Name of Municipality: TOWN OF ORANGETOWN Date Submitted:

### 2020 LAND USE BOARD APPLICATION

2020 EAND OOL DOAND	ALLEGATION
Please check all the Commercial Planning Board ✓ Zoning Board of Appeals  Subdivision Number of Lots Site Plan Conditional Use  Special Permit Variance Performance Standards Review Use Variance Other (specify):	Residential
Project Name: Fox Addition	
Street Address: 180 E. Lewis Ave.	
Pearl River, NY 10965	
Tax Map Designation:  Section: 68.12 Block: 4  Section: Block:	Lot(s): 15 Lot(s):
Directional Location:	
On the South side of East Lewis Avenue of the intersection	, approximately
0 feet of the intersection	n of N. Middletown Rd. , in the
Town of <u>ORANGETOWN</u> in the hamlet/village of Pe	arl River
Acreage of Parcel 0.393 School District Pearl River Ambulance District Pearl River Water District Suez	Zoning District CC  Postal District Pearl River  Fire District Pearl River  Sewer District Orangetown
Project Description: (If additional space required, ple Rear Addition on Residential Dwelling with 475 sq. ft. proposed	ease altach a narrative summary.)
The undersigned agrees to an extension of the statutory time	limit for scheduling a public hearing.
Date: Applicant's Signature:	<u> </u>

### **APPLICATION REVIEW FORM**

### FILL IN WHERE APPLICABLE.

(IF THE FOLLOWING DOES NOT APPLY PLEASE MOVE ON TO THE NEXT PAGE)

If subdivis	sion:					
1)	Is any variance from the subdivision regulations required?					
2)	Is any open space being offered? If so, what amount?					
3)	Is this a standard or average density subdivision?					
If site plan	ı:					
1)	Existing square footage					
2)	Total square footage					
3)	Number of dwelling units					
If special p	permit, list special permit use and what the property will be used for.					
	ental Constraints:  Des greater than 25%? If yes, please indicate the amount and show the gross					
and net area						
	eams on the site? If yes, please provide the names					
Are there wet	lands on the site? If yes, please provide the names and type:					
Project His	story:					
Has this proje	ct ever been reviewed before?					
If so, provide	a narrative, including the list case number, name, date, and the board(s) you appeared					
before, and th	e status of any previous approvals.					
<del></del>						
List tax map s this project.	ection, block & lot numbers for all other abutting properties in the same ownership as					



# OFFICE OF BUILDING, ZONING, PLANNING, ADMINISTRATION AND ENFORCEMENT TOWN OF ORANGETOWN

20 Greenbush Road Orangeburg, N.Y. 10962

Jane Slavin, R.A. Director

(845)359-8410

Fax: (845) 359-8526

### DENIAL TO THE ZONING BOARD OF APPEALS

Date: September 15, 2021	
Applicant: Fox	
Address: 180 East Lewis, Pearl River, NY	
RE: Application Made at: same	-
Chapter 43, § 9.34 Extension or Enlargement: In the case of a non-conforming use in a building, enlargement of such building so as to create additional floor area, or the extension withn any exis building to any portion of the floor area therein not formerly used for such nonconforming use, exwhere such additional floor area was manifestly designed for such use at the time such use became nonconforming or the extension of the use to an area outside the building; and in the case of a nonconforming non-building use, the use of any additional land on which no substantial operation previously conducted, provided that any such extension or enlargement is on the same lot occupied nonconforming use on the effective date of this codeand upon application to the Zoning Board of Appeals ONE VARIANCE REQUIRED	ccept e ess were
Section: 68.12 Block: 4 Lot: 15	
Dear Fox :	. •
Please be advised that the Building Permit Application, which you submitted on  August 25,2021 , has been denied. I have enclosed a Xerox copy of your application, where you	will find
at the bottom the reason for denial.	
In Accordance with Zoning, Chapter 43 Section 10.322 the time to appeal a determination of Building Inspector or Similar administrative office is thirty (30) days from the filing of such determination with the Town Clerk.	<u>f a</u> <u>a</u>
The Clerk to the Zoning Board of Appeals, Debbie Arbolino, will assist you in the preparation ne appear before the beard.	cessary to
Sincerely,	
Richard Oliver Deputy Building Inspector, and 9.15.21	
Signature of Director  NOTE: PLEASE KEEP FOR YOUR RECORDS  12-31-18-CCC  Date  CC: Rosanna Sfraga  Liz Decort  Debbie Arbolino	



### OFFICE OF BUILDING, ZONING, PLANNING, ADMINISTRATION AND ENFORCEMENT TOWN OF ORANGETOWN

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### DENIAL TO THE ZONING BOARD OF APPEALS

Date: September 15, 2021		
Applicant: Fox		
Address: 180 East Lewis, Pearl River, NY		
RE: Application Made at: same		
Chapter 43, § 9.34 Extension or Enlargement: In the case of enlargement of such building so as to create additional floor building to any portion of the floor area therein not formerly where such additional floor area was manifestly designed for nonconforming or the extension of the use to an area outside nonconforming non-building use, the use of any additional lapreviously conducted, provided that any such extension or en nonconforming use on the effective date of this codeand up Appeals ONE VARIANCE REQUIRED One than 1	area, or the extension withn any e used for such nonconforming use such use at the time such use becathe building; and in the case of a and on which no substantial operation application to the Zoning Board Solo expansion allows	xisting , except ame tions were pied by the rd of
Section: 68.12 Block: 4	Lot:15	Sas
Dear Fox :		37
Please be advised that the Building Permit Application, whic	h you submitted on	
August 25,2021 , has been denied. I have enclosed a Xerox at the bottom the reason for denial.	copy of your application, where y	ou will find
In Accordance with Zoning, Chapter 43 Section 10.322 th Building Inspector or Similar administrative office is thir determination with the Town Clerk.		
The Clerk to the Zoning Board of Appeals, Debbie Arbolino	, will assist you in the preparation	necessary to
appear before the board.		
Sincerely, 9, 5.11		
Richard Oliver Deputy Building Inspector	9.15.21	
Signature of Director NOTE: PLEASE KEEP FOR YOUR RECORDS	Date CC: Rosanna Sfraga	
12-31-18-CCC	Liz Decort Debbie Arbolino	

SWIS	PRINT KEY	NAME	ADDRESS	PAGE # 1
₹/392489	68,12-3-26	Three Q LLC	127 River Rd, Grandview, NY 10960	
<b>~</b> 392489	68.12-4-13	Thomas Cicarelli Carol Schneider	9 Lexington Hill Unit 1, Harriman, NY 10926	
<b>√</b> 392489	68.12-4-14	Nicholas Spadaccini	168 E Lewis Av, Pearl River, NY 10965	
392489	68.12-4-15	Bruce S Fox	180 E Lewis Ave, Pearl River, NY 10965	
<b>√</b> 392489	69.09-2-1	Kenneth J Torsoe	70 W Gate Rd, Suffern, NY 10901	
392489 392489	69.09-2-51	Joseph Connolly	7 Pearce Pkwy, Pearl River, NY 10965	
392489	69.09-2-52	Seventh Day Adventist of NY Attn: Lloyd Scharffenberg	P.O. Box 5029, Manhasset, NY 11030	

#### DECISION

### EXTENSION OF NON-CONFORMING USE VARIANCE APPROVED

To: George Thomas 180 East Lewis Avenue Pearl River, New York 10965

ZBA # 12-21 Date: April 4, 2012

FROM: ZONING BOARD OF APPEALS: Town of Orangetown

ZBA# 12-21: Application of George Thomas for a variances from Chapter 43 (Zoning), CC District, Section 9.34 (Extension of Non-Conforming Use) to change doctor's office section of house to residential space at an existing single-family residence. The premises are located at 180 East Lewis Avenue, Pearl River, New York and are identified on the Orangetown Tax Map as Section 68.12, Block 4, Lot 15; CC zoning district.

Heard by the Zoning Board of Appeals of the Town of Orangetown at a meeting held on Wednesday, January 4, 2012 at which time the Board made the determination hereinafter set forth.

George Thomas and Bobby Thomas appeared and testified.

The following documents were presented:

- Survey by Summit Land Surveying, not signed or sealed dated December 16, 2011.
- Architectural plans dated January 12, 2012 signed and sealed by Peter Klein, Architect.

Mr. Mowerson made a motion to open the Public Hearing which motion was seconded by Ms. Castelli and carried unanimously.

On advice of Dennis Michaels, Deputy Town Attorney, counsel to the Zoning Board of Appeals, Mr. Mowerson moved for a Board determination that the foregoing application is a Type II action exempt from the State Environmental Quality Review Act (SEQRA), pursuant to SEQRA Regulations §617.5 (c) (9), (10), (12) and /or (13); which does not require SEQRA environmental review. The motion was seconded by Ms. Castelli and carried as follows: Mr. Sullivan, aye; Ms. Salomon, aye; Ms. Castelli, aye; and Mr. Mowerson, aye. Ms. Albanese was absent.

Bobby Thomas testified that they purchased the home from his Doctor; that they were told by the building inspector that they need to go to the Zoning Board in order to make the doctors office into living space for the house; that they do not need an office; that there are five members of the family; that his brother recently married and has a baby and that they come to stay with the family frequently; that East Lewis Avenue is al single-family residences; that next door is a condominium complex and across the street is Key Bank and a Day Care Center; and that if they have to, they will remove the second front door from the doctors office.

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Thomas ZBA#12-21 Page 2 of 4

#### Public Comment:

No public comment.

The Board members made personal inspections of the premises the week before the meeting and found them to be properly posted and as generally described on the application.

A satisfactory statement in accordance with the provisions of Section 809 of the General Municipal Law of New York was received.

Mr. Mowerson made a motion to close the Public Hearing which motion was seconded by Ms. Castelli and carried unanimously.

