

Name of Municipality: TOWN OF ORANGETOWN Date Submitted: _____

2020 LAND USE BOARD APPLICATION

Please check all that apply:

<input type="checkbox"/> Commercial	<input type="checkbox"/> Residential
<input type="checkbox"/> Planning Board	<input type="checkbox"/> Historical Board
<input checked="" type="checkbox"/> Zoning Board of Appeals	<input type="checkbox"/> Architectural Board
<input type="checkbox"/> Subdivision	<input type="checkbox"/> Consultation
<input type="checkbox"/> Number of Lots	<input type="checkbox"/> Pre-Preliminary/Sketch
<input type="checkbox"/> Site Plan	<input type="checkbox"/> Preliminary
<input type="checkbox"/> Conditional Use	<input type="checkbox"/> Final
<input type="checkbox"/> Special Permit	<input type="checkbox"/> Interpretation
<input type="checkbox"/> Variance	
<input type="checkbox"/> Performance Standards Review	
<input type="checkbox"/> Use Variance	
<input type="checkbox"/> Other (specify): _____	

PERMIT#: 51876
ASSIGNED _____
INSPECTOR: Glenn

Referred from Planning Board: YES / NO
If yes provide date of Planning Board meeting: _____

Project Name: Fox Addition

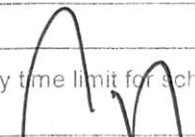
Street Address: 180 E. Lewis Ave.
Pearl River, NY 10965

Tax Map Designation:
Section: 68.12 Block: 4 Lot(s): 15
Section: _____ Block: _____ Lot(s): _____

Directional Location:
On the South side of East Lewis Avenue, approximately 0 feet of the intersection of N. Middletown Rd., in the Town of ORANGETOWN in the hamlet/village of Pearl River.

Acreage of Parcel <u>0.393</u>	Zoning District <u>CC</u>
School District <u>Pearl River</u>	Postal District <u>Pearl River</u>
Ambulance District <u>Pearl River</u>	Fire District <u>Pearl River</u>
Water District <u>Suez</u>	Sewer District <u>Orangetown</u>

Project Description: *(If additional space required, please attach a narrative summary.)*
Rear Addition on Residential Dwelling with 475 sq. ft. proposed

The undersigned agrees to an extension of the statutory time limit for scheduling a public hearing.
Date: _____ Applicant's Signature: 

APPLICATION REVIEW FORM

FILL IN WHERE APPLICABLE.

(IF THE FOLLOWING DOES NOT APPLY PLEASE MOVE ON TO THE NEXT PAGE)

If subdivision:

- 1) Is any variance from the subdivision regulations required? _____
- 2) Is any open space being offered? ____ If so, what amount? _____
- 3) Is this a standard or average density subdivision? _____

If site plan:

- 1) Existing square footage _____
- 2) Total square footage _____
- 3) Number of dwelling units _____

If special permit, list special permit use and what the property will be used for.

Environmental Constraints:

Are there **slopes greater than 25%**? If yes, please indicate the amount and show the gross and net area _____

Are there **streams** on the site? If yes, please provide the names. _____

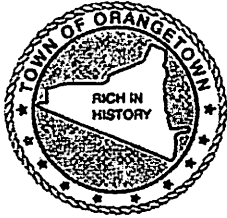
Are there **wetlands** on the site? If yes, please provide the names and type:

Project History:

Has this project ever been reviewed before? _____

If so, provide a narrative, including the list case number, name, date, and the board(s) you appeared before, and the status of any previous approvals.

List tax map section, block & lot numbers for all other abutting properties in the same ownership as this project.



OFFICE OF BUILDING, ZONING, PLANNING,
 ADMINISTRATION AND ENFORCEMENT
TOWN OF ORANGETOWN
 20 Greenbush Road
 Orangeburg, N.Y. 10962

Jane Slavin, R.A.
 Director

(845)359-8410

Fax: (845) 359-8526

DENIAL TO THE ZONING BOARD OF APPEALS

Date: September 15, 2021

Applicant: Fox

Address: 180 East Lewis, Pearl River, NY

RE: Application Made at: same

Chapter 43, § 9.34 Extension or Enlargement: In the case of a non-conforming use in a building, the enlargement of such building so as to create additional floor area, or the extension within any existing building to any portion of the floor area therein not formerly used for such nonconforming use, except where such additional floor area was manifestly designed for such use at the time such use became nonconforming or the extension of the use to an area outside the building; and in the case of a nonconforming non-building use, the use of any additional land on which no substantial operations were previously conducted, provided that any such extension or enlargement is on the same lot occupied by the nonconforming use on the effective date of this code...and upon application to the Zoning Board of Appeals ONE VARIANCE REQUIRED

Section: 68.12 Block: 4 Lot: 15

Dear Fox:

Please be advised that the Building Permit Application, which you submitted on August 25, 2021, has been denied. I have enclosed a Xerox copy of your application, where you will find at the bottom the reason for denial.

In Accordance with Zoning, Chapter 43 Section 10.322 the time to appeal a determination of a Building Inspector or Similar administrative office is thirty (30) days from the filing of such a determination with the Town Clerk.

The Clerk to the Zoning Board of Appeals, Debbie Arbolino, will assist you in the preparation necessary to appear before the board.

Sincerely,


 Richard Oliver
 Deputy Building Inspector

9.15.21

Signature of Director
 NOTE: PLEASE KEEP FOR YOUR RECORDS
 12-31-18-CCC

Date
 CC: Rosanna Sfraga
 Liz Decort
 Debbie Arbolino



OFFICE OF BUILDING, ZONING, PLANNING,
 ADMINISTRATION AND ENFORCEMENT
TOWN OF ORANGETOWN
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DENIAL TO THE ZONING BOARD OF APPEALS

Date: September 15, 2021

Applicant: Fox

Address: 180 East Lewis, Pearl River, NY

RE: Application Made at: same

Chapter 43, § 9.34 Extension or Enlargement: In the case of a non-conforming use in a building, the enlargement of such building so as to create additional floor area, or the extension within any existing building to any portion of the floor area therein not formerly used for such nonconforming use, except where such additional floor area was manifestly designed for such use at the time such use became nonconforming or the extension of the use to an area outside the building; and in the case of a nonconforming non-building use, the use of any additional land on which no substantial operations were previously conducted, provided that any such extension or enlargement is on the same lot occupied by the nonconforming use on the effective date of this code...and upon application to the Zoning Board of Appeals ONE VARIANCE REQUIRED *One time, Max 50% expansion allowed 8/10/21*

Section: 68.12 Block: 4 Lot: 15

Dear Fox:

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The Clerk to the Zoning Board of Appeals, Debbie Arbolino, will assist you in the preparation necessary to appear before the board.

Sincerely,

9.15.21
 Richard Oliver
 Deputy Building Inspector

Signature of Director
 NOTE: PLEASE KEEP FOR YOUR RECORDS
 12-31-18-CCC

Date
 CC: Rosanna Sfraga
 Liz Decort
 Debbie Arbolino

SWIS	PRINT KEY	NAME	ADDRESS
✓ 392489	68.12-3-26	Three Q LLC	127 River Rd,Grandview, NY 10960
✓ 392489	68.12-4-13	Thomas Cicarelli	9 Lexington Hill Unit 1,Harriman, NY 10926
✓ 392489	68.12-4-14	✓ Carol Schneider	
392489	68.12-4-15	Nicholas Spadaccini	168 E Lewis Av,Pearl River, NY 10965
✓ 392489	69.09-2-1	Bruce S Fox	180 E Lewis Ave,Pearl River, NY 10965
✓ 392489	69.09-2-51	Kenneth J Torsoe	70 W Gate Rd,Suffern, NY 10901
✓ 392489	69.09-2-52	Joseph Connolly	7 Pearce Pkwy,Pearl River, NY 10965
		Seventh Day Adventist of NY	P.O. Box 5029,Manhasset, NY 11030
		Attn: Lloyd Scharffenberg	

DECISION

EXTENSION OF NON-CONFORMING USE VARIANCE APPROVED

To: George Thomas
180 East Lewis Avenue
Pearl River, New York 10965

ZBA # 12-21
Date: April 4, 2012

FROM: ZONING BOARD OF APPEALS: Town of Orangetown

ZBA# 12-21: Application of George Thomas for a variances from Chapter 43 (Zoning), CC District, Section 9.34 (Extension of Non-Conforming Use) to change doctor's office section of house to residential space at an existing single-family residence. The premises are located at 180 East Lewis Avenue, Pearl River, New York and are identified on the Orangetown Tax Map as Section 68.12, Block 4, Lot 15; CC zoning district.

Heard by the Zoning Board of Appeals of the Town of Orangetown at a meeting held on Wednesday, January 4, 2012 at which time the Board made the determination hereinafter set forth.

George Thomas and Bobby Thomas appeared and testified.

The following documents were presented:

1. Survey by Summit Land Surveying, not signed or sealed dated December 16, 2011.
2. Architectural plans dated January 12, 2012 signed and sealed by Peter Klein, Architect.

Mr. Mowerson made a motion to open the Public Hearing which motion was seconded by Ms. Castelli and carried unanimously.

On advice of Dennis Michaels, Deputy Town Attorney, counsel to the Zoning Board of Appeals, Mr. Mowerson moved for a Board determination that the foregoing application is a Type II action exempt from the State Environmental Quality Review Act (SEQRA), pursuant to SEQRA Regulations §617.5 (c) (9), (10), (12) and/or (13); which does not require SEQRA environmental review. The motion was seconded by Ms. Castelli and carried as follows: Mr. Sullivan, aye; Ms. Salomon, aye; Ms. Castelli, aye; and Mr. Mowerson, aye. Ms. Albanese was absent.

