

**Project Review Committee Report – October 20, 2021
Planning Board Meeting of October 27, 2021**



125 South Greenbush Road Site Plan
Prepreliminary/Preliminary Site Plan, Traffic Study
and SEQRA Review
125 South Greenbush Road, Orangeburg
74.07/1/15.1; LI zoning district

PB #19-17

1. The PRC recommends that all conditions be met prior to granting Final Planning Board Approval of the Site Plans
2. The PRC recommends that the applicant should consider separating the properties and provide separate driveway, allowing the properties to act independent.

155 South Greenbush Road Properties Site Plan
Prepreliminary/Preliminary Site Plan, Traffic Study
and SEQRA Review
155 South Greenbush Road, Orangeburg
74.07/1/15.2; LI zoning district

PB #19-18

1. The PRC recommends that all conditions be met prior to granting Final Planning Board Approval of the Site Plans
2. The PRC recommends that the applicant should consider separating the properties and provide separate driveway, allowing the properties to act independent.

Other Business:

Referral from the Town of Orangetown Town Board – GML 239 §239-1 & m, Zone Change, 100 Corporate Drive, Blauvelt. Property is currently LI and LIO, change to LI in its entirety and SEQRA Consent to be Lead Agency.

1. The PRC has no additional comments beyond the comments submitted by other agencies for this project.

Attendees: J. Slavin, B. Peters, A. Gorton, R. Pakola, D. Majewski
Non-member: M. Mandel



OFFICE OF BUILDING, ZONING, PLANNING
ADMINISTRATION AND ENFORCEMENT
TOWN OF ORANGETOWN
20 GREENBUSH ROAD
ORANGETOWN, N.Y. 10962

Jane Slavin, RA
Director

(845) 359-8410

Fax: (845) 359-8526

Date: October 25, 2021

To: Cheryl Coopersmith, Chief Clerk
Planning Board

From: Jane Slavin, RA.,
Director O.B.Z.P.A.E.

Subject: **125 South Greenbush Road Site Plan**
Prepreliminary/Preliminary Site Plan, Traffic Study
and SEQRA Review
125 South Greenbush Road, Orangetown
74.07/1/15.1; LI zoning district



PB #19-17

Submission Reviewed:

Site Plan package prepared by Sparaco & Youngblood, PLLC, last revised 9/15/2021.

- 1) The applicant is proposing a 147,000 square foot expansion to an existing 268,000 square foot warehouse on one site and a new 128,000 square foot warehouse on the adjacent site to the north.
- 2) The proposed site plans for each parcel indicate multiple easements and that the two parcels are being designed to rely on each other. Applicant should explain reason for this and consideration should be made to allow for each site to be designed independently.
- 3) The proposed square footage numbers are indicated as +/- . Applicant must provide exact square footage amounts for all proposed structures.
- 4) Rockland County Planning has expressed concerns over utilizing the Land Use Code 150 in their 9/25/2019 and 2/5/2020 letters and stated that they felt the Land Use Code 156 – High Cube Warehouse may be more appropriate. In the AKRF review letter dated 10/19/2021, they also state that the Land Use Code 156 – High Cube Warehouse would provide a more conservative trip generation estimate. Board should consider requesting an analysis utilizing the LUC 156 standards.
- 5) Per AKRF review letter dated 10/19/2021, the average truck parking demand for Land Use 150- warehousing results in a parking demand of 46 truck spaces for

125 Greenbush Road and 14 spaces for 155 Greenbush Road. A note indicates trailer parking in the north/east corner of the 125 site plan, however an area is not indicated, no dimensions shown and no striping is provided. This area also appears to conflict with the proposed traffic pattern. Applicant must clearly indicate proposed truck/trailer parking, number of spaces and dimensions.

- 6) The plans shall clearly indicate the number, location and size of proposed loading docks.
- 7) Parking calculations provided indicate that 25 parking spaces are required with 455 proposed. Applicant must explain the need for the additional 430 spots.
- 8) Per Chapter 43, Article V, 5.111 "*Required front yards...shall be measured from a line hereby established as the designated street line...*". All front yard dimensions must be revised and clearly indicated to the designated street line.
- 9) A "Do Not Enter" sign is indicated at the south/west corner of lot, what is the intent of this sign as the driveway is two directions?
- 10) The proposed landscaping and lighting plans shall be oriented in the same direction as the rest of the site plans.
- 11) The snow storage area on the south side of the building is indicated where the landscaping plan calls to preserve the trees. How will this be accomplished?
- 12) The snow storage area on the east side of the building is indicated directly adjacent to the wetland's delineation. How will the wetlands be protected?
- 13) The detention basin shall be clearly delineated on the plan and coordinated with the proposed snow storage area.
- 14) Per town code, "No trucking is movement of any kind shall be permitted in any district between the hours of 11:00 pm and 6:00 am, unless permission has been granted by the Zoning Board of Appeals".
- 15) Approval was granted in 2008 for the bus company parking which was limited to three years with a maximum of 30 buses. An application for renewal of the special permit was received on September 23, 2021. Applicant has previously testified that the lease agreement with the bus company will be terminated prior to the start of construction. Applicant must clarify.
- 16) The revised Full EAF has not been received.

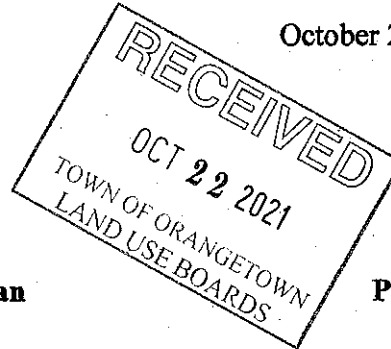


Department of Environmental Management and Engineering Town of Orangetown

127 Route 303 Orangetown New York 10962
Tel: (845) 359-6502 • Fax: (845) 359-6951

October 22, 2021

Planning Board
Town of Orangetown
1 Greenbush Road
Orangetown, New York 10962
Attn: Cheryl Coopersmith, Chief Clerk



Re: 125 South Greenbush Road Site Plan

PB# 19-17

Gentlemen:

This Department has the following comments/ recommendations.
(This letter supersedes our letter of 9/23/19)

1. The applicant's engineer's letter of 9/21/21, page 3, item #1 - under Department of Environmental and Engineering letter dated 9/24/19 Re: 155 South Greenbush Road states that "It was agreed with the Town that the Stormwater Pollution Prevention Plan (SWPPP) (for each property) can be provided later with plans submitted for final approval as the drainage report has been approved with condition at this time." – This Department made **NO** such agreement, nor did this Department provide conditional approval to the drainage report. Items 2, 7-9, 11-13, & 19 all reference this incorrect comment.
2. A full SWPPP, with drainage calculations, prepared and sealed by a NYS Licensed professional Engineer, in compliance with the *NYS Stormwater Management Design Manual*, the NYS SPDES General Permit for Stormwater Discharges from Construction Activities (SPDES GP-0-15-002), the *NYS Standards and Specifications for Erosion and Sediment Control* ("Blue Book") and Town of Orangetown Town Code (Chapters 30C & 30D), shall be prepared for the proposed site plan. Because this site is a re-development site, not only must the stormwater improvements be design to meet the Green Infrastructure/ Water Quality/ Water Quantity standards spelled out in the manual (Chapter 5), but also the re-development requirements outlined in Chapter 9 of the manual. All approved (as per the design manual) practices proposed for the site must be clearly identified and described (i.e. how do the practices meet the required goals – Green Infrastructure/ Water Quality/ Water Quantity/ Re-Development) in both the narrative portion of the SWPPP, but also designed and sized in the drainage calculations section of the SWPPP.
3. While it is understood that this site and the neighboring site (155 South Greenbush Road) are being designed to be "intertwined" from a drainage perspective, separate drainage analysis for each site must be prepared and submitted with each individual SWPPP. Any common drainage elements, shared by both sites, shall be included in drainage analysis for each site.

4. Drawing 4 indicates that the total area of disturbance (a.o.d.) is 19.4997 acres. The applicant's engineer is reminded/ advised that the maximum a.o.d. is 5 acres at any one time. Therefore, the project will need to be phased. The SWPPP and drawings shall clearly define and show conformance with the 5 acre disturbance limit.
5. The drainage calculations and proposed stormwater improvements shall demonstrate a zero net increase in stormwater runoff. This information shall be included within the required SWPPP.
6. The applicant's engineer's letter of 9/21/21, page 4, item #6 - under Department of Environmental and Engineering letter dated 9/24/19 Re: 155 South Greenbush Road states that a 25 foot buffer has been provided around the proposed surface stormwater pond, however, it is not shown on the drawings. The required buffer shall be clearly shown on the drawings. It appears that South Greenbush Road MAY be within 25 feet of the proposed basin. This would be unacceptable. The applicant's engineer is reminded that no structures – roads, driveways, buildings, sheds, etc. are allowed within the 25 foot buffer.
7. The required SWPPP/ drainage calculations shall provide a breakdown, in table form, of all of the proposed impervious surfaces for this site plan, showing the type and size of the area with a grand total. How the sub totals were determined shall be part of the calculations section of the SWPPP.
8. Although the combined drainage analysis submitted has provided some soil boring information for this site and 155 South Greenbush Road Site Plan, NEW perc tests, soil analysis and determination of groundwater elevations shall be performed at all of the surface and subsurface water quality/ quantity practices proposed from the site. These tests shall be performed **PRIOR** to this proposal receiving **Final Approval** to ensure the adequacy of the proposed design. The tests shall be performed in the spring when the ground water table is typically at its highest. The perc holes shall extend at least two (2) feet below the proposed bottom of perspective stormwater control measure. Also, all of the prior hole logs that were provided are labeled as 125 South Greenbush Road, even though some are on the neighboring 155 South Greenbush Road site. The logs shall be properly labeled and provided in the appropriate SWPPP for each site plan. This Department shall be notified at least 48 hours prior to these new tests so that they can be witnessed.
9. The applicant's engineer is reminded to use the current rainfall intensity data for all the storms (1, 2, 10, 25 100 yr.) analyzed, for this area, throughout the drainage calculations. For example, the water quality calculations provided use an intensity of only 2.5 inches/ hour (too low, not current), while the HEC 1 analysis uses the proper intensity for a 1 yr. storm – 2.9 inches/ hour.
10. While a “blow-up” of the proposed stormwater infiltration detention basin/ sand filter has been provided, no blowup of the proposed subsurface infiltration system is shown on the drawings. A blowup of this system shall also be provided on the drawings. Cross-sections for all stormwater infiltration/ detention systems, both surface and subsurface,

shall be provided and show storage volume vs. elevation vs design storm, outlet structure details (with elevations), underdrain details, profiles with elevations, outlet pipe details, safety bench, aquatic bench, forebay, main pond, **12 foot wide** maintenance path (that reaches the forebay/ main pool/outlet structure/ emergency spillway), permanent sediment depth marker with detail, plantings (if utilized for water quality control), emergency overflow spillway with elevations, etc. shall also be provided in the blow-up section and on the drawings.

11. The drawings indicate that the proposed surface stormwater pond is to be constructed over top of an existing abandoned septic field. The drawings and drawing notes shall indicate that the septic field is to be remediated to the satisfaction of the NYSDEC and the Rockland County Health Department prior to the construction of the pond. All correspondence related to this issue shall be sent to this Department.

12. The drawings show a 10 foot wide maintenance path along one side of the surface infiltration/ detention basin. This is unacceptable. The path must be at least 12 feet wide. Also, the path just dead ends. The path must either go completely around the basin or an adequately sized turn around must be provided. The drawings shall be revised accordingly.

13. This Department has serious concerns regarding the location of the proposed subsurface stormwater infiltration facility. It is approximately 50 feet \pm away from existing wetlands. Given its proximity to these wetlands, the seasonally high groundwater table in this area may make this location unacceptable. The required perc test, soil analysis and determination of grounds results for this area shall be included in the SWPPP and the design for this system, as well as all other water quality and quantity features proposed.

14. The drawings indicate that snow storage is to be placed next to/ upstream/ uphill to the proposed surface stilling/ infiltration basin. This is unacceptable as salts and silt, within the snow, could enter the stilling/ infiltration basin and contaminate the infiltrating groundwater and/ or fill the basin with silt/ sediment. These propose storage areas shall be removed from around the basin.

15. The drawings indicate that snow storage is planned along the existing wetlands along the east side of the lot. The applicant shall obtain written approval for this from the Army Corp. of Engineers. Copies of all correspondence regarding this issue shall be sent to this Department.

16. The specific pond type (from the NYS Stormwater Management Design manual) shall be labeled on the plans and called out in the SWPPP, for the surface stormwater pond proposed for this site.

17. The total area of disturbance shall be listed on **ALL** the plans and listed in the SWPPP narrative. Currently, only drawing 4 lists an a.o.d. (19.4997 acres.) Also, it is unclear how the a.o.d. of 19 acres was calculated. Each lot (125 & 155 South Greenbush Road) shall only include the a.o.d. for their specific property. A drawing showing the

limit of disturbance for this site, including a breakdown of all the individual areas and their respective a.o.d.s, shall be included in the drawings. See comment 4 above.

18. The plans indicate that a 3 foot high retaining wall is to be built along the wetlands area, on the eastern side of the property. The note on the plan states that the "...solid wall to direct storm flows in natural patterns..." The applicant's engineer shall explain what "directing storm flows in natural patterns" means. The SWPPP and calculations shall **thoroughly** describe how this wall will impact (positive/ negative/ neutral) the existing drainage flows on this site. The flow patterns shall also be clearly shown on the drawings. Lastly, the plans indicate that the wall is to be designed by others. The design of this wall **must** be included with this site plan as so it can be reviewed and approved, especially since its inclusion seem to specifically be for drainage purposes. Calculations and details for same shall be added to the plans and submission documents.

19. The drawings show a double field inlet on 155 South Greenbush Road being connected to an existing storm sewer system on this site. The drawings also show the overflow piping from the proposed surface infiltration/ detention basin system on 155 South Greenbush Road tying into an existing 36 RCP pipe on this site. First, the reason for these cross connections shall be clearly explained in the SWPPP. Second, if there is to be cross drainage between the two properties, an easement and maintenance agreement calling out locations and responsibilities, shall be prepared and submitted to the Town Attorney's office and this Department for review and approval. Third, the SWPPP and drainage calculations shall calculate the capacities of the connecting lines, including the maximum storm they can carry. Forth, in the case of connecting the overflow piping from the 155 South Greenbush Road stormwater infiltration/ detention basin to the existing 36 inch RCP pipe on this site, the piping and junction box shall be inspected, tv'd, and certified by a NYS Licensed Professional engineer confirming that the piping and junction box are in tack and in good working order and can handle the proposed flows. Lastly, these cross easements and their responsibilities need to be clearly spelled out in the required Post Construction Stormwater Maintenance Agreements. See comment 25 below.

20. The drawings show two new catch basins being installed in/ over the existing 36 RCP piping. Details for these connection shall be added to the drawings.

21. Additional catch basins and connecting drainage pipe shall be added to both sides of the southern entrance/ exit onto South Greenbush Road. This system shall tie into the proposed stormwater quality/ quantity systems.

22. All existing and proposed drainage structures (catch basins, drainage manholes, field inlets, inlet/ outlet structures, headwalls, etc.), shall be uniquely identified and labeled on the plans and profiles.

23. Profiles for **ALL** of the existing and proposed storm sewer lines shall be provided with the plans. Some proposed profiles missing – roof leaders to surface water quality/ quantity basin, catch basins/ piping at northern driveway entrance, existing drainage

pipng to carry overflow from 125 South Greenbush Road infiltration /detention basin, no existing storm sewer line profiles provided, etc.

24. The northern most roof leader piping, from the proposed warehouse is going directly into the infiltration basin. The runoff from this system shall be directly into the "stilling basin" not directly into the infiltration basin.

25. A post construction stormwater maintenance agreement (in accordance with NYSDEC Phase II regulations) for the proposed stormwater systems shall be submitted to this Department and the Town Attorney's office for review and approval. Said agreement shall include a maintenance and management schedule, A breakdown of responsibilities between this lot and the neighboring lot for maintenance and cleaning of proposed cross connection along northern property line, inspection check list, contact person with telephone number, yearly report to be submitted to this Department, etc.

26. The drawings show a "proposed designated street line" along South Greenbush Road. However, this area needs to be dedicated to the County of Rockland and offered as a road widening deed. The County shall determine the actual width required for the road widening. Copies of all correspondence relating to this shall be sent to the Planning Board, the Highway Department and this Department.

27. All proposed easements shall be labeled as such on the drawings.

28. A separate drawing shall be provided showing all existing and proposed easements and dedications. The metes and bounds, page and liber/ instrument number ownership and type of easement/ dedication shall be given on said plan.

29. The drawings currently indicate some of the existing drainage piping as to be plugged. This is unacceptable. **All** existing drainage piping that will no longer be utilized as part of this site plan must be labeled as "to be removed."

