19.4'
TOTAL SIDE YARD	0 / 25'	22.9' *	41.8'
REQUIRED REAR YARD	25'	99.3'	82.1'
MAXIMUM BUILDING HEIGHT (FT.)	1'-4" FROM PL FOR BLDG OVER 22'	30'	30'

**EXISTING BUILDING AREA CALCULATIONS**

EXISTING HOUSE:  
FIRST FLOOR 1060.4 S.F.  
SECOND FLOOR 822.6 S.F.  
TOTAL EXISTING 1883.0 S.F.

EXISTING SHED 131.0 S.F.  
TOTAL HOUSE & SHED 2014.0 S.F.  
F.A.R. 2014/8602.7 = 0.23

**ADDITIONAL BUILDING AREA CALCULATIONS**

EXISTING HOUSE:  
TOTAL EXISTING 1883.0 S.F.  
ADDITION 232.0 S.F.  
TOTAL HOUSE & ADDITIONS 2115.0 S.F.

F.A.R. HOUSE W/ ADDITIONS 2115/8602.7 = 0.26

EXISTING SHED ADDITIONS 131.0 S.F.  
ADDITIONS 48.0 S.F.  
TOTAL SHED & ADDITIONS 179.0 S.F.

TOTAL HOUSE & SHED W/ ADDITIONS 2294.0 S.F.

F.A.R. WITH ADDITIONS 2294/8602.7 = 0.27

CS DISTRICT ZONING BULK TABLE ANALYSIS - SHED			
ADDRESS: 43 OLD TAPPAN ROAD, TAPPAN, NY SECTION 77.10, BLOCK 3, LOT 22 * EXISTING NON-CONFORMING			
REGULATION	REQUIRED	EXISTING	PROPOSED SHED
MAXIMUM FLOOR AREA RATIO	1.0	0.23	SEE HOUSE TABLE
MINIMUM LOT AREA	2500 S.F.	8602.7 SF	8602.7 SF
MINIMUM WIDTH	25'	55.08'	55.08'
MINIMUM STREET FRONT	25'	55.08'	55.08'
REQUIRED FRONT YARD	0 OR 45'	118.3'	116.5'
REQUIRED SIDE YARD	0 / 12'	5.7' * & 36.7'	7.7' & 38.8' NON-CONFORMING REQUIRES VARIANCE
TOTAL SIDE YARD	0 / 25'	42.4'	46.5'
REQUIRED REAR YARD	25'	27.4' SHED	23.9' NON-CONFORMING REQUIRES VARIANCE
MAXIMUM BUILDING HEIGHT (FT.)	1'-4" FROM PL FOR BLDG OVER 22'	11.3'	8.2'

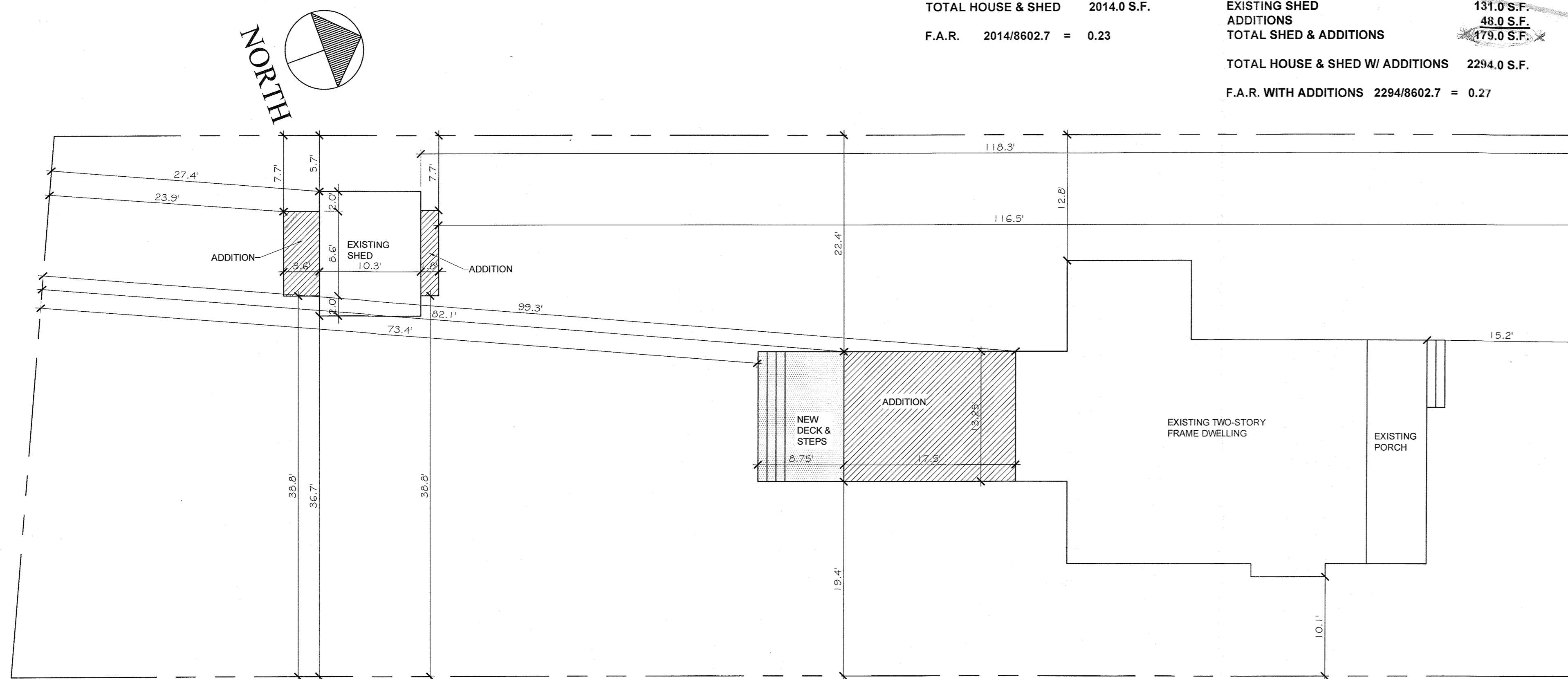
**DESCRIPTION OF PROJECT:**  
ADDITION TO EXISTING RESIDENTIAL STRUCTURE IN CS DISTRICT PER TOWN OF ORANGETOWN ZONING CODE, CHAPTER 43, SECTION 9.34 AND ATTACHMENT 5, COLUMN 3, ZONING BOARD NOTE 1.

**NOTE PER CHAPTER 43, SECTION 9.34:**  
Aggregate increase of sunroom addition (not including new deck and steps) 232.0 S.F ÷ 1883.0 S.F. = 12.3% of the existing floor area of the house.

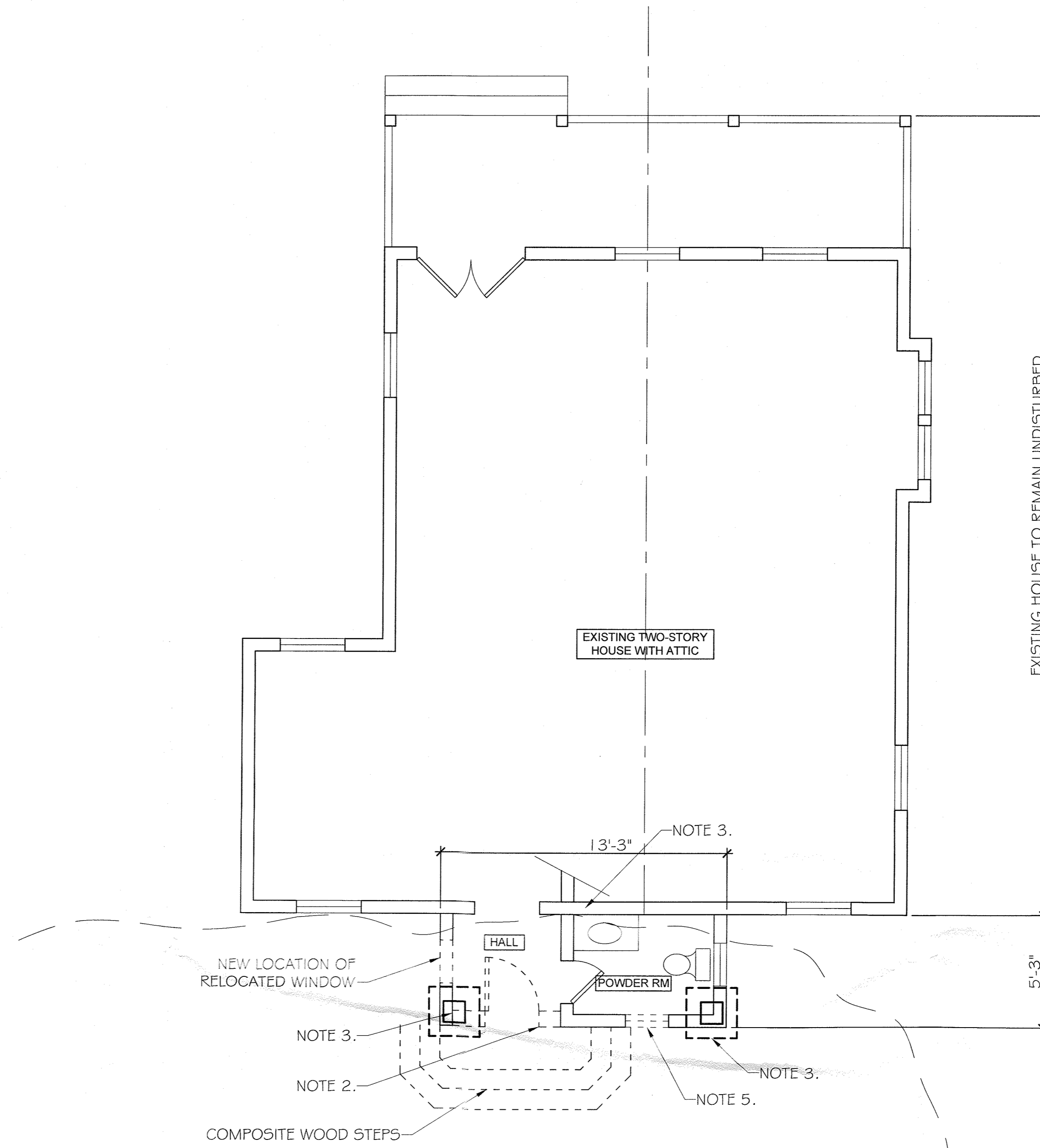
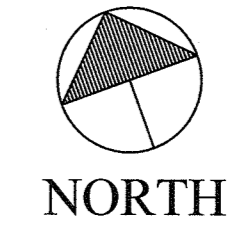
**ORIGIN OF THE SURVEY:**  
Land Survey Certified to Robin Page; Frank A Poliferno; HSBC Mortgage Corporation (USA), its successors and/or assigns, as their interest may appear; and Lawyers Title Insurance Corporation.