Bobby Thomas testified that they purchased the home from his Doctor; that they were told by the building inspector that they need to go to the Zoning Board in order to make the doctors office into living space for the house; that they do not need an office; that there are five members of the family; that his brother recently married and has a baby and that they come to stay with the family frequently; that East Lewis Avenue is al single-family residences; that next door is a condominium complex and across the street is Key Bank and a Day Care Center; and that if they have to, they will remove the second front door from the doctors office.

TOWN OF ORANGETOWN
2012 APR 16 PM 12 06
TOWN CLERKS OFFICE

Public Comment:

No public comment.

The Board members made personal inspections of the premises the week before the meeting and found them to be properly posted and as generally described on the application.

A satisfactory statement in accordance with the provisions of Section 809 of the General Municipal Law of New York was received.

Mr. Mowerson made a motion to close the Public Hearing which motion was seconded by Ms. Castelli and carried unanimously.

FINDINGS OF FACT AND CONCLUSIONS:

After personal observation of the property, hearing all the testimony and reviewing all the documents submitted, the Board found and concluded that the benefits to the applicant if the variance(s) are granted outweigh the detriment (if any) to the health, safety and welfare of the neighborhood or community by such grant, for the following reasons:

1. The requested § 9.34 extension of non-conforming use variance will not produce an undesirable change in the character of the neighborhood or a detriment to nearby properties. The applicant is aware that Section 9.34 provision may be used only once for each such use and has agreed to remove the second front door from the doctor office section of the house. The surrounding area is a mix of existing single-family residences on East Lewis Avenue, a condominium complex, a bank and a daycare center; converting the doctor office space to residential use is not detrimental to the character of the neighborhood.
2. The requested § 9.34 extension of non-conforming use variance will not have an adverse effect or impact on the physical or environmental conditions in the neighborhood or district. The applicant is aware that Section 9.34 provision may be used only once for each such use and has agreed to remove the second front door from the doctor office section of the house. The surrounding area is a mix of existing single-family residences on East Lewis Avenue, a condominium complex, a bank and a daycare center; converting the doctor office space to residential use is not detrimental to the character of the neighborhood.
3. The benefits sought by the applicant cannot be achieved by other means feasible for the applicant to pursue other than by obtaining variances.
4. The requested ex§ 9.34 tension of non-conforming use variance, although somewhat substantial, affords benefits to the applicants that are not outweighed by the detriment, if any, to the health, safety and welfare of the surrounding neighborhood or nearby community. The applicant is aware that Section 9.34 provision may be used only once for each such use and has agreed to remove the second front door from the doctor office section of the house. The surrounding area is a mix of existing single-family residences on East Lewis Avenue, a condominium complex, a bank and a daycare center; converting the doctor office space to residential use is not detrimental to the character of the neighborhood.

TOWN CLERK'S OFFICE
2012 APR 16 PM 12 06

TOWN OF CHANGELTOWN

5. The applicant purchased the property subject to Orangetown's Zoning Code (Chapter 43) and is proposing a new addition and/or improvements, so the alleged difficulty was self-created, which consideration was relevant to the decision of the Board of Appeals, but did not, by itself, preclude the granting of the area variances.

DECISION: In view of the foregoing and the testimony and documents presented, the Board: RESOLVED, that the application for the requested § 9.34 extension of non-conforming use variance is APPROVED with the SPECIFIC CONDITION that the front door on the doctor's office section of the house be removed; and FURTHER RESOLVED, that such decision and the vote thereon shall become effective and be deemed rendered on the date of adoption by the Board of the minutes of which they are a part.

General Conditions:

(i) The approval of any variance or Special Permit is granted by the Board in accordance with and subject to those facts shown on the plans submitted and, if applicable, as amended at or prior to this hearing, as hereinabove recited or set forth.

(ii) Any approval of a variance or Special Permit by the Board is limited to the specific variance or Special Permit requested but only to the extent such approval is granted herein and subject to those conditions, if any, upon which such approval was conditioned which are hereinbefore set forth.

(iii) The Board gives no approval of any building plans, including, without limitation, the accuracy and structural integrity thereof, of the applicant, but same have been submitted to the Board solely for informational and verification purposes relative to any variances being requested.

(iv) A building permit as well as any other necessary permits must be obtained within a reasonable period of time following the filing of this decision and prior to undertaking any construction contemplated in this decision. To the extent any variance or Special Permit granted herein is subject to any conditions, the building department shall not be obligated to issue any necessary permits where any such condition imposed should, in the sole judgment of the building department, be first complied with as contemplated hereunder. Occupancy will not be made until, and unless, a Certificate of Occupancy is issued by the Office of Building, Zoning and Planning Administration and Enforcement which legally permits such occupancy.

(v) Any foregoing variance or Special Permit will lapse if any contemplated construction of the project or any use for which the variance or Special Permit is granted is not substantially implemented within one year of the date of filing of this decision or that of any other board of the Town of Orangetown granting any required final approval to such project, whichever is later, but in any event within two years of the filing of this decision. Merely obtaining a Building Permit with respect to construction or a Certificate of Occupancy with respect to use does not constitute "substantial implementation" for the purposes hereof.

Thomas
ZBA#12-21
Page 4 of 4

The foregoing resolution to approve the application for the requested § 9.34 extension of non-conforming use variance was presented and moved by Ms. Salomon, seconded by Mr. Sullivan and carried as follows: Ms. Castelli, aye; Mr. Sullivan, aye; Ms. Albanese, absent; Ms. Salomon, aye; and Mr. Mowerson, aye.

The Administrative Aide to the Board is hereby authorized, directed and empowered to sign this decision and file a certified copy thereof in the office of the Town Clerk.

DATED: April 4, 2012

ZONING BOARD OF APPEALS
TOWN OF ORANGETOWN

By 
Deborah Arbolino
Administrative Aide

DISTRIBUTION:

APPLICANT
ZBA MEMBERS
SUPERVISOR
TOWN BOARD MEMBERS
TOWN ATTORNEY
DEPUTY TOWN ATTORNEY
OBZPAE
BUILDING INSPECTOR -M.M.

TOWN CLERK
HIGHWAY DEPARTMENT
ASSESSOR
DEPT. of ENVIRONMENTAL
MGMT. and ENGINEERING
FILE,ZBA, PB
CHAIRMAN, ZBA, PB, ACABOR

TOWN CLERKS OFFICE
2012 APR 16 PM 12 06
TOWN OF ORANGETOWN

**ZBA SEQRA FINDINGS & MOTIONS
FOR "TYPE II" EXEMPT ACTIONS
and
WHERE PLANNING BOARD, AS LEAD AGENCY,
ISSUED NEGATIVE DECLARATION:
FOR PUBLIC HEARINGS OF 09/05/2012**

YTM

ZBA #12-57 (Applicant, Subway):

"Based upon the testimony heard by this Board, and the facts as presented in the application submissions and in the record, since application ZBA number 12-57 (Applicant, Subway)

- ⇒ seeks to construct or expand a primary or accessory/appurtenant, non-residential structure or facility involving less than 4,000 square feet of gross floor area and not involving a change in zoning or a use variance and consistent with local land use controls;

this application is exempt from environmental review under the State Environmental Quality Review Act pursuant to SEQRA Regulations 617.5(c)(7).

If you don't have any questions or comments, any Board member may adopt my legal opinion as a motion, if you wish."

ZBA #12-58 (Applicant, Curran), ZBA #12-59 (Applicant, McGrath), ZBA #12-60 (Applicant, Borgese), ZBA #12-61 (Applicant, Thomas), and ZBA #12-63 (Applicant, Stokes):

"Based upon the testimony heard by this Board, and the facts as presented in the application submissions and in the record, since application ZBA numbers 12-58 (Applicant, Curran), 12-59 (Applicant, McGrath), 12-60 (Applicant, Borgese), 12-61 (Applicant, Thomas), and 12-63 (Applicant, Stokes),

- ⇒ seek to construct or expand a single-family, a two-family or a three-family residence on an approved lot;
- ⇒ seek to construct, expand or place a minor accessory/appurtenant residential structure;
- ⇒ seek area or bulk variances for construction or expansion of, or relating to, a single-family, two-family or three-family residence; and/or
- ⇒ seek only setback or lot line variances;

these applications are exempt from environmental review under the State Environmental Quality Review Act pursuant to SEQRA Regulations 617.5(c)(9), (10), (12) and/or (13).

If you don't have any questions or comments, any Board member may adopt my legal opinion as a motion, if you wish."

DECISION

REQUEST TO KEEP SECOND FRONT DOOR DENIED

To: George Thomas
180 East Lewis Avenue
Pearl River, New York 10965

ZBA # 12-61
Date: September 5, 2012

FROM: ZONING BOARD OF APPEALS: Town of Orangetown

ZBA#12-61: Application of George Thomas for an amendment to ZBA Decision #12-21, which decision required as a condition of the Zoning Code (Chapter 43) Section 9.34 extension of non-conforming use that the existing second front door be removed and the applicant is requesting permission to keep the second front door at an existing single-family residence. Premises are located at 180 East Lewis Avenue, Pearl River, New York and are identified on the Orangetown Tax Map as Section 68.12, Block 4, Lot 15 in the CC zoning district.

Heard by the Zoning Board of Appeals of the Town of Orangetown at a meeting held on Wednesday, September 5, 2012 at which time the Board made the determination hereinafter set forth.

George Thomas and Bobby Thomas appeared and testified.