30. Sanitary calculations for the proposed site, prepared and sealed by a New York State Licensed Professional Engineer, shall be submitted to this Department for review and approval.

31. The current drawings indicate that the building proposes to utilize a portion of the existing sanitary building connection. In order to utilize this piping, the connection must be tv'd, in it's entirety, to ensure its adequacy and ability to handle the proposed flow. The capacity of the existing sanitary building connection must also be calculated and certified by a NYS Licensed Professional Engineer and added to the required sanitary calculations. This must be done **PRIOR** to this project receiving **Final Approval**. Lastly, the existing size, slope, length and material of the portion of existing sanitary building connection that is proposed to be utilized, shall be labeled on the plans.

32. A note on drawing 4 states that the existing sanitary building connection shall be tv'd prior to use. This is not acceptable. See comment 31 above.

33. The existing sanitary building connection, running under the proposed infiltration/detention basin, shall be labeled as to be removed on all of the drawings.

34. A profile for the sanitary building connection, in its entirety, shall be added to the plans.

35. Iron pins shall be drawn and labeled at each property corner.

Very truly yours,

A handwritten signature in cursive script, appearing to be 'J. M. P.', is written over a horizontal line.

cc: Sewer file



BROOKER ENGINEERING PLLC

NY OFFICE
74 Lafayette Avenue, Suite 501 845.357.4411 Tel
Suffern, NY 10901 845.357.1896 Fax

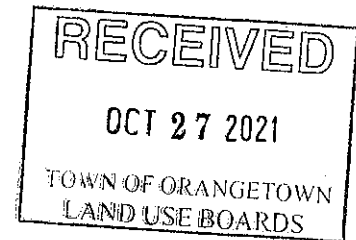
NJ OFFICE
22 Paris Avenue, Suite 105 201.750.3527 Tel
Rockleigh, NJ 07647

October 24, 2021

Town of Orangetown Planning Board
20 Greenbush Road
Orangeburg, New York 10962

Attn: Cheryl Coopersmith, Chief Clerk

Re: 155 South Greenbush Road Site Plan
125 South Greenbush Road Site Plan
Planning Board Drainage Review (for October 25, 2021 Planning Board meeting)
BBE #OTN0125



Dear Ms. Coopersmith:

As the drainage consultant for the Town of Orangetown Planning Board, we have prepared the following report in support of the 155 and 125 South Greenbush Road Site Plan applications to the Town of Orangetown Planning Board:

Information Reviewed

1. Site Plans 125 Greenbush Properties, Drawings 1-13, prepared by Sparaco & Youngblood, last revised 09/15/2021, signed and sealed by Steven Michael Sparaco, PE
2. Site Plans 155 Greenbush Properties, Drawings 1-13, prepared by Sparaco & Youngblood, last revised 09/15/2021, signed and sealed by Steven Michael Sparaco, PE
3. Drainage Analysis, prepared by Sparaco & Youngblood, PLLC, dated February 20, 2019, signed by Steve Sparaco, PE (same as previous submissions)

Project Description

This is our third drainage review report for these projects; our last review was dated September 25, 2019. The drainage analysis has been combined for both parcels at 125 and 155 South Greenbush Road since the hydrologic Points of Interest overlap. This is an acceptable methodology; therefore, we have combined the drainage review into one report.

The sites are located along the east side of South Greenbush Road just east of Mountainview Avenue. The parcel for 155 South Greenbush Road is located north (uphill) of the 125 Greenbush Road site. The drainage analysis is divided into three hydrologic Points of Interest. Point of Interest 1 is located at the southeast corner of the 125 lot and receives stormwater runoff from Clausland Mountain (to the east) that is conveyed to an on-site wetland and flows south. Point of Interest 2 is the existing twin 48-inch RCP pipes that are conveyed under South Greenbush Road along the western portion of the site. The subareas contributing to this location contain the majority of the redeveloped areas. Point of Interest 3 is a small portion at the southwest corner of the 125 lot. The drainage area contributing stormwater runoff to this location is reduced for proposed conditions and no impervious area is added.

A drainage report has been provided that incorporates the hydrologic impacts of both Site Plan applications. A detailed breakdown of subareas is provided, including off site areas that flow through the site. The subareas accurately depict the areas that are diverted to the detention basins and the areas that bypass the basins. Large directly connected impervious areas are included as further subareas within the analysis, which improves the accuracy of the model. Two at-grade level stormwater management basins are provided and two sets of underground detention systems are provided to mitigate against increases in stormwater runoff due to the new impervious areas.

Please note that no new stormwater management calculations or SWPPP report has been provided for this submission. No narrative response from our previous report has been provided for this submission.

Project Comments

1. As per our March 13, 2019 and September 25, 2019 drainage review reports, correct the discrepancy between the supporting calculations for pond volume versus elevation for subareas 13 and 15 (the subareas for the 125 building expansion) between the calculations and the HEC-1 model.
2. As per our March 13, 2019 and September 25, 2019 drainage review reports, provide supporting calculations for pond volume versus elevation for subareas 9 and 9A (building 155).
3. As per our March 13, 2019 and September 25, 2019 drainage review reports, verify the leader label for Subarea Site-15 in the Developed Conditions Drainage Map.
4. As per our March 13, 2019 and September 25, 2019 drainage review reports, add the hydrograph combination names in the HEC-1 model to the Drainage Maps.
5. As per our March 13, 2019 and September 25, 2019 drainage review reports, show the 100-year water surface elevation and outlet information on the sections through the stormwater management basins.
6. As per our March 13, 2019 and September 25, 2019 drainage review reports, show sections and plan views with elevation information for each of the underground detention basins.
7. As per our March 13, 2019 and September 25, 2019 drainage review reports, show footing drains for Building 155.
8. As per our March 13, 2019 and September 25, 2019 drainage review reports, demonstrate no increase in peak stormwater runoff rates will occur at the 18 inch CMP pipe crossing South Greenbush Road along the west side of the parcel, near the southwest corner of the proposed detention basin.
9. Show the 100-year floodplain of the Sparkill Creek on the west side of Greenbush Road and evaluate the proposed system for potential surcharges of the system from the Sparkill Creek.
10. During our site visit after a heavy rainstorm, we observed heavy stormwater/groundwater sheet flow across the existing pavement on the south side of 155 South Greenbush Road parcel from the open area/wetlands at the base of the Clausland Mountain steep slope. This stormwater was flowing south toward the 125 South Greenbush Road parking lot and intercepted by the existing storm drainage system. There is a map note on the site plan, "Proposed 3' high min. solid wall to direct storm flows in natural patterns. To be designed by others. Wall to match existing grade." The SWPPP shall examine the natural stormwater pattern in detail and ensure it is maintained. This would include detailed design for the proposed swale on the north side of 155 South Greenbush Road.

Drainage Review Recommendation

The proposed action demonstrates potential significant adverse impacts with respect to drainage can be mitigated. We therefore recommend that the 125 South Greenbush Road and 155 South Greenbush Road Site Plans be approved for drainage subject to the above project comments.

Very truly yours,



BROOKER ENGINEERING, P.L.L.C.
Kenneth DeGennaro, P.E.

Planning Board Review Summary

Project Data

Job Name 125 Greenbush Properties 155 Greenbush Properties	Owner	Address 125 So. Greenbush Rd 155 So. Greenbush Rd	Tax Lot Number 74.07-1- 15.1&15.2
Job Description: Add new 128,000 SF warehouse (#155) and 147,000 SF warehouse expansion (#125), with associated parking, drainage, and site improvements.		Planning Board No. N/A	BBE Number OTN0125

Planning Board Data

Date of:				Drainage:		
PB meeting	Site Plans	Drainage Calcs.	BBE Review Letter	Approved	Not Approved	Approved w/ Conditions
03/13/2019	11/28/2018	02/20/2019	03/13/2019			X
09/25/2019	07/30/2019	02/20/2019	09/25/2019			X
10/26/2021	09/15/2021	02/20/2019	10/24/2021			X

Construction Data

Area of Disturbance:	7 acres
Erosion Control Plan Required:	Yes
SWPPP Required:	Yes
Post Construction Stormwater Quantity Required:	Yes
Post Construction Stormwater Quality Required:	Yes
Description of Required Stormwater Management:	Two open stormwater management basins

Photographs



Description: Standing north of existing building to be removed on #125, looking south at area of new building expansion.

Date: 10/26/2021



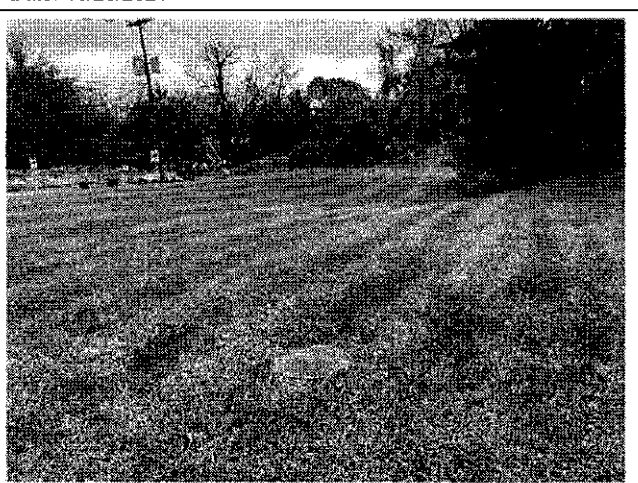
Description: Standing on the west side of #125, looking southwest at area for stormwater management basin.

Date: 10/26/2021



Description: Standing along the west side of South Greenbush Road, looking west at the area of the drainage culvert outlet to the Sparkill Creek.

Date: 10/26/2021



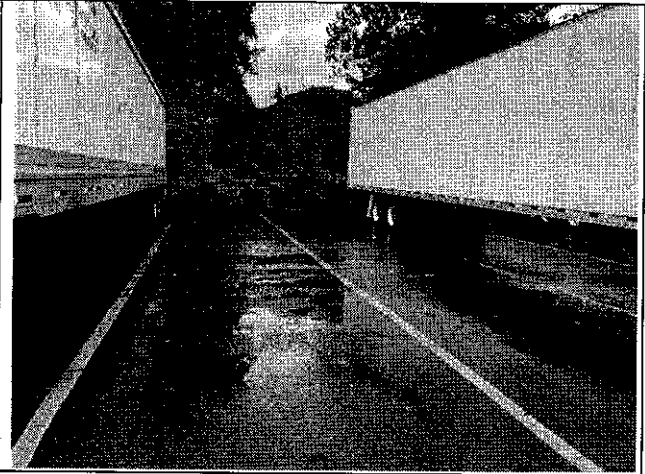
Description: Standing along the south side of #155, looking north at the area of the proposed stormwater management basin.

Date: 10/26/2021



Description: Standing at existing parking area between #155 & #125, looking east at groundwater/surface water sheet flow travelling south from #155.

Date: 10/26/2021



Description: Standing at existing parking area between #155 & #125, looking north at sheet flow entering the site.

Date: 10/26/2021



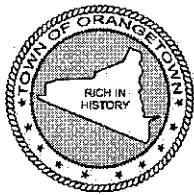
Description: Standing at existing parking area between #155 & #125, looking east at Clausland Mountain.

Date: 10/26/2021



Description: Standing northern edge of existing pavement on #155, looking north at area of proposed building.

Date: 10/26/2021



Bureau of Fire Prevention

TOWN OF ORANGETOWN
20 GREENBUSH ROAD
ORANGETOWN, N.Y. 10962

David Majewski
Chief Fire Inspector

(845) 365-0204

Fax: (845) 365-0241

Date: October 15, 2021

To: Cheryl Coopersmith, Chief Clerk
Planning Board

From: David Majewski
Chief Fire Inspector

Subject: **125 South Greenbush Road Site Plan PB # 19-17**
Prepreliminary/Preliminary Site Plan, Traffic Study and SEQRA Review
125 South Greenbush Road, Orangetown
74.07-1-15.1; LI zoning District



Site Plan Review:

Submission Reviewed:

125 Greenbush Properties Site Plan prepared by Steven Sparaco, PE last revised 9/15/21.

1. Proposed Fire Apparatus Access road doesn't extend to within 150' of all portions of the building. 2020 IFC 503.1.1
2. Label access road dimensions on plan. (minimum 20') 2020 IFC 503.2.1
3. Label Aerial Access Road on plan.
4. A hydrant must be within 600' of all portions of the building measured along an approved route. The front of the proposed building appears to extend greater than 600' from the existing/proposed hydrants.



Rockland County

Ed Day, Rockland County Executive

DEPARTMENT OF PLANNING

Dr. Robert L. Yeager Health Center
50 Sanatorium Road, Building T
Pomona, New York 10970

Phone: (845) 364-3434 Fax: (845) 364-3435

Douglas J. Schuetz
Acting Commissioner

Helen Kenny Burrows
Deputy Commissioner

October 19, 2021

Orangetown Planning Board
21 Greenbush Road
Orangeburg, NY 10962

Tax Data: 74.07-1-15.1

Re: GENERAL MUNICIPAL LAW REVIEW: Section 239 L and M

Map Date: 9/15/2021



Date Review Received: 9/23/2021

Item: 125 SOUTH GREENBUSH ROAD WAREHOUSE EXPANSION (O-1853W)

Site plan to permit the demolition of a single-story office building, which is connected to an existing 268,000 SF warehouse, and construction of a new 147,000 SF addition to the warehouse. The site is located in the LI zoning district on 24.5 acres.

East side of S. Greenbush Road, opposite Mountainview Avenue

Reason for Referral:

S. Greenbush Road (CR 11), NYS Route 303, Clausland Mountain Park, Sparkill Creek, federal wetlands

The County of Rockland Department of Planning has reviewed the above item. Acting under the terms of the above GML powers and those vested by the County of Rockland Charter, I, the Commissioner of Planning, hereby:

**Recommend the following modifications*

- 1 A review of the September 15, 2021 site plan must be completed by the Rockland County Highway Department, any concerns addressed, and all required permits obtained.
- 2 A review of the September 15, 2021 site plan must be completed by the Rockland County Department of Health, any concerns addressed, and all required permits obtained. In addition, the applicant must comply with the comments made in their letter of September 19, 2019.
- 3 A review must be completed by the Rockland County Division of Environmental Resources and any concerns addressed.
- 4 A review of the September 15, 2021 site plan must be completed by the Rockland County Drainage Agency, any concerns addressed, and all required permits obtained. In addition, the applicant must comply with the comments made in their letter of March 19, 2019.
- 5 A review of the September 15, 2021 site plan must be completed by the New York State Department of Transportation, any concerns addressed, and all required permits obtained. In addition, the applicant must comply with the comments made in their letter of September 17, 2019.

125 SOUTH GREENBUSH ROAD WAREHOUSE EXPANSION (O-1853W)

- 6 If there is any encroachment into the Federal wetlands, a review must be completed by the United States Army Corps of Engineers and all required permits obtained.
- 7 A review of the "Firetruck Turning Plan" must be completed by the County of Rockland Office of Fire and Emergency Services, Town of Orangetown fire inspector, or the Orangeburg Fire Department to ensure that there is sufficient maneuverability on site for emergency vehicles.
- 8 Prior to the start of construction or grading, all soil and erosion control measures must be in place for the site. These measures must meet the latest edition (November 2016) of the New York State Standards for Urban Erosion and Sediment Control.
- 9 There shall be no net increase in the peak rate of discharge from the site at all design points.
- 10 Water is a scarce resource in Rockland County; thus proper planning and phasing of this project are critical to supplying the current and future residents of the Villages, Towns, and County with an adequate supply of water. The water system must be evaluated to determine if the additional water supply demands of the proposed development can be met. Domestic and fire demands of the project must be determined by a Licensed Professional Engineer and provided to the supplier of water for analysis. Demand calculations and results of the analysis must be provided to the Rockland County Department of Health for review.
- 11 For installation of a sanitary sewer system, engineering plans and specifications shall be reviewed and approved by the Rockland County Department of Health prior to construction.
- 12 We are concerned that the site is being designed in conjunction with the site to the north. Since they are separate parcels, they should be designed independently, and not rely on one another. This is not only true for access, but also for parking of trucks and circulation. For example, trucks can only access the northern site through the subject parcel, only one area for both lots is designated as trailer parking, and a passenger vehicle entrance only is provided on the northern lot, requiring vehicles to travel to the subject lot to exit. The two sites should either be merged into one lot, or designed as two separate parcels. If they are kept separate, a cross access easement could still be provided, but parking of trucks and circulation should remain independent of each other, as there is no guarantee that the two parcels will remain in the same ownership in the future.
- 13 A note on the site plan indicates the northeast corner of the site will be used for trailer parking. The boundaries of this parking area must be illustrated. Access to the two aisles for the eastern parking lots are located just south of this trailer parking area. The extent of the trailer parking must not block this access.
- 14 A recent site visit confirmed that the northern portion of the subject site, as well as the southern portion of Tax Lot 74.07-1-15.2, are actively being used for truck and trailer storage. Between 40 and 50 trucks and trailers were parked in this area. Except for the northeastern portion of the site where trailer parking is noted, the current site configuration can only accommodate parking for regular sized, passenger vehicles. Since the proposed use is warehousing, parking spaces for tractor trailers must be provided. In addition, this trailer parking area is the only portion of either site allocated to parking of trailers or trucks. Past history has confirmed that trailer parking is a necessity for the site. Only 25 parking spaces are indicated to be required, yet 455 parking spaces are proposed. The parking areas must be redesigned to reduce the number of excess parking spaces, and designate parking spaces for tractor trailers. A parking layout that provides both tractor trailer parking and vehicular parking that meets the site's needs must be provided. Under no circumstances is parking permitted off site or within the County right-of-way.
- 15 During a recent site visit, it was confirmed that busses were still being stored in the northwestern parking lot, occupying most of the parking area. This parking area is proposed to be partially replaced by the building, with only 8 vehicular parking spaces provided. The applicant has indicated that the busses will not be on the site as part of this expansion. However, a written agreement shall be provided that states where the busses will be relocated, and when this will occur, to verify the new site can accommodate them, as well.