**PREPARED BY:**  
Robert E. Sorace, PLS, Lic. 049162  
Dated April 20, 2005

LIST OF DRAWINGS		
#	DRAWING	DATE
T-1	COVER SHEET, SITE PLAN, BULK TABLE, LEGENDS	09/07/2021
A-1.1	DEMOLITION PLAN	7/14/2021
A-1.2	FOUNDATION AND FLOOR FRAMING PLANS	7/14/2021
A-1.3	FIRST FLOOR PLAN AND ROOF FRAMING PLAN	7/14/2021
A-2.1	EXTERIOR ELEVATIONS	7/14/2021
A-2.2	BUILDING SECTIONS, WINDOW SCHEDULE	7/14/2021
A-3.1	SHED: PLAN, ELEVATIONS, SECTIONS	8/23/2021



**1 SITE PLAN**  
1/8" = 1'-0"



**DEMOLITION NOTES:**

1. REMOVE FROM THE EXISTING ONE-STORY CONSTRUCTION THE FOLLOWING MATERIALS:

- VINYL SIDING
- WOOD SHEATHING
- EXISTING INSULATION IN BETWEEN STUDS
- GUTTERS
- ROOFING
- ROOF RAFTERS
- COMPOSITE WOOD STEPS AT THE ENTRY
- SLATE PAVERS AT GRADE

2. REMOVE EXISTING DOOR AND PORTION OF EXTERIOR UP TO THE TOP PLATE. CHECK SUPPORT FOR THE ROOF AND ADD A HEADER IF NECESSARY.

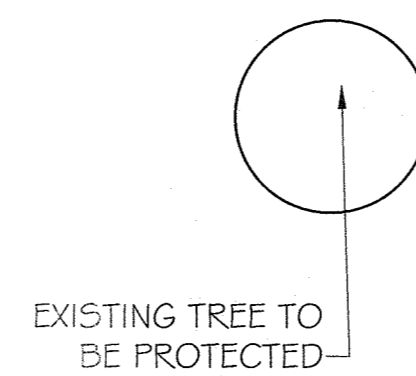
3. EXISTING BRICK PIERS SUPPORTING EXISTING WOOD FRAME STRUCTURE. CHECK POSITION AND SIZE OF EXISTING FOOTING TO CLEAR NEW FOOTING LOCATION.

4. DO NOT REMOVE THE CEILING JOISTS FROM THE ONE-STORY CONSTRUCTION. INTERIOR FINISHES IN THE BATHROOM AND HALLWAY ARE TO REMAIN UNDISTURBED.

5. CAREFULLY REMOVE THE EXISTING SOUTH WINDOW FROM THE BATHROOM WALL. THIS WINDOW IS TO BE REINSTALLED (IF POSSIBLE) IN A NEW OPENING ON THE WEST HALL WALL. SEE CONSTRUCTION NOTES FOR CLOSING THE WINDOW OPENING.

6. CAREFULLY REMOVE THE EXISTING EXTERIOR SIDING AND SHEATHING TO EXPOSE THE FRAMING ON THE SECOND FLOOR AT THE NEW RIDGE BOARD. INSTALL ADDITIONAL STUDS, IF NECESSARY, FOR THE RIDGE BOARD.

7. PROTECT ALL EXPOSED INTERIOR SURFACES FROM INCLEMENT WEATHER.



**1 DEMOLITION PLAN**

1/4" = 1'-0"



CONSTRUCTION DOCUMENTS FOR PERMIT

REVISIONS:

DRAWING TITLE:

**DEMOLITION  
PLAN**

DATE: 07/14/2021

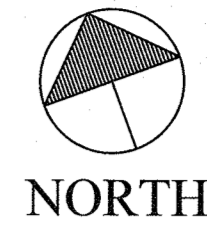
PROJ TEAM: MRG

PROJ PARTNER: WCA

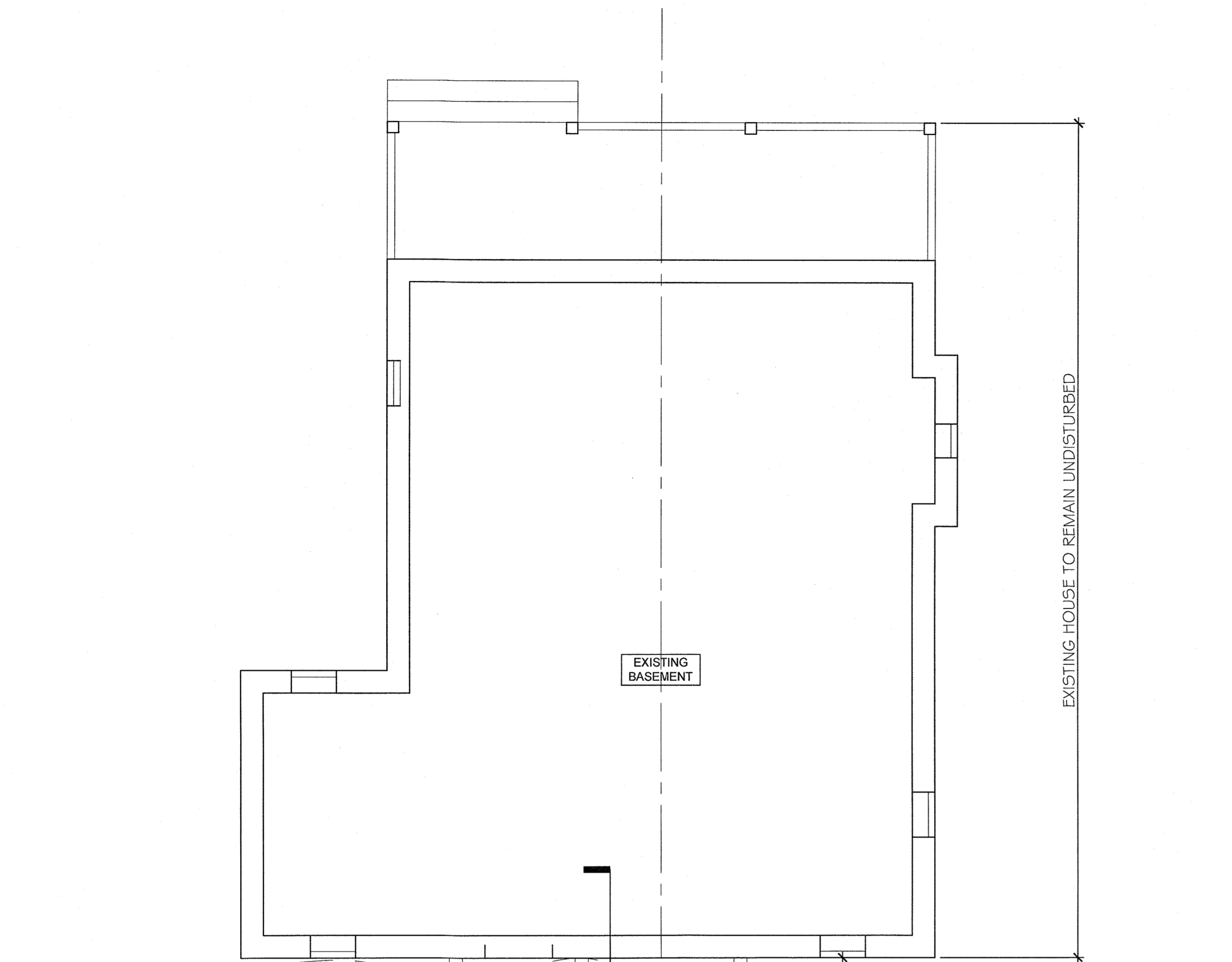
PROJ NO.: 21120

**A-1.1**

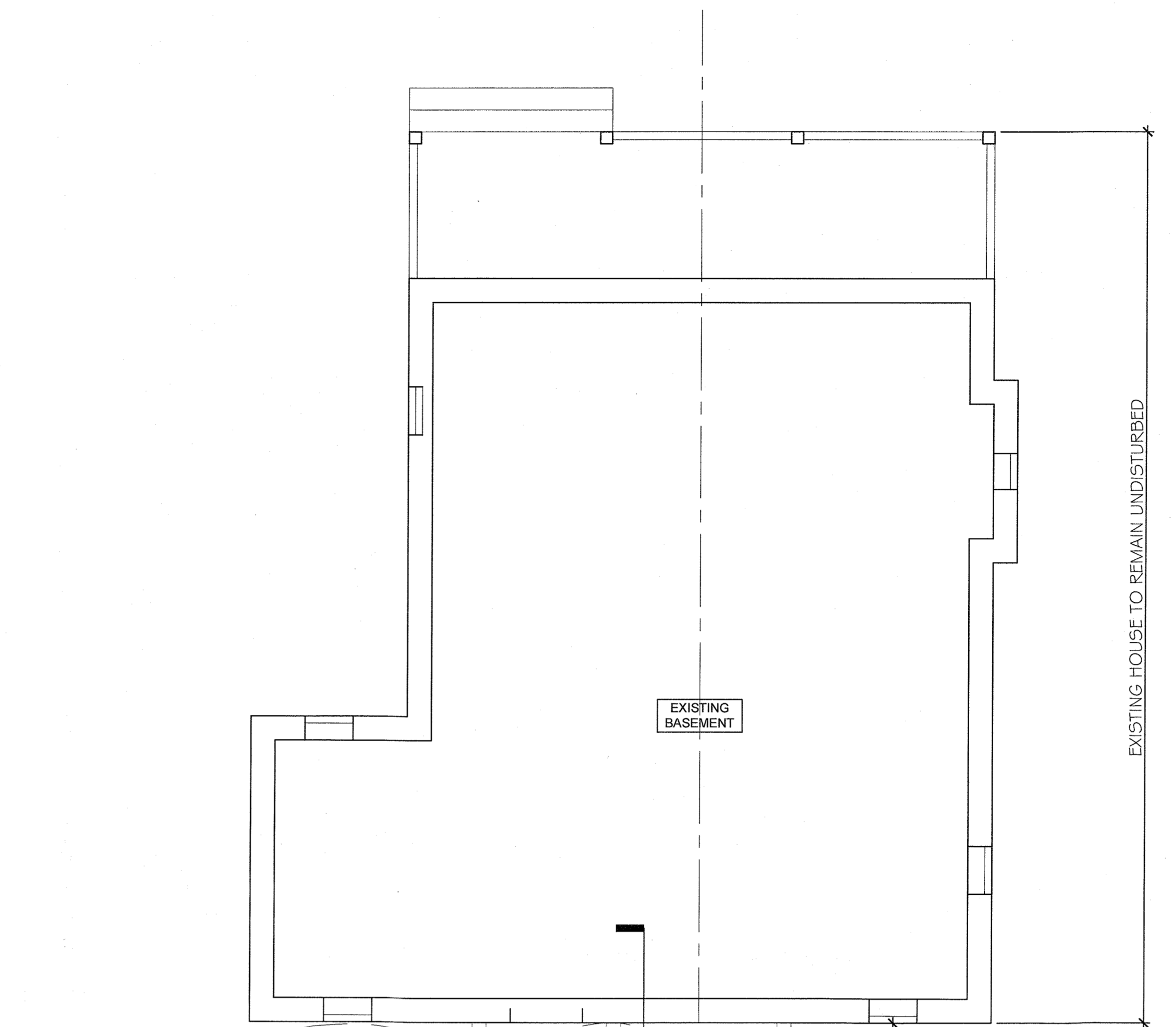
**Sunroom Addition**  
for Father Jerry Hahn  
43 Old Tappan Road, Tappan, New York



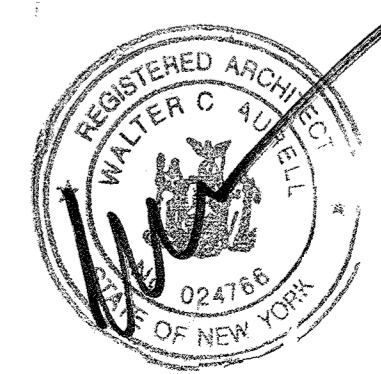
**Sunroom Addition**  
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**1 FOUNDATION LAYOUT**  
1/4" = 1'-0"



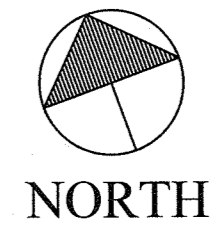
**2 FLOOR FRAMING**  
1/4" = 1'-0"



CONSTRUCTION DOCUMENTS FOR PERMIT

REVISIONS:	
DRAWING TITLE:	<b>FOUNDATION AND FLOOR FRAMING PLAN</b>
DATE:	07/14/2021
PROJ TEAM:	MRG
PROJ PARTNER:	WCA
PROJ NO.:	21120

**A-1.2**



**Sunroom Addition**  
for Father Jerry Hahn  
43 Old Tappan Road, Tappan, New York

CONSTRUCTION DOCUMENTS FOR PERMIT

REVISIONS:

DRAWING TITLE:

**FIRST FLOOR  
PLAN AND  
ROOF  
FRAMING PLAN**

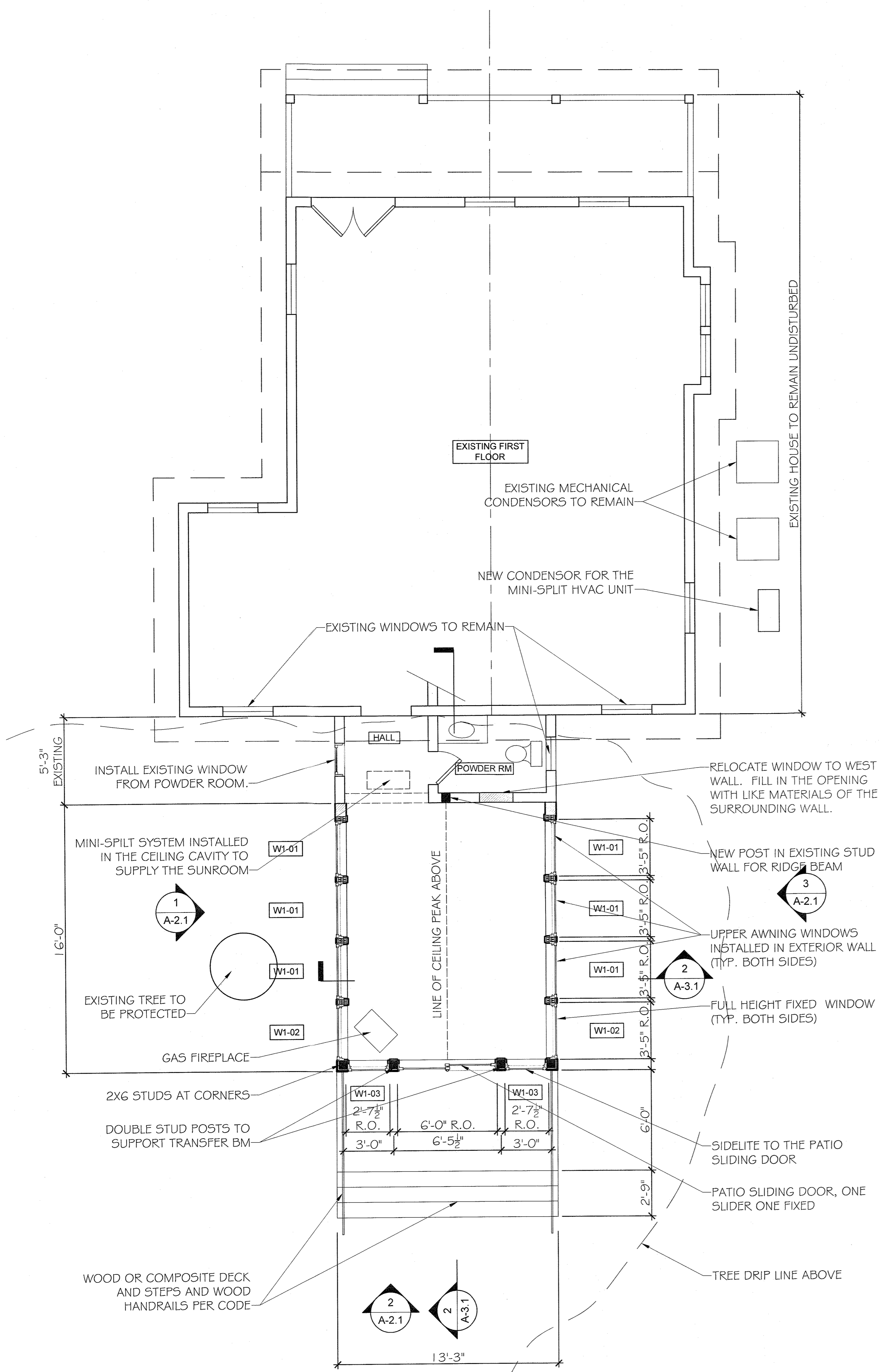
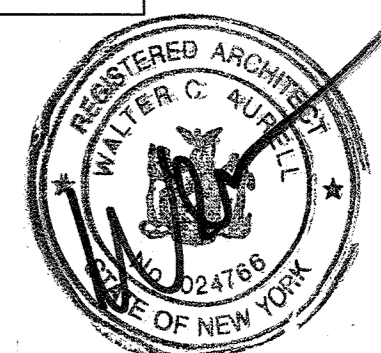
DATE: 07/14/2021