The following documents were presented:

1. Survey dated December 16, 2011.
2. Existing first floor house plan signed and sealed by Peter Klein, Architect.
3. A picture of the existing house.

Mr. Mowerson, Chairman, made a motion to open the Public Hearing which motion was seconded by Ms. Castelli and carried unanimously.

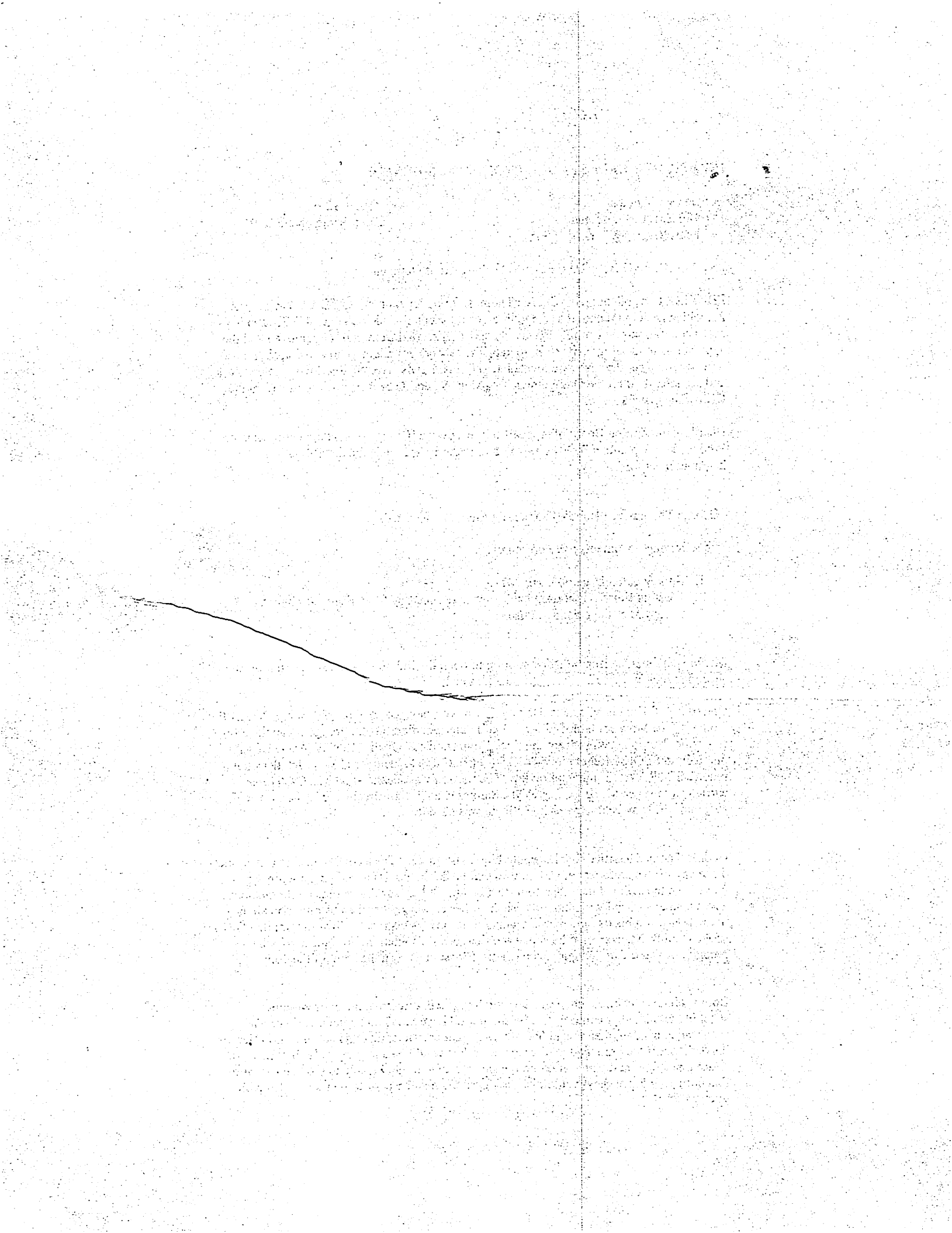
On advice of Dennis Michaels, Deputy Town Attorney, counsel to the Zoning Board of Appeals, Mr. Mowerson moved for a Board determination that the foregoing application is a Type II action exempt from the State Environmental Quality Review Act (SEQRA), pursuant to SEQRA Regulations §617.5 (c) (9), (10), (12) and /or (13); which does not require SEQRA environmental review. The motion was seconded by Ms. Castelli and carried as follows: Mr. Bosco, aye; Ms. Salomon, aye; Ms. Albanese, aye; Ms. Castelli, aye; and Mr. Mowerson, aye. Mr. Sullivan was absent.

George Thomas testified that he would like to ask to keep the second door that is near the driveway for his entrance into the house; that he has health issues and cannot always make it up the stairs at the other door; that he and Bobby use this entrance into the house and his other son and wife and kids use the other entrance; that there is only one kitchen in the house and his daughter-in-law many times brings his meals down to him; that they spoke to Mike Manzare and he suggested that they do something to camouflage the second door; and that they planted a Cherry Blossom Tree in the front of the door.

Bobby Thomas testified that at the hearing he agreed to remove the door without speaking to his father about it; that he should not have made that agreement without speaking to his dad; that he and his father use that entrance; that this entrance is easier for his dad; that if they moved the door to the back it would be a longer walk; that there are natural gas pipes and water pipes on the side but they might be able to move the door to that corner; and that they would like the Board to consider permitting them to keep the door where it is.

2012 SEP 25 PM 3 52

TOWN OF ORANGETOWN



Public Comment:

Nick Spadaccini, 168 East Lewis Ave., testified that for 21 years the Thomas property was an eyesore; that since the Thomas family purchased the house, they have improved the property immensely; that Mr. Thomas needs the second entrance for health reasons; that there always was a second door on the house; that the house looks beautiful because of the work that they have done on it; and that he fully supports allowing them to have the second door.

Irene Spadaccini, 168 East Lewis Ave., testified that she agrees with the husband; that they looked at a crap house for years; that the Thomas family has improved the house and it looks beautiful now; that Mr. Thomas needs the second door for health reasons and he should be allowed to have it.

The Board members made personal inspections of the premises the week before the meeting and found them to be properly posted and as generally described on the application.

A satisfactory statement in accordance with the provisions of Section 809 of the General Municipal Law of New York was received.

Mr. Mowerson made a motion to close the Public Hearing which motion was seconded by Ms. Salomon and carried unanimously.

FINDINGS OF FACT AND CONCLUSIONS:

After personal observation of the property, hearing all the testimony and reviewing all the documents submitted, the Board found and concluded that:

1. At the prior hearing (ZBA #12-21), on April 12, 2012 the applicant agreed to the condition "removal of the second front door" and there has been no significant difference in circumstances since that date to warrant the removal of this condition.
2. The applicant failed to make sufficient claims that would warrant the requested amendment to ZBA #12-21 (removal of second front door).
3. The requested amendment to ZBA #12-21 (removal of second front door) will make the house appear from the street as a multi-family dwelling.
4. The benefits sought by the applicant can be achieved by other feasible means, such as re-locating the second door to the adjacent side of the house.
5. For the reasons aforesaid, the requested variance will produce an undesirable change in the character of the neighborhood or a detriment to nearby properties and could have an adverse effect or impact on the physical or environmental conditions in the neighborhood or district. The benefits sought by the applicant can be achieved by other means feasible for the applicant to pursue other than by obtaining an amendment to ZBA Decision # 12-21. The requested amendment is 1 substantial and the applicant purchased the property subject to Orangetown's Zoning Code (Chapter 43).

FORM CLERK'S OFFICE
2012 SEP 25 PM 3 52
TOWN OF ORANGETOWN

TOWN OF CHARLESTOWN
2012 SEP 25 PM 3 52
TOWN CLERK'S OFFICE

Thomas
ZBA#12-61
Page 3 of 4

DECISION: In view of the foregoing and the testimony and documents presented, the Board: RESOLVED, that the application for the requested amendment to ZBA #12-21 (removal of the second front door) is DENIED; and FURTHER RESOLVED, that such decision and the vote thereon shall become effective and be deemed rendered on the date of adoption by the Board of the minutes of which they are a part.

General Conditions:

- (i) The approval of any variance or Special Permit is granted by the Board in accordance with and subject to those facts shown on the plans submitted and, if applicable, as amended at or prior to this hearing, as hereinabove recited or set forth.
- (ii) Any approval of a variance or Special Permit by the Board is limited to the specific variance or Special Permit requested but only to the extent such approval is granted herein and subject to those conditions, if any, upon which such approval was conditioned which are hereinbefore set forth.
- (iii) The Board gives no approval of any building plans, including, without limitation, the accuracy and structural integrity thereof, of the applicant, but same have been submitted to the Board solely for informational and verification purposes relative to any variances being requested.
- (iv) A building permit as well as any other necessary permits must be obtained within a reasonable period of time following the filing of this decision and prior to undertaking any construction contemplated in this decision. To the extent any variance or Special Permit granted herein is subject to any conditions, the building department shall not be obligated to issue any necessary permits where any such condition imposed should, in the sole judgment of the building department, be first complied with as contemplated hereunder. Occupancy will not be made until, and unless, a Certificate of Occupancy is issued by the Office of Building, Zoning and Planning Administration and Enforcement which legally permits such occupancy.
- (v) Any foregoing variance or Special Permit will lapse if any contemplated construction of the project or any use for which the variance or Special Permit is granted is not substantially implemented within one year of the date of filing of this decision or that of

any other board of the Town of Orangetown granting any required final approval to such project, whichever is later, but in any event within two years of the filing of this decision. Merely obtaining a Building Permit with respect to construction or a Certificate of Occupancy with respect to use does not constitute "substantial implementation" for the purposes hereof.