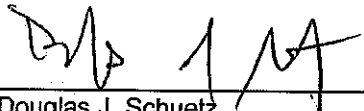
125 SOUTH GREENBUSH ROAD WAREHOUSE EXPANSION (O-1853W)

16 The loading areas on the north side of the building are in an area that will have a lot of traffic circulation and potential conflicts. The access easement for the lot to the north, truck turning movement and vehicular access to the parking area for the northern site, and truck turning, loading and trailer storage areas for this parcel are all located within this portion of the site. The site design must be reviewed to ensure that all truck and vehicular movements can be accommodated and do not conflict with each other to ensure safe circulation on both sites.

17 The landscaping plan indicates there will be plantings in the non-paved areas to the north and south of the existing warehouse and southwest corner of the proposed addition, as well as along the western border of the parking area to the west of the addition. These locations are all designated as snow storage areas on Drawing #1. In addition, the landscaping plan shows plantings along the western side of the addition, where a sidewalk is delineated on Drawing #1. The landscaping plan and site plan must be amended so that sufficient plantings, snow storage areas, and sidewalks are provided without conflict.

18 A note on the site plan states a three-foot tall wall will be provided along the eastern and northeastern sides of the driveway and parking areas to direct storm plows. Snow storage areas are shown to be located beyond this wall. It must be stated how storm plows will access the snow storage areas if the wall is placed between the roadway and the storage area. If the wall cannot be removed, another snow storage area must be designated on the site plan.

19 The site plan indicates there will be an access easement on the subject site to benefit tax lot 74.07-1-15.2. This easement shall also be recorded in the Map Notes.



Douglas J. Schuetz
Acting Commissioner of Planning

cc: Supervisor Teresa Kenny, Orangetown
Rockland County Department of Highways
Rockland County Department of Health
Rockland County Division of Environmental Resources
Rockland County Drainage Agency
New York State Department of Transportation
United States Army Corps of Engineers
Rockland County Office of Fire and Emergency Services

Sparaco & Youngblood, PLLC
Orangeburg Fire Department

**NYS General Municipal Law Section 239 requires a vote of a 'majority plus one' of your agency to act contrary to the above findings. The review undertaken by the Rockland County Planning Department is pursuant to, and follows the mandates of Article 12-B of the New York General Municipal Law. Under Article 12-B the County of Rockland does not render opinions, nor does it make determinations, whether the item reviewed implicates the Religious Land Use and Institutionalized Persons Act. The Rockland County Planning Department defers to the municipality forwarding the item reviewed to render such opinions and make such determinations if appropriate under the circumstances.*

In this respect, municipalities are advised that under the Religious Land Use and Institutionalized Persons Act, the preemptive force of any provision of the Act may be avoided (1) by changing a policy or practice that may result in a substantial burden on religious exercise, (2) by retaining a policy or practice and exempting the substantially burdened religious exercise, (3) by providing exemptions from a policy or practice for applications that substantially burden religious exercise, or (4) by any other means that eliminates the substantial burden.

Proponents of projects are advised to apply for variances, special permits or exceptions, hardship approval or other relief.

Pursuant to New York State General Municipal Law §239-m(6), the referring body shall file a report of final action it has taken with the Rockland County Department of Planning within thirty (30) days after final action. A referring body which acts contrary to a recommendation of modification or disapproval of a proposed action shall set forth the reasons for the contrary action in such report.

Rockland County HEALTH

CENTER FOR ENVIRONMENTAL HEALTH

Dr. Robert L. Yeager Health Center
50 Sanatorium Road, Building D,
Pomona, New York 10970
Phone: (845) 364-2608 Fax: (845) 364-2025



Public Health
Prevent. Promote. Protect.

EDWIN J. DAY
County Executive

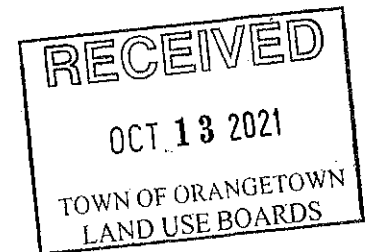
PATRICIA S. RUPPERT, DO, MPH, CPE, DABFM, FAAFP
Commissioner of Health

SAMUEL RULLI, PE
Director, Environmental Health

October 5, 2021

Ms. Cheryl Coopersmith
Town of Orangetown Planning Board
20 Greenbush Road
Orangetown, NY 10962

Re: 125 & 155 South Greenbush Road Warehouse Expansion
Site Plan
Tax Lot 74.07-1-15.1 & 15.2



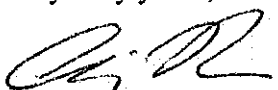
Dear Ms. Coopersmith:

We have received a Site Plan for the above referenced project prepared Sparaco & Youngblood, PLLC revised through September 15, 2021. Comments are as follows:

1. The monitoring well located on the survey, as well as any additional well points that remain open, must be decommissioned immediately in accordance with Article II of the Rockland County Sanitary Code, as a condition of the Resource Evaluation Well permit #RE-17-003 was that the well points were to be removed and sealed within the 8-hour workday. For questions regarding the decommissioning, you can contact James Torres at 845-364-2642.
2. Application is to be made to the RCDOH for review of the system for compliance with the County Mosquito Code.
3. Approval for the water main extension will be needed from this office.

If you have any questions, do not hesitate to contact the undersigned.

Very truly yours,



Elizabeth Mello, P.E.
Senior Public Health Engineer
(845) 364-2616

cc: Sparaco & Youngblood, PLLC
Helen Kenny-Burrows, Rockland County Department of Planning
Jeremy Erlich, RCDOH (via email)
Jim Torres, RCDOH (via email)



Rockland County

Ed Day, Rockland County Executive

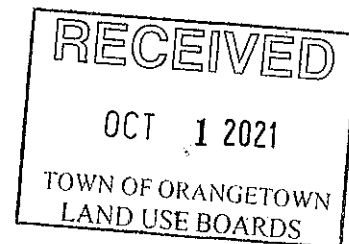
HIGHWAY DEPARTMENT

23 New Hempstead Road
New City, New York 10956
Phone: (845) 638-5060 Fax: (845) 638-5037
Email: highway@co.rockland.ny.us

Charles H. "Skip" Vezzetti
Superintendent of Highways

October 01, 2021

Ms. Cheryl Coopersmith
Chief Clerk Boards and Commission
Planning Board, Town of Orangetown
20 South Greenbush Road
Orangeburg, NY 10962



**RE: Site Plan Review for Warehouse Expansion
125 and 155 South Greenbush in Orangeburg, NY
Tax Lot #74.07-1-15.1 and 15.2; LI Zoning District**

Dear Ms. Coopersmith:

The Rockland County Highway Department (RCHD) was in receipt of the referenced site plans prepared by Sparaco & Youngblood, PLLC., last revised on 09.15.21, together with other information as part of the SEQRA/GML review process. The review has been complete and our comments are as follows:

1. The strip of land between the existing Right of Way (ROW) Line and the Designated Street Line (DSL) along South Greenbush Road shall be gratuitously dedicated to the County of Rockland for inclusion in the highway system.
2. The two parcels are in different tax lot numbers. Therefore, the proposed access easement shall be prepared and recorded in the Rockland County Clerk Office to have access within these two parcels.
3. Since the new developments are expected to generate more truck traffic in the area, it would be a good opportunity for the applicant to consider reconfiguring the intersection of Mountainview Avenue, South Greenbush Road, and the existing south end driveway for safe operation of truck traffic and private vehicles.
4. Two existing driveways for the parcel #74.07-1-15.1 (125 Greenbush Road) appear to be inadequate for movements of large truck traffic. The driveways shall be re-configured and designed to accommodate larger truck traffic in and out of the above properties safely.

5. The two-way driveway in the middle of the above properties shall be re-configured as nearly perpendicular to S Greenbush Road (Public Road) as possible for better sight distances and turning movements.
6. The driveway serving larger vehicles shall accommodate the vehicle turning paths by connecting the driveway edges to the nearest roadway travel lane edge by appropriate curves. The existing and proposed driveways in the sites may be required larger radii to accommodate larger design vehicles.
7. The applicant shall have to verify the available sight distances at the proposed driveways.
8. Traffic control signs shall be required at the driveways.
9. Drainage reports shall be prepared and submitted to this department for the proposed developments. The applicant will have to make sure that the proposed drainage system for the warehouses satisfies the drainage requirement of no net increase in the peak rate of discharge from the site at all design points.
10. The proposed infiltration and detention ponds shall be placed as much as away from the public road or off the clear zone for traffic and pedestrian safety reasons, and future road improvements.
11. A road work permit shall be obtained from the Rockland County Highway Department prior to starting any construction activities in the property.

We appreciate you for the opportunity to review the site plans. Please feel free to contact us at 845-638-5060 with any question or concern you may have regarding this matter.

Thank you.



Dyan Rajasingham
Engineer III

CC: Rockland County Department of Planning
Sparaco & Youngblood, PLLC. – Civil Engineers and Land Surveyors

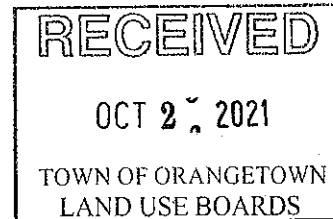
DRAINAGE AGENCY
DIVISION OF THE HIGHWAY DEPARTMENT
23 New Hempstead Road
New City, New York 10956
Phone: (845) 638-5081; Fax: (845) 708-7116

Charles H. "Skip" Vezzetti
Superintendent of Highways
Chairman, Drainage Agency
Via email: ccoopersmith@orangetown.com

Vincent Altieri, Esq.
Executive Director

October 25, 2021

Planning Board
Town of Orangetown
20 Greenbush Road
Orangeburg, NY 10962
Attn.: Cheryl Coopersmith, Chief Clerk



Re: 125 South Greenbush Road Warehouse Expansion Site Plan

Location: 125 South Greenbush Road, Orangeburg
Parcel(s): Section 74.07, Block 1, Lot 15.1
Tax Map: Town of Orangetown
Resource: Sparkill Creek

Dear Planning Board Members:

The Rockland County Drainage Agency (RCDA) has reviewed the above referenced proposal as prepared by Sparaco & Youngblood, PLLC, dated/last revised September 15, 2021, included with the municipal referral for meeting date 10/27/2021.

Please note that the above referenced site has been determined to be within the jurisdiction of the RCDA and a Stream Control Act permit from the RCDA is required for the current proposal. Please have the applicant submit an application to the RCDA directly. Copies of permit application package and Chapter 846: Rockland County Stream Control Act are being mailed to the property owner/ applicant with a copy of this letter and are also available at the County website, within Highway Department, Drainage Division. The RCDA will provide project specific comments upon receipt and review of the permit application submission.

By copy of this letter, the RCDA is notifying the municipal land use boards and departments that the project site is within the jurisdiction of the RCDA. Any future decisions or determinations made by municipal land use boards and departments regarding developments at this site should indicate that it is within the jurisdiction of the RCDA and all development proposals will require a review and written determination from the RCDA as to whether a permit is required. The RCDA recommends that the municipal departments ensure the applicant has no outstanding violations and secured a Stream Control Act permit from the RCDA prior to granting development permits.

The Rockland County Drainage Agency does not object to the Planning Board assuming responsibilities of lead agency for SEQRA purposes in the above referenced matter.

Please contact the undersigned at (845) 638-5081 or by email: thottaks@co.rockland.ny.us, if you have any questions regarding this matter.

Very truly yours,

Shajan S. Thottakara, P.E., CFM
Rockland County Drainage Agency

c: Property Manager, 125 Greenbush LLC, 16 Squadron Blvd., Ste 106, New City, NY 10956, (with encl./attach.)

By Regular & Certified Mail, Article No. : 7020 1290 0001 9691 1518

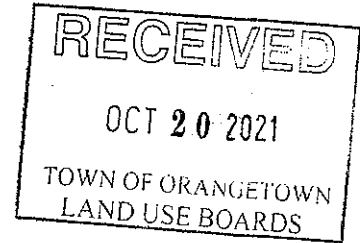
Vincent Altieri, Esq., RCDA
Building Department, Town of Orangetown
Zoning Board of Appeals, Town of Orangetown
Rockland County Planning Department
Rockland County Highway Department

OBZPAE@orangetown.com
darbolino@orangetown.com
(by email)
(by email)
(File: 21 OSR 62)



Environmental, Planning, and Engineering Consultants

34 South Broadway
Suite 300
White Plains, NY 10601
tel: 914 949-7336
fax: 914 949-7559
www.akrf.com



Memorandum

To: Town of Orangetown Planning Board
From: Marissa Tarallo, PE, PTOE and Elaine Du; AKRF
Date: October 19, 2021
Re: 125 and 155 Greenbush Road – Traffic Impact Study Review
cc: Anthony Russo; AKRF

AKRF reviewed the Response to Comment memorandum prepared by Colliers Engineering (formerly known as Maser) dated September 1, 2021 and associated material as well as the site plans prepared by Sparaco & Youngblood, PLLC revised September 15, 2021.

Based on our review, the Consultant has sufficiently addressed AKRF's comments on the No Build Condition, traffic capacity analysis, and crash analysis.

AKRF provides the following additional comments to be addressed by the Consultant.

NO BUILD CONDITION

In AKRF's comment memo dated February 26, 2021, AKRF commented on the background growth rate, No Build projects, and the inclusion of the 20,000 sf office in the No Build Condition analysis. The No Build Condition was revised to reflect a revised background growth rate to be consistent with nearby approved projects. Additionally, the Consultant included the appropriate No Build projects and removed the unoccupied office space from the No Build Condition analysis. AKRF has no further comments on the No Build Condition.

TRIP GENERATION

The detailed information provided by the Consultant on the tenants, the operation of the existing warehouse, and the use of the warehouse expansion to serve existing and new tenants with similar operations indicate that use of Land Use Code 150 is appropriate. However, the use of Land Use Code 156 – High-Cube Parcel Hub Warehouse would provide a more conservative trip generation estimate.

PARKING

The Consultant states that truck parking would not be provided, and that trailers would be stored at the loading docks.

According to the *ITE Parking Generation Manual, 5th Edition*, the average truck parking demand for Land Use 150 – Warehousing is 0.11 truck parking spaces per 1,000 gross floor area of warehouse, resulting in a parking demand of 46 spaces for 125 Greenbush Road and 14 spaces for 155 Greenbush Road.

1. The Consultant should clarify the number of loading docks available at each site and compare the number of loading docks to the truck parking demand.
2. The Applicant should consider adding truck parking at both the 125 Greenbush Road and 155 Greenbush Road sites.

**Project Review Committee Report – October 20, 2021
Planning Board Meeting of October 27, 2021**

125 South Greenbush Road Site Plan
Prepreliminary/Preliminary Site Plan, Traffic Study
and SEQRA Review
125 South Greenbush Road, Orangeburg
74.07/1/15.1; LI zoning district

PB #19-17

1. The PRC recommends that all conditions be met prior to granting Final Planning Board Approval of the Site Plans
2. The PRC recommends that the applicant should consider separating the properties and provide separate driveway, allowing the properties to act independent.



155 South Greenbush Road Properties Site Plan
Prepreliminary/Preliminary Site Plan, Traffic Study
and SEQRA Review
155 South Greenbush Road, Orangeburg
74.07/1/15.2; LI zoning district

PB #19-18

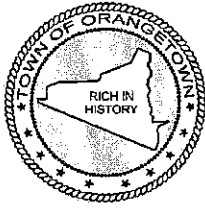
1. The PRC recommends that all conditions be met prior to granting Final Planning Board Approval of the Site Plans
2. The PRC recommends that the applicant should consider separating the properties and provide separate driveway, allowing the properties to act independent.