#### FINDINGS OF FACT AND CONCLUSIONS:

After personal observation of the property, hearing all the testimony and reviewing all the documents submitted, the Board found and concluded that the benefits to the applicant if the variance(s) are granted outweigh the detriment (if any) to the health, safety and welfare of the neighborhood or community by such grant, for the following reasons:

- 1. The requested § 9.34 extension of non-conforming use variance will not produce an undesirable change in the character of the neighborhood or a detriment to nearby properties. The applicant is aware that Section 9.34 provision may be used only once for each such use and has agreed to remove the second front door from the doctor office section of the house. The surrounding area is a mix of existing single-family residences on East Lewis Avenue, a condominium complex, a bank and a daycare center; converting the doctor office space to residential use is not detrimental to the character of the neighborhood.
- 2. The requested § 9.34 extension of non-conforming use variance will not have an adverse effect or impact on the physical or environmental conditions in the neighborhood or district. The applicant is aware that Section 9.34 provision may be used only once for each such use and has agreed to remove the second front door from the doctor office section of the house. The surrounding area is a mix of existing single-family residences on East Lewis Avenue, a condominium complex, a bank and a daycare center; converting the doctor office space to residential use is not detrimental to the character of the neighborhood.
- The benefits sought by the applicant cannot be achieved by other means feasible for the applicant to pursue other than by obtaining variances.
- 4. The requested ex§ 9.34 tension of non-conforming use variance, although somewhat substantial, affords benefits to the applicants that are not outweighed by the detriment, if any, to the health, safety and welfare of the surrounding neighborhood or nearby community. The applicant is aware that Section 9.34 provision may be used only once for each such use and has agreed to remove the second front door from the doctor office section of the house. The surrounding area is a mix of existing single-family residences on East Lewis Avenue, a condominium complex, a bank and a daycare center; converting the doctor office space to residential use is not detrimental to the character of the neighborhood.

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TOWN OF CHANGETOWN

Thomas ZBA#12-21 Page 3 of 4

5. The applicant purchased the property subject to Orangetown's Zoning Code (Chapter 43) and is proposing a new addition and/or improvements, so the alleged difficulty was self-created, which consideration was relevant to the decision of the Board of Appeals, but did not, by itself, preclude the granting of the area variances.

DECISION: In view of the foregoing and the testimony and documents presented, the Board: RESOLVED, that the application for the requested § 9.34 extension of non-conforming use variance is APPROVED with the SPECIFIC CONDITION that the front door on the doctor's office section of the house be removed; and FURTHER RESOLVED, that such decision and the vote thereon shall become effective and be deemed rendered on the date of adoption by the Board of the minutes of which they are a part.

#### General Conditions:

- (i) The approval of any variance or Special Permit is granted by the Board in accordance with and subject to those facts shown on the plans submitted and, if applicable, as amended at or prior to this hearing, as hereinabove recited or set forth.
- (ii) Any approval of a variance or Special Permit by the Board is limited to the specific variance or Special Permit requested but only to the extent such approval is granted herein and subject to those conditions, if any, upon which such approval was conditioned which are hereinbefore set forth.
- (iii) The Board gives no approval of any building plans, including, without limitation, the accuracy and structural integrity thereof, of the applicant, but same have been submitted to the Board solely for informational and verification purposes relative to any variances being requested.
- (iv) A building permit as well as any other necessary permits must be obtained within a reasonable period of time following the filing of this decision and prior to undertaking any construction contemplated in this decision. To the extent any variance or Special Permit granted herein is subject to any conditions, the building department shall not be obligated to issue any necessary permits where any such condition imposed should, in the sole judgment of the building department, be first complied with as contemplated hereunder. Occupancy will not be made until, and unless, a Certificate of Occupancy is issued by the Office of Building, Zoning and Planning Administration and Enforcement which legally permits such occupancy.
- (v) Any foregoing variance or Special Permit will lapse if any contemplated construction of the project or any use for which the variance or Special Permit is granted is not substantially implemented within one year of the date of filing of this decision or that of any other board of the Town of Orangetown granting any required final approval to such project, whichever is later, but in any event within two years of the filing of this decision. Merely obtaining a Building Permit with respect to construction or a Certificate of Occupancy with respect to use does not constitute "substantial implementation" for the purposes benefit will ST Hell SIN

Thomas ZBA#12-21 Page 4 of 4

The foregoing resolution to approve the application for the requested § 9.34extension of non-conforming use variance was presented and moved by Ms. Salomon, seconded by Mr. Sullivan and carried as follows: Ms. Castelli, aye; Mr. Sullivan, aye; .Ms. Albanese, absent; Ms. Salomon, aye; and Mr. Mowerson, aye.

The Administrative Aide to the Board is hereby authorized, directed and empowered to sign this decision and file a certified copy thereof in the office of the Town Clerk.

DATED: April 4, 2012

ZONING BOARD OF APPEALS TOWN OF ORANGETOWN

Deborah Arbolino Administrative Aide

DISTRIBUTION:

APPLICANT
ZBA MEMBERS
SUPERVISOR
TOWN BOARD MEMBERS
TOWN ATTORNEY
DEPUTY TOWN ATTORNEY
OBZPAE
BUILDING INSPECTOR -M.M.

TOWN CLERK
HIGHWAY DEPARTMENT
ASSISSOR
DEPT. OF ENVIRONMENTAL
MGMT. and ENGINEERING
FILE, ZBA, PB
CHAIRMAN, ZBA, PB, ACABOR

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### ZBA SEQRA FINDINGS & MOTIONS FOR "TYPE II" EXEMPT ACTIONS

#### and

### WHERE PLANNING BOARD, AS LEAD AGENCY, ISSUED NEGATIVE DECLARATION: FOR PUBLIC HEARINGS OF 09/05/2012

### ZBA #12-57 (Applicant, Subway):

"Based upon the testimony heard by this Board, and the facts as presented in the application submissions and in the record, since application ZBA number 12-57 (Applicant, Subway)

seeks to construct or expand a primary or accessory/appurtenant, nonresidential structure or facility involving less than 4,000 square feet of gross floor area and not involving a change in zoning or a use variance and consistent with local land use controls;

this application is exempt from environmental review under the State Environmental Quality Review Act pursuant to SEQRA Regulations 617.5(c)(7).

If you don't have any questions or comments, any Board member may adopt my legal opinion as a motion, if you wish."

### ZBA #12-58 (Applicant, Curran), ZBA #12-59 (Applicant, McGrath), ZBA #12-60 (Applicant, Borgese), ZBA #12-61 (Applicant, Thomas), and ZBA #12-63 (Applicant, Stokes):

"Based upon the testimony heard by this Board, and the facts as presented in the application submissions and in the record, since application ZBA numbers 12-58 (Applicant, Curran), 12-59 (Applicant, McGrath), 12-60 (Applicant, Borgese), 12-61 (Applicant, Thomas), and 12-63 (Applicant, Stokes),

- seek to construct or expand a single-family, a two-family or a threefamily residence on an approved lot;
- seek to construct, expand or place a minor accessory/appurtenant residential structure:
- seek area or bulk variances for construction or expansion of, or relating to, a single-family, two-family or three-family residence; and/or
- seek only setback or lot line variances;

these applications are exempt from environmental review under the State Environmental Quality Review Act pursuant to SEQRA Regulations 617.5(c)(9), (10), (12) and/or (13).

If you don't have any questions or comments, any Board member may adopt my legal opinion as a motion, if you wish."

#### DECISION

### REQUEST TO KEEP SECOND FRONT DOOR DENIED

To: George Thomas 180 East Lewis Avenue Pearl River, New York 10965

ZBA # 12-61 Date: September 5, 2012

FROM: ZONING BOARD OF APPEALS: Town of Orangetown

ZBA#12-61: Application of George Thomas for an amendment to ZBA Decision #12-21, which desicion required as a condition of the Zoning Code (Chapter 43) Section 9.34 extension of non-conforming use that the existing second front door be removed and the applicant is requesting permission to keep the second front door at an existing single-family residence. Premises are located at 180 East Lewis Avenue, Pearl River, New York and are identified on the Orangetown Tax Map as Section 68.12, Block 4, Lot 15 in the CC zoning district.

Heard by the Zoning Board of Appeals of the Town of Orangetown at a meeting held on Wednesday, September 5, 2012 at which time the Board made the determination hereinafter set forth.

George Thomas and Bobby Thomas appeared and testified.

The following documents were presented:

- 1. Survey dated December 16, 2011.
- 2. Existing first floor house plan signed and sealed by Peter Klein, Architect.
- 3. A picture of the existing house.

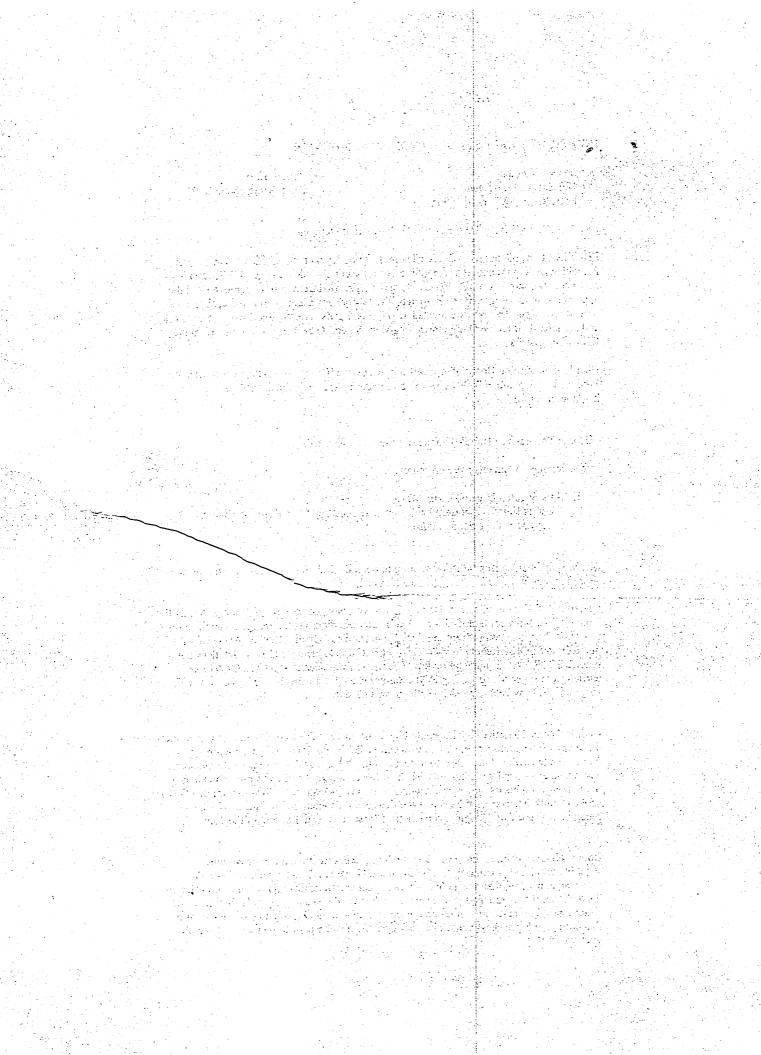
Mr. Mowerson, Chairman, made a motion to open the Public Hearing which motion was seconded by Ms. Castelli and carried unanimously.