Thomas
ZBA#12-61
Page 4 of 4

The foregoing Resolution to DENY the application for the requested amendment to ZBA #12-21 (removal of the second front door) was presented and moved by Ms. Salomon, seconded by Ms. Castelli and carried as follows: Mr. Bosco, aye; Ms. Albanese, aye; Ms. Salomon, aye; Ms. Castelli, aye; and Mr. Mowerson, aye. Mr. Sullivan was absent.

The Administrative Aide to the Board is hereby authorized, directed and empowered to sign this decision and file a certified copy thereof in the office of the Town Clerk.

DATED: September 5, 2012

ZONING BOARD OF APPEALS
TOWN OF ORANGETOWN

By 
Deborah Arbolino
Administrative Aide

DISTRIBUTION:

APPLICANT
ZBA MEMBERS
SUPERVISOR
TOWN BOARD MEMBERS
TOWN ATTORNEY
DEPUTY TOWN ATTORNEY
OBZPAE
BUILDING INSPECTOR -M.M.

TOWN CLERK
HIGHWAY DEPARTMENT
ASSESSOR
DEPT. of ENVIRONMENTAL
MGMT. and ENGINEERING
FILE,ZBA, PB
CHAIRMAN, ZBA, PB, ACABOR

TOWN OF ORANGETOWN
2012 SEP 25 PM 3 52
TOWN OF ORANGETOWN

9. FINISHES

UNLESS NOTED OTHERWISE ALL GYPSUM WALLBOARD TO BE 1/2 TYPE X, USE 1/4" (GREENBOARD) TYPE X AT ALL WALLS ADJACENT TO PLUMBING FIXTURES, SCREENED AND GROUTED PER LEVEL 5 GYPSUM ASSOCIATION STANDARDS. USE MOLD RESISTANT AT ALL SUBGRADE LEVELS AND NON-CONDITIONED SPACES (COLD-TOUGH BY USG OR EQUAL).

PROVIDE CORNER BEADS, CASING BEADS AND TRIM AS REQUIRED TAPE AND SPACKLE ALL JOINTS, 3 COATS, FEATHERED.

STUCCO PORTLAND CEMENT PLASTER TO BE 3 COAT ON EXPANDED DIAMOND LATH, PROVIDE CONTROL JOINTS AT 20' MAX AND AT FLOOR LEVEL JUNCTURE, ALIGN WITH NEARBY WINDOW OR DOOR EDGE. PROVIDE SCREEDS, CORNER BEADS, AND ACCESSORIES FOR COMPLETE INSTALLATION PER PORTLAND CEMENT ASSOCIATION STANDARDS.

WOOD FLOOR TO BE 3/4" X 2 1/4" T & G OAK TO MATCH EXISTING (SEE FIN. SCHED.) W/ BLDG FELT AND CAVITY INSUL. WHERE REQ. ALLOW WOOD FLOOR MATERIAL TO SEASON ON SITE PER MANUF. GUIDELINES, ALLOW GAP AT EDGES FOR EXPANSION PER MANUFACTURERS RECOMMENDATION.

CERAMIC TILE TO BE THINSET METHOD ACCORDING TO CERAMIC TILE INSTITUTE STANDARDS. PROVIDE GROUT, BULLNOSED AND SPECIAL SHAPED TILE. GROUT AND SEAL. USE GROUT AS RECOMMENDED BY TILE MANUF. COLOR TO BE SELECTED. SEAL. GROUT. PROVIDE MARBLE SADDLES AT FL. TILE USE MUDSET TILING APPLICATION FOR SHOWER ENCL. TO DRAIN W/ FULLY BONDED PVC LINER-PAN BELOW.

USE 1/2" CEMENT BACKER BOARD BEHIND CER. TILE AT TUB/SHWR SURROUNDS.

PROVIDE WATERPROOF VINYL MEMBRANE (OR EQUAL) BELOW CER. & MARBLE FLOOR TILE. TURN UP 4" AT WALLS.

PAINT SHALL BE "PRATT AND LAMBERT" EXTERIOR LATEX, FLAT-SIDING SATIN- FOR TRIM AND DOORS, INTERIOR GMB, EGGSHELL LUSTER- WALLS SATIN- TRIM AND DOORS. PREP ALL SURFACES PER MANUF. INSTRUCTIONS PRIME AND PAINT ALL SCHEDULED SURFACES 2 COATS MIN. COLORS TO BE SELECTED. PROVIDE 2' X 2' MOCKUP FOR APPROVAL OF EACH COLOR. APPLY PAINT WITHIN AREAS LIGHTED AT A MINIMUM 100 FOOTCANDLES.

PROVIDE 10% ATTIC STOCK TILE & PAINT FOR FUTURE OWNER USE.

10. SPECIALTIES

TOILET ACCESSORIES PROVIDED BY OWNER, INSTALLED BY GC. PROVIDE BLOCKING AND ANCHORAGE WHERE REQUIRED.

11. EQUIPMENT

INSTALL ALL APPLIANCES PROVIDED BY OWNER INCLUDING BUT NOT LIMITED TO: DISHWASHER, MAX. OVEN, HOOD, COOKTOP, WALL OVENS, REFRIGERATOR, DISPOSAL.

KITCHEN CABINETS AND VANITIES SHALL BE PREMI. GRADE, 3/4" PLYWOOD FINISH CONSTR. IN STOCK SIZES WITH FILLER PANELS AS REQ. (KRAFTMAID OR EQUAL) SOLID RECESSED PANEL SHAKER STYLE DOORS, W/ FULL EXTENSION HEAVY DUTY DRAWER GUIDES, RECYCLING BINS, ROLL-OUT SHELVES AND ACCESSORIES AS REQ'D LIGHT HONEY FINISH PINE, SUBMIT SAMPLE DOOR FOR APPROVAL. INSTALL CABINETS PER ANI SECTION 1700, STRAIGHT, LEVEL AND FREE OF DISTORTION TO ALLOW FOR UNENCUMBERED OPERATION. CABINET HARDWARE SHALL COMPLY WITH BHMA AIS6.1.

PROVIDE CABINET SHOP DRAWINGS FOR REVIEW AND APPROVAL.

KITCHEN COUNTERTOPS TO BE 1 1/4" MED. GREY PIETRO CORDOZA WITH 4" STONE BACKSPLASH. COUNTERTOP SHALL HAVE LEADING BULLNOSED EDGE. BACKSPLASH SHALL BE TILED ABOVE SONE BACKSPLASH TO BOTTOM OF WALL CABINET. PROVIDE STONE SAMPLES OR SHOWRM VISIT FOR APPROVAL. MIN. 3/4" OVERHANG BEYOND BASE CABINETS. COORDINATE ALL CUTOUPS AND TEMPLATES WITH OTHER TRADES. INSTALL WITH FINEST SEAMS POSSIBLE.

PLASTIC LAMINATE CABINETS AND COUNTERTOPS TO COMPLY WITH ANI SECTION 400.

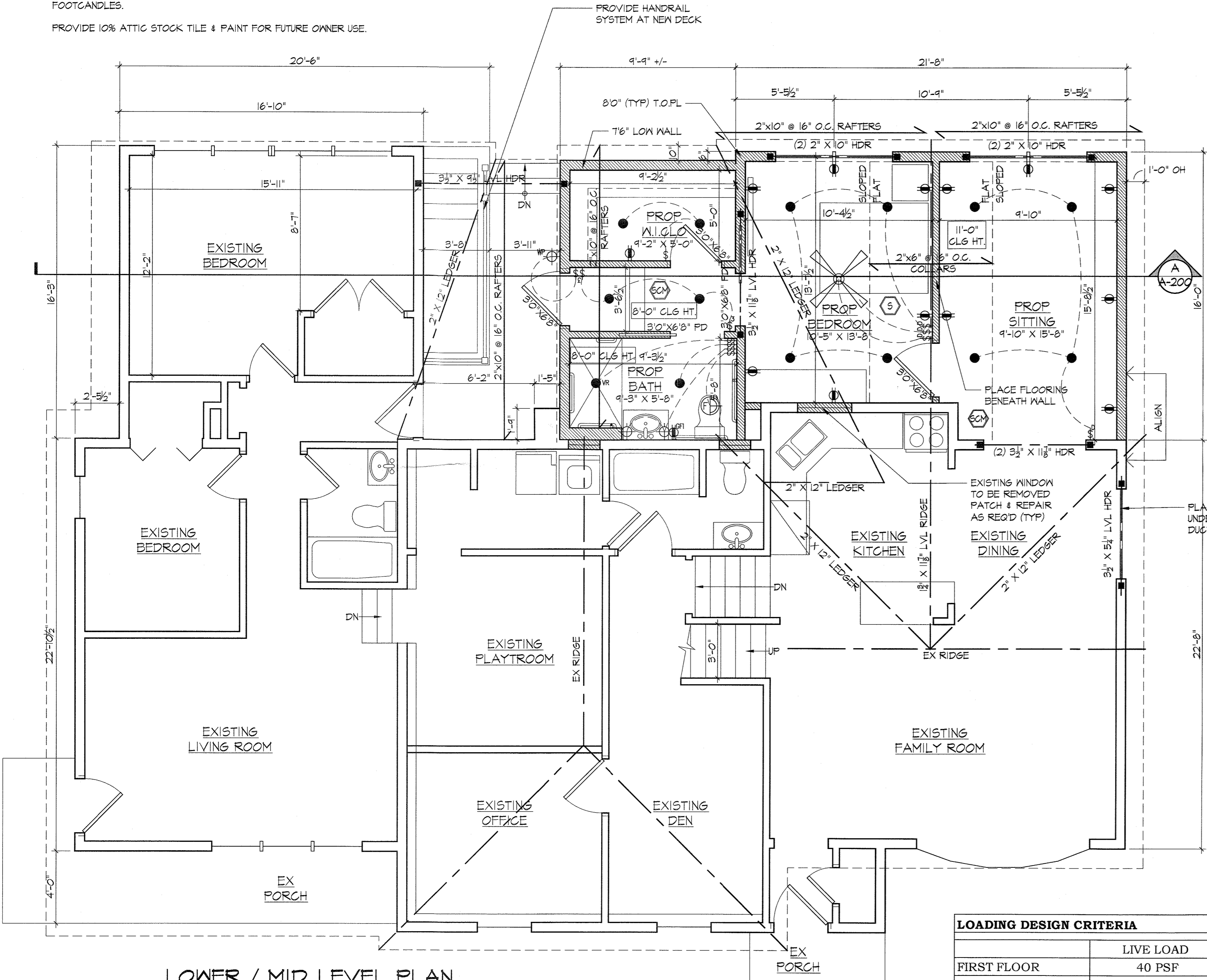
SOLID POLYMER SURFACING SHALL BE FABRICATED WITH THE FINEST POSSIBLE SEAMS AND INSTALLED ON OPEN WEB SUBSTRATE ON 16" CENTERS.