Other Business:

Referral from the Town of Orangetown Town Board – GML 239 §239-1 & m, Zone Change, 100 Corporate Drive, Blauvelt. Property is currently LI and LIO, change to LI in its entirety and SEQRA Consent to be Lead Agency.

1. The PRC has no additional comments beyond the comments submitted by other agencies for this project.

*Attendees: J. Slavin, B. Peters, A. Gorton, R. Pakola, D. Majewski
Non-member: M. Mandel*



OFFICE OF BUILDING, ZONING, PLANNING
ADMINISTRATION AND ENFORCEMENT
TOWN OF ORANGETOWN
20 GREENBUSH ROAD
ORANGETOWN, N.Y. 10962

Jane Slavin, RA
Director

(845) 359-8410

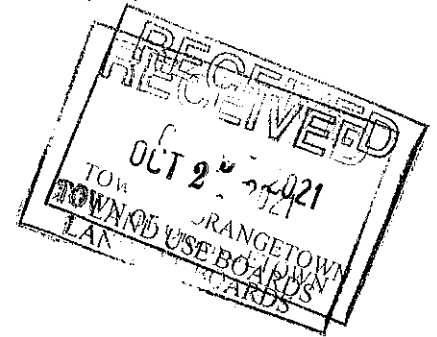
Fax: (845) 359-8526

Date: October 25, 2021

To: Cheryl Coopersmith, Chief Clerk
Planning Board

From: Jane Slavin, RA.,
Director O.B.Z.P.A.E.

Subject: **155 South Greenbush Road Properties Site Plan PB #19-18**
Prepreliminary/Preliminary Site Plan, Traffic Study
and SEQRA Review
155 South Greenbush Road, Orangeburg
74.07/1/15.2; LI zoning district



Submission Reviewed:

Site Plan package prepared by Sparaco & Youngblood, PLLC, last revised 9/15/2021.

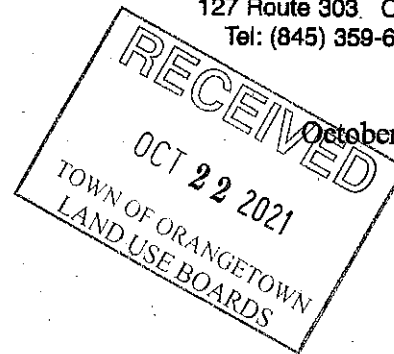
- 1) The applicant is proposing a 147,000 square foot expansion to an existing 268,000 square foot warehouse on one site and a new 128,000 square foot warehouse on the adjacent site to the north.
- 2) The proposed site plans for each parcel indicate multiple easements and that the two parcels are being designed to rely on each other. Applicant should explain reason for this and consideration should be made to allow for each site to be designed independently.
- 3) The proposed square footage numbers are indicated as +/- . Applicant must provide exact square footage amounts for all proposed structures.
- 4) The site plan indicates the proposed square footage as 128,000 square feet, however the zoning calculations indicate 126,018 square feet, which one is correct?
- 5) Rockland County Planning has expressed concerns over utilizing the Land Use Code 150 in their 9/25/2019 and 2/5/2020 letters and stated that they felt the Land Use Code 156 – High Cube Warehouse may be more appropriate. In the AKRF review letter dated 10/19/2021, they also state that the Land Use Code 156 – High Cube Warehouse would provide a more conservative trip generation estimate. Board should consider requesting an analysis utilizing the LUC 156 standards.

- 6) Per AKRF review letter dated 10/19/2021, the average truck parking demand for Land Use 150- warehousing results in a parking demand of 46 truck spaces for 125 Greenbush Road and 14 spaces for 155 Greenbush Road. No trailer parking is indicated for this parcel. Applicant must clearly indicate proposed truck/trailer parking, number of spaces and dimensions.
- 7) A "Cars Only" sign is indicated on the south/east corner of the lot. How will this be enforced? What prohibits a truck/trailer from entering and then being required to drive around the building and out onto Greenbush road at the North/west driveway?
- 8) The plans shall clearly indicate the number, location and size of proposed loading docks.
- 9) Parking calculations provided indicate that 25 parking spaces are required with 148 proposed. Applicant must explain the need for the additional 123 spots.
- 10) Per Chapter 43, Article V, 5.111 "*Required front yards...shall be measured from a line hereby established as the designated street line...*". All front yard dimensions must be revised and clearly indicated to the designated street line.
- 11) Site plan drawing 4 of 13 indicates a 3-foot-high solid wall and to "see detail attached", however there is no detail provided in the drawing set. How will this wall work with the proposed snow removal locations? A detail MUST be provided.
- 12) The proposed landscaping and lighting plans shall be oriented in the same direction as the rest of the site plans.
- 13) The snow storage areas on the north and west side of the building is indicated where the landscaping plan calls for new plantings and trees. How will this be accomplished?
- 14) The detention basin shall be clearly delineated on the plan and coordinated with the proposed snow storage area.
- 15) Per town code, "No trucking is movement of any kind shall be permitted in any district between the hours of 11:00 pm and 6:00 am, unless permission has been granted by the Zoning Board of Appeals".
- 16) Approval was granted in 2008 for the bus company parking which was limited to three years with a maximum of 30 buses. An application for renewal of the special permit was received on September 23, 2021. Applicant has previously testified that the lease agreement with the bus company will be terminated prior to the start of construction. Applicant must clarify.
- 17) The revised Full EAF has not been received.



Department of Environmental Management and Engineering Town of Orangetown

127 Route 303, Orangeburg New York 10962
Tel: (845) 359-6502 • Fax: (845) 359-6951



October 22, 2021

Planning Board
Town of Orangetown
1 Greenbush Road
Orangeburg, New York 10962
Attn: Cheryl Coopersmith, Chief Clerk

Re: 155 South Greenbush Road Site Plan

PB# 19-18

Gentlemen:

This Department has the following comments/ recommendations.
(This letter supersedes our letter of 9/24/19)

1. The applicant's engineer's letter of 9/21/21, page 3, item #1 - under Department of Environmental and Engineering letter dated 9/24/19 Re: 155 South Greenbush Road states that "It was agreed with the Town that the Stormwater Pollution Prevention Plan (SWPPP) (for each property) can be provided later with plans submitted for final approval as the drainage report has been approved with condition at this time." – This Department made **NO** such agreement, nor did this Department provide conditional approval to the drainage report. Items 2, 7-9, 11-13, & 19 all reference this incorrect comment.
2. A full SWPPP, with drainage calculations, prepared and sealed by a NYS Licensed professional Engineer, in compliance with the *NYS Stormwater Management Design Manual*, the NYS SPDES General Permit for Stormwater Discharges from Construction Activities (SPDES GP-0-15-002), the *NYS Standards and Specifications for Erosion and Sediment Control* ("Blue Book") and Town of Orangetown Town Code (Chapters 30C & 30D), shall be prepared for the proposed site plan. The SWPPP/ stormwater improvements must be designed to meet the Green Infrastructure (Chapter 5 – NYSDEC SMDM)/ Water Quality/ Water Quantity standards spelled out in the manual. All approved (as per the design manual) practices proposed for the site must be clearly identified and described (i.e. how do the practices meet the required goals – Green Infrastructure/ Water Quality/ Water Quantity) in both the narrative portion of the SWPPP, but also designed and sized in the drainage calculations section of the SWPPP.
3. While it is understood that this site and the neighboring site (125 South Greenbush Road) are being designed to be "intertwined" from a drainage perspective, separate drainage analysis for each site must be prepared and submitted with each individual SWPPP. Any common drainage elements, shared by both sites, shall be included in drainage analysis for each site.

4. Drawing 4 indicates that the total area of disturbance (a.o.d.) is 7.0109 acres. The applicant's engineer is reminded/ advised that the maximum a.o.d. is 5 acres at any one time. Therefore, the project will need to be phased. The SWPPP and drawings shall clearly define and show conformance with the 5 acre disturbance limit.
5. The drainage calculations and proposed stormwater improvements shall demonstrate a zero net increase in stormwater runoff. This information shall be included within the required SWPPP.
6. Calculations for determining the sizing of the stormwater "bypass" piping (run "Q"), including the maximum storm the pipe can carry, shall be added to the SWPPP/ drainage calculations.
7. The applicant's engineer's letter of 9/21/21, page 4, item #6 - under Department of Environmental and Engineering letter dated 9/24/19 Re: 155 South Greenbush Road states that a 25 foot buffer has been provided around the proposed surface stormwater pond, however, it is not shown on the drawings. The required buffer shall be clearly shown on the drawings. It appears that South Greenbush Road MAY be within 25 feet of the proposed basin. This would be unacceptable. The applicant's engineer is reminded that no structures – roads, driveways, buildings, sheds, etc. are allowed within the 25 foot buffer.
8. The required SWPPP/ drainage calculations shall provide a breakdown, in table form, of all of the proposed impervious surfaces for this site plan, showing the type and size of the area with a grand total. How the sub totals were determined shall be part of the calculations section of the SWPPP.
9. Although the combined drainage analysis submitted has provided some soil boring information for this site and 155 South Greenbush Road Site Plan, NEW perc tests, soil analysis and determination of groundwater elevations shall be performed at all of the surface and subsurface water quality/ quantity practices proposed from the site. These tests shall be performed **PRIOR** to this proposal receiving **Final Approval** to ensure the adequacy of the proposed design. The tests shall be performed in the spring when the ground water table is typically at its highest. The perc holes shall extend at least two (2) feet below the proposed bottom of perspective stormwater control measure. Also, all of the prior hole logs that were provided are labeled as 125 South Greenbush Road, even though some are on 155 South Greenbush Road site. The logs shall be properly labeled and provided in the appropriate SWPPP for each site plan. This Department shall be notified at least 48 hours prior to these new tests so that they can be witnessed.
10. The applicant's engineer is reminded to use the current rainfall intensity data for all the storms (1, 2, 10, 25 100 yr.) analyzed, for this area, throughout the drainage calculations. For example, the water quality calculations provided use an intensity of only 2.5 inches/ hour (too low, not current), while the HEC 1 analysis uses the proper intensity for a 1 yr. storm – 2.9 inches/ hour.

11. While a "blow-up" of the proposed stormwater infiltration detention basin/ sand filter has been provided, no blowup of the proposed subsurface infiltration system is shown on the drawings. A blowup of this system shall also be provided on the drawings. Cross-sections for all stormwater infiltration/ detention systems, both surface and subsurface, shall be provided and show storage volume vs. elevation vs design storm, outlet structure details (with elevations), underdrain details, profiles with elevations, outlet pipe details, safety bench, aquatic bench, forebay, main pond, 12 foot wide maintenance path (that reaches the forebay/ main pool/outlet structure/ emergency spillway), permanent sediment depth marker with detail, plantings (if utilized for water quality control), emergency overflow spillway with elevations, etc. shall also be provided in the blow-up section and on the drawings.

12. The drawings show a 10 foot wide maintenance path along one side of the surface infiltration/ detention basin. This is unacceptable. The path must be at least 12 feet wide. Also, the path just dead ends. The path must either go completely around the basin or an adequately sized turn around must be provided. The drawings shall be revised accordingly.

13. This Department has serious concerns regarding the location of the proposed subsurface stormwater infiltration facility. It is approximately 55 feet \pm away from existing wetlands. Given its proximity to these wetlands, the seasonally high groundwater table in this area may make this location unacceptable. The required perc test, soil analysis and determination of grounds results for this area shall be included in the SWPPP and the design for this system, as well as all other water quality and quantity features proposed.

14. The drawings indicate that snow storage is planned within the area/ along the slope of proposed surface stilling/ infiltration basin. This is unacceptable as salts and silt, within the snow, will enter the stilling/ infiltration basin and contaminate the infiltrating groundwater and/ or fill the basin with silt/ sediment. These propose storage areas shall be removed from around the basin.

15. The drawings indicate that snow storage is planned along the existing wetlands along the east side of the lot. The applicant shall obtain written approval for this from the Army Corp. of Engineers. Copies of all correspondence regarding this issue shall be sent to this Department.

16. The specific pond type (from the NYS Stormwater Management Design manual) shall be labeled on the plans and called out in the SWPPP, for the surface stormwater pond proposed for this site.

17. The total area of disturbance shall be listed on ALL the plans and listed in the SWPPP narrative. Currently, only drawing 4 lists an a.o.d. (7.0109 acres.) Also, it is unclear how the a.o.d. of 7 acres was calculated. Each lot (125 & 155 South Greenbush Road) shall only include the a.o.d. for their specific property. A drawing showing the limit of disturbance for this site, including a breakdown of all the individual areas and their respective a.o.d.s, shall be included in the drawings. See comment 4 above

18. The plans indicate that a 3 foot high retaining wall is to be built along the wetlands area, on the eastern side of the property. The note on the plan states that the "...solid wall to direct storm flows in natural patterns..." The applicant's engineer shall explain what "directing storm flows in natural patterns" means. The SWPPP and calculations shall **thoroughly** describe how this wall will impact (positive/ negative/ neutral) the existing drainage flows on this site. The flow patterns shall also be clearly shown on the drawings. Lastly, the plans indicate that the wall is to be designed by others. The design of this wall **must** be included with this site plan as so it can be reviewed and approved, especially since its inclusion seem to specifically be for drainage purposes. Calculations and details for same shall be added to the plans and submission documents.

19. The drawings show a double field inlet on this site being connected to an existing storm sewer system on the neighboring site, 125 South Greenbush Road. The drawings also show the overflow piping from the proposed surface infiltration/ detention basin system on this site tying into an existing 36 inch RCP pipe on 125 South Greenbush Road property. First, the reason for these cross connections shall be clearly explained in the SWPPP. Second, if there is to be cross drainage between the two properties, an easement and maintenance agreement calling out locations and responsibilities, shall be prepared and submitted to the Town Attorney's office and this Department for review and approval. Third, the SWPPP and drainage calculations shall calculate the capacities of the connecting lines, including the maximum storm they can carry. Forth, in the case of connecting the overflow piping from this sites surface stormwater infiltration/ detention basin to the existing 36 inch RCP pipe on the 125 South Greenbush Road property, the piping and junction box shall be inspected, tv'd, and certified by a NYS Licensed Professional engineer confirming that the piping and junction box are in tack and in good working order and can handle the proposed flows. Lastly, these cross easements and their responsibilities need to be clearly spelled out in the required Post Construction Stormwater Maintenance Agreements. See comment 24 below.

20. Additional catch basins and connecting drainage pipe shall be added to both sides of the proposed northern entrances/ exit onto South Greenbush Road. This system shall tie into the proposed stormwater quality/ quantity systems. Additional catch basins and connecting drainage pipe shall be also be added to the parking area along eastern side of the site plan and tied into the proposed stormwater quality quantity systems.

21. All existing and proposed drainage structures (catch basins, drainage manholes, field inlets, inlet/ outlet structures, headwalls, etc.), shall be uniquely identified and labeled on the plans and profiles.

22. Profiles for **ALL** of the existing and proposed storm sewer lines shall be provided with the plans. Some proposed profiles missing – roof leaders to surface water quality/ quantity basin, infiltration/ detention basin underdrain piping, basin overflow piping, no existing storm sewer line profiles provided, etc.

23. The portion of the existing 36 inch RCP drainage piping, at the south western corner of the property, that is to be removed, shall be more clearly defined on the drawings.

24. A post construction stormwater maintenance agreement (in accordance with NYSDEC Phase II regulations) for the proposed stormwater systems shall be submitted to this Department and the Town Attorney's office for review and approval. Said agreement shall include a maintenance and management schedule, A breakdown of responsibilities between this lot and the neighboring lot for maintenance and cleaning of proposed cross connection along northern property line, inspection check list, contact person with telephone number, yearly report to be submitted to this Department, etc.

25. The drawings show a "proposed designated street line" along South Greenbush Road. However, this area needs to be dedicated to the County of Rockland and offered as a road widening deed. The County shall determine the actual width required for the road widening. Copies of all correspondence relating to this shall be sent to the Planning Board, the Highway Department and this Department.

26. All proposed easements shall be labeled as such on the drawings.

27. A separate drawing shall be provided showing all existing and proposed easements and dedications. The metes and bounds, page and liber/ instrument number ownership and type of easement/ dedication shall be given on said plan.

28. Additional catch basins/ trench drains, shall be depicted along the southern parking area, immediately north of the property line with 125 South Greenbush Road, to prevent stormwater sheet flow from dumping onto 125 South Greenbush Road.

29. Sanitary calculations for the proposed site, prepared and sealed by a New York State Licensed Professional Engineer, shall be submitted to this Department for review and approval.

30. The current drawings indicate that the building proposes to utilize a portion of the existing sanitary building connection. In order to utilize this piping, the connection must be tv'd, in it's entirety, to ensure its adequacy and ability to handle the proposed flow. The capacity of the existing sanitary building connection must also be calculated and certified by a NYS Licensed Professional Engineer and added to the required sanitary calculations. This must be done **PRIOR** to this project receiving **Final Approval**. Lastly, the existing size, slope, length and material of the portion of existing sanitary building connection that is proposed to be utilized, shall be labeled on the plans.