On advice of Dennis Michaels, Deputy Town Attorney, counsel to the Zoning Board of Appeals, Mr. Mowerson moved for a Board determination that the foregoing application is a Type II action exempt from the State Environmental Quality Review Act (SEQRA), pursuant to SEQRA Regulations §617.5 (c) (9), (10), (12) and /or (13); which does not require SEQRA environmental review. The motion was seconded by Ms. Castelli and carried as follows: Mr. Bosco, aye; Ms. Salomon, aye; Ms. Albanese, aye; Ms. Castelli, aye; and Mr. Mowerson, aye. Mr. Sullivan was absent.

George Thomas testified that he would like to ask to keep the second door that is near the driveway for his entrance into the house; that he has health issues and cannot always make it up the stairs at the other door; that he and Bobby use this entrance into the house and his other son and wife and kids use the other entrance; that there is only one kitchen in the house and his daughter-in-law many times brings his meals down to him; that they spoke to Mike Manzare and he suggested that they do something to camouflage the second door; and that they planted a Cherry Blossom Tree in the front of the door.

Bobby Thomas testified that at the hearing he agreed to remove the door without speaking to his father about it; that he should not have made that agreement without speaking to his dad; that he and his father use that entrance; that this entrance is easier for his dad; that if they moved the door to the back it would be a longer walk; that there are natural gas pipes and water pipes on the side but they might be able to move the door to that corner; and that they would like the Board to consider permitting them to keep the door where it is.

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Thomas ZBA#12-61 Page 2 of 4

#### Public Comment:

Nick Spadaccini, 168 East Lewis Ave., testified that for 21 years the Thomas property was an eyesore; that since the Thomas family purchased the house, they have improved the property immensely; that Mr. Thomas needs the second entrance for health reasons; that there always was a second door on the house; that the house looks beautiful because of the work that they have done on it; and that he fully supports allowing them to have the second door.

Irene Spadaccini, 168 East Lewis Ave., testified that she agrees with the husband; that they looked at a crap house for years; that the Thomas family has improved the house and it looks beautiful now; that Mr. Thomas needs the second door for health reasons and he should be allowed to have it.

The Board members made personal inspections of the premises the week before the meeting and found them to be properly posted and as generally described on the application.

A satisfactory statement in accordance with the provisions of Section 809 of the General Municipal Law of New York was received.

Mr. Mowerson made a motion to close the Public Hearing which motion was seconded by Ms. Salomon and carried unanimously.

#### FINDINGS OF FACT AND CONCLUSIONS:

After personal observation of the property, hearing all the testimony and reviewing all the documents submitted, the Board found and concluded that:

- At the prior hearing (ZBA #12-21), on April 12, 2012 the applicant agreed to the condition "removal of the second front door" and there has been no significant difference in circumstances since that date to warrant the removal of this condition.
- 2. The applicant failed to make sufficient claims that would warrant the requested amendment to ZBA #12-21 (removal of second front door).
- 3. The requested amendment to ZBA #12-21 (removal of second front door) will make the house appear from the street as a multi-family dwelling.
- 4. The benefits sought by the applicant can be achieved by other feasible means, such as re-locating the second door to the adjacent side of the house.
- 5. For the reasons aforesaid, the requested variance will produce an undesirable change in the character of the neighborhood or a detriment to nearby properties and could have an adverse effect or impact on the physical or environmental conditions in the neighborhood or district. The benefits sought by the applicant can be achieved by other means feasible for the applicant to pursue other than by obtaining an amendment to ZBA Decision # 12-21. The requested amendment is 1 substantial and the applicant purchased the property subject to Orangetown's Zoning Code (Chapter 43).

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Thomas ZBA#12-61 Page 3 of 4

DECISION: In view of the foregoing and the testimony and documents presented, the Board: RESOLVED, that the application for the requested amendment to ZBA #12-21 (removal of the second front door) is DENIED; and FURTHER RESOLVED, that such decision and the vote thereon shall become effective and be deemed rendered on the date of adoption by the Board of the minutes of which they are a part.

#### General Conditions:

- (i) The approval of any variance or Special Permit is granted by the Board in accordance with and subject to those facts shown on the plans submitted and, if applicable, as amended at or prior to this hearing, as hereinabove recited or set forth.
- (ii) Any approval of a variance or Special Permit by the Board is limited to the specific variance or Special Permit requested but only to the extent such approval is granted herein and subject to those conditions, if any, upon which such approval was conditioned which are hereinbefore set forth.
- (iii) The Board gives no approval of any building plans, including, without limitation, the accuracy and structural integrity thereof, of the applicant, but same have been submitted to the Board solely for informational and verification purposes relative to any variances being requested.
- (iv) A building permit as well as any other necessary permits must be obtained within a reasonable period of time following the filing of this decision and prior to undertaking any construction contemplated in this decision. To the extent any variance or Special Permit granted herein is subject to any conditions, the building department shall not be obligated to issue any necessary permits where any such condition imposed should, in the sole judgment of the building department, be first complied with as contemplated hereunder. Occupancy will not be made until, and unless, a Certificate of Occupancy is issued by the Office of Building, Zoning and Planning Administration and Enforcement which legally permits such occupancy.
- (v) Any foregoing variance or Special Permit will lapse if any contemplated construction of the project or any use for which the variance or Special Permit is granted is not substantially implemented within one year of the date of filing of this decision or that of

any other board of the Town of Orangetown granting any required final approval to such project, whichever is later, but in any event within two years of the filing of this decision. Merely obtaining a Building Permit with respect to construction or a Certificate of Occupancy with respect to use does not constitute "substantial implementation" for the purposes hereof.

Thomas ZBA#12-61 Page 4 of 4

The foregoing Resolution to DENY the application for the requested amendment to ZBA #12-21 (removal of the second front door) was presented and moved by Ms. Salomon, seconded by Ms. Castelli and carried as follows: Mr. Bosco, aye; Ms. Albanese, aye; Ms. Salomon, aye; Ms. Castelli, aye; and Mr. Mowerson, aye. Mr. Sullivan was absent.

The Administrative Aide to the Board is hereby authorized, directed and empowered to sign this decision and file a certified copy thereof in the office of the Town Clerk.

DATED: September 5, 2012

ZONING BOARD OF APPEALS TOWN OF ORANGETOWN

Deborah Arbolino Administrative Aide

DISTRIBUTION:

APPLICANT
ZBA MEMBERS
SUPERVISOR
TOWN BOARD MEMBERS
TOWN ATTORNEY
DEPUTY TOWN ATTORNEY
OBZPAE
BUILDING INSPECTOR -M.M.

TOWN CLERK HIGHWAY DEPARTMENT ASSESSOR DEPT. OF ENVIRONMENTAL MGMT. and ENGINEERING FILE,ZBA, PB CHAIRMAN, ZBA, PB, ACABOR

ECHIO SYNTERO MINOL

2012 SEP 25 PM 3 52

MACARONNUO 20 MMCA

TRENCHES SHALL BE BACK FILLED IN 6" LIFTS, BEDDED WITH GRAVEL. COORDINATE WITH

ALL TRADES. PLACE SUBGRADE PLASTIC WARNING TAPE ABOVE LINES I' BELOW GRADE.

I. GENERAL REQUIREMENTS

CONDITIONS CONFLICTING WITH THE DRAWINGS.

GENERAL CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH SITE WORKING CONDITIONS, HOURS OF LEGAL OPERATION AND RELATED PERFORMANCE CRITERIA. GENERAL CONTRACTOR SHALL CONTACT UZZIAH COOPER JR. ARCHITECT REGARDING ANY DEVIATIONS OR FIELD

ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH 2020 RESIDENTIAL CODE OF NEW YORK STATE (RCNYS), 2020 ENERGY CONSERVATION CONSTRUCTION CODE (ECCCNYS), ALL 2020 CODE OF NEW YORK STATE EDITIONS. ALL TOWN APPLICABLE CODES, ORDINANCES, AND REGULATIONS OF AUTHORITIES HAVING JURISDICTION. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS, INSPECTIONS, AND CERTIFICATE(S) OF OCCUPANCY, INSURANCES, AND BONDS AS REQUIRED.

ALL MATERIALS SPECIFIED OR USED TO EXECUTE THIS PROJECT SHALL BE DELIVERED STORED AND INSTALLED PER MANUFACTURER'S INSTRUCTIONS AND SPECIFICATIONS.

ANY DESIRED SUBSTITUTION, OR DEVIATIONS FROM CONTRACT DOCUMENTS WILL REQUIRE WRITTEN APPROVAL FROM UZZIAH COOPER JR. ARCHITECT PRIOR TO INSTALLATION.

REMOVE EXISTING CONSTRUCTION AS REQUIRED TO ALLOW INSTALLATION OF NEW WORK SHOWN ON THE DRAWINGS. PATCH AREAS OF DEMOLITION FLUSH AND SMOOTH TO ADJACENT SURFACES, READY FOR APPLICATION OF FINISHES.

SHUTDOWNS AND INTERRUPTIONS TO NORMAL ACTIVITIES SHALL BE REVIEWED WITH OWNER PRIOR TO IMPLEMENTATION. THE GC SHALL CONTACT AND COORDINATE UTILITY SHUT-DOWNS, RECONNECTS AND UPGRADES WITH THE PROPER PROVIDER IN A TIMELY MANNER.