PROJ TEAM: MRG

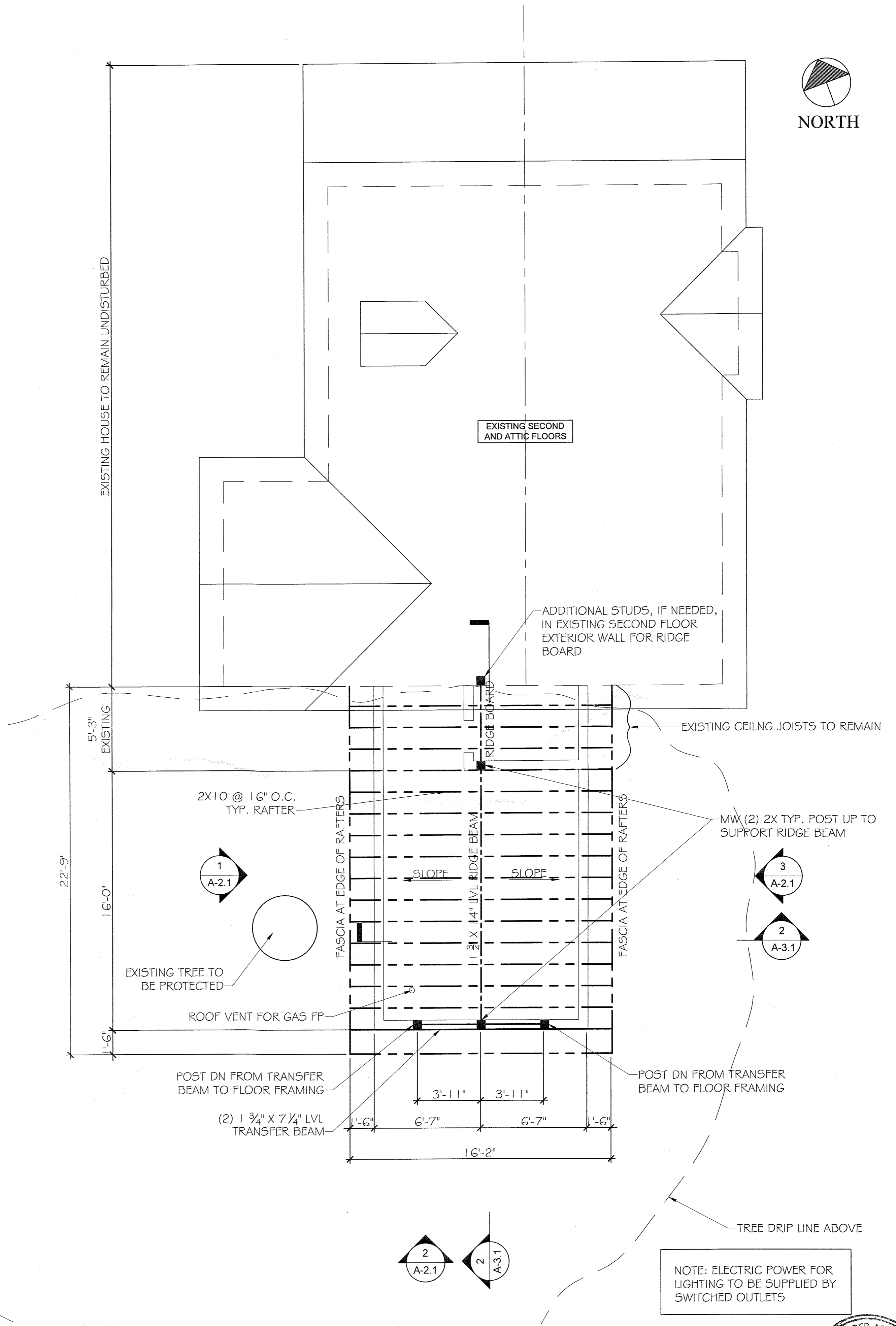
PROJ PARTNER: WCA

PROJ NO.: 21120

**A-1.3**



**1 FLOOR PLAN**  
1/4" = 1'-0"



**2 ROOF PLAN**  
1/4" = 1'-0"

NOTE: ELECTRIC POWER FOR LIGHTING TO BE SUPPLIED BY SWITCHED OUTLETS

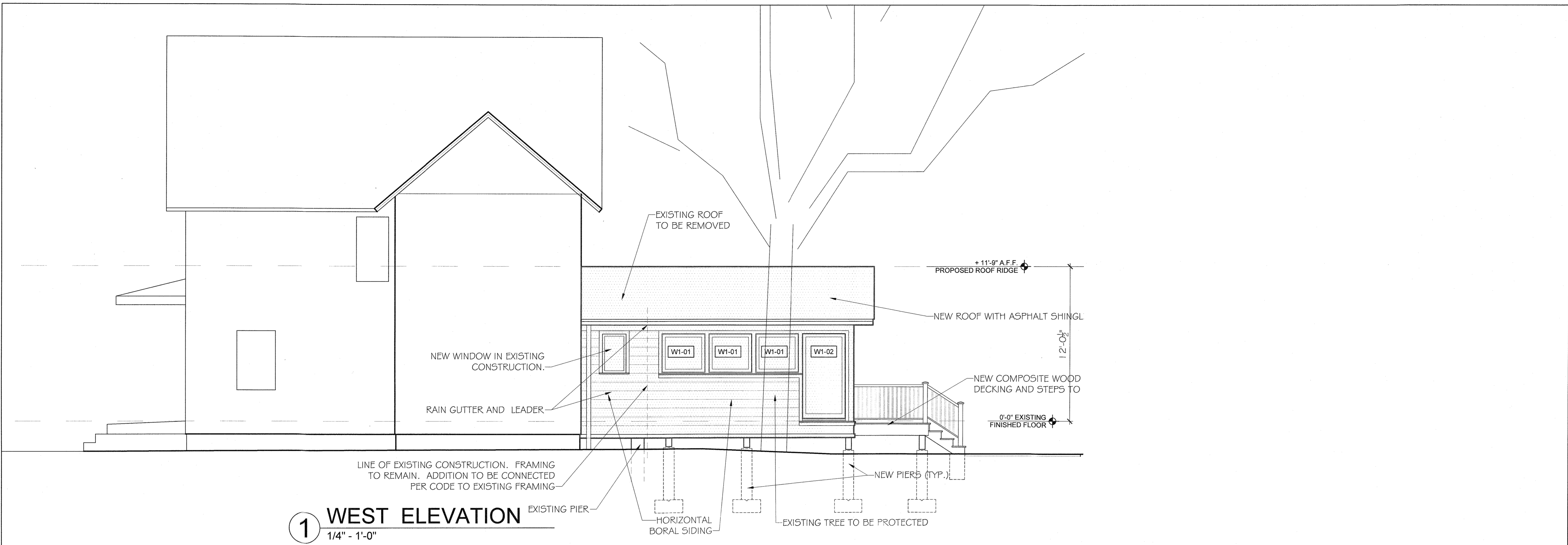
**Sunroom Addition**  
for Father Jerry Hahn  
43 Old Tappan Road, Tappan, New York

CONSTRUCTION DOCUMENTS FOR PERMIT

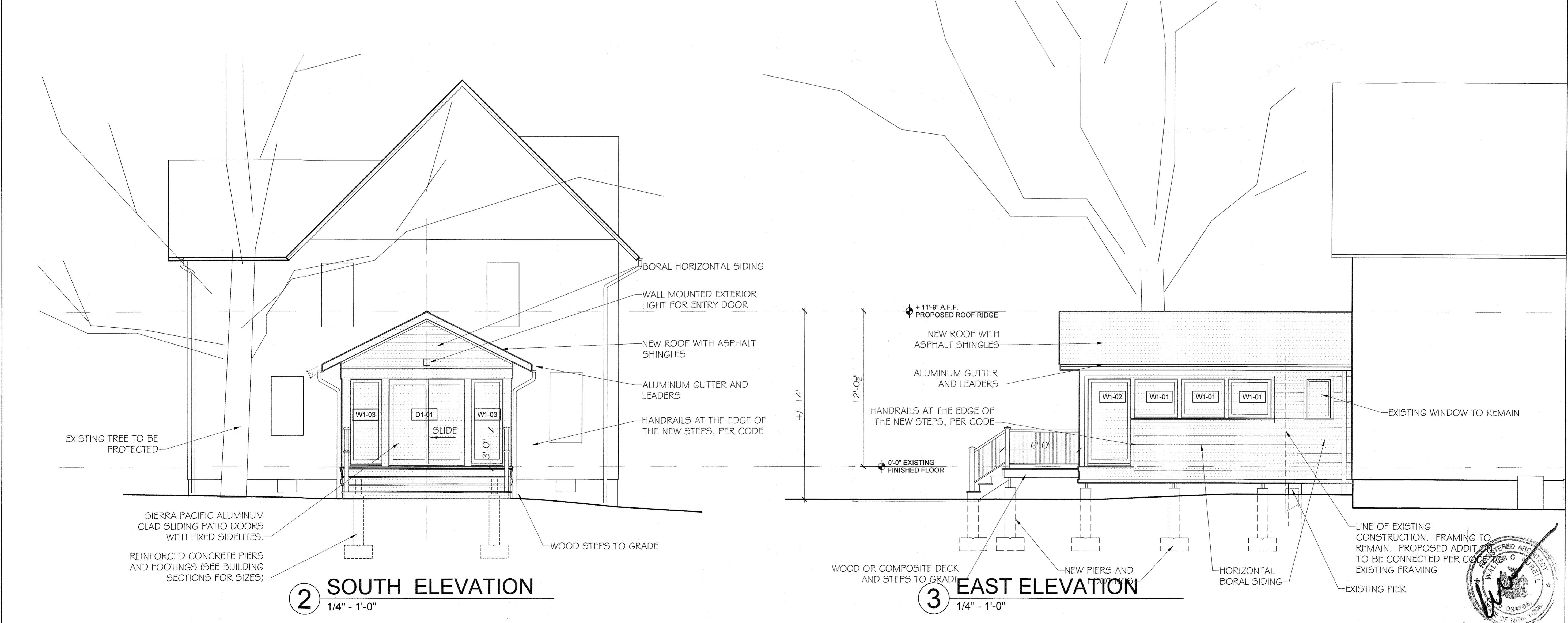
REVISIONS:  
DRAWING TITLE:  
**EXTERIOR ELEVATIONS**

DATE: 07/14/2021  
PROJ TEAM: MRG  
PROJ PARTNER: WCA  
PROJ NO.: 21120

**A-2.1**



**1 WEST ELEVATION**  
1/4" - 1'-0"



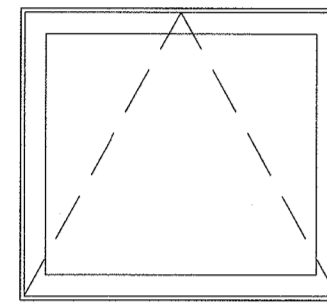
**2 SOUTH ELEVATION**  
1/4" - 1'-0"

**3 EAST ELEVATION**  
1/4" - 1'-0"



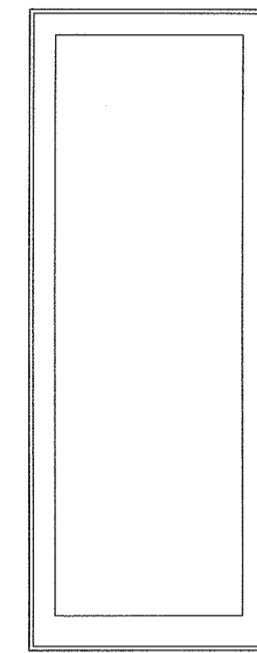
**WINDOW SCHEDULE**

1. ALL WINDOWS AND DOORS ARE TO BE MANUFACTURED BY SIERRA PACIFIC WINDOWS AND DOORS.
2. PROVIDE DOUBLE GLAZING LOW-E WINDOWS.
3. PROVIDE TEMPERED GLASS FOR WINDOWS AND DOORS WITHIN 18" FROM TOP OF FLOOR.
4. PROVIDE SUPPLEMENTAL P.T. WOOD TRIM, THICKNESS NOTED ON DETAIL SECTIONS. TRIM TO BE PROUD TO ADJACENT WALL SIDING SURROUNDING ALL WINDOWS AND DOORS. SHIM WITH SEALANT TO MATCH FRAMES.
5. ALL WINDOWS LISTED ARE VIEWED FROM THE EXTERIOR. REFER TO EXTERIOR ELEVATIONS A-2.1.
6. PROVIDE SCREEN DOORS FOR THE SLIDER AND SCREENS FOR ALL OPERABLE WINDOWS.
7. DIMENSIONS NOTED ARE ROUGH OPENINGS, UNLESS OTHERWISE NOTED.
8. PROVIDE METAL FLASHING AT HEAD AND SILL OF WINDOWS. PROVIDE ICE AND WATER SHIELD WRAPPING AT ALL 4 SIDES OF WINDOW OPENING AND EXTEND INTO WINDOW OPENING.
9. FACE OF WINDOWS AND DOOR FRAMES ARE SET FLUSH WITH EXTERIOR ZIP WALL SHEATHING. REFER TO WALL SECTIONS AND LARGE DETAILS.
10. ROUGH OPENINGS INCLUDE 3/4" WOOD TRIM AT JAMBS AND HEAD AND CHAMFER WOOD SILL.