ELECTRIC LEGEND

- ELECTRICAL DUPLEX RECEPTACLE OUTLET WALL MOUNTED AT 18" ABOVE FINISHED FLOOR OR 12" ABOVE COUNTER SURFACE WHERE REQ'D (6FI-DENOTES GROUND FAULT INTERRUPTER)
- RECESSED ELECTRICAL DUPLEX RECEPTACLE OUTLET WALL MOUNTED AT 18" ABOVE FINISHED FLOOR UNLESS OTHERWISE NOTED
- ELECTRICAL QUADRUPLUX RECEPTACLE OUTLET WALL MOUNTED AT 18" ABOVE FINISHED FLOOR
- TELEPHONE OUTLET WALL MOUNTED AT 18" ABOVE FINISHED FLOOR
- FLUSH FLOOR MOUNTED ELECTRICAL DUPLEX RECEPTACLE
- ELECTRICAL JUNCTION BOX
- RECESSED 6" DIAMETER LED LIGHTING FIXTURE
- SURFACE INCANDESCENT PENDANT LIGHTING FIXTURE
- WALL SCONCE FOR BATHROOMS
- INTERIOR INCANDESCENT SCONCE LIGHTING FIXTURE
- EXTERIOR INCANDESCENT SCONCE LIGHTING FIXTURE
- FLOOD LIGHT WITH 150 W PAR LAMPS
- RECESSED 6" DIAMETER WALL WASHER LED LT. FIXTURE
- SURFACE MOUNTED CEILING LIGHTING FIXTURE
- LED LIGHTING STRIP
- PORCELAIN SOCKET, LED LAMPS
- FANLIGHT, DUCT TO EXTERIOR, WET LOCATION "PANASONIC" MODEL #
- SINGLE POLE LIGHT SWITCH, WALL MOUNTED AT 42" ABOVE FINISHED FLOOR (SUBSCRIPT "3" INDICATES 3-WAY SWITCH) COORDINATE LOCATION WITH TRIM.
- HEAT DETECTOR HARDWIRED & INTERCONNECTED
- SMOKE / CARBON MONOXIDE DETECTOR COMBO, HARDWIRED & INTERCONNECTED
- SMOKE DETECTOR HARDWIRED & INTERCONNECTED
- CEILING DIFFUSER (SUPPLY), WHITE
- CEILING REGISTER (RETURN), WHITE
- CEILING FAN & LIGHT

LEGEND

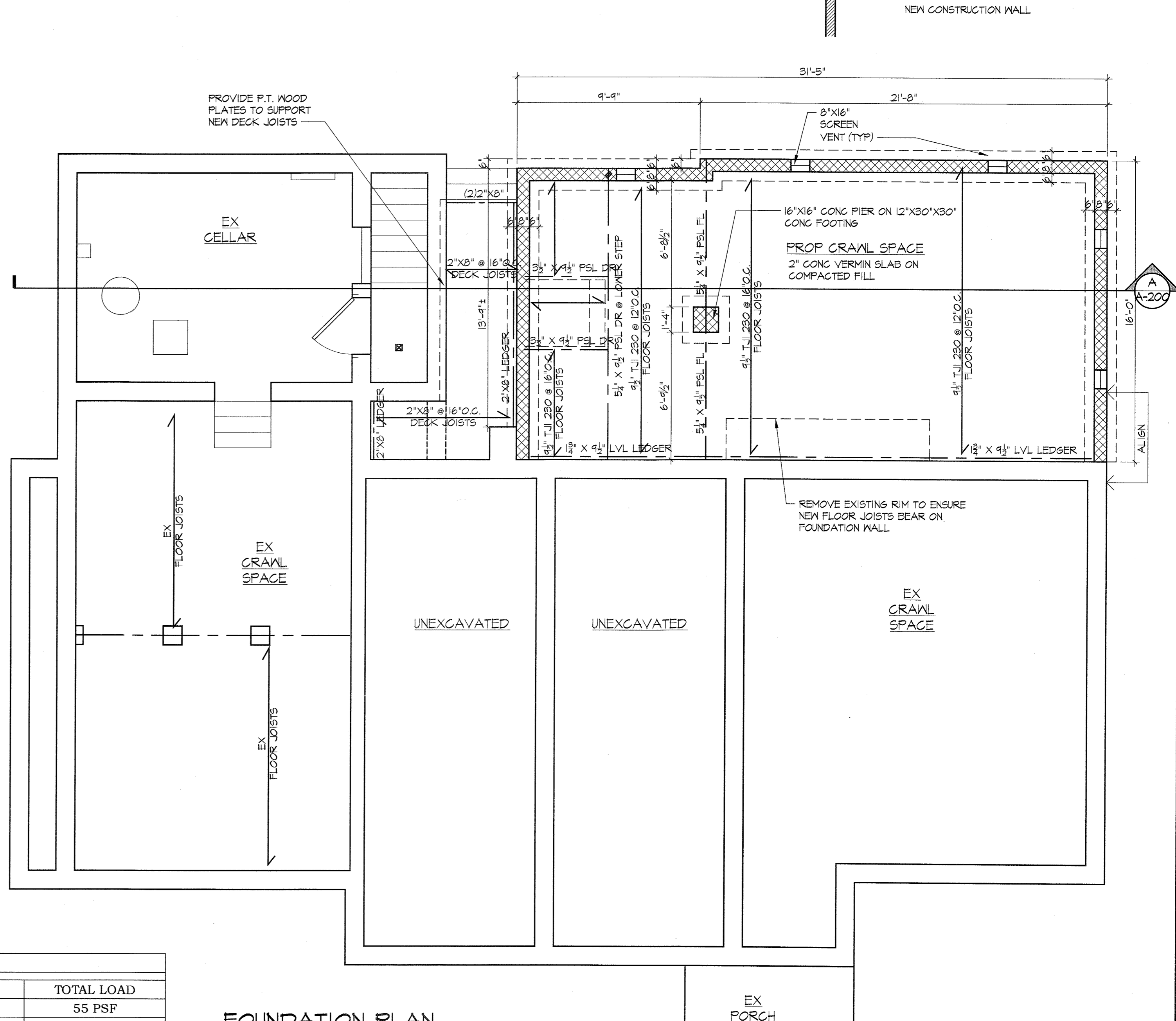
- DETAIL REFERENCE, BOTTOM NUMBER INDICATES DRAWING SHEET
- SECTION OR ELEVATION REFERENCE
- REVISION NUMBER WITHIN TRIANGLE RELATES TO INFORMATION ALTERED WITHIN CLOUD/BUBBLE
- DIMENSION LINE, NUMERALS INDICATE DISTANCE TO FACE OF FINISH CONSTRUCTION.
- EXISTING CONSTRUCTION TO BE REMOVED OR AS OTHERWISE NOTED
- WINDOW SYMBOL
- EXISTING CONSTRUCTION TO REMAIN
- SWINGING DOOR WITH SIZE-TYPE IDENTIFICATION
- NEW CONSTRUCTION WALL



LOWER / MID LEVEL PLAN

SCALE : 1/4" = 1'-0"

EXISTING LOWER / MID LEVEL: 1750 SQ. FT.
PROPOSED LOWER / MID LEVEL: 475 SQ. FT.



