

Name of Municipality: TOWN OF ORANGETOWN

Date Submitted: \_\_\_\_\_

2021 LAND USE BOARD APPLICATION

Please check all that apply:

<input type="checkbox"/> Commercial	<input checked="" type="checkbox"/> Residential
<input type="checkbox"/> Planning Board	<input type="checkbox"/> Historical Board
<input checked="" type="checkbox"/> Zoning Board of Appeals	<input type="checkbox"/> Architectural Board
<input type="checkbox"/> Subdivision	<input type="checkbox"/> Consultation
<input type="checkbox"/> Number of Lots	<input type="checkbox"/> Pre-Preliminary/Sketch
<input type="checkbox"/> Site Plan	<input type="checkbox"/> Preliminary
<input type="checkbox"/> Conditional Use	<input type="checkbox"/> Final
<input type="checkbox"/> Special Permit	<input type="checkbox"/> Interpretation
<input type="checkbox"/> Variance	
<input type="checkbox"/> Performance Standards Review	
<input type="checkbox"/> Use Variance	
<input type="checkbox"/> Other (specify): _____	

PERMIT#: 51760  
 ASSIGNED \_\_\_\_\_  
 INSPECTOR: Dom

Referred from Planning Board: YES / NO  
 If yes provide date of Planning Board meeting: \_\_\_\_\_

Project Name: Doherty Enclosed Deck

Street Address: 12 Sunrise Lane  
Pearl River, NY 10965

Tax Map Designation:

Section: 69.18 Block: 3 Lot(s): 21  
Section: \_\_\_\_\_ Block: \_\_\_\_\_ Lot(s): \_\_\_\_\_

Directional Location:

On the West side of Sunrise Ln., approximately  
105 feet South of the intersection of Orangeburg Rd., in the  
Town of ORANGETOWN in the hamlet/village of PR.

Acreage of Parcel .25  
School District PR  
Ambulance District PR  
Water District Suez

Zoning District R-15  
Postal District PR  
Fire District PR  
Sewer District Orangetown

Project Description: (If additional space required, please attach a narrative summary.)

Enclose Existing Deck

The undersigned agrees to an extension of the statutory time limit for scheduling a public hearing.

Date: 8/3/21 Applicant's Signature: Daniel Doherty

# APPLICATION REVIEW FORM

## FILL IN WHERE APPLICABLE.

( IF THE FOLLOWING DOES NOT APPLY PLEASE MOVE ON TO THE NEXT PAGE )

### If subdivision:

- 1) Is any variance from the subdivision regulations required? \_\_\_\_\_
- 2) Is any open space being offered? \_\_\_\_ If so, what amount? \_\_\_\_\_
- 3) Is this a standard or average density subdivision? \_\_\_\_\_

### If site plan:

- 1) Existing square footage \_\_\_\_\_
- 2) Total square footage \_\_\_\_\_
- 3) Number of dwelling units \_\_\_\_\_

If **special permit**, list special permit use and what the property will be used for.

\_\_\_\_\_  
\_\_\_\_\_

### Environmental Constraints:

Are there **slopes greater than 25%**? If yes, please indicate the amount and show the gross and net area \_\_\_\_\_

Are there **streams** on the site? If yes, please provide the names. \_\_\_\_\_

Are there **wetlands** on the site? If yes, please provide the names and type: \_\_\_\_\_

### Project History:

Has this project ever been reviewed before? NO

If so, provide a narrative, including the list case number, name, date, and the board(s) you appeared before, and the status of any previous approvals.

\_\_\_\_\_  
\_\_\_\_\_

List tax map section, block & lot numbers for all other abutting properties in the same ownership as this project.