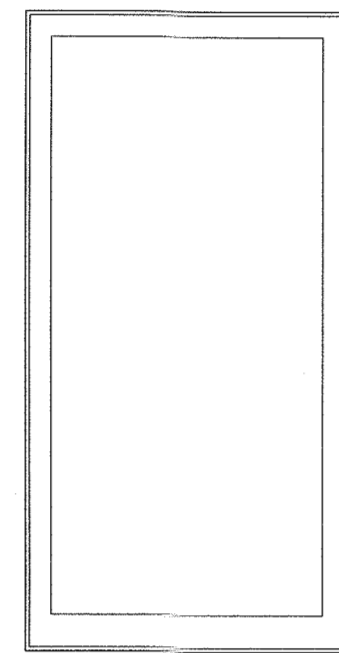
W1-01

VINYL CLAD AWNING WINDOW



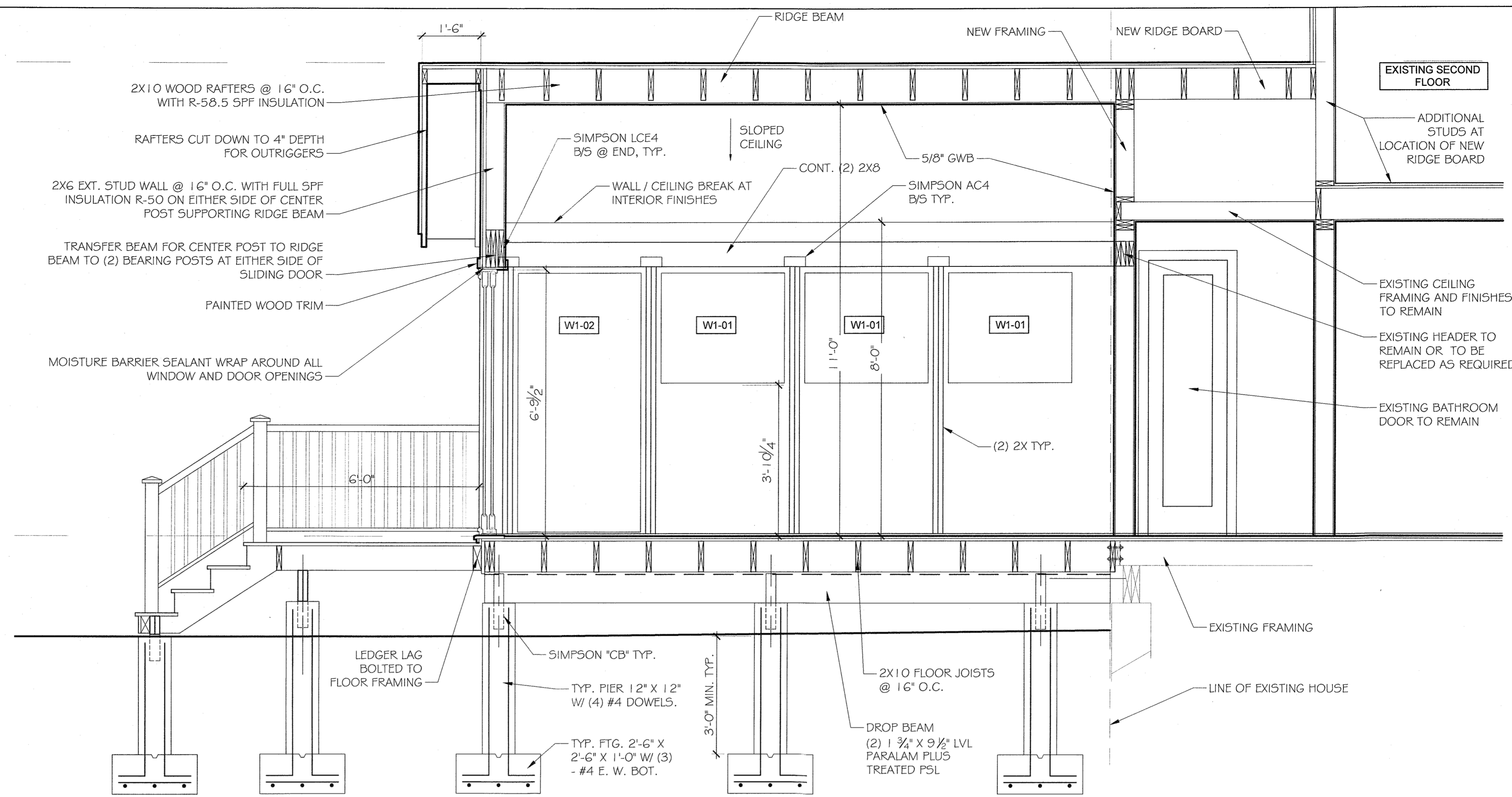
W1-02

VINYL CLAD FIXED WINDOW



W1-03

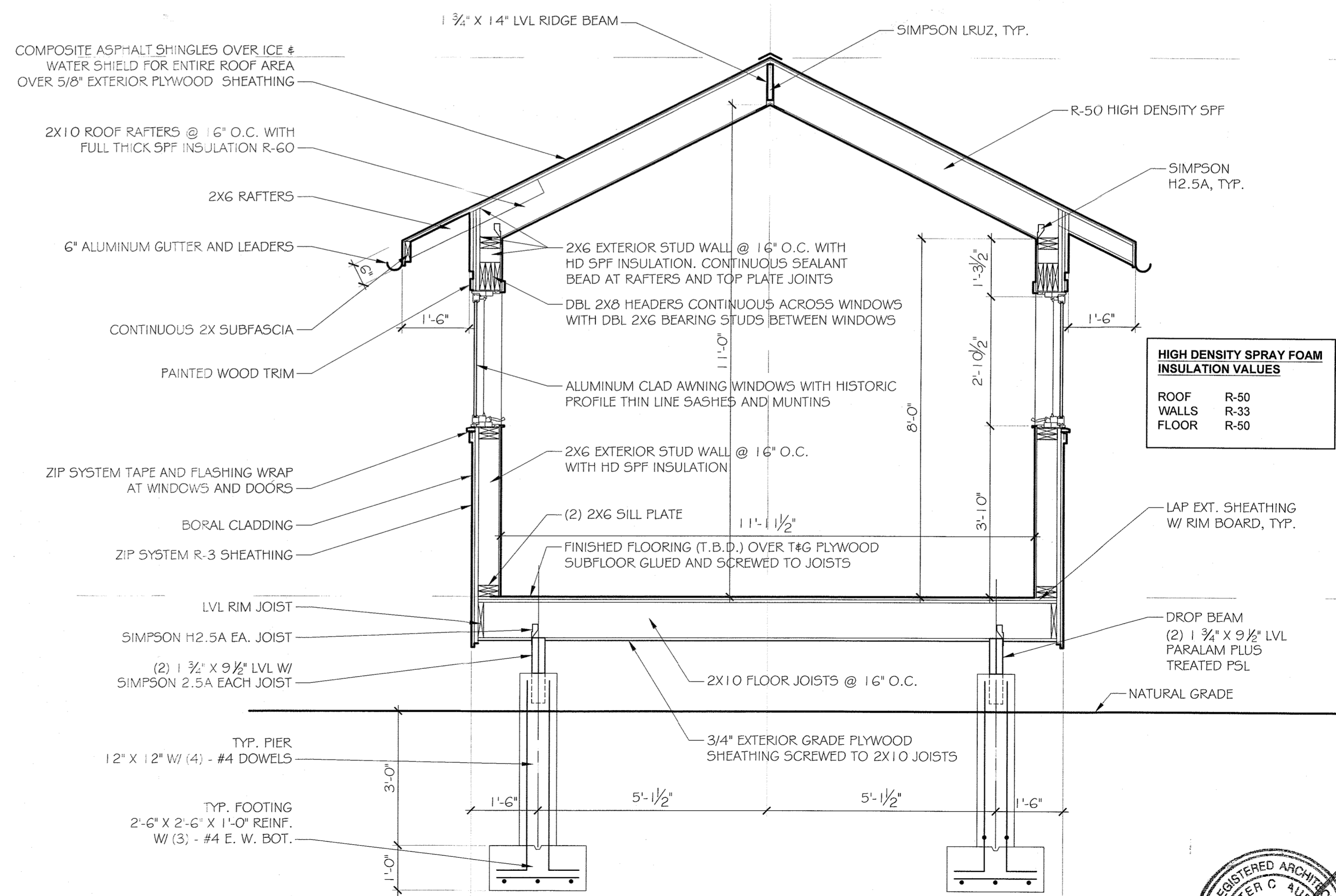
VINYL CLAD DOOR SIDELITE



**1 BUILDING SECTION**  
1/2" - 1'-0"

**STRUCTURAL NOTES**

1. ALL FRAMING DF-L #2 OR BETTER
2. P. T. LUMBER SYP #1
3. LVL  $F_p = 2950$  PSI  
 $E = 2.0 \times 10^6$  PSI
4. HARDWARE FASTENERS - SIMPSON STRONG TIE