31. A note on drawing 4 states that the existing sanitary building connection shall be tv'd prior to use. This is not acceptable. See comment 30 above.

32. The size of the existing and proposed sanitary building connection shall be given on the drawings.

33. A profile for the sanitary building connection, in its entirety, shall be added to the plans.

34. A note shall be added to the plans stating that the Orangetown Sewer Inspector is to be notified at least 48 hours in advance of any construction taking place on, over or near any sanitary connections/ facilities, in order to coordinate inspections.

35. The location of the 100yr flood line shall be shown on the drawings – if applicable. If not applicable, state in the SWPPP.

36. Iron pins shall be drawn and labeled at each property corner.

Very truly yours,

A handwritten signature in black ink, appearing to be 'J. P. ...', written over a horizontal line.

cc: Sewer file



Bureau of Fire Prevention

TOWN OF ORANGETOWN
20 GREENBUSH ROAD
ORANGEBURG, N.Y. 10962

David Majewski
Chief Fire Inspector

(845) 365-0204

Fax: (845) 365-0241

Date: October 15, 2021

To: Cheryl Coopersmith, Chief Clerk
Planning Board

From: David Majewski
Chief Fire Inspector

Subject: **155 South Greenbush Road Properties Site Plan PB # 19-18**
Prepreliminary/Preliminary Site Plan, Traffic Study and SEQRA Review
155 South Greenbush Road, Orangetown
74.07-1-15.2; LI zoning District



Site Plan Review:

Submission Reviewed:

155 Greenbush Properties Site Plan prepared by Steven Sparaco, PE last revised 9/15/21.

1. Label Aerial Access Road on plan.
2. A hydrant must be within 600' of all portions of the building measured along an approved route. The front of the proposed building appears to extend greater than 600' from the existing/proposed hydrants. The applicant is proposing to use a hydrant on an adjoining lot but what is the guarantee this hydrant will remain?



BROOKER ENGINEERING PLLC

NY OFFICE
74 Lafayette Avenue, Suite 501 Suffern, NY 10901 845.357.4411 Tel
845.357.1896 Fax

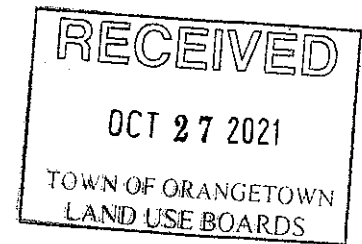
NJ OFFICE
22 Paris Avenue, Suite 105 Rockleigh, NJ 07647 201.750.3527 Tel

October 24, 2021

Town of Orangetown Planning Board
20 Greenbush Road
Orangeburg, New York 10962

Attn: Cheryl Coopersmith, Chief Clerk

Re: 155 South Greenbush Road Site Plan
125 South Greenbush Road Site Plan
Planning Board Drainage Review (for October 25, 2021 Planning Board meeting)
BBE #OTN0125



Dear Ms. Coopersmith:

As the drainage consultant for the Town of Orangetown Planning Board, we have prepared the following report in support of the 155 and 125 South Greenbush Road Site Plan applications to the Town of Orangetown Planning Board:

Information Reviewed

1. Site Plans 125 Greenbush Properties, Drawings 1-13, prepared by Sparaco & Youngblood, last revised 09/15/2021, signed and sealed by Steven Michael Sparaco, PE
2. Site Plans 155 Greenbush Properties, Drawings 1-13, prepared by Sparaco & Youngblood, last revised 09/15/2021, signed and sealed by Steven Michael Sparaco, PE
3. Drainage Analysis, prepared by Sparaco & Youngblood, PLLC, dated February 20, 2019, signed by Steve Sparaco, PE (same as previous submissions)

Project Description

This is our third drainage review report for these projects; our last review was dated September 25, 2019. The drainage analysis has been combined for both parcels at 125 and 155 South Greenbush Road since the hydrologic Points of Interest overlap. This is an acceptable methodology; therefore, we have combined the drainage review into one report.

The sites are located along the east side of South Greenbush Road just east of Mountainview Avenue. The parcel for 155 South Greenbush Road is located north (uphill) of the 125 Greenbush Road site. The drainage analysis is divided into three hydrologic Points of Interest. Point of Interest 1 is located at the southeast corner of the 125 lot and receives stormwater runoff from Clausland Mountain (to the east) that is conveyed to an on-site wetland and flows south. Point of Interest 2 is the existing twin 48-inch RCP pipes that are conveyed under South Greenbush Road along the western portion of the site. The subareas contributing to this location contain the majority of the redeveloped areas. Point of Interest 3 is a small portion at the southwest corner of the 125 lot. The drainage area contributing stormwater runoff to this location is reduced for proposed conditions and no impervious area is added.

A drainage report has been provided that incorporates the hydrologic impacts of both Site Plan applications. A detailed breakdown of subareas is provided, including off site areas that flow through the site. The subareas accurately depict the areas that are diverted to the detention basins and the areas that bypass the basins. Large directly connected impervious areas are included as further subareas within the analysis, which improves the accuracy of the model. Two at-grade level stormwater management basins are provided and two sets of underground detention systems are provided to mitigate against increases in stormwater runoff due to the new impervious areas.

Please note that no new stormwater management calculations or SWPPP report has been provided for this submission. No narrative response from our previous report has been provided for this submission.

Project Comments

1. As per our March 13, 2019 and September 25, 2019 drainage review reports, correct the discrepancy between the supporting calculations for pond volume versus elevation for subareas 13 and 15 (the subareas for the 125 building expansion) between the calculations and the HEC-1 model.
2. As per our March 13, 2019 and September 25, 2019 drainage review reports, provide supporting calculations for pond volume versus elevation for subareas 9 and 9A (building 155).
3. As per our March 13, 2019 and September 25, 2019 drainage review reports, verify the leader label for Subarea Site-15 in the Developed Conditions Drainage Map.
4. As per our March 13, 2019 and September 25, 2019 drainage review reports, add the hydrograph combination names in the HEC-1 model to the Drainage Maps.
5. As per our March 13, 2019 and September 25, 2019 drainage review reports, show the 100-year water surface elevation and outlet information on the sections through the stormwater management basins.
6. As per our March 13, 2019 and September 25, 2019 drainage review reports, show sections and plan views with elevation information for each of the underground detention basins.
7. As per our March 13, 2019 and September 25, 2019 drainage review reports, show footing drains for Building 155.
8. As per our March 13, 2019 and September 25, 2019 drainage review reports, demonstrate no increase in peak stormwater runoff rates will occur at the 18 inch CMP pipe crossing South Greenbush Road along the west side of the parcel, near the southwest corner of the proposed detention basin.
9. Show the 100-year floodplain of the Sparkill Creek on the west side of Greenbush Road and evaluate the proposed system for potential surcharges of the system from the Sparkill Creek.
10. During our site visit after a heavy rainstorm, we observed heavy stormwater/groundwater sheet flow across the existing pavement on the south side of 155 South Greenbush Road parcel from the open area/wetlands at the base of the Clausland Mountain steep slope. This stormwater was flowing south toward the 125 South Greenbush Road parking lot and intercepted by the existing storm drainage system. There is a map note on the site plan, "Proposed 3' high min. solid wall to direct storm flows in natural patterns. To be designed by others. Wall to match existing grade." The SWPPP shall examine the natural stormwater pattern in detail and ensure it is maintained. This would include detailed design for the proposed swale on the north side of 155 South Greenbush Road.

Drainage Review Recommendation

The proposed action demonstrates potential significant adverse impacts with respect to drainage can be mitigated. We therefore recommend that the 125 South Greenbush Road and 155 South Greenbush Road Site Plans be approved for drainage subject to the above project comments.

Very truly yours,



BROOKER ENGINEERING, P.L.L.C.
Kenneth DeGennaro, P.E.

Planning Board Review Summary

Job Name 125 Greenbush Properties 155 Greenbush Properties	Owner	Address 125 So. Greenbush Rd 155 So. Greenbush Rd	Tax Lot Number 74.07-1- 15.1&15.2
Job Description: Add new 128,000 SF warehouse (#155) and 147,000 SF warehouse expansion (#125), with associated parking, drainage, and site improvements.		Planning Board No. N/A	BBE Number OTN0125

Planning Board Data

Date of:				Drainage:		
PB meeting	Site Plans	Drainage Calcs.	BBE Review Letter	Approved	Not Approved	Approved w/ Conditions
03/13/2019	11/28/2018	02/20/2019	03/13/2019			X
09/25/2019	07/30/2019	02/20/2019	09/25/2019			X
10/26/2021	09/15/2021	02/20/2019	10/24/2021			X

Construction Data

Area of Disturbance:	7 acres
Erosion Control Plan Required:	Yes
SWPPP Required:	Yes
Post Construction Stormwater Quantity Required:	Yes
Post Construction Stormwater Quality Required:	Yes
Description of Required Stormwater Management:	Two open stormwater management basins

Photographs



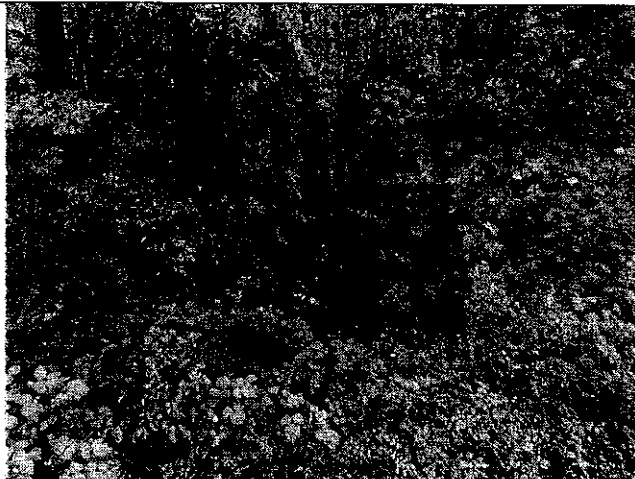
Description: Standing north of existing building to be removed on #125, looking south at area of new building expansion.

Date: 10/26/2021



Description: Standing on the west side of #125, looking southwest at area for stormwater management basin.

Date: 10/26/2021



Description: Standing along the west side of South Greenbush Road, looking west at the area of the drainage culvert outlet to the Sparkill Creek.

Date: 10/26/2021



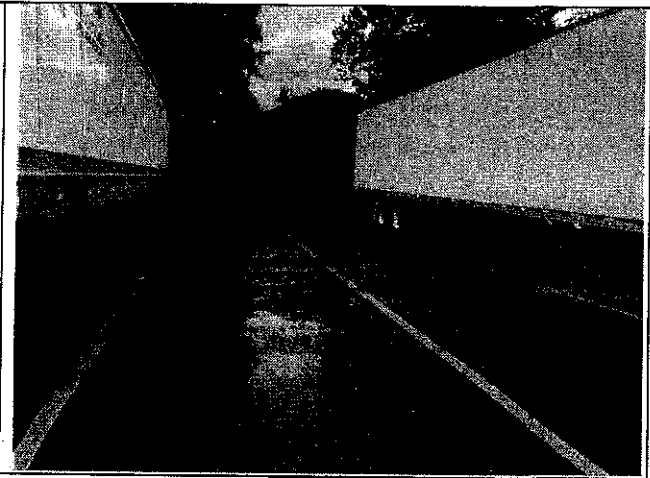
Description: Standing along the south side of #155, looking north at the area of the proposed stormwater management basin.

Date: 10/26/2021



Description: Standing at existing parking area between #155 & #125, looking east at groundwater/surface water sheet flow travelling south from #155.

Date: 10/26/2021



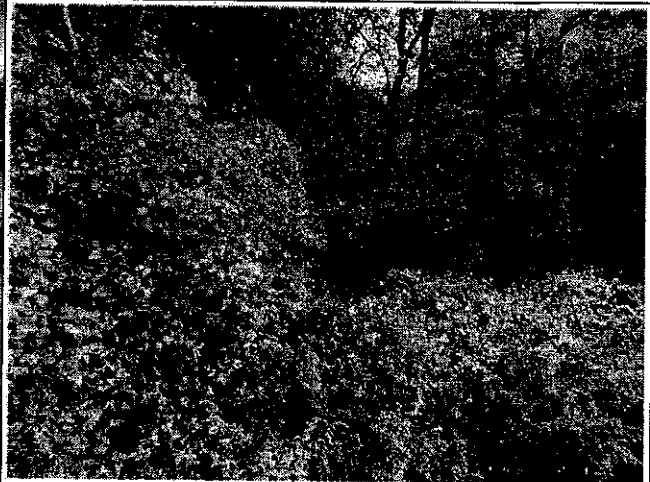
Description: Standing at existing parking area between #155 & #125, looking north at sheet flow entering the site.

Date: 10/26/2021



Description: Standing at existing parking area between #155 & #125, looking east at Clausland Mountain.

Date: 10/26/2021



Description: Standing northern edge of existing pavement on #155, looking north at area of proposed building.

Date: 10/26/2021

DEPARTMENT OF PLANNING

Dr. Robert L. Yeager Health Center
50 Sanatorium Road, Building T
Pomona, New York 10970

Phone: (845) 364-3434 Fax: (845) 364-3435

Douglas J. Schuetz
Acting Commissioner

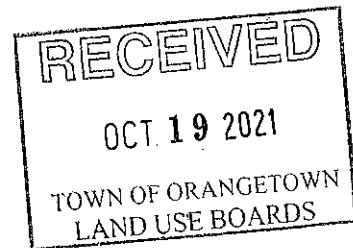
Helen Kenny Burrows
Deputy Commissioner

October 19, 2021

Orangetown Planning Board
21 Greenbush Road
Orangeburg, NY 10962

Tax Data: 74.07-1-15.2

Re: GENERAL MUNICIPAL LAW REVIEW: Section 239 L and M
Map Date: 9/15/2021



Date Review Received: 9/23/2021

Item: **155 SOUTH GREENBUSH PROPERTIES (O-1853V)**

Site plan for the construction of a 128,000 sq. ft. warehouse building located on 11.9 acres in the LI zoning district.

East side of S. Greenbush Road, approximately 968 feet north of Nice Pak Park

Reason for Referral:

South Greenbush Road (CR 11), Clausland Mountain Park, Sparkill Creek, NYS Route 303, federal wetlands

The County of Rockland Department of Planning has reviewed the above item. Acting under the terms of the above GML powers and those vested by the County of Rockland Charter, I, the Commissioner of Planning, hereby:

****Recommend the following modifications***

- 1 A review of the September 15, 2021 site plan must be completed by the Rockland County Highway Department, any concerns addressed, and all required permits obtained.
- 2 A review of the September 15, 2021 site plan must be completed by the Rockland County Department of Health, any concerns addressed, and all required permits obtained. In addition, the applicant must comply with the comments made in their letter of September 19, 2019.
- 3 A review must be completed by the Rockland County Division of Environmental Resources and any concerns addressed.
- 4 A review of the September 15, 2021 site plan must be completed by the Rockland County Drainage Agency, any concerns addressed, and all required permits obtained. In addition, the applicant must comply with the comments made in their letter of March 19, 2019.
- 5 A review of the September 15, 2021 site plan must be completed by the New York State Department of Transportation, any concerns addressed, and all required permits obtained. In addition, the applicant must comply with the comments made in their letter of September 17, 2019.

155 SOUTH GREENBUSH PROPERTIES (O-1853V)

6 If there is any encroachment into the Federal wetlands, a review must be completed by the United States Army Corps of Engineers and all required permits obtained.

7 A review of the "Firetruck Turning Plan" must be completed by the County of Rockland Office of Fire and Emergency Services, Town of Orangetown fire inspector, or the Orangeburg Fire Department to ensure that there is sufficient maneuverability on site for emergency vehicles.

8 Prior to the start of construction or grading, all soil and erosion control measures must be in place for the site. These measures must meet the latest edition (November 2016) of the New York State Standards for Urban Erosion and Sediment Control.

9 There shall be no net increase in the peak rate of discharge from the site at all design points.

10 Water is a scarce resource in Rockland County; thus proper planning and phasing of this project are critical to supplying the current and future residents of the Villages, Towns, and County with an adequate supply of water. If any public water supply improvements are required, engineering plans and specifications for these improvements shall be reviewed and approved by the Rockland County Department of Health prior to construction in order to ensure compliance with Article II (Drinking Water Supplies) of the Rockland County Sanitary Code and Part 5 of the New York State Sanitary Code.

11 For installation of a sanitary sewer system, engineering plans and specifications shall be reviewed and approved by the Rockland County Department of Health prior to construction.