PROVIDE SHORING, STABILIZATION AND BRACING AS REQUIRED. PROVIDE PROPERTY, SITE AND PERSONAL PROTECTION AS REQUIRED, FOR THE SAFE AND ORDERLY EXECUTION OF THE

PROVIDE WEATHER PROTECTION IN A TIMELY MANNER TO PROTECT THE SITE, PREMISES, MATERIALS, INSTALLED WORK AND PERSONNEL.

ALL MECHANICAL, ELECTRICAL, AND PLUMBING SYSTEMS AND SERVICES TO BE COMPLETE AND OPERATIONAL. INSTALLATIONS SHALL NOT CONFLICT WITH FIXTURES OR CONSTRUCTION SHOWN. MECHANICAL ELECTRICAL AND PLUMBING WORK SHALL BE PERFORMED BY LICENSED TRADESMAN.

THE GENERAL CONDITIONS FOR THIS PROJECT ARE "THE GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION AIA DOCUMENT A201, 1997 EDITION", AVAILABLE FROM ARCHITECT.

THE GC SHALL COORDINATE THE WORK OF ALL TRADES.

THE GC SHALL SUBMIT A WRITTEN PROGRESS SCHEDULE AS WELL AS A LISTING OF ALL MAJOR SUBCONTRACTORS WITHIN 2 WEEKS OF AWARD FOR OWNER APPROVAL.

SUBMIT MONTHLY APPLICATIONS FOR PAYMENT OR AS INDICATED IN OWNER-CONTRACTOR AGRREMENT IN AIA 6702 FORMAT. PROVIDE UNIT PRICES AND ALLOWANCES AS PER OWNER-CONTRACTOR AGREEMENT.

ALL DELIVERIES, STAGING AND AVAILABLE UTILITIES SHALL BE COORDINATED WITH OWNER PRIOR TO CONSTRUCTION.

PROVIDE REMOVALS AND PROPER, LEGAL DISPOSAL OF ALL WASTE. LEAVE PROJECT IN "BROOM-CLEAN" CONDITION.

WORK IN HARMONY WITH INDEPENDENT CONTRACTORS HIRED BY THE OWNER

PROVIDE MINIMUM WARRANTY FOR ALL NEW & AFFECTED CONSTRUCTION OF 2 YEARS FROM TIME OF SUBSTANTIAL COMPLETION. PROVIDE OWNER WITH MANUALS AND WARRANTIES.

WHERE NO SPECIFICATION IS GIVEN, THE MINIMUM STANDARD FOR INSTALLATION SHALL ACCORDING TO THE NATIONAL ASSOC. OF HOME BUILDERS "RESIDENTIAL CONSTRUCTION PERFORMANCE GUIDELINES" CURRENT EDITION.

THE GC AND EACH OF HIS SUBCONTRACTORS SHALL HAVE A MINIMUM OF 5 YEARS OF RELATED WORK EXPERIENCE ON PROJECTS OF A SIMILAR NATURE.

WHERE CONFLICTS OR POSSIBLE CONTRADICTORY INFORMATION ARE SHOWN, THE BASIS OF THE BID SHALL BE BASED ON THE MORE EXPENSIVE MEANS.

CONTRACTOR SHALL PROVIDE SEGREGATED ACCOUNTING RELATED TO ENERGY SAVINGS FOR OWNERS TAX CREDIT PURPOSES. THIS INCLUDES, BUT IS NOT LIMITED TO WINDOWS, EXTERIOR DOORS, INSULATION, ROOF SHEATHING, HVAC SYSTEMS, CAULKING, WEATHERSEALS, HOT WATER PRODUCTION, ENERGY SAVING LAMPS.

CONTRACTORS' INPUT AND RECOMMENDATIONS ARE WELCOMED AND ANTICIPATED. CONSTRUCTION ALTERNATIVES WILL BE CONSIDERED IF THEY HAVE MERIT AND CAN ACHIEVE A BETTER RESULT THAN INDICATED HEREIN FOR THE SAME COST AND TIME. SUCH CHANGES

SHALL NOT TAKE PLACE WITHOUT THE APPROVAL OF THE ARCHITECT AND OWNER. CONTRACTOR AND HIS SUBCONTRACTORS SHALL MAINTAIN WORKMENS COMPENSATION AND ADEQUATE LIABILITY INSURANCE FOR THE ENTIRE DURATION OF THE PROJECT PLUS 2 YEARS OWNER HALL BE RESPONSIBLE FOR PROPERTY INSURANCE ON VALUE OF BUILDING PLUS CONSTRUCTION INCLUDING FIRE AND VANDALISM (BUILDERS RISK INSURANCE) DURING THE

# 2. SITEMORK

COURSE OF CONSTRUCTION.

PROVIDE PROTECTION OF ALL TREES AND PLANTING THAT MAY BE AFFECTED BY THE CONSTRUCTION ACTIVITIES.

PROVIDE SILT FENCE AT ADJACENT AREAS TO EXCAVATION & , GRADING AND CONSTRUCTION.

STOCKPILE ALL TOPSOIL AS DIRECTED BY OWNER. REGRADE, AND RE-SEED ALL DISTURBED

ASSURE MINIMUM 1/4" PER 1'-0" POSITIVE DRAINAGE AWAY FROM STRUCTURE.

SOIL SHALL BE EXCAVATED AS REQUIRED, FIELD VERIFY 2 TON/SF BEARING CAPACITY, AND BE FREE OF DEBRIS, WASTE, FLOWING WATER, VEGETATION OR OTHER DELETERIOUS MATTER. NOTIFY ARCHITECT OF SUBSTANDARD SOIL CONDITIONS.

SUBSTANDARD SOIL CONDITIONS MUST BE REMOVED TO A DEPTH OF ADEQUATE BEARING CAPACITY AND THEN REPLACED WITH ENGINEERED COMPACTED FILL WHICH SHALL CONSIST OF CLEAN WELL GRADED SAND AND GRAVEL COMPACTED TO 95% DENSITY, PLACED IN 8" LIFTS WITH EACH LAYER AND BASE EARTH LAYER THOROUGHLY COMPACTED BY MAKING 4 PASSES WITH A VIBRATORY PLATE.

AREAS WITHIN 6' OF EXISTING CONSTRUCTION (WHOSE SOIL HAS NOT BEEN DISTURBED WITHIN 30 YEARS) SHALL BE CONSIDERED BACKFILL AND REQUIRES ADDITIONAL SOIL TAMPING TO DEMONSTRATE 95% COMPACTION AT SOIL BEARING FACE.

PROVIDE CLEAN FILL WHERE REQUIRED TO MATCH ADJACENT GRADES AS REQUIRED., OR AS SHOWN ON THE DRAWINGS. BACKFILLING SHALL BE PERFORMED IN 8" LIFTS AND COMPACTED TO ACHIEVE RECOMMENDED ACI DENSITIES

LOCATE UNDERGROUND UTILITIES BEFORE EXCAVATION, OBTAIN REQUIRED APPROVALS AND INSPECTIONS.

CALL BEFORE YOU DIG, 811, OR EXCAVATE 1-800-962-7962. CONFIRMATION NUMBER MUST BE

DO NOT BACKFILL AGAINST FOUNDATION UNTIL CONC./CMU INSTALLATION HAS REACHED .75 PRE FAB CHIMNEY AND FIREPLACE: INSTALLATION OF PREFAB FLUES AND FIREPLACES % OF ULTIMATE STRENGTH. GRAVEL FOR DRAINAGE, TO BE CLEAN BANK-RUN I' STONE KEEP EXCAVATION CLEAR OF

WATER BY PUMPING OR OTHER APPROVED MEANS. MATERIAL OR PER CODE. 100 GAL. DRYWELL TO BE 4' X 4' X 4' OF 2" MIN GRAVEL, NO FINES , TOP 12" BELOW GRADE.

FULLY WRAPPED IN FILTER FABRIC WITH 6" PVC INLET AND MARKER STONE., IO' MIN AWAY FROM HOUSE & PROP. LINES. 1800 GAL DRYWELL TO BE 8' DIAM X 6' HIGH PERFORATED PRECAST CONCRETE W

PRECAST CONG. LID, W. MANHOLE AND LIFTING RING. WRAP PRECAST DRYWELL IN 12" THICK LAYER OF 2" GRAVEL A SIDES AND BELOW, PROVIDE FILTER FABRIC LAYER SEPARATOR. INFLUENT PIPE MIN 6" PVC, IO' AWAY FROM HOUSE AND PROP. LINES.

550 GAL DRYWELL TO BE PVC INFILTRATOR BY "CULTEC" OR EQUAL MODEL 330 RECHARGER H-20 WITH 418 GALLON CAPACITY SURROUNDED BY 12" LAYER OF I " GRAVEL ON ALL SIDES, BOTTOM AND TOP, FULLY WRAPPED IN FILTER FABRIC FED BY 6" PVC INLET.

REMOVE, BALL & BURLAP AFFECTED PLANTINGS AND WATER AND MAINTAIN DURING CONSTRUCTION, REPLANT ACCORDING TO OWNERS DIRECTIONS. NEW PLANTINGS AND RELATED GRADING AND TOPSOILD TO BE COORDINATED WITH OWNERS INSTALLER.

SUBGRADE SPRINKLER IRRIGATION SYSTEMS TO BE REPAIRED/REPLACED TO PROPER MORKING ORDER WHEN ENCOUNTERED. PROVIDE AQUASTAT AND TIMER PER OWNERS DIRECTION.