FOUNDATION PLAN

SCALE : 1/4" = 1'-0"

LOADING DESIGN CRITERIA

	LIVE LOAD	DEAD LOAD	TOTAL LOAD
FIRST FLOOR	40 PSF	15 PSF	55 PSF
SECOND FLOOR	30 PSF	15 PSF	45 PSF
ATTIC	20 PSF	10 PSF	30 PSF
ROOF	30 PSF	17.5 PSF	47.5 PSF
ALL CONCRETE MIN. F _b = 3,500 PSI			

UZZIAH COOPER JR. DESIGNS

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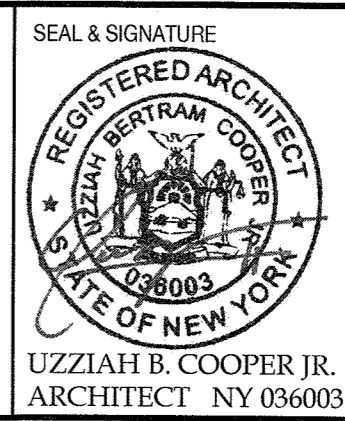
DATE	SUBMISSIONS / REVISIONS
09-13-21	NOTE ADDED AS PER BUILDING DEPT
06-28-21	ISSUED FOR BUILDING PERMIT
01-21-21	INITIAL DESIGN

FIRST FLOOR PLAN

PROPOSED ADDITION FOR:
BRUCE & CINDY FOX
180 E. LEWIS AVE
PEARL RIVER NY, 10965

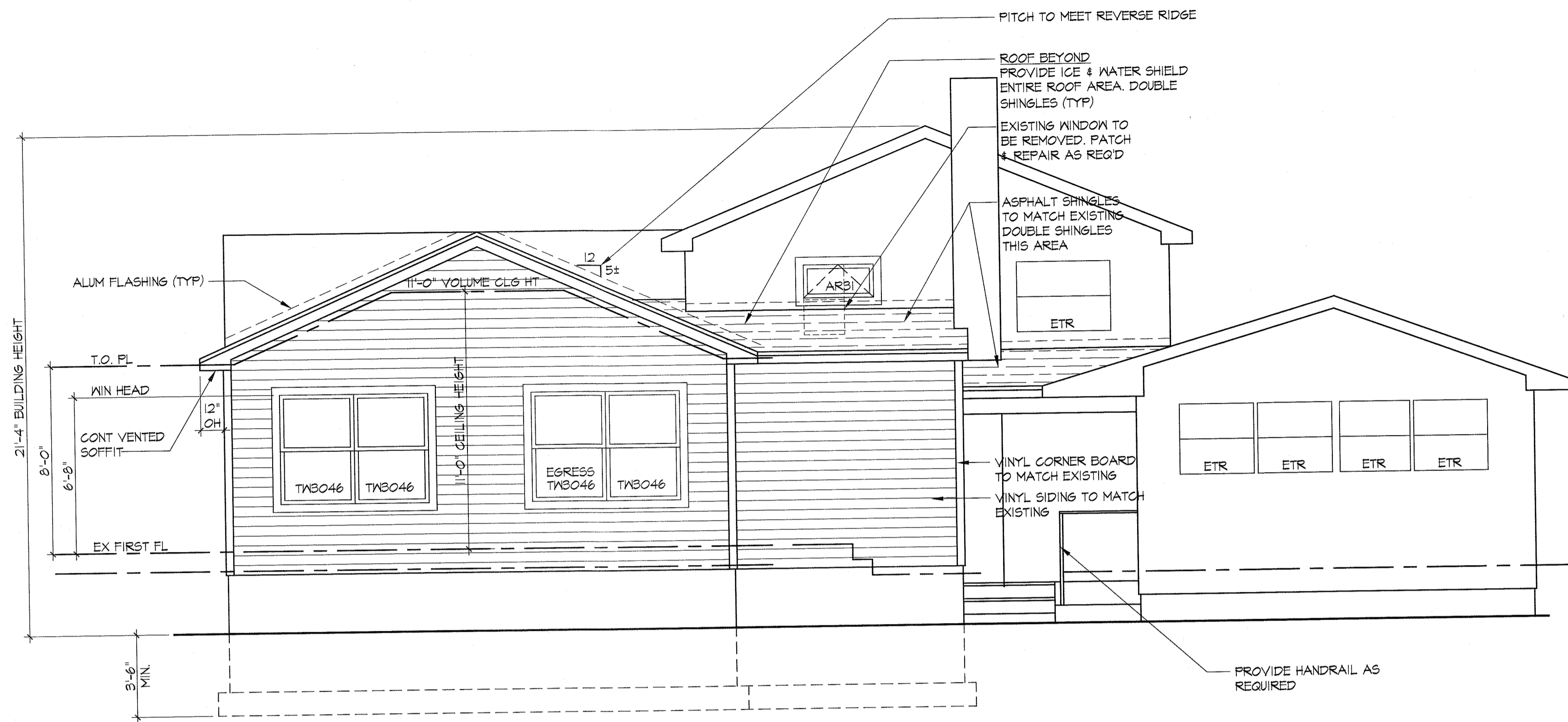
SECTION: 68.12 BLOCK: 4 LOT: 15

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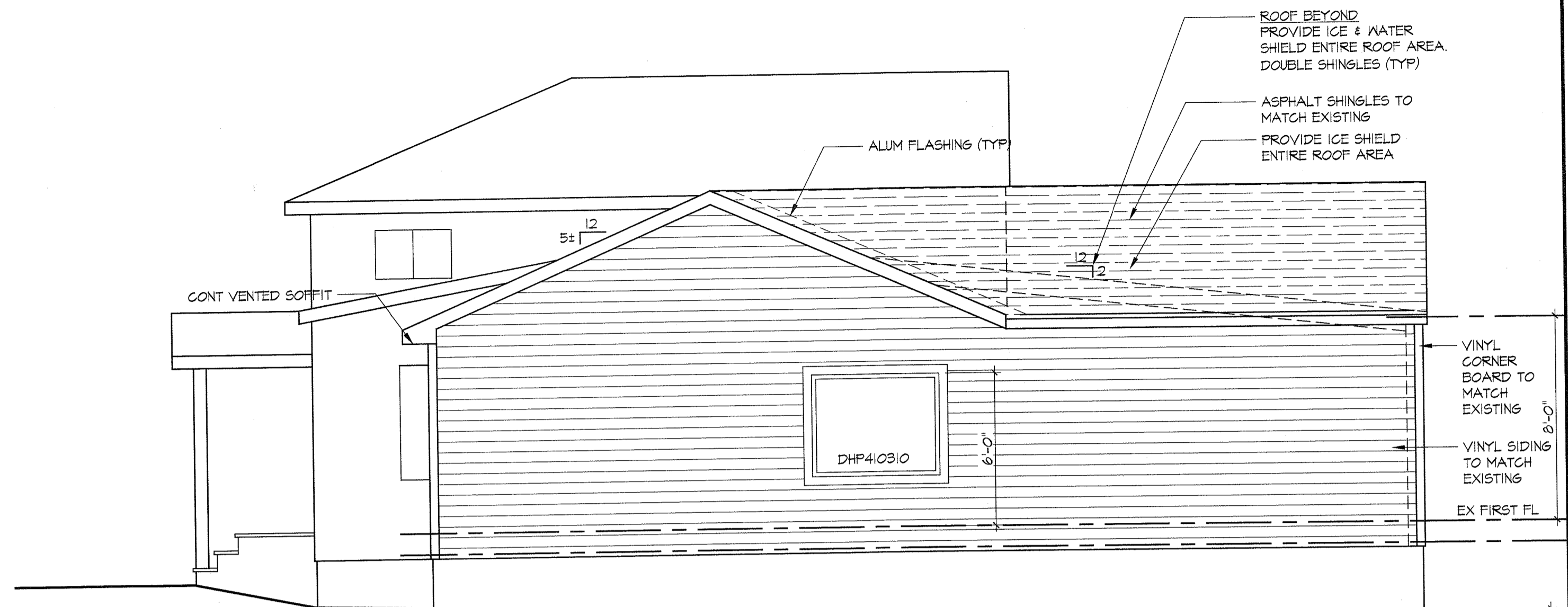
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09-13-21	#21-07
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A-100



REAR ELEVATION

SCALE : 1/4" = 1'-0"



RIGHT SIDE ELEVATION

SCALE : 1/4" = 1'-0"

15. MECHANICAL

PLUMBING - DOMESTIC WATER PIPING SHALL BE COPPER, SOLDERED JOINTS, SANITARY AND VENT TO BE CAST IRON. STORM UNDERGR. SHALL BE PVC. PROVIDE VALVES AND NECESSARY FITTINGS TO RENDER THE SYSTEM COMPLETE AND OPERATIONAL. PROVIDE FIXTURES AS SHOWN ON THE PLANS & INSTALL WATER HAMMER ARRESTER AT THE BOTTOM OF EACH LINE TO ABSORB SHOCK. GAS SERVICE LINES SHALL BE BLACK IRON PER CODE.

PROVIDE 3 FROST FREE HOSEBIBS IF NOT CALLED OUT ON PLANS OTHERWISE.

ALL SERVICE LINES SHALL BE SECURELY INSTALLED AND PROPERLY PROTECTED FROM OTHER TRADES AS WELL AS PROPERLY INSULATED OR HEAT TRACED. PROVIDE ACCESSIBLE SHUTOFF VALVES FOR FIXTURES AND APPLIANCES.

PROVIDE NEW 80 GAL GAS FIRED HW HEATER. COORD. LOCATION W/ ARCH. ALL BATHROOM PLUMBING FIXTURES TO BE WHITE. FAUCETS AND FITTINGS TO BE BRUSHED OR SATIN CHROME. FULLY TEST AND MAKE SYSTEMS OPERATIONAL.

PROVIDE NEW CAST-IRON RADIATORS OR RECESSED RADIATORS TO MATCH EXISTING. PROVIDE VALVES WHERE REQUIRED.