12 We are concerned that the site is being designed in conjunction with the site to the south. Since they are separate parcels, they should be designed independently, and not rely on one another. This is not only true for access, but also for parking of trucks and circulation. For example, trucks can only access the site through the southern parcel, only one area on the southern lot is designated as trailer parking, and a passenger vehicle entrance only is provided on the subject lot, requiring these vehicles to travel to the southern lot to exit. The two sites should either be merged into one lot, or designed as two separate parcels. If they are kept separate, a cross access easement could still be provided, but parking of trucks and circulation should remain independent of each other, as there is no guarantee that the two parcels will remain in the same ownership in the future.

13 A recent site visit confirmed that the southern portion of the subject site, as well as the northern portion of Tax Lot 74.07-1-15.1 are actively being used for truck and trailer storage. Between 40 and 50 trucks and trailers appeared to be parked in this area. As currently designed, the parking area can only accommodate parking for regular sized, passenger vehicles. Since the proposed use is warehousing, parking spaces for tractor trailers must be provided. Past history has confirmed that trailer parking is a necessity for the site. The applicant is proposing an additional 123 spaces over what is required. The parking areas must be redesigned to reduce the number of excess parking spaces, and designate parking spaces for tractor trailers. A parking layout that provides both tractor trailer parking and vehicular parking that meets the site's needs must be provided. Under no circumstances is parking permitted off-site or within the County right-of-way.

14 The landscaping plan indicates there will be plantings where the proposed emergency access is located. There are also plantings along the northern side of the northern parking area and along the southern side of the entrance driveway. Drawing #1 indicates snow storage areas in these locations. The landscaping plan and site plan must be amended so that sufficient plantings, snow storage areas, and emergency access are provided without conflict.

15 A note on the site plan states a three-foot tall wall will be provided along the eastern side of the driveway and parking areas to direct storm plows. A snow storage area is shown to be located beyond this wall. It must be stated how storm plows will access the snow storage area if the wall is placed between the roadway and the storage area. If the wall cannot be removed, another snow storage area must be designated on the site plan.

16 The site plan indicates there will be an access easement on tax lot 74.07-1-15.1 to benefit the subject lot. This easement shall also be recorded in the Map Notes.

155 SOUTH GREENBUSH PROPERTIES (O-1853V)



Douglas J. Schuetz
Acting Commissioner of Planning

cc: Supervisor Teresa Kenny, Orangetown
Rockland County Department of Highways
Rockland County Department of Health
Rockland County Division of Environmental Resources
Rockland County Drainage Agency
New York State Department of Transportation
United States Army Corps of Engineers
Rockland County Office of Fire and Emergency Services

Sparaco & Youngblood, PLLC
Orangeburg Fire Department

**NYS General Municipal Law Section 239 requires a vote of a 'majority plus one' of your agency to act contrary to the above findings. The review undertaken by the Rockland County Planning Department is pursuant to, and follows the mandates of Article 12-B of the New York General Municipal Law. Under Article 12-B the County of Rockland does not render opinions, nor does it make determinations, whether the item reviewed implicates the Religious Land Use and Institutionalized Persons Act. The Rockland County Planning Department defers to the municipality forwarding the item reviewed to render such opinions and make such determinations if appropriate under the circumstances.*

In this respect, municipalities are advised that under the Religious Land Use and Institutionalized Persons Act, the preemptive force of any provision of the Act may be avoided (1) by changing a policy or practice that may result in a substantial burden on religious exercise, (2) by retaining a policy or practice and exempting the substantially burdened religious exercise, (3) by providing exemptions from a policy or practice for applications that substantially burden religious exercise, or (4) by any other means that eliminates the substantial burden.

Proponents of projects are advised to apply for variances, special permits or exceptions, hardship approval or other relief.

Pursuant to New York State General Municipal Law §239-m(6), the referring body shall file a report of final action it has taken with the Rockland County Department of Planning within thirty (30) days after final action. A referring body which acts contrary to a recommendation of modification or disapproval of a proposed action shall set forth the reasons for the contrary action in such report.

Rockland County HEALTH

CENTER FOR ENVIRONMENTAL HEALTH

Dr. Robert L. Yeager Health Center
50 Sanatorium Road, Building D
Pomona, New York 10970
Phone: (845) 364-2608 Fax: (845) 364-2025



EDWIN J. DAY
County Executive

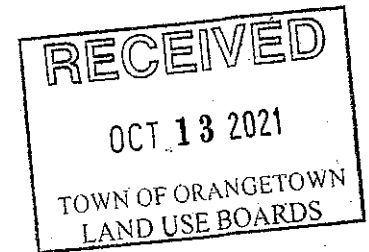
PATRICIA S. RUPPERT, DO, MPH, CPE, DABFM, FAAFP
Commissioner of Health

SAMUEL RULLI, PE
Director, Environmental Health

October 5, 2021

Ms. Cheryl Coopersmith
Town of Orangetown Planning Board
20 Greenbush Road
Orangetown, NY 10962

Re: 125 & 155 South Greenbush Road Warehouse Expansion
Site Plan
Tax Lot 74.07-1-15.1 & 15.2



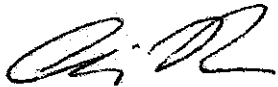
Dear Ms. Coopersmith:

We have received a Site Plan for the above referenced project prepared Sparaco & Youngblood, PLLC revised through September 15, 2021. Comments are as follows:

1. The monitoring well located on the survey, as well as any additional well points that remain open, must be decommissioned immediately in accordance with Article II of the Rockland County Sanitary Code, as a condition of the Resource Evaluation Well permit #RE-17-003 was that the well points were to be removed and sealed within the 8-hour workday. For questions regarding the decommissioning, you can contact James Torres at 845-364-2642.
2. Application is to be made to the RCDOH for review of the system for compliance with the County Mosquito Code.
3. Approval for the water main extension will be needed from this office.

If you have any questions, do not hesitate to contact the undersigned.

Very truly yours,



Elizabeth Mello, P.E.
Senior Public Health Engineer
(845) 364-2616

cc: Sparaco & Youngblood, PLLC
Helen Kenny-Burrows, Rockland County Department of Planning
Jeremy Erlich, RCDOH (via email)
Jim Torres, RCDOH (via email)



Rockland County

Ed Day, Rockland County Executive

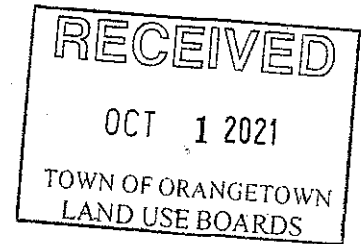
HIGHWAY DEPARTMENT

23 New Hempstead Road
New City, New York 10956
Phone: (845) 638-5060 Fax: (845) 638-5037
Email: highway@co.rockland.ny.us

Charles H. "Skip" Vezzetti
Superintendent of Highways

October 01, 2021

Ms. Cheryl Coopersmith
Chief Clerk Boards and Commission
Planning Board, Town of Orangetown
20 South Greenbush Road
Orangeburg, NY 10962



**RE: Site Plan Review for Warehouse Expansion
125 and 155 South Greenbush in Orangeburg, NY
Tax Lot #74.07-1-15.1 and 15.2; LI Zoning District**

Dear Ms. Coopersmith:

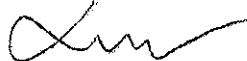
The Rockland County Highway Department (RCHD) was in receipt of the referenced site plans prepared by Sparaco & Youngblood, PLLC., last revised on 09.15.21, together with other information as part of the SEQRA/GML review process. The review has been complete and our comments are as follows:

1. The strip of land between the existing Right of Way (ROW) Line and the Designated Street Line (DSL) along South Greenbush Road shall be gratuitously dedicated to the County of Rockland for inclusion in the highway system.
2. The two parcels are in different tax lot numbers. Therefore, the proposed access easement shall be prepared and recorded in the Rockland County Clerk Office to have access within these two parcels.
3. Since the new developments are expected to generate more truck traffic in the area, it would be a good opportunity for the applicant to consider reconfiguring the intersection of Mountainview Avenue, South Greenbush Road, and the existing south end driveway for safe operation of truck traffic and private vehicles.
4. Two existing driveways for the parcel #74.07-1-15.1 (125 Greenbush Road) appear to be inadequate for movements of large truck traffic. The driveways shall be re-configured and designed to accommodate larger truck traffic in and out of the above properties safely.

5. The two-way driveway in the middle of the above properties shall be re-configured as nearly perpendicular to S Greenbush Road (Public Road) as possible for better sight distances and turning movements.
6. The driveway serving larger vehicles shall accommodate the vehicle turning paths by connecting the driveway edges to the nearest roadway travel lane edge by appropriate curves. The existing and proposed driveways in the sites may be required larger radii to accommodate larger design vehicles.
7. The applicant shall have to verify the available sight distances at the proposed driveways.
8. Traffic control signs shall be required at the driveways.
9. Drainage reports shall be prepared and submitted to this department for the proposed developments. The applicant will have to make sure that the proposed drainage system for the warehouses satisfies the drainage requirement of no net increase in the peak rate of discharge from the site at all design points.
10. The proposed infiltration and detention ponds shall be placed as much as away from the public road or off the clear zone for traffic and pedestrian safety reasons, and future road improvements.
11. A road work permit shall be obtained from the Rockland County Highway Department prior to starting any construction activities in the property.

We appreciate you for the opportunity to review the site plans. Please feel free to contact us at 845-638-5060 with any question or concern you may have regarding this matter.

Thank you.



Dyan Rajasingham
Engineer III

CC: Rockland County Department of Planning
Sparaco & Youngblood, PLLC. – Civil Engineers and Land Surveyors

**DRAINAGE AGENCY
DIVISION OF THE HIGHWAY DEPARTMENT**

23 New Hempstead Road
New City, New York 10956
Phone: (845) 638-5081

Fax: (845) 708-7116

Email: highway@co.rockland.ny.us

Charles H. "Skip" Vezzetti
*Superintendent of Highways
Chairman, Drainage Agency*

Vincent Altieri
Executive Director

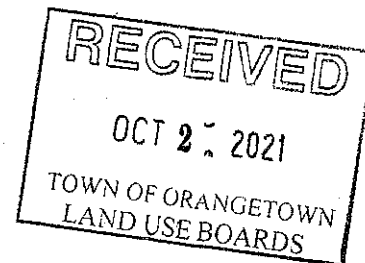
Via e-mail: ccoopersmith@orangetown.com

March 19, 2019

Planning Board
Town of Orangetown
20 Greenbush Road
Orangeburg, NY 10962

Attn.: Cheryl Coopersmith

Re: 155 Greenbush Properties-New Warehouse
155 S. Greenbush Road, Orangeburg
Section 74.07, Block 1, Lot 15.2
Tax Map: Town of Orangetown



Dear Mrs. Coopersmith,

The Rockland County Drainage Agency ("RCDA") has reviewed the above-referenced proposal included with the referral as prepared by: Sparaco & Youngblood, PLLC, dated/last revised November 28, 2018.

Based upon the RCDA's evaluation of available mapping and the information submitted, it has been determined that the proposed project is outside the jurisdiction of the RCDA. Therefore, a permit from the RCDA pursuant to Chapter 846, Rockland County Stream Control Act, is not required. The review and approval of proposals for this site, including stormwater management and erosion controls design, are appear to be within the jurisdiction of the appropriate local municipal land use board(s) and departments. However, the RCDA has concerns about the potential impact of the project as currently proposed.

Therefore, as an interested and involved agency pursuant to SEQRA, the RCDA offers the following comment(s) regarding the above referenced proposal based on the information submitted:

- The RCDA has concerns with respect to the potential increase in stormwater discharge and/or reduction in onsite floodwater storage that may impact the floodplain areas of County Regulated Streams and/or decrease in groundwater recharge, as a consequence of the proposed development. Therefore, as an interested and involved agency pursuant to SEQRA, please have the applicant provide the RCDA with project drawings and stormwater management calculations for our review and comments.

Pursuant to SEQRA, the RCDA is requesting the lead agency to ensure that the applicant has fully addressed the comment(s) indicated above prior to granting final approval for this proposal.

By copy of this letter, the RCDA is hereby notifying the municipal land use boards and departments that a permit from the RCDA, pursuant to Rockland County Stream Control Act, Chapter 846, is not required for developments at the above-referenced site. However, as an interested and involved agency pursuant to SEQRA, the RCDA has specific comment(s) about the proposed development. The RCDA recommend that any future decisions or determinations made by the municipal land use boards and/or departments regarding this site development shall ensure that all SEQRA comment(s) are addressed and the proposal will not result any increase in stormwater runoff from the site or reduction in flood storage capacity of the site.

The Rockland County Drainage Agency ("RCDA") does not object to the Planning Board assuming responsibilities of lead agency for SEQRA purposes in the above-referenced matter.

Please contact Shajan S. Thottakara, P.E., CFM, at (845) 638-5081 or by email: thottaks@co.rockland.ny.us, if you have any questions regarding this matter.

Very truly yours,



Vincent Altieri
Rockland County Drainage Agency

c: Building Department Town of Orangetown
Zoning Board of Appeals Town of Orangetown
Rockland County Highway Department
Donald Brenner Property owner/Representative
Rockland County Planning Department
Shajan S. Thottakara, P.E., CFM

OBZPAE@orantown.com
darbolino@orantown.com
(by e-mail)
brennerlaw@optimum.net

(File: 19 OGR 18)

DRAINAGE AGENCY
DIVISION OF THE HIGHWAY DEPARTMENT

23 New Hempstead Road
New City, New York 10956

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Charles H. "Skip" Vezzetti

Superintendent of Highways

Chairman, Drainage Agency

Vincent Altieri

Executive Director

Via e-mail: ccoopersmith@orangetown.com

March 19, 2019

Planning Board

Town of Orangetown

20 Greenbush Road

Orangeburg, NY 10962

Attn.: Cheryl Coopersmith

Re: 155 Greenbush Properties-New Warehouse

155 S. Greenbush Road, Orangeburg

Section 74.07, Block 1, Lot 15.2

Tax Map: Town of Orangetown



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Please contact Shajan S. Thottakara, P.E., CFM, at (845) 638-5081 or by email: thottaks@co.rockland.ny.us, if you have any questions regarding this matter.

Very truly yours,



Vincent Altieri
Rockland County Drainage Agency

- c: Building Department Town of Orangetown
- Zoning Board of Appeals Town of Orangetown
- Rockland County Highway Department
- Donald Brenner Property owner/Representative
- Rockland County Planning Department
- Shajan S. Thottakara, P.E., CFM

OBZPAE@orantown.com
darbolino@orantown.com
 (by e-mail)
brennerlaw@optimum.net

(File: 19 OGR 18)

Cheryl Coopersmith

O+R

155

From: Gaddi, Alfred <GaddiA@oru.com>
Sent: Thursday, September 23, 2021 3:08 PM
To: Cheryl Coopersmith
Cc: DiMeo, Debra; Turanchik, Michael J.
Subject: RE: <External Sender> Orangetown Referral for October 27, 2021 Meeting- 155 South Greenbush Road Site Plan
Attachments: 74.07-1-15.2 155 Greenbush 10-27-21 plan.pdf; 74.07-1-15.1 & 15.2 Orangetown Referral 10-27-21 mtg.pdf

[External Email]

Hi Cheryl,

Based on our maps, O&R has a gas service feeding the building and the proposed work may affect the existing service. O&R's new business must be contacted for any service termination and reconnects. All code 753 rules must be followed.

Thanks,

Alfred Gaddi, PE
Principal Engineer
Orange and Rockland Utilities, Inc.
390 W. Route 59
Spring Valley, NY 10977
845-577-3235 (office)
845-554-4986 (cell)
845-577-3255 (fax)



From: Cheryl Coopersmith <CCoopersmith@orangetown.com>
Sent: Thursday, September 23, 2021 11:06 AM
To: Allison Kardon <akardon@orangetown.com>; Yannazzone, Michael (Orangetown HWY Dept) <Myannazzone@orangetown.com>; David Majewski <dmajewski@orangetown.com>; Aric Gorton <agorton@orangetown.com>; Ken DeGennaro <kdegennaro@brookerengineering.com>; dec.sm.DEP.R3 <DEP.R3@dec.ny.gov>; Brenner, Jason (DOT) <Jason.Brenner@dot.ny.gov>; Ryan, Alexandra R (Alex) CIV USARMY CENAN (USA) <Alexandra.Ryan@usace.army.mil>; Gaddi, Alfred <GaddiA@oru.com>; Prehoda, William <william.prehoda@suez.com>
Subject: <External Sender> Orangetown Referral for October 27, 2021 Meeting- 155 South Greenbush Road Site Plan

CAUTION! EXTERNAL SENDER

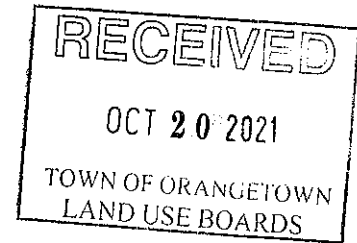
STOP WHEN UNSURE. Never click on links or open attachments if sender is unknown, and never provide password. Suspicious? Use the Phish Reporter (for mobile phones, forward message to Email Security).