### 3. CONCRETE

- 1. THE DESIGN, MIXING, TRANSPORTING, AND CURING OF ALL STRUCTURAL CONCRETE SHALL CONFORM TO THE REQUIREMENTS OF THE "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE", THE ACI.
- 2. STRUCTURAL CONCRETE SHALL POSSESS A 28-DAY COMPRESSIVE STRENGTH OF 3,000
- 3. AGGREGATES SHALL CONFORM TO ASTM C33; THE COARSE COMPONENT EITHER WASHED GRAVEL OR CRUSHED STONE. FINE AGGREGATE SHALL BE CLEAN NATURAL SAND.
- 4. PORTLAND CEMENT SHALL BE IN COMPLIANCE WITH ASTM CI50, TYPE I 5. DEFORMED REINFORCING STEEL SHALL BE IN ACCORDANCE WITH ASTMA615, GRADE 60. 6. STANDARD DETAILS FOR HOOKS, BENDS, AND DEVELOPMENT LENGTHS SHALL BE IN
- CONFORMANCE WITH THE "CONCRETE REINFORCING STEEL HANDBOOK", THE CRSI ENGINEERING PRACTICE COMMITTEE 7. SMOOTH WIRE FABRIC REINFORCEMENT SHALL BE IN COMPLIANCE WITH ASTM A185.
- SHEETS ONLY NO ROLLS, PER ACI ASTM A185. 8. GROUT SHALL BE NON-METALLIC AND NON-SHRINK, AND POSSESS A 28-DAY
- COMPRESSIVE STRENGTH OF 5,000 PSI 9. EXPANSION ANCHORS SHALL BE STAINLESS STEEL "KWIK BOLTS" AS MANUFACTURED BY
- THE HILTI CO. NEW RE-BAR DOWELS SECURED TO EXISTING CONCRETE WITH "HIT C-100" ADHESIVE ANCHORS. 10. PROVIDE REINFORCED CONCRETE UNDERPINNING AS REQUIRED TO 3'-6"BELOW GRADE.OR
- TO EQUALIZE DEPTHS OF NEW AND ADJACENT FOOTINGS TO PREVENT UNDERMINING. SEQUENCE 3' WIDE POURS TO AVOID DAMAGE TO STRUCTURE. II. SLABS ON GRADE FOR WALKS OR PATIOS SHALL BE 4" (6" AT DRIVEWAYS) AIR-
- ENTRAINED 3000 PSI WITH 6x6 WWF REINFORCEMENT ON 4" COMPACTED GRAVEL BASE. PROVIDE EXPANSION JOINTS AT 5' O.C., TOOLED FLAG CONTROL JOINTS AT 5' O.C.. FLOAT FINISH INDOOR EXPOSED SLABS. BROOM FINISH EXTERIOR EXPOSED SLABS. APPLY CURING COMPOUND. FINISH IN ACCORDANCE WITH ACI 318
- 12. OBSERVE MINIMUM REBAR CONCRETE COVER PER ACI STANDARDS. 13. CONCRETE SHALL POSSESS A MAXIMUM SLUMP OF 3.5".
- 14. PROVIDE ADEQUATE WEATHER PROTECTION FROM EXCESS COLD, HEAT OR WIND PER A.C.I. GUIDELINES AND PER ASTM C94.
- 15. COORDINATE WITH RELATED TRADES FOR EMBEDS, SLEEVES, OPENINGS, CHASES AND RELATED FORMING REQUIREMENTS.
- 16. VERIFY CONCRETE HAS NOT EXCEEDED MAXIMUM ALLOWABLE MOISTURE CONTENT BY PRESCRIBED MOISTURE TESTING PER FLOORING MANUFACTURER DIRECTION.
- 17. BOTTOM OF CONCRETE FOOTINGS TO BE MIN. 12" BELOW LOCAL FROSTLINE AND BEAR ON 2 TON PSF MIN. UNDISTURBED SOIL. IF FIELD CONDITIONS ARE NOT SUFFICIENT, NOTIFY ARCHITECT BEFORE PROCEEDING. DO NOT STEP MORE THAN TWO FEET HORIZONTAL TO ONE FOOT VERTICAL

COMPLY WITH PUBLICATIONS OF THE BRICK INSTITUTE OF AMERICA (BIA) FOR ALL MASONRY MORK. MASONRY WORK SHALL NOT PROCEED WHERE WEATHER CONDITIONS ARE, OR ARE EXPECTED TO PRODUCE AMBIENT TERMPERATURES BELOW 40°F WITHOUT PROPER TENTING/HEATING OR OTHER MEANS OF PROTECTION.

CONCRETE MASONRY UNITS TO BE SOLID FILLED AT TOP COURSE. PROVIDE HORIZONTAL TRUSS REINFORCING EVERY OTHER COURSE. LOAD BEARING UNITS (ASTM C-90, GR. U-1), FILLED SOLID WITH GROUT FOR FULL HT. AT BEARING POINTS-12" BOTH SIDES OF SUPERIMPOSED LOAD. GROUT SHALL BE LEAN WITH 8 TP 10" SLUMP. WHEN USING CMU AS FOUNDATION WALLS, GROUT ENTIRE TOP COURSE AND BOTTOM COURSE FULL. PROVIDE FULLY GROUTED CORES AT VERTICAL REBARS. DO NOT BACKFILL UNTIL MAXIMUM STRENGTH HAS BEEN ATTAINED AND FLOOR JOISTS ARE INSTALLED, RUNNING BOND PATTERN UNLESS NOTED OTHERWISE.

USE TYPE M MORTAR FOR BELOW GRADE MASONRY. TYPE N ELSEWHERE, MORTAR SHALL BE SUFFICIENTLY PLASTIC AND MASONRY UNITS SAHLL BE PLACED TO FORM A TIGHT JOINT OF APPROX. 3/8" OR TO MATCH EXISTING.

PRECAST CONCRETE UNITS TO BE FABRICATED PER ASTM C 1364, WITH ALL REQUIRED STAINLESS STEEL STRAPS, PINS OR OTHER ANCHORAGE DEVICES. COLOR TO BE NATURAL BUFF. SLOPE HORIZONTAL SURFACES AT LEAST 1:12. PROVIDE DRIPS ON PROJECTING ELEMENTS. PROVIDE FULL TOOLED MORTAR JOINTS.

EXTEND CHIMNEY WITH MATCHING BRICK (NOTE TEXTURE AND COLOR). PROVIDE ANCHORS WHERE REQ., USE TYPE N MORTAR. PROVIDE MORTAR WASH AT TOP. EXTEND FLUES TO NEW HEIGHT. PROVIDE CAP AND SCREEN.

BRICKWORK SHALL MATCH EXISTING PATTERN (U.N.O.) WITH TYPE SW STANDARD BRICKS. PROVIDE 2' X 2' MOCKUP FOR APPROVAL OF EACH BRICK TYPE. PROVIDE SPECIAL SHAPES WHERE REQUIRED TO PREVENT CUT SURFACES FROM EXPOSURE. PROVIDE TIES, FLASHING AND WEEPHOLES WHERE REQUIRED.

BRICK VENEER TO BE ANCHORED TO WALL FRAMING AT 16" HORIZ, 16" VERTICALLY MAXIMUM. FASTEN ALL ANCHORS SECURELY TO STUDS.

PROVIDE LINTELS PER SCHEDULE, MINIMUM 8" BEARING AT BOTH ENDS.

THIN BRICK VENEER SYSTEM BY: "AMBRICO" (800 248 8280) EZ-WALL SYSTEM WITH GALVANIZED 2' X 4' EZ-WALL PANEL, EZ-WALL MASTIC AND 1/2" SEVERE WEATHERING BRICK FROM "GLEN GERY CORP" AND AND GROUT FROM "AMBRICO MORTAR MIX". SUBMIT SAMPLE BRICK AND 2 X 2' MOCKUP FOR APPROVAL.

FLAGSTONE AND SLATE PAVERS TO BE 11/2" TH. TO MATCH EX. ON 2" STONE-DUST SETTING BEDS, FILTER FABRIC ON 4" THICK BED OF 3/4" GRAVEL SUB-BASE ON COMPACTED SOIL.

BRICK TO BE 2 1/4 TH SET ON 2" STONE DUST ON FILTER FABRIC, ON 4" THICK BED OF 3/4" GRAVEL SUB BASE ON COMPACTED SOIL. PROVIDE 6" X 16 GA SPIKED RETAIINING EDGING AT BRICKS RUNNING PARALLEL TO PATH.

MASONRY CHIMNEY AND FIREPLACES: WHERE SHOWN ON THE PLANS, SHALL BE BRICK OR

STONE WHERE EXPOSED AND LAID IN A FULL BED OF CEMENT MORTAR WITH WELL TOOLED JOINTS. FLUES TO BE FIRE CLAY SIZE SHOWN ON THE PLANS. PROVIDE CAST IRON DAMPER, AS PIT AND CLEAN-OUT DOORS. PROVIDE FOR PROPER CLEARANCES WITH COMBUSTIBLE CONSTRUCTION. FIRE STOP AT ALL CLEARANCES WITH NON-COMBUSTIBLE MATERIAL. CONTRACTOR SHALL ENSURE PROPER CLEARANCES OF CHIMNEY AND FIREPLACE PER N.Y.S. BUILDING AND ENERGY CODES.

SHALL BE IN STRICT ACCORDANCE WITH MANUFACTURER'S SPECIFICATION. INSTALL FIRESTOPS AS REQUIRED BY CODE. FIRPLACE SHALL BE METAL PREFAB WITH COMPATIBLE FLUE AND SHALL BE UL LISTED. NOTE 2" CLEARANCE WHERE REQUIRED TO COMBUSTIBLE

FIREPLACES SHALL HAVE TEMPERED GLASS FIRE DOORS AND CLOSABLE COMBUSTION AIR INTAKE DUCTS AND COMPLY WITH N.Y.S. ENERGY CODE.