**2 BUILDING CROSS-SECTION**  
1/2" - 1'-0"



**COLGAN  
PERRY  
LAWLER  
AURELL**  
ARCHITECTS  
171 KING'S HIGHWAY, ORANGEBURG,  
NEW YORK 10962  
TEL 845.680.6670

**Sunroom Addition**  
for Father Jerry Hahn  
43 Old Tappan Road, Tappan, New York

CONSTRUCTION DOCUMENTS FOR PERMIT

REVISIONS:	
DRAWING TITLE:	<b>BUILDING SECTIONS, WINDOW SCHEDULE</b>
DATE:	07/14/2021
PROJ TEAM:	MRG
PROJ PARTNER:	WCA
PROJ NO.:	21120

**A-2.2**

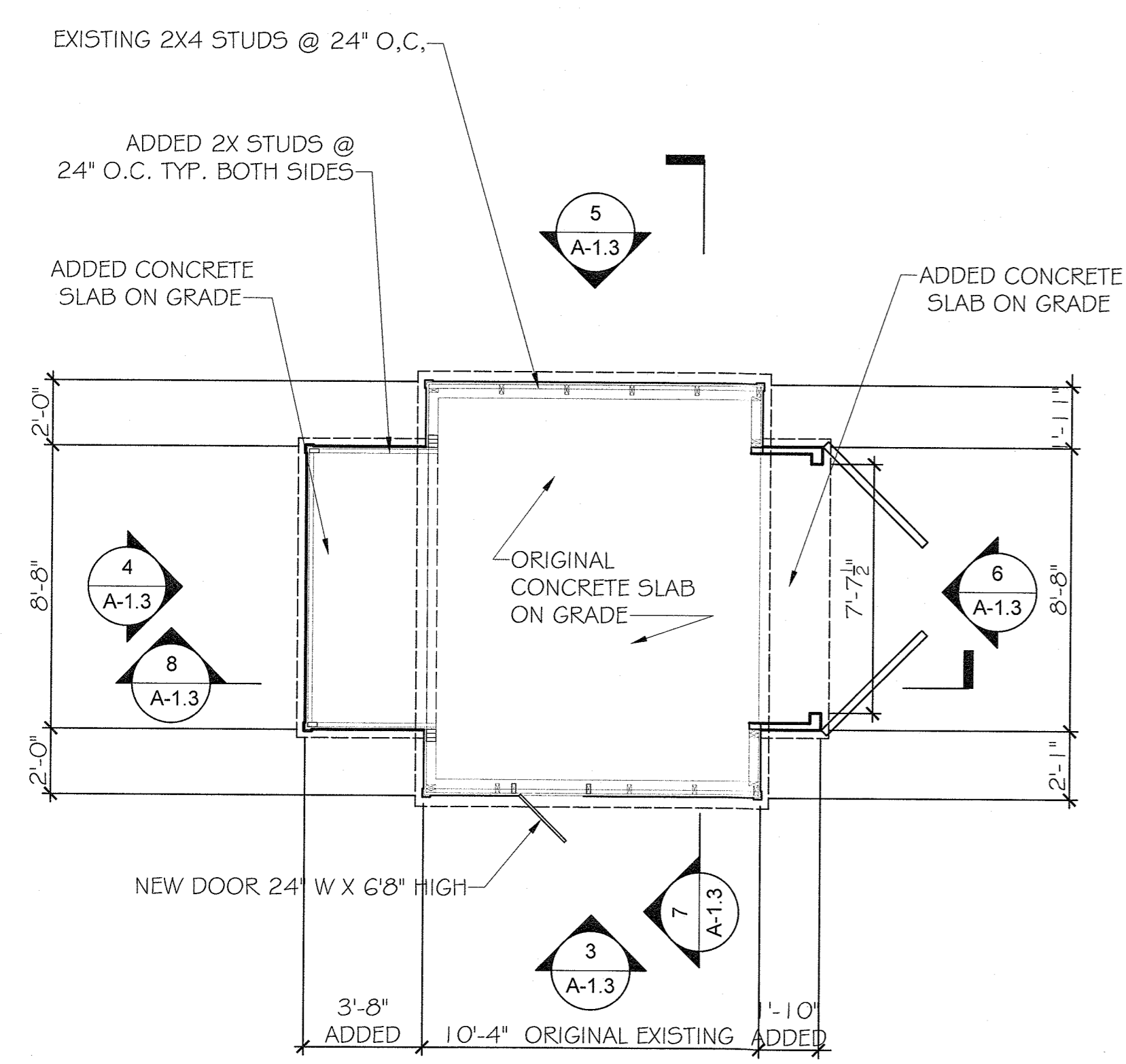
**Sunroom Addition**  
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CONSTRUCTION DOCUMENTS FOR PERMIT