\_\_\_\_\_  
\_\_\_\_\_



OFFICE OF BUILDING, ZONING, PLANNING,  
ADMINISTRATION AND ENFORCEMENT  
TOWN OF ORANGETOWN

20 Greenbush Road  
Orangeburg, N.Y. 10962

Jane Slavin, R.A.  
Director

(845)359-8410

Fax: (845) 359-8526

**DENIAL TO THE ZONING BOARD OF APPEALS**

Date: August 2, 2021

Applicant: Doherty

Address: 12 Sunrise Ln, Pearl River, NY

RE: Application Made at: same

Chapter 43, Table 3.12, Column 1 R-15 District, Column 2 Group M , Column 3 SFR, Column 4 Max FAR 20% with 27.4% proposed.  
One variance required

Section: 69.18

Block: 3

Lot: 21

Dear Doherty:


Please be advised that the Building Permit Application, which you submitted on

July 26, 2021, has been denied. I have enclosed a Xerox copy of your application, where you will find at the bottom the reason for denial.

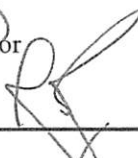
**In Accordance with Zoning, Chapter 43 Section 10.322 the time to appeal a determination of a Building Inspector or Similar administrative office is thirty (30) days from the filing of such a determination with the Town Clerk.**

The Clerk to the Zoning Board of Appeals, Debbie Arbolino, will assist you in the preparation necessary to appear before the board.

Sincerely,

 8.2.21

Richard Oliver  
Deputy Building Inspector

 8.2.21

Signature of Director  
NOTE: PLEASE KEEP FOR YOUR RECORDS  
12-31-18-CCC

Date  
CC: Rosanna Sfraga  
Liz Decort  
Debbie Arbolino

SWIS	PRINT KEY	NAME	ADDRESS
392489	69.18-3-14	Edward Lundgren	10 W Nauraushaun Av,Pearl River, NY 10965
392489	69.18-3-15	James J Mac Robbie	552 Orangeburg Rd,Pearl River, NY 10965
392489	69.18-3-16	Cornelius O'Keefe	22 W Nauraushaun Av,Pearl River, NY 10965
392489	69.18-3-18	Charles Scott	30 Sunrise Ln,Pearl River, NY 10965
392489	69.18-3-19	Steven Bruni	24 Sunrise Ln,Pearl River, NY 10965
392489	69.18-3-20	Brendan J Murphy	20 Sunrise Ln,Pearl River, NY 10965
392489	69.18-3-21	Daniel J Doherty	12 Sunrise Ln,Pearl River, NY 10965
392489	69.18-3-22	Thomas Weir	4 Sunrise Ln,Pearl River, NY 10965
392489	69.18-3-23	Michael Moroney	5 Sunrise Ln,Pearl River, NY 10965
392489	69.18-3-24	David W Layton	15 Sunrise Ln,Pearl River, NY 10965
392489	69.18-3-25	James E Dwyer	21 Sunrise Ln,Pearl River, NY 10965

**PROPOSED ENCLOSED PORCH**

Land Survey

For

**DANIEL J. DOHERTY**

Pearl River

Town of Orangetown Rockland County, NY

Scale: 1" = 30' Area = 0.25 Ac.

December 10, 2014

February 8, 2016 - Asbuilt

July, 15, 2021 - Rev. Prop. Porch

Tax Lot Desig.: Section 69.18 Block 3 Lot 21

Certified to:

- \* Daniel J. Doherty
- \* Town of Orangetown.

Certifications indicated hereon signify that this survey was prepared in accordance with the existing code of practice for Land Surveys adopted by the New York State Association of Professional Land Surveyors. Said certification shall run only to the person for whom the survey is prepared, and on behalf to the title company, governmental agency and lending institution listed hereon, and to the assignees of the lending institution. Certifications are not transferable to additional institutions or subsequent owners."