DAMPROOFING: FOUNDATION WALL SHALL BE DAMPROOFED WITH (2) COATS OF ASPHALT WATERPROOFING OVER  $\frac{1}{2}$ " CEMENT PARGE (BLOCK WALL) OR CEMENT WASH (POURED WALL) PROVIDE 4" PERFORATED PIPE FOOTING DRAIN LAID IN 16" D STONE WITH LAYER OF SALT HAY AND FILTER FABRIC OVER. DRAIN TO OUTFLOW ABOVE GROUND OR STONE DRYWELL

### 5. METALS

- THE DESIGN, FABRICATION, TRANSPORTATION, AND ERECTION OF ALL STRUCTURAL STEEL SHALL BE IN CONFORMANCE WITH THE "STEEL CONSTRUCTION MANUAL", THE AISC.
- 2. WELDING OF STRUCTURAL STEEL SHALL BE IN CONFORMANCE WITH THE "STRUCTURAL MELDING CODE", THE AMS; DI.13. WELDING ELECTRODES SHALL BE ETOXX FOR SMAW; AND LOW HYDROGEN.
- 3. WELDING ELECTRODES SHALL BE ETOXX FOR SMAW; AND LOW HYDROGEN FOR FIELD WELDING.
- 4. STRUCTURAL STEEL FOR HOT ROLLED PLATES, ANGLES, CHANNELS SHALL BE ASTM A36. STRUCTURAL STEEL FOR IN SECTION BEAMS SHALL BE 50 KSI A-992.
- 5. STRUCTURAL STEEL PIPES SHALL BE IN COMPLIANCE WITH ASTM A501. WHERE USED FOR COLUMNS, THE CENTER VOID SHALL BE ENTIRELY GROUT FILLED SOLID. ). STRUCTURAL TUBING SHALL BE IN CONFORMANCE WITH ASTM A500, GRADE B.
- 7. STRUCTURAL BOLTS SHALL BE MANUFACTURED TO ASTM A307, GRADE B. 8. ALL STRUCTURAL STEEL SHALL RECEIVE SURFACE PREPARATION IN ACCORDANCE WITH
- SSPC-SP3 FOR POWER TOOL CLEANING. 9. PRIMING PAINT FOR STRUCTURAL STEEL SHALL BE "4-55 VERSARE PRIMER" AS
- IO. STEEL RAILINGS TO BE FABRICATED PER ASTM A500 \$ ASTM A53 FROM \$" BAR-STOCK AT BALUSTERS, 2" SQ. TUBE NEWELS, 2" SHAPED HANDRAILINGS, BALL CAPS AT NEWELS PROVIDE EPOXY GROUT SLEEVE ANCHORAGE WITH 8" MIN. EMBEDMENT. RAILINGS MUST WITHSTAND 200#/LF AS GUARDRAILS, 50#/LF AS HANDRAILS.
- 6063-T5/T52. STAINLESS STEEL TUBING PER ASTM A554. SUBMIT 2" X 2" MINIMUM SAMPLE FOR APPROVAL OF EACH. FINISH CLEAR ANODIC AAMA 607.1 12. LIGHT GAUGE METAL FRAMING SHALL BE IN ACCORDANCE WITH AMERICAN IRON AND

II. ALUMINUM RAILINGS MADE OF EXTRUDED BAR OR TUBE PER ASTM B221, ALLOY

STEEL INSTITUTE PUBLICATIONS. 13. PROVIDE 1/2" TH STEEL STIFFENER PLATES AT POINT LOADS, PROVIDE 1/2" TH STEEL BEARING AND BASEPLATES AT COLUMN LOCATIONS, BEAM POCKETS AT FOUNDATION

### 6. WOOD AND PLASTICS

PROCESS.

INSTRUCTIONS.

MANUFACTURED BY THE TNEMEC CO.

- THE DESIGN, TRANSPORTATION AND ERECTION OF ALL STRUCTURAL LUMBER SHALL BE IN CONFORMANCE WITH THE "TIMBER CONSTRUCTION MANUAL", THE AITC AND "MANUAL FOR WOOD FRAME CONSTRUCTION" PER AMERICAN FOREST AND PAPER ASSOC. LATEST
- 2. ALL STRUCTURAL LUMBER SHALL BE MACHINE RATED FOR THE FOLLOWING PROPERTIES F(B) = 1,350 PSI F(V) = 75 PSI E = 1,350,000 PSI F(T) = 875 PSI
- F(C) = 325 PSI(PERPEN) F(C) = 825 PSI(PARA)3. ALL LUMBER SHALL BE KILN DRIED TO MAXIMUM MOISTURE CONTENT OF 15%.
- 4. SILLS, NAILERS AND LEDGERS MAY BE CONSTRUCTION GRADE. 5. THE DESIGN, TRANSPORTATION, AND ERECTION OF ALL PLYWOOD SHALL BE IN ACCORDANCE WITH PROVISIONS OF THE AMERICAN PLYWOOD ASSOCIATION.
- 6. PLYWOOD FOR FLOORS AND WALLS SHALL BE "STRUCTURAL! INT-DFPA" PLYWOOD FOR ROOFS SHALL BE "STRUCTURAL | EXT-DFPA"
- 8. JOIST/RAFTER HANGERS SHALL BE #18 GAGE GALVANIZED STEEL UNO BY TECO OR SIMPSON, USE COMPATIBLE NAILS AS RECOMENDED BY MANUF.
- 9. NAILING SCHEDULES SHALL BE AS FOLLOWS; UNLESS NOTED OTHERWISE ON THE CONSTRUCTION DOCUMENTS: PLYWOOD OVER JOISTS - 6" O/C; MIN 16D NAILS
- PLYMOOD OVER WALL STUDS 6" O/C @ INTERIOR MEMBERS; MIN 16D NAILS 4" O/C @ PANEL EDGES; MIN 16D NAILS IO. ALL STRUCTURAL LUMBER THAT IS EXPOSED TO WEATHER, IN CONTACT WITH THE FOUNDATION OR WITHIN 18" OF EARTH SHALL BE ACQ-PRESSURE TREATED PRESERVATIVE. PRESSURE TREATMENT SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE AMERICAN WOOD PRESERVERS' ASSOC. FASTENERS UNSED WITH

PRESSURE TREATED WOOD SHALL BE STAINLESS STEEL OR GALVANIZED G-185

II. PLYWOOD SHEATHING SHALL BE 5/8" THICK RADIANT BARRIER CDX AT ROOFS I/2" THICK CDX AT WALLS INDICATED, AND 3/4" THICK CDX AT FLOORS, ALL PLYWOOD SHALL BE APA RATED AND INSTALLED IN STAGGERED PATTERN. CONSTRUCTION ADHESIVE FOR ALL PLYWOOD SUBFLOORING TO BE PER APA AFG-OI.

12. ENGINEERED LUMBER BY TRUS-JOIST MCMILLAN INSTALLED PER MANUFACTURERS

DO NOT CUT HOLES IN DIMENSIONAL LUMBER FRAMING EXCEEDING 1/3 OF DEPTH WITH OUT CONTACTING ARCH. FOR REINFORCEMENT INSTRUCTIONS, DO NOT CUT HOLES OR NOTCHES WITHIN 2" OF TOP OF BOTTOM OF MEMBER HOLES AND NOTCHES IN ENGINEERED FRAMING SHALL BE IN ACCORDANCE WITH MANUF. RECOMMENDATIONS.

INSTALL PRESSURE TREATED SILL PLATES AT TOP OF FOUNDATION WALL ANCH'D WITH 1/2" DIA, 8" LONG ANCHOR BOLTS AT 6' O.C. MAX. OVER SILL SEAL. PROVIDE METAL TERMITE SHIELD AT BASE OF SILL PLATES.

CROSS BRIDGE JOISTS AT MIDSPAN OR 8' O.C., CORNER BRACE AS REQ. PROVIDE SOLID BLOCKING IN FLOOR CONSTRUCTION BELOW POSTS.

FIRESTOP PENETRATIONS AND FIRE BLOCK ALL WALLS AND CEILING/WALL INTERSECTIONS

AND WHERE REQUIRED BY CODE. PROVIDE DOUBLE JOISTS AND HEADERS AT FLOOR OPENINGS AND BELOW PARALLEL PARTITIONS.

MINIMUM BEARING SHALL BE 4" ON MASONRY AND 1 1/2" ON WD OR STL FOR DIM. LUMBER, AND AS RECOMMENDED BY ENGINEERED LUMBER MANUF.

PRE-FAB WOOD TRUSSES SHALL COMPLY WITH THE TRUSS PLATE INSTITUTES "NATIONAL DESIGN STANDARD FOR METAL PLATE CONNECTED WOOD TRUSS CONSTRUCTION". SUBMIT SHOP DRAWINGS FOR APPROVAL.

PROVIDE DOUBLED JOISTS BELOW INTERIOR PARTITIONS RUNNING PARALLEL WITH THE JOISTS.

FINISH CARPENTRY TO COMPLY WITH AMERICAN WOODWORK INSTITUTES "ARCHITECTURAL WOODWORK QUALITY STANDARDS"-PREMIUM QUALITY LEVEL. MOLDING PROFILES AS NOTED IN FINISH SCHEDULE, USE CLEAR POPLAR OR PINE. ALLOW

EXPOSED ENDS OF POSTS, BEAMS OR RAFTERS TO BE COATED WITH WATER REPELLANT PRESERVATIVE CONTAINING 3-10D0-2PROPYNYL CARBAMATE COMBINED WITH INSECTICIDE CONTAINING CHLOROPYRIFOS AS ITS ACTIVE INGREDIENT

### LIVE LOAD=40 LBS WIND SPEED=115 MPH SEISMIC DESIGN CATEGORY=B

GROUND SNOW LOAD= 30 LBS FROST LINE DEPTH=42" MIN. BELOW TERMITE DAMAGE=MEDIUM TO HEAVY DECAY DAMAGE=SLIGHT TO MEDIUM WEATHERING DAMAGE=SEVERE WINTER DESIGN TEMP.= 7°

I.R.C. CODE INFORMATION

N 86°-49'-30" W ICE SHIELD UNDERLAYREQ.=YES REDUCED PATIO 47 SF EX PATIO TO BE REMOVED 45'-0" FRONT YARD S.B. EX DECK TO BE REMOVED PROP REAR ADDITION 475 SF FRAME DWELLING # 180 EX DRIVEWAY - EX WALKS \_\_\_\_\_\_\_\_\_\_\_\_\_\_

5 86°-48'-20" E | 175.00'

ZONING SCHEDULE

68.12-4-15

USE GROUP: R-3

2,500

N/A

N/A

25'

25'

22'

45'

N/A

N/A

0.300

5137.94

38785

1750

556

2306

219

0

THIS PROJECT INVOLVES A PROPOSED REAR ADDITION TO AN EXISTING

VARIANCE REQUESTED FOR AN ENLARGEMENT TO AN NON EXISTING USE:

FLOOR AREA PROPOSED 475 SF/ 2306 SF (EXISTING) = <u>20.60%</u> < 50%

LAND AREA PROPOSED 475 SF / 1750 SF (EXISTING) = 27.14% < 50%

5B UNPROTECTED

17,126 MINIMUM LOT AREA: 2,500 SF

17,126

168.35

N/A

N/A

175.00'

99.97'

21.3'

26.00'

94.50'

18.40

18.40

N/A

N/A

0.135

2306

EXISTING | ADDED | TOTAL PROF

5025

475

475

1750

556

0

2306

0.135

0.300 MAX

REQUIRED EXISTING PROPOSED VARIANCE

CLASS: 5B

17,126

NO CHANGE

N/A

N/A

NO CHANGE

NO CHANGE

NO CHANGE

NO CHANGE

NO CHANGE

NO CHANGI

NO CHANGE

NO CHANGE

N/A

N/A

0.162

2781

43810

2225

556

2781

219

0

EXISTING (SF) | ADDED (SF) | TOTAL PROP (SF)

475

475

0.028

NO

NO

NO

NO

NO

EX NON-CON

NO

NO

NO

NO

NO

NO

NO

2225

556

0

2781

0.162

SECTION-BLOCK-LOT

ZONE: CC

CRITERIA

LOT AREA (SF)

AVG LOT WIDTH

STREET FRONTAGE (1)

STREET FRONTAGE (2)

FRONT YARD S.B. (1)

FRONT YARD S.B. (2)

SIDE YARD S.B. (1)

TOTAL SIDE YARD

REAR YARD S.B.

F. A. R.

F. A. R. (SF)

▼ | VOLUME (CF)

| ATTIC (SF)

GARAGE

BASEMENT

TOTAL SF

ATTIC

FLOOR AREA RATIO:

1ST FL LIVEABLE AREA

2ND FL LIVEABLE AREA

「OTAL F.A.R. / LOT AREA

BUILDING DEPARTMENT NOTES

SPLIT LEVEL FRAME DWELLING.

BUILDING COV.

BUILDING COV. (SF)

LOT COVERAGE (SF)

LOT COVERAGE (SF)

LOWER/MID LEV AREA (SF)

UPPER LEVEL AREA (SF)

| TOTAL LIVING AREA (SF)

GARAGE AREA (SF)

CELLAR AREA (SF)

LOT WIDTH

LOT DEPTH

HEIGHT

ACTUAL LOT AREA (SF):

E LEWIS AVENUE

PLOT PLAN SCALE : |" = 20'-0"

SURVEY INFO TAKEN FROM PETER KLEIN ASSOCIATES INC. RYE BROOK, NY 10573 DATED: 01-12-2012

7. THERMAL AND MOISTURE PROTECTION

BUILDING WRAP BY "TYVEK" OR EQUAL, TAPE ALL SEAMS, FLASH ALL WINDOWS, DOORS AND PENETRATIONS WITH METAL PREFORMED FLASHING, SEAL, PROVIDE END DAMS WHERE REQUIRED.

BATT INSULATION TO BE FIBERGLASS BATTS W/ WITH VAPOR BARRIER, R-20 WALLS, R-49 CEILINGS/ROOF OR FLOORS/CEILING W/ UNHEATED SPACES BELOW. VAPOR BARRIER TO WARM SIDE. FIRE-RETARDANT WHERE REQUIRED.

RIGID INSULATION TO BE POLYISOCYANURATE: 2" AT SLAB EDGE AND FOUNDATION PERIMETER 24" DOWN AND 24" IN.

"CERTASPRAY", SPRAY POLYURETHANE FOAM INSULATION SHALL BE CLOSED CELL TYPE BY CERTAINTEED IN MAXIMUM THICKNESS. INSTALLED PER MANUFACTURER DIRECTIONS.

VAPOR BARRIER TO BE 6 MIL POLYETHELENE. OVERLAP AND TAPE SEAMS.

FLASH ALL ADJOINING SURFACES AND PENETRATIONS WITH METAL FLASHING AND SEAL. PROVIDE SIMILAR DRIP EDGE. SECURE TO ADJACENT SURFACES WITH FASTENERS TO RESIST REQUIRED WIND LOADS. FABRICATE, FASTEN AND SEAL PER S.M.A.C.N.A. STANDARDS, PROVIDE BUILT UP METAL-FLASHED CRICKETS AS REQUIRED.

PROVIDE PAINTABLE SILICONE SEALANT IN COLOR TO MATCH ADJACENT WHERE REQUIRED PROVIDE BACKER RODS WHERE NEEDED. INSTALL PER ASTM C920.

PROVIDE THROUGH-WALL AND FLOOR FIRESTOPPING FOR PENETRATIONS THROUGH FIRE-RATED ASSEMBLIES PER ASTM E 814 BY TREMCO OR 3M FIRE PRODUCTS. WOOD SIDING TO BE REBUTTED AND REJOINTED RED CEDAR SIDING, 7" EXPOSURE, FULLY

BACK-PRIMED. USE NO I. BLUE LABEL ONLY. INSTALL PER CEDAR SHAKE AND SHINGLE BUREAU MANUAL. PREMIUM VINYL SIDING BY "ALCOA", MASTIC SERIES, CEDAR SHAKE PATTERN CD-70P. INSTALL PER ASTM D3679. 06 MIN. THICKNESS, WITH MATCHING FACTORY FINISHED POLYESTER-COATED

ALUMINUM TRIM ONLY WHERE CALLED FOR IN THE DRAWINGS. PROVIDE SAMPLES IN TEXTURE

SELECTED IN STANDARD COLOR RANGE FOR APPROVAL USE MAXIMUM LENGTHS TO REDUCE

THE NUMBER OF SEAMS. OVERLAP SHOULD BE ORIENTED AWAY FROM MAIN APPROACH TO

WOOD TRIM TOP BE SELECT PINE OR POPLAR, FULLY BACK PRIMED. PROVIDE CAP FLASHING AT WINDOW HEADS AND SILLS, TRIM BOARDS, WATERTABLES, TRANSITIONS BETWEEN SHINGLE

PROVIDE PRE FINISHED ALUM. GUTTERS AND LEADERS WITH SPLASH BLOCKS OR CONNECTIONS TO DRYWELLS (V.I.F.) PROVIDE ALUMINUM DRIP EDGE AT THE EDGE OF ASPHALT SHINGLE ROOF PROVIDE SCREEN BASKETS AND SCREENED GUTTER COVERS, PROVIDE CORRUGATED HDPE BOOT AT GRADE TO JOIN SUBGRADE PIPING.

PROVIDE RIDGE VENT, CAVITY BAFFLES AND EAVE VENTS. JOB MIN. VENT TO SE RATIO.

ASPHALT LAMINATED ROOF SHINGLE BY "TIMBERLINE", 40 YEAR, 3 TAB ARCH. ASPHALT ON 30# ROOF FELT AT SLOPES 3:12 AND OVER, USE ICE & WATER SHIELD AT BOTTOM 36" FROM GUTTER AND AT VALLEYS. BELOW 3:12 USE ICE & WATER SHIELD THROUGHOUT TO BE INSTALLED FROM EDGE OF EAVE TO A POINT NOT LESS THAN 24" BEYOND INTERIOR FACE OF EXTERIOR WALL. PROVIDE SHINGLE SAMPLE FOR APPROVAL. INSTALL PER A.R.M.A. RESIDENTIAL ASPHALT ROOF

COPPER STANDING SEAM ROOFING TO BE 16 OZ. WITH LOCKING SEAMS SPACED 16" O.C. INSTALLED IN ACCORDANCE WITH COPPER DEVELOPMENT ASSOC. STANDARDS. PROVIDE ALL NECESSARY CLOSURE PIECES, BRACKETS, CLIPS AND UNDERLAYMENTS AS REQ. PROVIDE SEPARATOR MEMBRANE TO PREVENT GALVANIC ACTION WITH NON-COMPATIBLE METALS.

# 8. WINDOWS AND DOORS

WINDOWS ARE PELLA WINDOWS, VINYL CLAD (MATCH EXISTING) V.I.F., INSUL, LOW E (.30 U MAX.) GLAZING WITH SCREENS, EXTENSION JAMBS AS REQ'D, (NOTE DIFFERENT WALL THK.'S). FINISH AS SELECTED BY OWNER OR AS REQUIRED TO MATCH EXISTING. WINDOW HARDWARE FINISH AS SELECTED BY OWNER. TEMPERED GLASS WHERE REQUIRED BY CODE. PROVIDE WINDOW ORDER-LIST FOR REVIEW BEFORE PURCHASE. ALL WINDOWS TO BE WEATHER STRIPPED, FLASHED AND CAULKED.

HARDWARE AS MANUFACTURED BY: HINGES-"STANLEY", LOCKSETS AND LATCHSETS- "YALE", SELF-CLODING HINGES-"BOMMER", SLIDING DOOR SETS & POCKET SLIDERS-"HAGER" WEATHERSTRIPING & THRESHOLDS-"PEMKO", DOOR STOPS & BIFOLD DOOR SETS- "STANLEY", FINISH AS SELECTED OR AS REQUIRED TO MATCH EXISTING. HARDWARE FUNCTIONS PER BUILDERS HARDWARE MANUFACTURERS ASSOCIATION STANDARDS.

EXT. DOORS ARE BASED ON "MORGAN" EXTERIOR GRADE | 3/4" PINE 7000 SERIES, WITH ADJOINING SIDELIGHTS AS SHOWN. WITH FRAME. (OR AS NOTED ON DRAWINGS).

INTERIOR DOORS ARE BASED ON "MORGAN" INT. GRADE | 3/8" \_\_\_ PANEL PINE 1000 SERIES WITH FRAME. (OR AS NOTED ON DRAWINGS)

STEEL DOORS FOR EXTERIOR USE SHALL BE INSULATED 14 GA. FRAMES, AND 16 STEEL FACE DOOR, INTERIOR USE SHALL BE 16 GA. FRAMES WITH 18 GA. STEEL FACE DOOR

180 E. LEWIS AVE PEARL RIVER NY, 10965

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DESIGNS 403 E 32ND St. Paterson NJ 07504 845-821-1472 UzziahCooperRA@hotmail.com

UZZJAG COUPER JR.