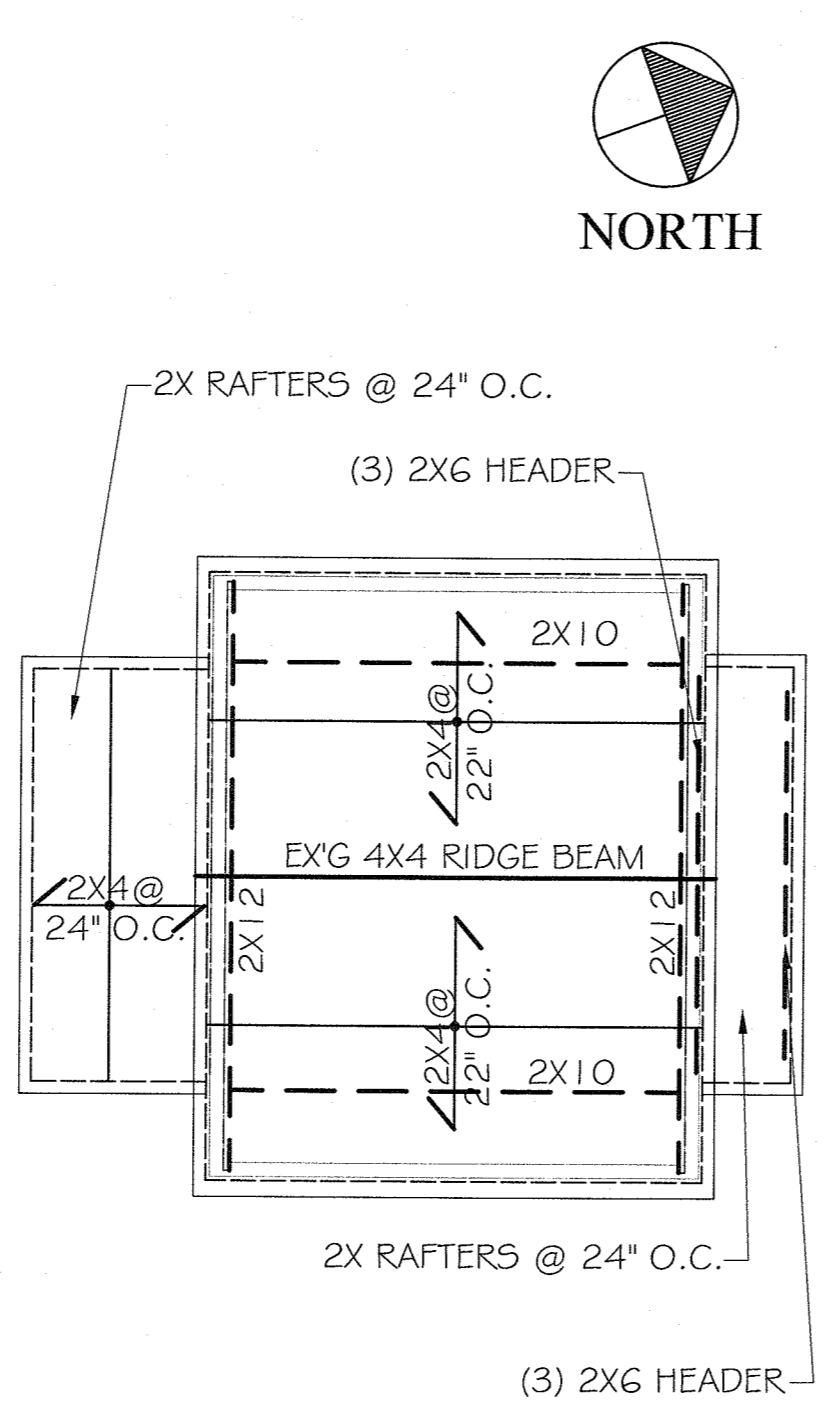
REVISIONS:  
DRAWING TITLE:  
**SHED: PLAN, ELEVATIONS, SECTIONS**

DATE: 08/23/2021  
PROJ TEAM: MRG  
PROJ PARTNER: WCA  
PROJ NO.: 21120

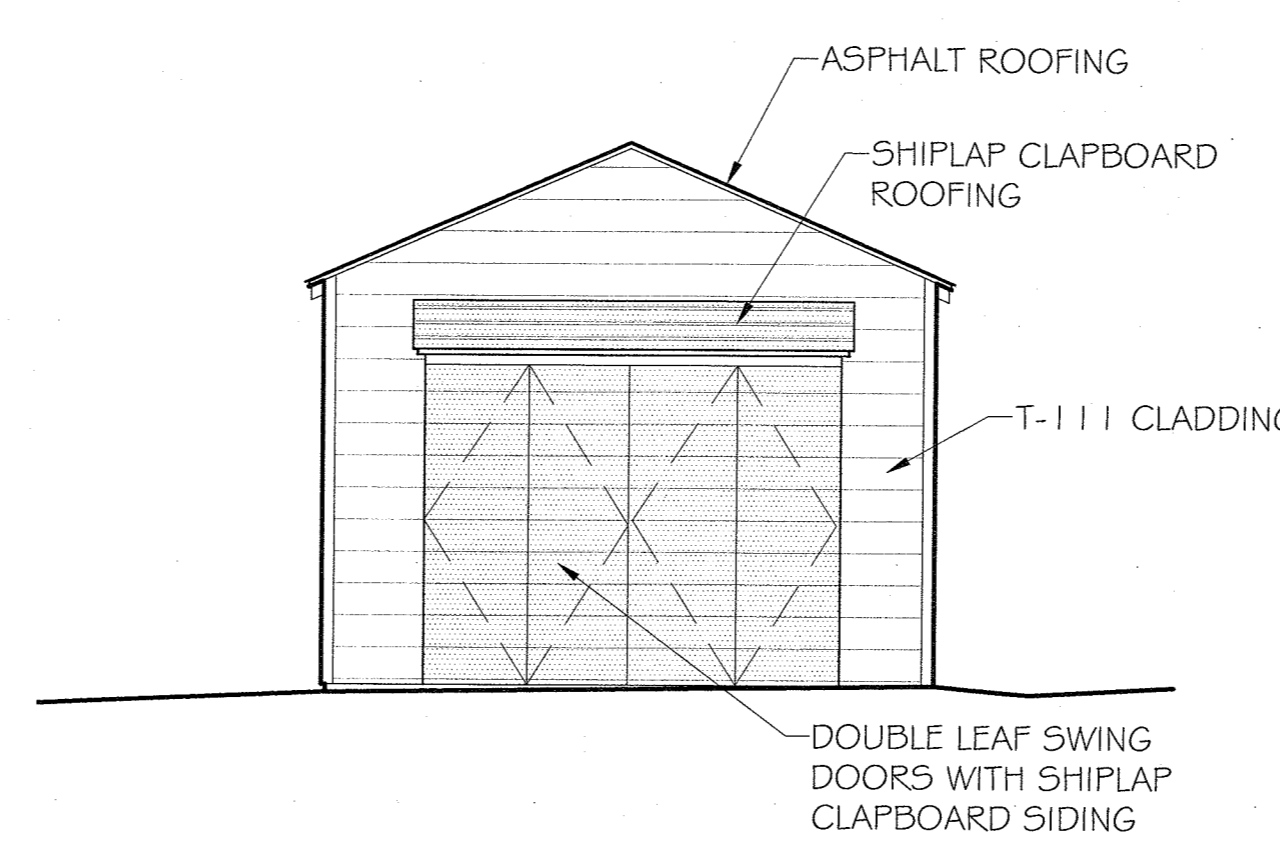
**A-3.1**



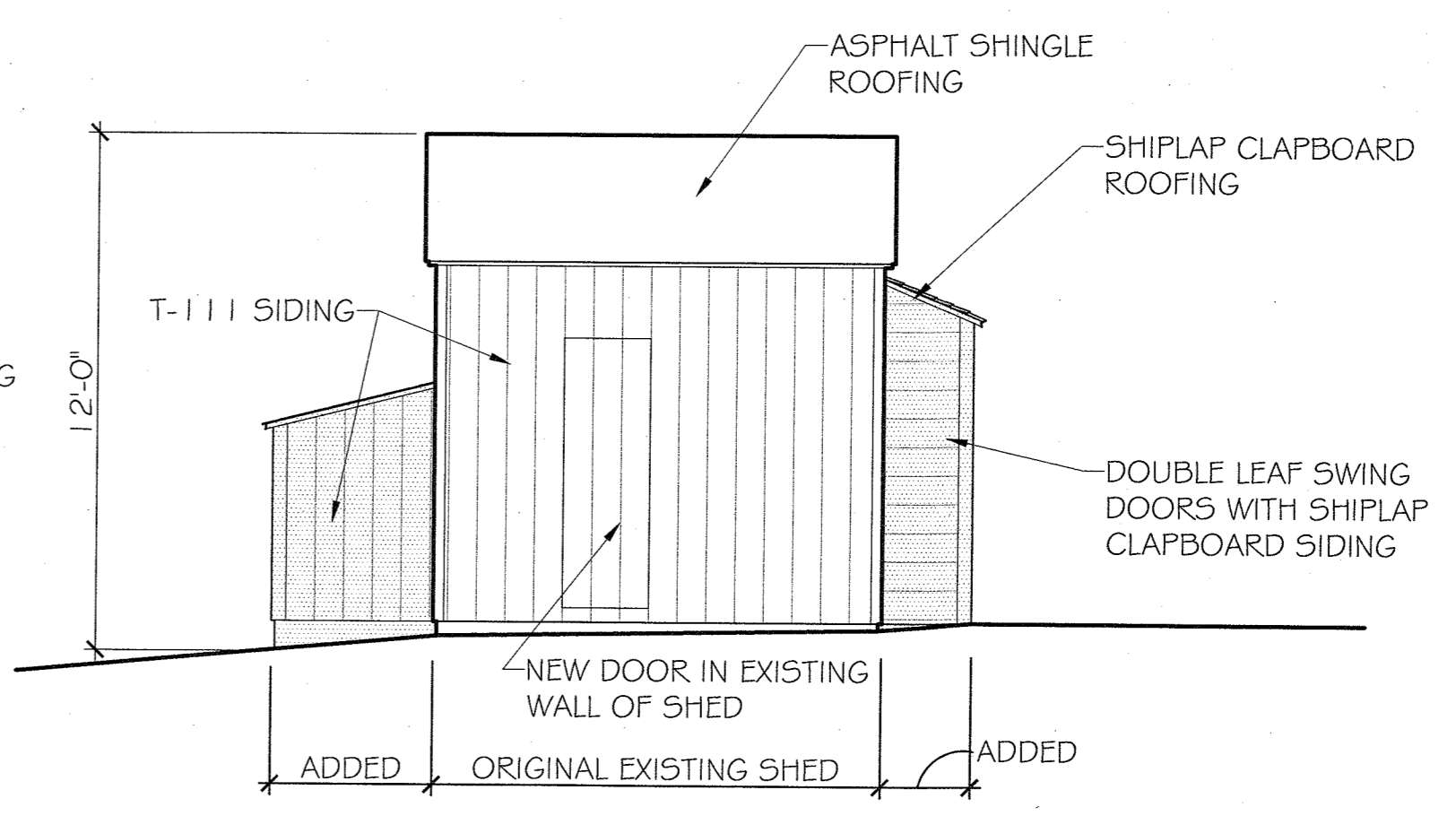
**1 FLOOR PLAN**  
1/4" - 1'-0"



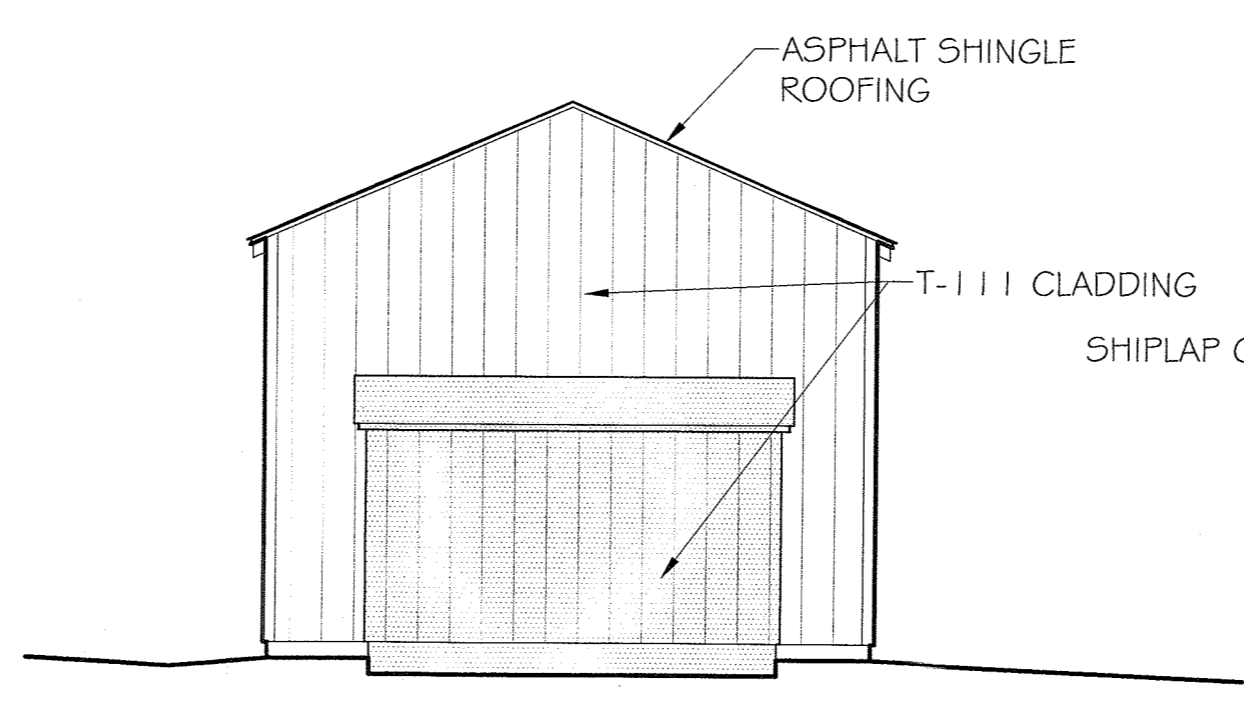
**2 ROOF FRAMING**  
1/4" - 1'-0"