Orangetown Referral for 155 South Greenbush Road, please review for October 27th meeting.
Thank you



Environmental, Planning, and Engineering Consultants

34 South Broadway
Suite 300
White Plains, NY 10601
tel: 914 949-7336
fax: 914 949-7559
www.akrf.com



Memorandum

To: Town of Orangetown Planning Board
From: Marissa Tarallo, PE, PTOE and Elaine Du; AKRF
Date: October 19, 2021
Re: 125 and 155 Greenbush Road – Traffic Impact Study Review
cc: Anthony Russo; AKRF

AKRF reviewed the Response to Comment memorandum prepared by Colliers Engineering (formerly known as Maser) dated September 1, 2021 and associated material as well as the site plans prepared by Sparaco & Youngblood, PLLC revised September 15, 2021.

Based on our review, the Consultant has sufficiently addressed AKRF's comments on the No Build Condition, traffic capacity analysis, and crash analysis.

AKRF provides the following additional comments to be addressed by the Consultant.

NO BUILD CONDITION

In AKRF's comment memo dated February 26, 2021, AKRF commented on the background growth rate, No Build projects, and the inclusion of the 20,000 sf office in the No Build Condition analysis. The No Build Condition was revised to reflect a revised background growth rate to be consistent with nearby approved projects. Additionally, the Consultant included the appropriate No Build projects and removed the unoccupied office space from the No Build Condition analysis. AKRF has no further comments on the No Build Condition.

TRIP GENERATION

The detailed information provided by the Consultant on the tenants, the operation of the existing warehouse, and the use of the warehouse expansion to serve existing and new tenants with similar operations indicate that use of Land Use Code 150 is appropriate. However, the use of Land Use Code 156 – High-Cube Parcel Hub Warehouse would provide a more conservative trip generation estimate.

PARKING

The Consultant states that truck parking would not be provided, and that trailers would be stored at the loading docks.

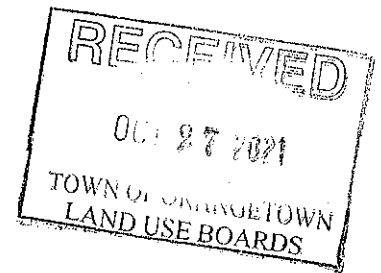
According to the *ITE Parking Generation Manual, 5th Edition*, the average truck parking demand for Land Use 150 – Warehousing is 0.11 truck parking spaces per 1,000 gross floor area of warehouse, resulting in a parking demand of 46 spaces for 125 Greenbush Road and 14 spaces for 155 Greenbush Road.

1. The Consultant should clarify the number of loading docks available at each site and compare the number of loading docks to the truck parking demand.
2. The Applicant should consider adding truck parking at both the 125 Greenbush Road and 155 Greenbush Road sites.

Sparkill Creek Watershed Alliance

October 27, 2021

Cheryl Coopersmith
Planning Board
Town of Orangetown



Via email CCoopersmith@orangetown.com

Re: Planning Board PB 19-17 and 19-18 - 125/155 S. Greenbush Rd. Site Plans

Dear Ms. Coopersmith

Please advise the Board of these comments and add to the public record.

The Sparkill Creek Watershed Alliance shares with the Board the goal of protecting and preserving the health of the Sparkill Creek. Specifically, we believe the Board should carefully consider the need for protective stormwater controls when reviewing this project tonight and in future meetings on this project.

Stormwater has been one of the most damaging forces that our streams experience, but fortunately today its effects may be mitigated to a large degree by green infrastructure practices detailed in the NY State Stormwater Management Design Manual. These practices are designed to help both with stormwater damage and flooding. The proximity of this project to the Sparkill Creek means that applying only minimal controls will not be enough.

This site is immediately upstream of one of the worst flood zones on the Sparkill. The area around Rt. 303 at Mountain View Ave. has flooded twice this year already. It is clear that in the future stronger storms are likely. For example, in the 36 hours prior to this writing a more or less unremarkable storm dropped 7 inches of rain in Tappan.

The Board will remember the 2006 HDR/LMS Drainage Study of the Sparkill that proposed a detention basin on this Greenbush site to mitigate downstream flooding resulting from a 100-year storm with 7.5" of rain in 24 hours. Building on this unique site today will eliminate this option and could potentially make matters worse. However, there is still an opportunity to install protective measures into the current development. The Board should consider the needs of the area, not the absolute minimum requirements that might apply at a less sensitive site.

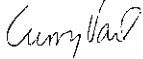
- This is a new development not a redevelopment. The lesser requirements for redevelopment should not apply.

"The Sparkill Creek Watershed Alliance is a community action group committed to promoting environmental awareness, partnerships, and practices that restore and preserve the health of the Sparkill Creek – from its headwaters on Clausland Mountain to its confluence with the Hudson River at the Piermont Marsh."

Sparkill Creek Watershed Alliance

- At a minimum, the most recent climate data should be used in calculations; use of data showing increased future rainfall would be even more appropriate.
- Proposals for infiltration of stormwater into the ground are laudable. The Board should insure that these practices are adequate and that they are indeed carried out and not modified later in the design or construction process.
- Detention/Infiltration should guard against more than typical storms. A system that fails every three years is not adequate. The Board should push for the maximum possible stormwater retention. 10-year storm protection would not be unreasonable considering the large added impervious surface.
- This project discharges directly into the Sparkill Creek. In addition to volume considerations the channel should be protected from erosive velocity of stormwater. Downstream effects of stormwater should be mitigated.

Sincerely,



Larry Vail

Tappan

"The Sparkill Creek Watershed Alliance is a community action group committed to promoting environmental awareness, partnerships, and practices that restore and preserve the health of the Sparkill Creek – from its headwaters on Clausland Mountain to its confluence with the Hudson River at the Piermont Marsh."

Cheryl Coopersmith

RECEIVED
OCT 27 2021
TOWN OF ORANGETOWN
LAND USE BOARDS

From: Elizabeth Dudley <cuponrep@gmail.com>
Sent: Wednesday, October 27, 2021 11:18 AM
To: Cheryl Coopersmith; Jane Slavin; Nlynady@orangeburgfd.org; Brenner, Jason (DOT);
Orangetown Highway; Orangetown PD; Highway; Pbyrne@orangeburgfd.org
Cc: JPOH; Hamlets of Orangetown; Teresa Kenny; lrinchiera@yahoo.com; drinchiera1@gmail.com; artzee060@aol.com; margieatwin@optimum.net; Kermecarbone@gmail.com; Vanessa Lapins; Eric Bosley; Dreer7@aol.com; Maxim1012@gmail.com; Rcaniza2000@yahoo.com; agnesalva1124@gmail.com; santandreu@aol.com; lupicrew5@gmail.com; dud7156@aol.com; Lawrence Vail; Jen Epstein; Allyson Sullivan; Kathleen Sullivan; robin@foleysignshop.com; Steven M. Mogel; mholloway@sullivancountylawyers.com; jwhooker@gmail.com; suefrosch@gmail.com
Subject: 125 & 155 S. Greenbush Rd MEGA Warehouse on Planning Board Weds. Oct 27th

RECEIVED
OCT 27 2021
TOWN OF ORANGETOWN
LAND USE BOARDS

[External Email]

Please share this email with the Planning Board for tonight's meeting and include it on the official record for this project.

I would like to first address the lack of notification for this project being presented to the Planning Board on October 27th. It was added to the Planning Board Agenda with less than 7 days before the meeting. This leaves neighbors with less than a week to gather important project information, review and decide if we need to consult representation. Of those 7 days, 2 were weekend days which meant going to the Building Dept to FOIL in person was inaccessible. Most neighbors are working traditional hours which adds to the complexity of gathering information. We are disheartened with the lack of community notification for a project that will forever change the landscape of our town.

We would like to share with the Board and Town Officials our concerns regarding this project listed below. We have done our best to review and interpret this very complex project.

Definition of a **MEGA WAREHOUSE**: Is a very large building, typically over 200,000 square feet, designed for major regional distribution and storage centers. This project totals approx. 554,000 square feet, 19.4 million cubic square feet.

TRAFFIC STUDY AND RELATED ISSUES

1. Per AKRF reviews, dated Sept 10 and Oct 19, 2021, of the Maser traffic study: "Land USE CODE 156 - High Cube Parcel Hub Warehouse would generate significantly more traffic than Code 150 - Warehouse." The developer stated in their own words at the first Planning Board meeting, to paraphrase - "the 40ft high walls are necessary to facilitate the modern automatic lifts that high volume, high cube warehousing requires". Now they are stating they do not know for sure who their tenants will be but they would "prefer" they use Code 150. There is no possible guarantee from them. We have not seen traffic numbers on Code 156 trip generations. There is a higher demand for 156 warehousing than 150 as there is ample 150 type warehousing available in the corridor. This would lead us to believe that they would lease to the highest bidder which would create the most truck traffic.

2. Per AKRF review dated Sept 10 of Maser traffic study - Maser "Although [Maser] ...concludes that trip generation is less than the ITE trip generation assumptions... The data presented is inconsistent with the counts provided in the Appendix." We have not seen a reply to this comment and this is exactly a reason why an independent study was called for.
3. The original Maser Traffic Study (pg9) stated: "Capacity analysis conducted at this intersection [Rt303 and Mountainview Ave] utilizing the Year 2019 Existing Traffic Volumes indicates ... an overall Level of Service "D"..." "A" being the best, "D" being near the worst. But they state they expect no added traffic in 2023 - with more than double the square footage and triple the cubic feet along with automated lift systems and dozens more loading bays? How does this make sense? Another reason this developer-commissioned study is flawed due to the continued anonymity of the prospective tenant and absence of details on intended use. Thus, one must calculate traffic at the highest allowable volumes which was not done.
4. Why was AKRF hired to do a review of the developer's traffic study and we didn't have an independent traffic study done? This was voted on at the Planning Board meeting and decided democratically. Why was this switch made, why wasn't it made public at a meeting concerning this development? A vote to require an independent study seems to have been overridden at the 07/22/2020 planning board meeting without informing the public in advance, so there was no one available to comment. Reasoning provided was that traffic was down due to the pandemic as if the only flaw was counting existing cars and trucks rather than calculate new flow based on intended use. The developers themselves have admitted to flawed equipment and no one has seen the data set that supports their statements of 'no impact'.
5. Amazon has been approved in Bradley Park, Blauvelt for an expanding distribution center, ultimately adding 700-800 Sprinter Vans and the accompanying 18-wheeler delivery trucks to its new hub. This was dismissed as immaterial by the Planning Board on 07/22/2020 based on no facts & data.

SEQR DECLARATION

1. We believe this project should be declared a "Type 1" under SEQR and issue a positive declaration ("pos dec"), upon the basis that the development is likely to have a significant adverse environmental impact in several areas, including traffic ("Impact on Transportation"), and noise ("Impact on Noise, Odor, and Light").

SUPPORTING DATA FOR DECLARATION OF "TYPE 1" ENVIRONMENTAL:

1. Split SEQRA Report: New York's State Environmental Quality Review Act (SEQRA) requires all state and local government agencies to consider environmental impacts equally with social and economic factors during discretionary decision-making. At last review of the file, only one report for 125 S Greenbush, short form can be found. It appears to be intentionally split up, gaming the system, so the owner/developer can get a Building Permit without a proper SEQRA including the future use. This is a concern not just for us immediate neighbors, but for the town, county and state's interests in general. This should be one report, in long form.
2. The property is adjacent to the Sparkill Creek and is part of the watershed which is of environmental significance and is a tributary to the Hudson River.
3. We require a meaningful plan to clean all water on the property. Neighboring houses use well water. Testing is already done regularly due to local contamination.
4. Sparkill Creek is already cited as the most polluted tributary of the Hudson river (<https://www.lohud.com/story/opinion/2019/05/08/sparkill-creek-pollution/3576851002/>) . This will just make matters worse.

5. The Developer has incorrectly mapped existing wetlands. Aerial photos and video demonstrate this. The engineer stated that these wetlands were more "plant based". They are not and they are there because the water coming out of all the mountain springs and mountain runoff does not percolate. There's a lot of standing water in open space. The water eventually makes its way around the property from north to east to south and then back west into a culvert and into the storm drains at the southwest end of 125 and empty into the Sparkill Creek. When the 155 wetlands flood, they flood into the open space and the existing flora soaks it up. They need to map these wetlands properly and ensure they're not disturbed.
 - a. The Army Corp of Engineers has jurisdiction and the agency does not appear to have been notified, per County Planning's comments.
 - b. Air-pollution is a major concern for the neighboring community and the adjacent farm. 24x7 traffic with accompanied idling is inappropriate for a residential, agricultural and natural area. Note that both Linen Choice and Amazon have opted to enclose their loading docks. LI use regulations **do not allow for outdoor berths** unless by special permission. Keep in mind the location is a valley which further concentrates air pollution.
 - c. Wildfire: This site is serviced by our local volunteer fire department which is inadequate to deal with a fire at a site of this magnitude. There could be catastrophic impact to the residential neighborhood and Clausland mountain.

FIRE SAFETY:

1. Per Orangetown Fire, 3/11/19 - "5. Show drive around access for Orangeburg Ladder truck."There is none, they are relying on the country road for West side access but there will be a tree buffer and 100ft + between the truck and the buildings at 125/155 S. Greenbush Rd.
2. There is still a driveway across from a residence and a major cut in the screen/buffer to residential homes at 155, along with unnecessary parking in that side yard etc. The trees on the plan slated to remain in that corner are also in the soil stockpile. Those trees are critical to the residential buffer, fencing needed to be in place.

INTERSECTION AT S. GREENBUSH RD/MOUNTAINVIEW AVE & ROUTE 303:

1. Today, this intersection does not accommodate 18 wheelers turning into 303 without endangering motorists and would have to be completely redesigned and rebuilt at great cost to taxpayers. It is not possible for an 18-wheeler to turn north on Route 303 without crossing the yellow line and interfering with oncoming traffic. Additionally, because of the turning of trucks onto the sidewalk, it has crumbled and become a hazard for walkers.
2. A new project proposal has been submitted for a warehouse at 13 & 21 Mountainview Ave. This project consists of a 175,760 square foot warehouse with 29 loading stalls, 24 storage stalls, 180 parking stalls, 2 drive-in doors, 4 box truck stalls. Both warehouses will use the same troubled intersection.
3. It is important to note that South Greenbush Rd has been designated safe passage by the town and the state for cyclists and walkers. Our town received state funds to build a path to connect N. Greenbush Rd to S. Greenbush Rd. Adding more truck traffic, when there has been considerable investment in bike routes, is ill advised. Furthermore, this road is curved and not wide enough to accommodate an 18-wheeler without crossing the yellow line into oncoming traffic. Community members spent approximately 4 years working with the County, the Town and the existing businesses to reduce truck traffic. As part of this project we would like to formally request automated enforcement of trucking routes.

4. Finally, truck traffic is often directed over Clausland Mountain Rd. by Google and other mapping applications creating a hazard to pedestrians, bikers, motorists and homeowners in the area. More than one truck has run off the road into private property.

PROPOSED NORTH ENTRANCE/SCREENING/BUFFER TO RESIDENTIAL

1. No entrance to property zoned nonresidential is permitted through property zoned for residential uses. The north entrance violates this law. (Zoning code: chapter 43 point 1.3). Additionally, the new north entrance constitutes a large void in the screening, making it ineffective between the residential and commercial zones, violating Bulk Table Note 13. We believe you are not allowed to put a new commercial entrance across the street from an existing residential zone/residences per code. We don't want trucks using this part of the residential street and it seems the developer expressed that as well. However, the board admitted no jurisdiction to enforce that and the developer admitted no known use or tenant. That means this entrance can be used for trucks and trailer storage the way the current property is in use.
2. Developers should reduce scope and add proper screening, drainage, and a fire lane / access road on the west side of the property itself - not using S Greenbush for the fire lane - that would eliminate the need for a new northern entrance. Fire comments from the last meeting say "5.Show drive around access for Orangeburg Ladder truck." As proposed there are areas of the building where no vehicle could get within 132 ft according to scale at 155 S Greenbush and that's with a tree buffer and a retention pond in the way. Even further at 125. The reason they don't have a fire lane is because it seems they plan to use the county road S Greenbush for fire and internal operations as they currently do – which this board admitted no jurisdiction over.
3. Currently, the majority of the warehouse is serving on-demand manufacturing needs of the southern neighbor, NicePak. They have this mini truck [legal for street driving?] that picks up a trailer on one end, drives out onto S Greenbush, brings it up to the other side and dumps it there for storage, then picks up another trailer to bring back to the south side or NicePak and repeat 24 hours a day, 7 days a week. They have to operate like this because they have no front fire lane or internal access road and the rear fire lane seems designed for trailer storage.
 - a. Developer has proposed to stockpile soil in the only area where trees are to remain which is also in the residential buffer (northwest corner 155). -It's abutting residential and they're asking for a 12,200 sqft side yard parking exception abutting residential. Approximately 250Inft of retaining wall in the required 100 ft residential buffer.