HVAC - PROVIDE AND MODIFY DUCTWORK REGISTERS AND DIFFUSERS, DAMPERS AS REQUIRED TO CONDITION THE NEW AND EXISTING SPACES TO 12 DEGREES INDOORS WHEN OUTSIDE TEMPERATURE REACHES 90 DEGREES, AND 70 DEGREES WHEN OUTSIDE TEMPERATURE REACHES 0 DEGREES. PROVIDE FLUSHABLE STEAM HUMIDIFIER. LOCATE NEW HVAC UNIT IN ATTIC, SEPARATELY ZONE 1ST FL AND 2ND FL. PROVIDE PROGRAMMABLE THERMOSTATS. HVAC UNIT CAPACITIES ARE PRELIMINARY AND SHOULD BE CONFIRMED BY HVAC SUBCONTRACTOR. LOCATE CONDENSOR UNIT WITHIN PROPERTY LINE SETBACKS ON PRECAST CONCRETE PADS. LOCATE REFRIGERANT LINES WITHIN EXTRA DEDICATED NON-FUNCTIONAL BUTTER LEADER. PROVIDE RUPTURE PANS AND ALARM AT EACH AHU. MINIMUM A/C SEER VALUE IS. CONDENSOR UNITS MUST MEET APPLICABLE NOISE DB RATINGS.

PROVIDE EXHAUST VENTILATION FROM BATHROOMS, KITCHENS PER CODE IF NOT OTHERWISE SPECIFIED.

PROVIDE SHOP DRAWINGS FOR REVIEW AND APPROVAL OF HVAC LAYOUT.

FIRE SPRINKLER SYSTEM WHERE REQUIRED SHALL CONFORM WITH NFPA 13, LIGHT HAZARD. PROVIDE SHOP DRAWINGS. CONFIRM ADEQUATE WATER SUPPLY.

CENTRAL VACUUM SYSTEM BY "EUREKA" DROP DOWN FABRIC FILTER SYSTEM. PROVIDE (1) ELECTRICAL INLET PER 600 SF OF FLOOR AREA. SYSTEM MINIMUM REQUIREMENTS INCLUDE: 110 CFM SUCTION, 45" WATER COLUMN HEIGHT. PROVIDE ALL REQUIRED HOSES, ELECTRICAL CONNECTIONS, ADAPTERS, AND FITTINGS.

PROVIDE NEW WATER-POWERED SUMP PUMP BY LIBERTY S110 OR EQUAL IN SUITABLE POLYETHYLENE PIT, ACCESSORIES, PIPING. CONNECT TO PERIMETER FRENCH DRAIN AND PROVIDE DISCHARGE TO CODE APPROVED DRAINAGE OUTLET. 1 FIT PER 1000 SF BSMT

PERIMETER FRENCH DRAIN TO BE BUILT OF PERFORATED 4" PERFORATED PVC WRAPPED IN LAYER OF 1" GRAVEL AND FILTER FABRIC PIPED TO SUMP-PIT OR DRYWELL WITH MINIMUM SLOPE OF 1/4" PER FOOT. PATCH PERIMETER OF BASEMENT FLOOR SLAB. PROVIDE "WET" ALARM WHEN WATER COMES WITH 4" OF SUMP PIT TOP. CONTACT OWNER FOR ALARM NOTIFICATION INSTRUCTIONS.

PROVIDE NEW "MITSUBISHI" MR SLIM DUCTLESS A/C (1/2 & MBTU) WITH CONDENSOR AND REG. ACCESSORIES. LOCATE CONDENSOR PER OWNER'S DIRECTION

DUCTS: ALL DUCTS SHALL BE FABRICATED AND RIGIDLY INSTALLED WITH REQUIRED BRACING AND SUPPORTS. THE MAIN SUPPLY AND RETURN DUCT SHALL BE ISOLATED FROM THE HEATER AND BLOWER BY MEANS OF FABRIC INSULATORS. PROVIDE DUCT DAMPERS FOR EACH RUN. INSULATE ALL DUCTS LOCATED IN GARAGE, ATTIC, AND UNHEATED AREAS. ACOUSTICAL INSULATE DUCTS IN OFFICES, MEETINGS AND MEDIA ROOMS

GRILLS AND REGISTERS: PROVIDE SUPPLY AND RETURN REGISTERS IN EACH ROOM. ALL SUPPLY GRILLS TO HAVE ADJUSTABLE DAMPERS. FLOOR GRILLS TO BE WOOD TO MATCH WOOD FLOOR WHERE APPLICABLE.

BALANCING: HEATING CONTRACTOR SHALL BALANCE ENTIRE HOUSE SO THAT ALL ROOMS HEAT AND COOL EVENLY TO THE REQUIRED TEMPERATURE SET ON THE THERMOSTAT.

DUCT INSULATION:

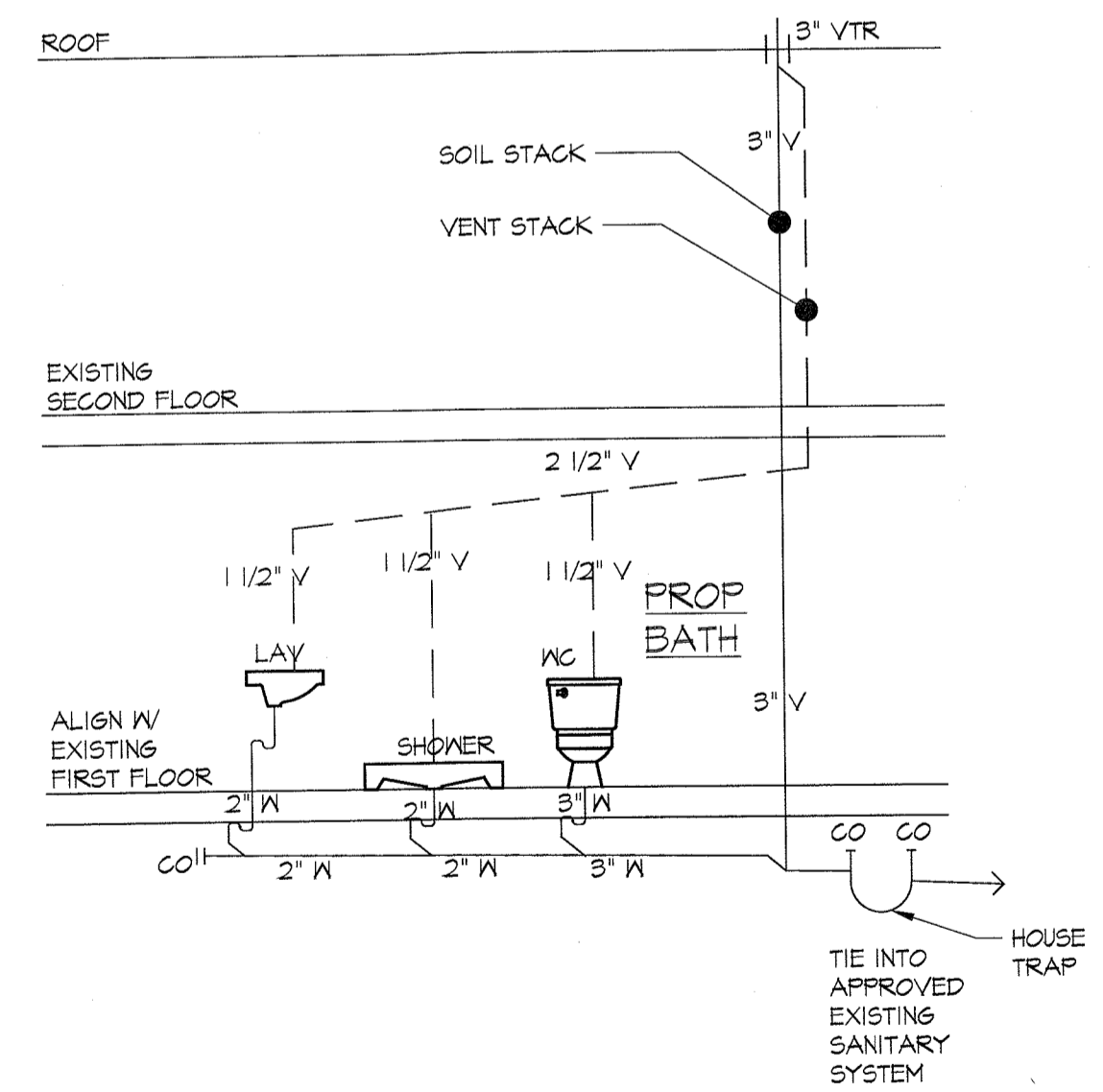
SUPPLY DUCTS IN UNCONDITIONED ATTICS OR OUTSIDE THE BUILDING MUST BE INSULATED TO R-8