09-13-21 | NOTE ADDED AS PER BUILDING DEP' 06-28-21 | ISSUED FOR BUILDING PERMIT 01-21-21 | INITIAL DESIGN

DATE SUBMISSIONS / REVISIONS

PLOT PLAN ZONING & NOTES

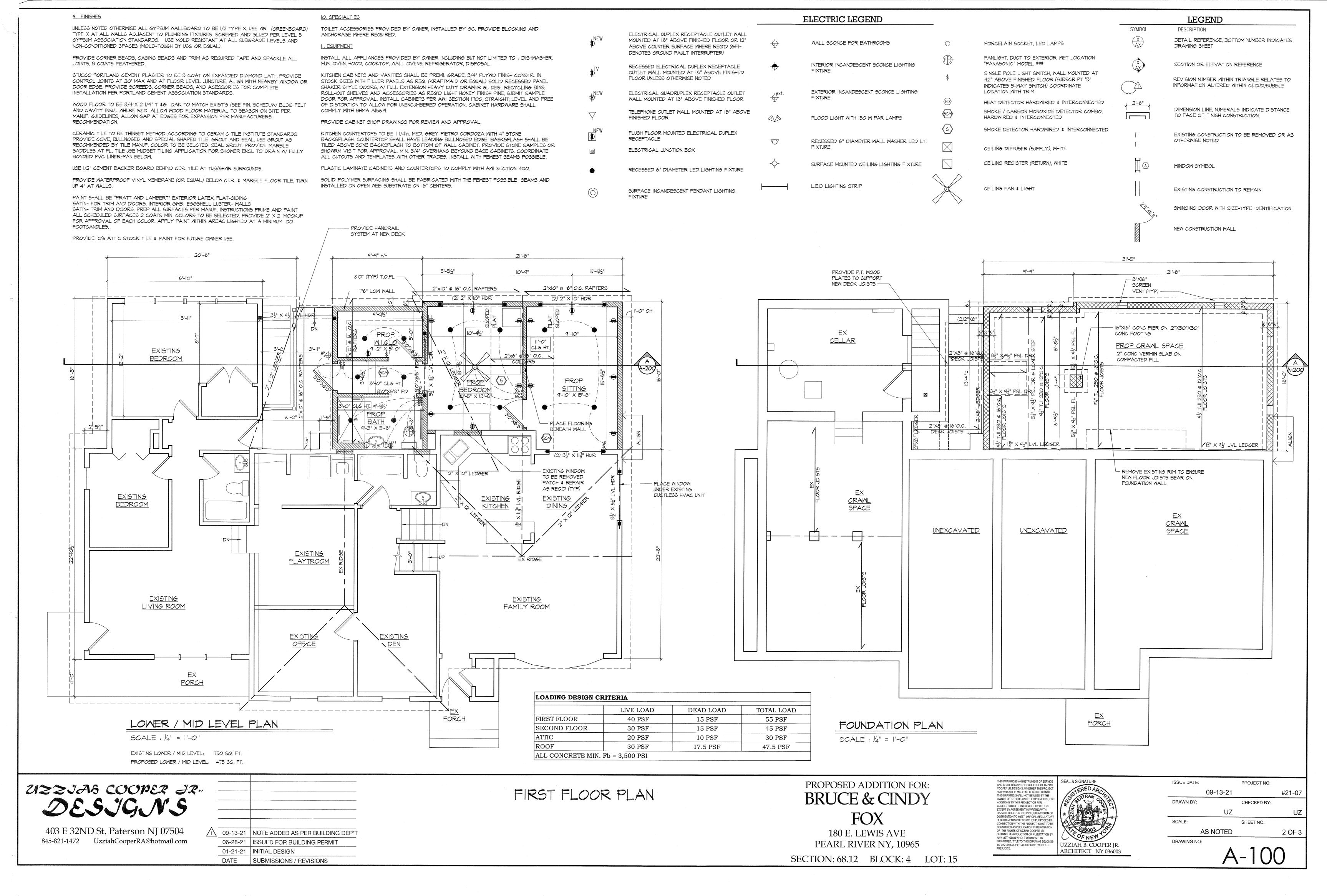
WOOD TO SEASON ON SITE. SCARF JOINTS.

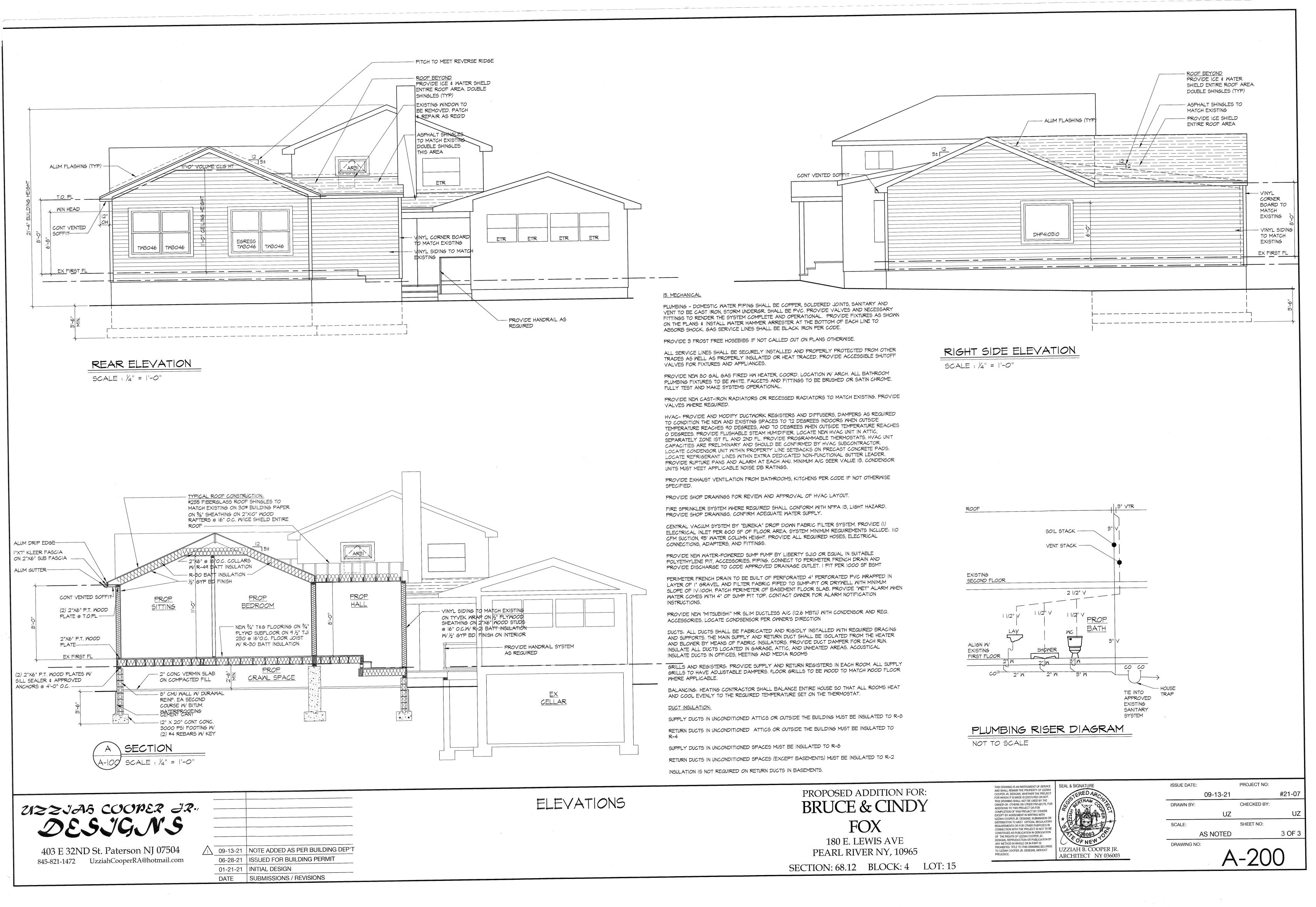
**BRUCE & CINDY** 

PROPOSED ADDITION FOR:

SECTION: 68.12 BLOCK: 4 LOT: 15

CONSTRUCTION TYPE:





LEWIS 175.00 .s.86°. 48′. 20″£ GRASS 26.8 V KOOFEO I NO: 180 Y FLAT S TEXISTING 18.1 1/2 STORY VINYL SIDING YARD GRASS 3.11.40" MIDDL BACK YARD SET BACK YARD GRASS WOOD STOCKADE IRREGULAR 86'.49!30"W YARD HARMS

(50'WIDE)

AVENUE

is to certify that this map and the survey on which it is based were a in accordance with the "Minimum Standard" Detail Requirments n accordance with the "Minimum Star New York State Association of Land

Summit Land Surveying

Dobbs Ferry NY 10522 64 Virginia Avenue

(ALSO KNOWN AS SECTION 68.12, BLOCK 4, TAX LOT 15.)

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NOT FOR TITLE TRANSFER POSSESSION NOT INDICATED

SCALE: 1"= 30.0" Measurment in U.S. Standard. DATE: DEC. 16, 2011.

JOB NUMBER RCRO2328-55-81 **SURVEY OF** LOT NO. 1

AS SHOWN ON A CERTAIN MAP ENTITLED,

"MAP OF CLOVERLEAF CONSTRUCION CO." LOCATED AT

PEARL RIVER

TOWN OF ORANGETOWN ROCKLAND COUNTY NEW YORK.

Said map is filed in the Rockland county County Clerk's office, New York, on January 07, 1955 as Map Number 2328 in the Book 55 of maps at page 81. COPYRIGHT © 2011 SUMMIT LAND SURVEYING P.C.

( DO MOT SCALE)

LEGENDS:

GV.

0.4°N

 $\zeta_{r} = \zeta_{V}$ 

CHAIN LINE FENCE

DRANAGE MIET

NOW IS FORMERLY

OVER HEAD WIRES

WROUGHT RON FEHCE

BUILDING

чорты

GAS VALVE