ZONING ISSUES:

1. Zoning variance for the total side yard would effectively re-zone this as one large LI lot and it is purposefully not zoned that way to avoid this size industrial complex. All drainage systems, parking, access, utilities, etc... should be kept separate and in compliance with existing side yard rules for this zone. See County Drainage comments re intertwined drainage systems.
2. LI use regulations **do not allow for outdoor berths** unless by special permission. Keep in mind the location is a valley which further concentrates air pollution.
3. Zoning regulations prohibit trucking of any kind between the hours of 11:00pm and 6:00am without special ZBA permission. Unfortunately trucks come and go today at all hours and efforts by Jane Slavin to notify the OPD have gone unresolved. Clearly we do not have the manpower or technology to watch this site 24/7.

4. No entrance to property zoned nonresidential is permitted through property zoned for residential uses. The north entrance violates this law. (Zoning code: chapter 43 point 1.3)

PARKING

1. The parking calculations presented on the site plans indicate that at the 125 Greenbush Road site 1,384 parking spaces are required and 455 parking spaces are provided, and at the 155 Greenbush Road site 421 parking spaces are required and 148 parking spaces are provided. In total, 1,805 parking spaces should be added while the project only provides for 603. This results in a total shortfall of 1,202 parking spaces, for which a variance is required. In addition, as noted by the Rockland County Department of Planning, all of the proposed parking is currently delineated for passenger cars with no parking spaces dedicated to truck or trailer storage. There will be an inherent imbalance should future use require new cars.

MISC

1. West Side: -Lot line on plans is wrong. If this is a secondary street, the lot line should be 35 ft from the centerline of the road since it is a district boundary - article 5.111 for lot lines at streets that divide residential from LI. The detention basin appears to be over the lot line and doesn't have a 25ft buffer as required. They used the wrong rain rate per hour, 2.5" per hour, it's gone up to 2.9 and given the comments in the federal climate assessment that is only going to continue to climb. It seems they haven't done extensive soil testing, as the engineer claimed in the last meeting. I've seen no test pits dug.
2. Established Trail/Right of way: There exists an established trail/ public right of way in use continuously by the public for decades to access public parkland. It was clearly in use when the current owners obtained this land. It would appear they're relying on the access to the park at the southern border to remove this right of way, but as RC planning notes, they regularly block that access and there is no established trail there. There is a right of way in place at the northern district border for the driveway to a residence, the 100ft buffer should start from the edge of this right of way, not the lot line.

From the length of this email and countless issues we have highlighted with this project we hope the Planning Board carefully reviews and supports the community neighbors in protecting our quality of life.

Respectfully,

CUPON Hamlets of Orangetown (Citizens United to Protect our Neighborhood) Liz Dudley & Vanessa Lapins
Town of Orangetown Community & Neighbors

CC:

Jason Brenner, NYSDOT
Cheryl Coopersmith, Planning Board
Jane Slavin, Director of the Office of Building, Zoning, Administration and Enforcement
Teresa Kenny, Town Supervisor
County and Town Highway Departments
Chief Neil Lynady, Chief of Orangeburg Fire Department
Chief Butterworth, Chief of Police

Larry Vail, Sparkill Creek Watershed Alliance
Jennifer Epstein, RIVERKEEPER
Steven N. Mogel, Attorney at Law



BROOKER ENGINEERING PLLC

NY OFFICE
74 Lafayette Avenue, Suite 501 845.357.4411 Tel
Suffern, NY 10901 845.357.1896 Fax

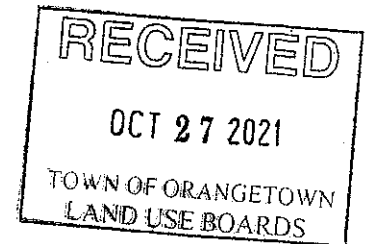
NJ OFFICE
22 Paris Avenue, Suite 105 201.750.3527 Tel
Rockleigh, NJ 07647

October 24, 2021

Town of Orangetown Planning Board
20 Greenbush Road
Orangeburg, New York 10962

Attn: Cheryl Coopersmith, Chief Clerk

Re: 155 South Greenbush Road Site Plan
125 South Greenbush Road Site Plan
Planning Board Drainage Review (for October 25, 2021 Planning Board meeting)
BBE #OTN0125



Dear Ms. Coopersmith:

As the drainage consultant for the Town of Orangetown Planning Board, we have prepared the following report in support of the 155 and 125 South Greenbush Road Site Plan applications to the Town of Orangetown Planning Board:

Information Reviewed

1. Site Plans 125 Greenbush Properties, Drawings 1-13, prepared by Sparaco & Youngblood, last revised 09/15/2021, signed and sealed by Steven Michael Sparaco, PE
2. Site Plans 155 Greenbush Properties, Drawings 1-13, prepared by Sparaco & Youngblood, last revised 09/15/2021, signed and sealed by Steven Michael Sparaco, PE
3. Drainage Analysis, prepared by Sparaco & Youngblood, PLLC, dated February 20, 2019, signed by Steve Sparaco, PE (same as previous submissions)

Project Description

This is our third drainage review report for these projects; our last review was dated September 25, 2019. The drainage analysis has been combined for both parcels at 125 and 155 South Greenbush Road since the hydrologic Points of Interest overlap. This is an acceptable methodology; therefore, we have combined the drainage review into one report.

The sites are located along the east side of South Greenbush Road just east of Mountainview Avenue. The parcel for 155 South Greenbush Road is located north (uphill) of the 125 Greenbush Road site. The drainage analysis is divided into three hydrologic Points of Interest. Point of Interest 1 is located at the southeast corner of the 125 lot and receives stormwater runoff from Clausland Mountain (to the east) that is conveyed to an on-site wetland and flows south. Point of Interest 2 is the existing twin 48-inch RCP pipes that are conveyed under South Greenbush Road along the western portion of the site. The subareas contributing to this location contain the majority of the redeveloped areas. Point of Interest 3 is a small portion at the southwest corner of the 125 lot. The drainage area contributing stormwater runoff to this location is reduced for proposed conditions and no impervious area is added.

A drainage report has been provided that incorporates the hydrologic impacts of both Site Plan applications. A detailed breakdown of subareas is provided, including off site areas that flow through the site. The subareas accurately depict the areas that are diverted to the detention basins and the areas that bypass the basins. Large directly connected impervious areas are included as further subareas within the analysis, which improves the accuracy of the model. Two at-grade level stormwater management basins are provided and two sets of underground detention systems are provided to mitigate against increases in stormwater runoff due to the new impervious areas.

Please note that no new stormwater management calculations or SWPPP report has been provided for this submission. No narrative response from our previous report has been provided for this submission.

Project Comments

1. As per our March 13, 2019 and September 25, 2019 drainage review reports, correct the discrepancy between the supporting calculations for pond volume versus elevation for subareas 13 and 15 (the subareas for the 125 building expansion) between the calculations and the HEC-1 model.
2. As per our March 13, 2019 and September 25, 2019 drainage review reports, provide supporting calculations for pond volume versus elevation for subareas 9 and 9A (building 155).
3. As per our March 13, 2019 and September 25, 2019 drainage review reports, verify the leader label for Subarea Site-15 in the Developed Conditions Drainage Map.
4. As per our March 13, 2019 and September 25, 2019 drainage review reports, add the hydrograph combination names in the HEC-1 model to the Drainage Maps.
5. As per our March 13, 2019 and September 25, 2019 drainage review reports, show the 100-year water surface elevation and outlet information on the sections through the stormwater management basins.
6. As per our March 13, 2019 and September 25, 2019 drainage review reports, show sections and plan views with elevation information for each of the underground detention basins.
7. As per our March 13, 2019 and September 25, 2019 drainage review reports, show footing drains for Building 155.
8. As per our March 13, 2019 and September 25, 2019 drainage review reports, demonstrate no increase in peak stormwater runoff rates will occur at the 18 inch CMP pipe crossing South Greenbush Road along the west side of the parcel, near the southwest corner of the proposed detention basin.
9. Show the 100-year floodplain of the Sparkill Creek on the west side of Greenbush Road and evaluate the proposed system for potential surcharges of the system from the Sparkill Creek.
10. During our site visit after a heavy rainstorm, we observed heavy stormwater/groundwater sheet flow across the existing pavement on the south side of 155 South Greenbush Road parcel from the open area/wetlands at the base of the Clausland Mountain steep slope. This stormwater was flowing south toward the 125 South Greenbush Road parking lot and intercepted by the existing storm drainage system. There is a map note on the site plan, "Proposed 3' high min. solid wall to direct storm flows in natural patterns. To be designed by others. Wall to match existing grade." The SWPPP shall examine the natural stormwater pattern in detail and ensure it is maintained. This would include detailed design for the proposed swale on the north side of 155 South Greenbush Road.

Drainage Review Recommendation

The proposed action demonstrates potential significant adverse impacts with respect to drainage can be mitigated. We therefore recommend that the 125 South Greenbush Road and 155 South Greenbush Road Site Plans be approved for drainage subject to the above project comments.

Very truly yours,



BROOKER ENGINEERING, P.L.L.C.

Kenneth DeGennaro, P.E.





Planning Board Review Summary

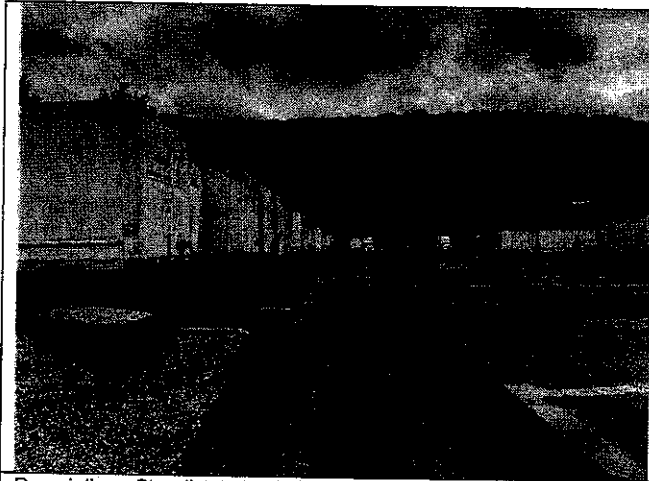
Job Name 125 Greenbush Properties 155 Greenbush Properties	Owner	Address 125 So. Greenbush Rd 155 So. Greenbush Rd	Tax Lot Number 74.07-1- 15.1&15.2
Job Description: Add new 128,000 SF warehouse (#155) and 147,000 SF warehouse expansion (#125), with associated parking, drainage, and site improvements.		Planning Board No. N/A	BBE Number OTN0125

Date of:				Drainage:		
PB meeting	Site Plans	Drainage Calcs.	BBE Review Letter	Approved	Not Approved	Approved w/ Conditions
03/13/2019	11/28/2018	02/20/2019	03/13/2019			X
09/25/2019	07/30/2019	02/20/2019	09/25/2019			X
10/26/2021	09/15/2021	02/20/2019	10/24/2021			X

Construction Data	
Area of Disturbance:	7 acres
Erosion Control Plan Required:	Yes
SWPPP Required:	Yes
Post Construction Stormwater Quantity Required:	Yes
Post Construction Stormwater Quality Required:	Yes
Description of Required Stormwater Management:	Two open stormwater management basins

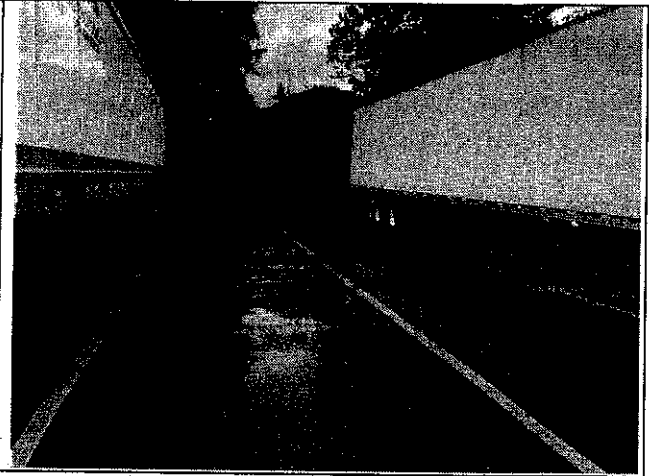
Photographs

	
Description: Standing north of existing building to be removed on #125, looking south at area of new building expansion. Date: 10/26/2021	Description: Standing on the west side of #125, looking southwest at area for stormwater management basin. Date: 10/26/2021
	
Description: Standing along the west side of South Greenbush Road, looking west at the area of the drainage culvert outlet to the Sparkill Creek. Date: 10/26/2021	Description: Standing along the south side of #155, looking north at the area of the proposed stormwater management basin. Date: 10/26/2021



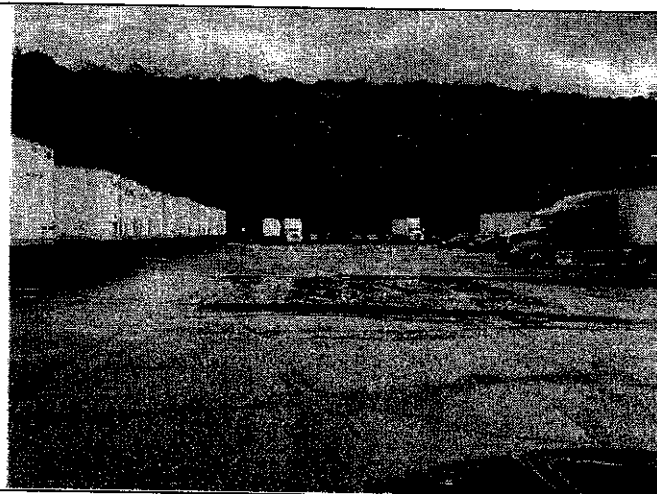
Description: Standing at existing parking area between #155 & #125, looking east at groundwater/surface water sheet flow travelling south from #155.

Date: 10/26/2021



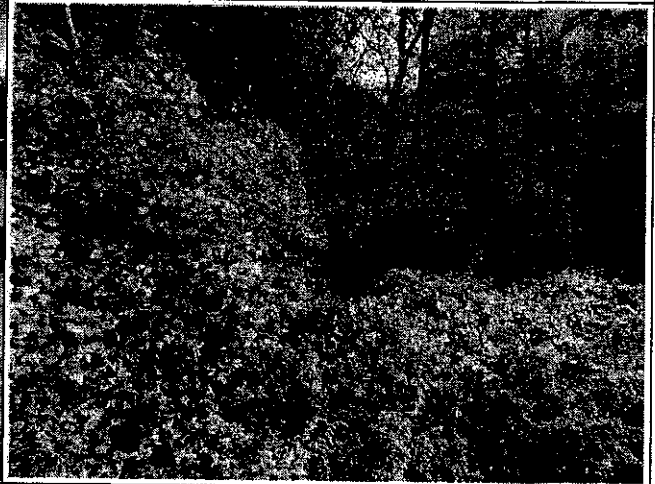
Description: Standing at existing parking area between #155 & #125, looking north at sheet flow entering the site.

Date: 10/26/2021



Description: Standing at existing parking area between #155 & #125, looking east at Clausland Mountain.

Date: 10/26/2021



Description: Standing northern edge of existing pavement on #155, looking north at area of proposed building.

Date: 10/26/2021

**Planning Board Meeting of October 27, 2021
Town of Orangetown**

Project: 125 South Greenbush Properties Site Plan and 155 South Greenbush Site Plan

Location: The sites are located at 125 and 155 South Greenbush Road, Orangeburg, Town of Orangetown, Rockland County, New York, and as shown on the Orangetown Tax Map as Section 74.07, Block 1, Lot 15.1 & 15.2 in the LI zoning district.

Please review the information enclosed and provide comments. These comments may be mailed, e-mailed or faxed to the Planning Board Office.

If your agency does not have any comments at this time, please respond to this office by sending back this sheet.

- U.S. Postal: 20 South Greenbush Road, Orangeburg, New York 10962
- Email to Planning Board at ccoopersmith@orangetown.com, or
- Fax to the Town of Orangetown Planning Board @845 359-8526

- Comments Attached (or to be provided prior to Meeting date noted above)
- No Comments at this time. Please send future correspondence for review.
- No future correspondence for this site should be sent to this agency. Plans reviewed and this agency does not have any further comments.
- This project is out of the jurisdiction of this agency and has no further comments.

Dated: 10.01.21

Rockland County Hwy Dept.
Agency Name
By: Dyan Rajasingham
Please Print Name

**Planning Board Meeting of October 27, 2021
Town of Orangetown**

Project: 125 South Greenbush Properties Site Plan and 155 South Greenbush Site Plan

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- This project is out of the jurisdiction of this agency and has no further comments.

Dated: 10/5/21

RC Health Dept
Agency Name
By: Liz Aello
Please Print Name