RETURN DUCTS IN UNCONDITIONED ATTICS OR OUTSIDE THE BUILDING MUST BE INSULATED TO R-4

SUPPLY DUCTS IN UNCONDITIONED SPACES MUST BE INSULATED TO R-8

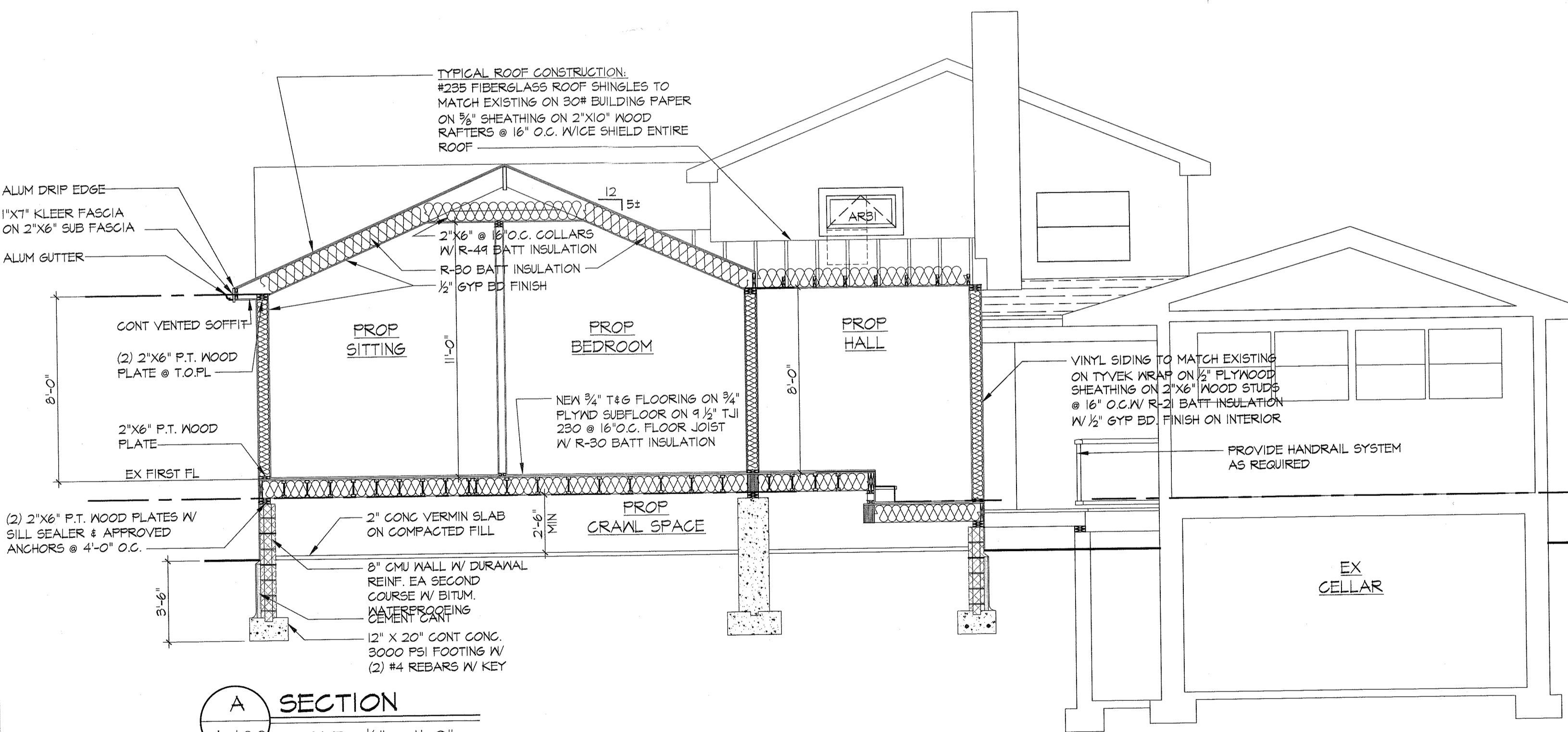
RETURN DUCTS IN UNCONDITIONED SPACES (EXCEPT BASEMENTS) MUST BE INSULATED TO R-2

INSULATION IS NOT REQUIRED ON RETURN DUCTS IN BASEMENTS.



PLUMBING RISER DIAGRAM

NOT TO SCALE



SECTION A-A

SCALE : 1/4" = 1'-0"

ELEVATIONS

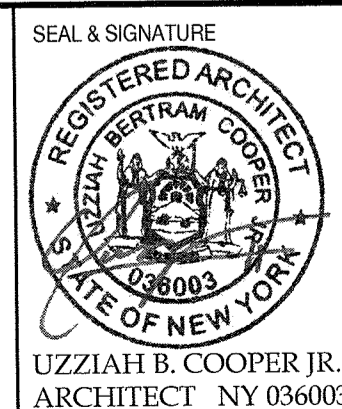
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DESIGNS**

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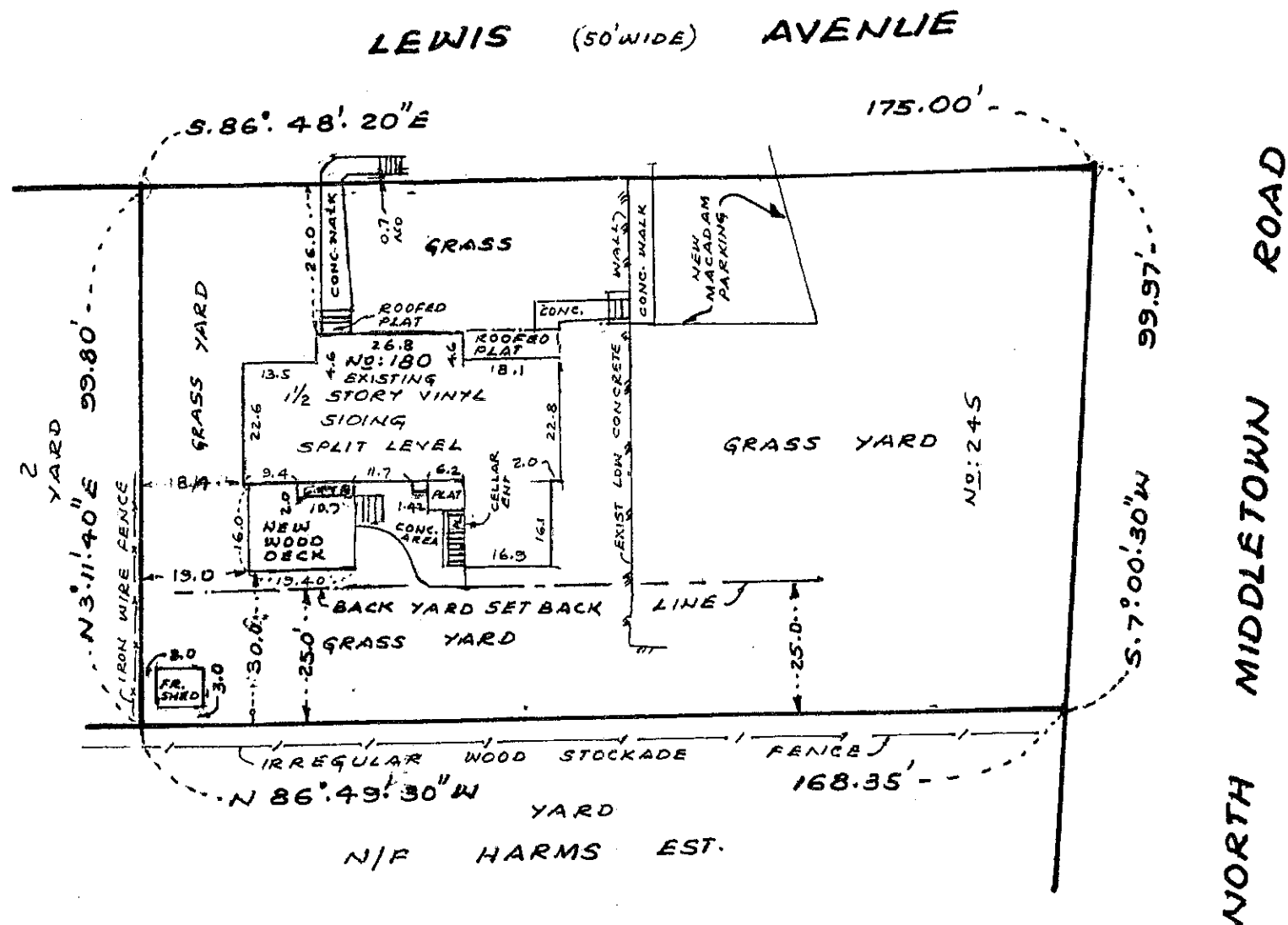
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01-21-21	INITIAL DESIGN
DATE	SUBMISSIONS / REVISIONS

PROPOSED ADDITION FOR:
**BRUCE & CINDY
FOX**
180 E. LEWIS AVE
PEARL RIVER NY, 10965
SECTION: 68.12 BLOCK: 4 LOT: 15

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	A-200



Summit Land Surveying P.C.
 64 Virginia Avenue
 Dobbs Ferry NY 10522
 (914) 629-7758
 Info@summitsurveyingpc.com

This is to certify that this map and the survey on which it is based were made in accordance with the "Minimum Standard" Detail Requirements for the New York State Association of Land Surveyors.

Rakesh R. Behal, L.S. New York State License Number 050666.

(ALSO KNOWN AS SECTION 68.12, BLOCK 4, TAX LOT 15.)

- LEGENDS:
- C.L.F. CHAIN LINK FENCE
 - BLDG. BUILDING
 - GV GAS VALVE
 - Q.4'N. NORTH
 - D. DRAINAGE INLET
 - W.I.F. WROUGHT IRON FENCE
 - N/F. NOW OR FORMERLY
 - O.H.W. OVER HEAD WIRES

(DO NOT SCALE)

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 POSSESSION NOT INDICATED

SCALE: 1" = 30.0'
 Measurement in U.S. Standard.

DATE: DEC. 16, 2011.

JOB NUMBER
 RCRO2328-55-81

SURVEY OF
LOT NO. 1
 AS SHOWN ON
 A CERTAIN MAP ENTITLED,
"MAP OF CLOVERLEAF CONSTRUCTION CO."
 LOCATED AT
PEARL RIVER
TOWN OF ORANGETOWN
 ROCKLAND COUNTY NEW YORK.
 Said map is filed in the Rockland county County Clerk's office, New York, on January 07, 1955 as Map Number 2328 in the Book 55 of maps at page 81.
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