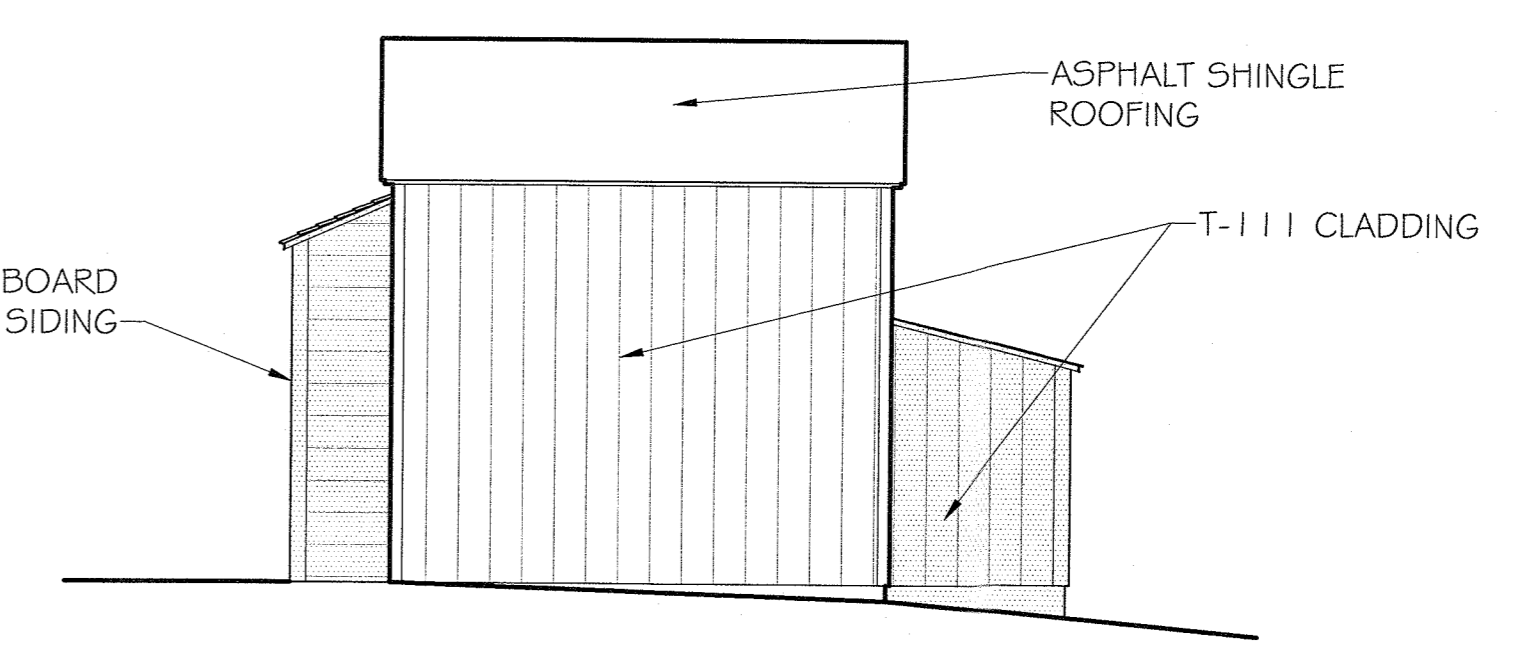
**3 NORTH**  
1/4" - 1'-0"



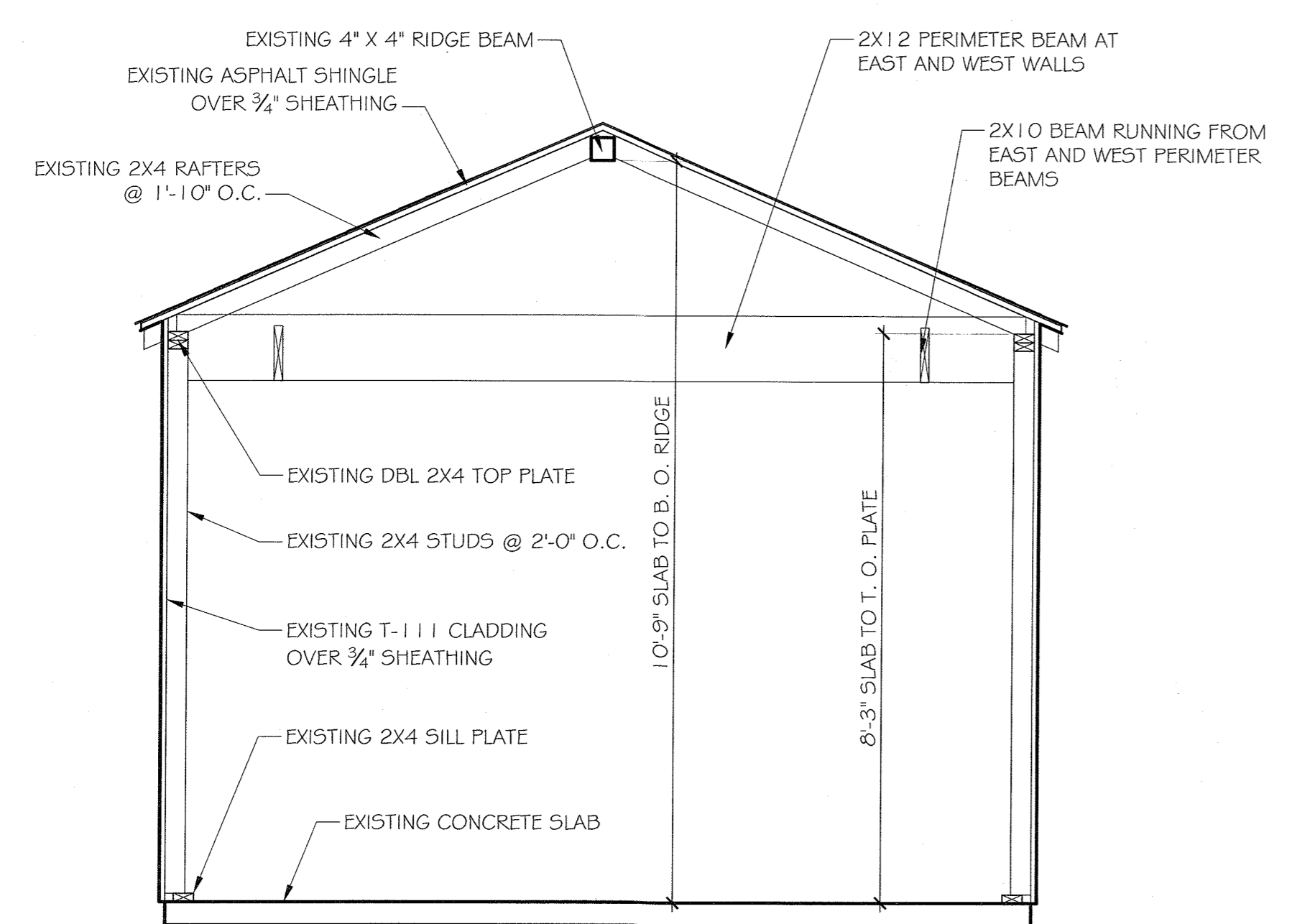
**4 EAST**  
1/4" - 1'-0"



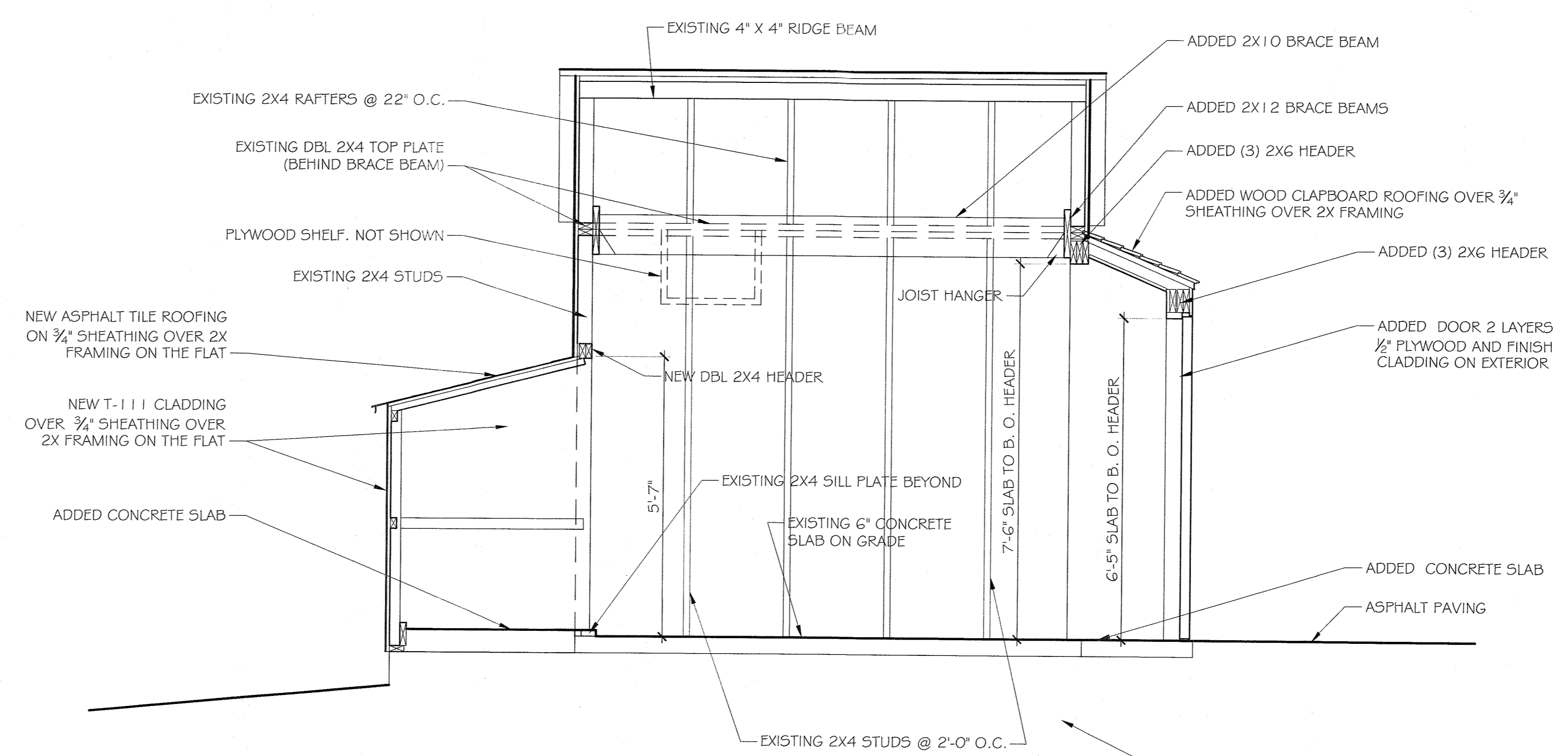
**5 SOUTH**  
1/4" - 1'-0"



**6 WEST**  
1/4" - 1'-0"



**7 CROSS SECTION**  
1/2" - 1'-0"



**8 LONGITUDINAL SECTION**  
1/2" - 1'-0"

WHAT IS THIS EXISTING FOUNDATION WALL CONSTRUCTION? IS THIS A FOUNDATION WALL OR MERELY A GRADE BEAM?