RECEIVED

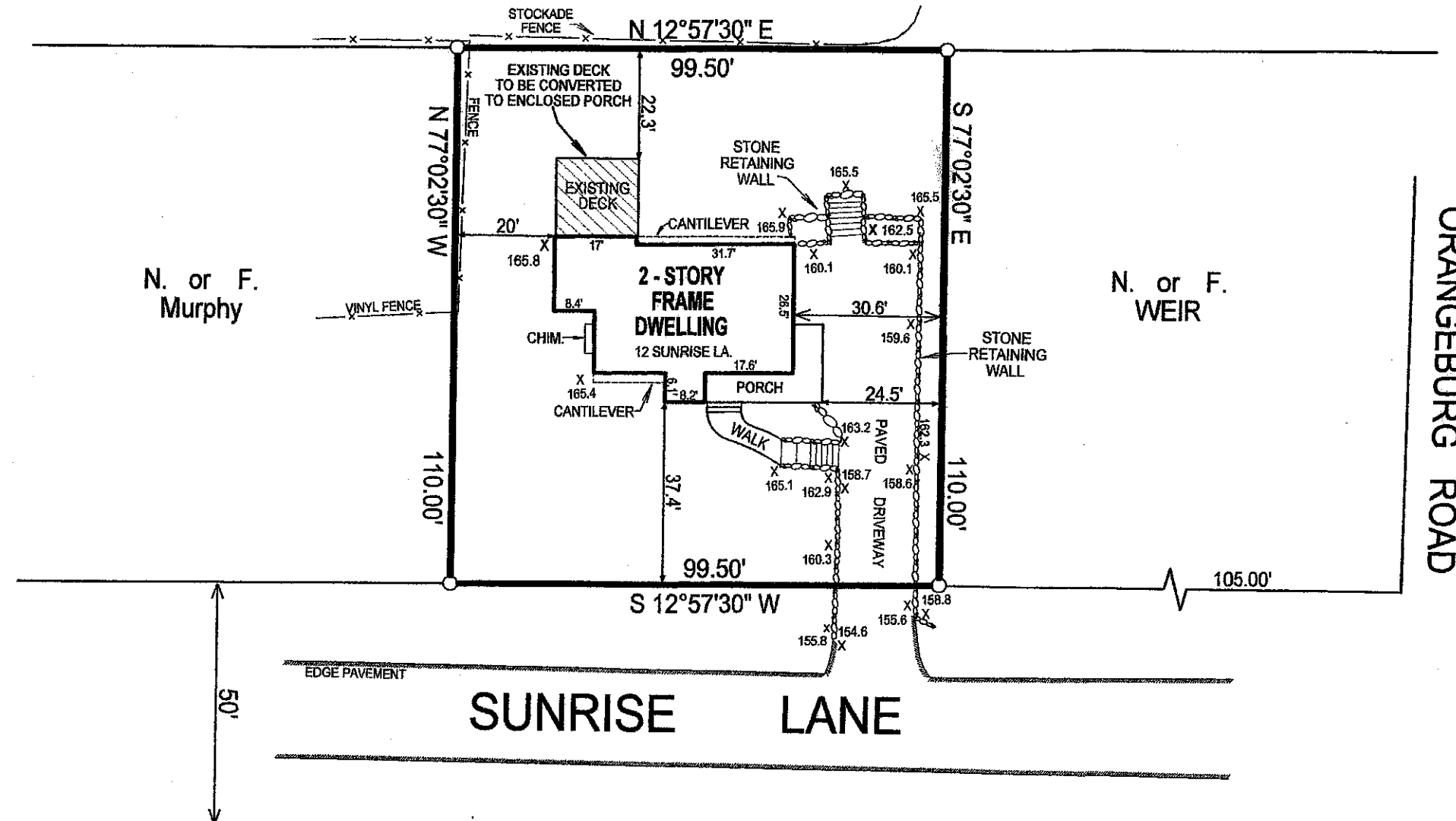
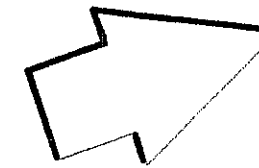
AUG 3 2021

TOWN OF ORANGETOWN  
LAND USE BOARDS



*[Signature]*  
Robert E. Sorace, PLS  
135 South Main Street  
New City, NY 10956  
843-638-1498  
Lic. 49162

N. or F.  
MAC ROBBIE



N. or F.  
Murphy

N. or F.  
WEIR

ORANGETOWN ROAD

SUNRISE LANE

EXISTING ELEVATION  
(TYPICAL)

100.00  
X

RO 8286-D

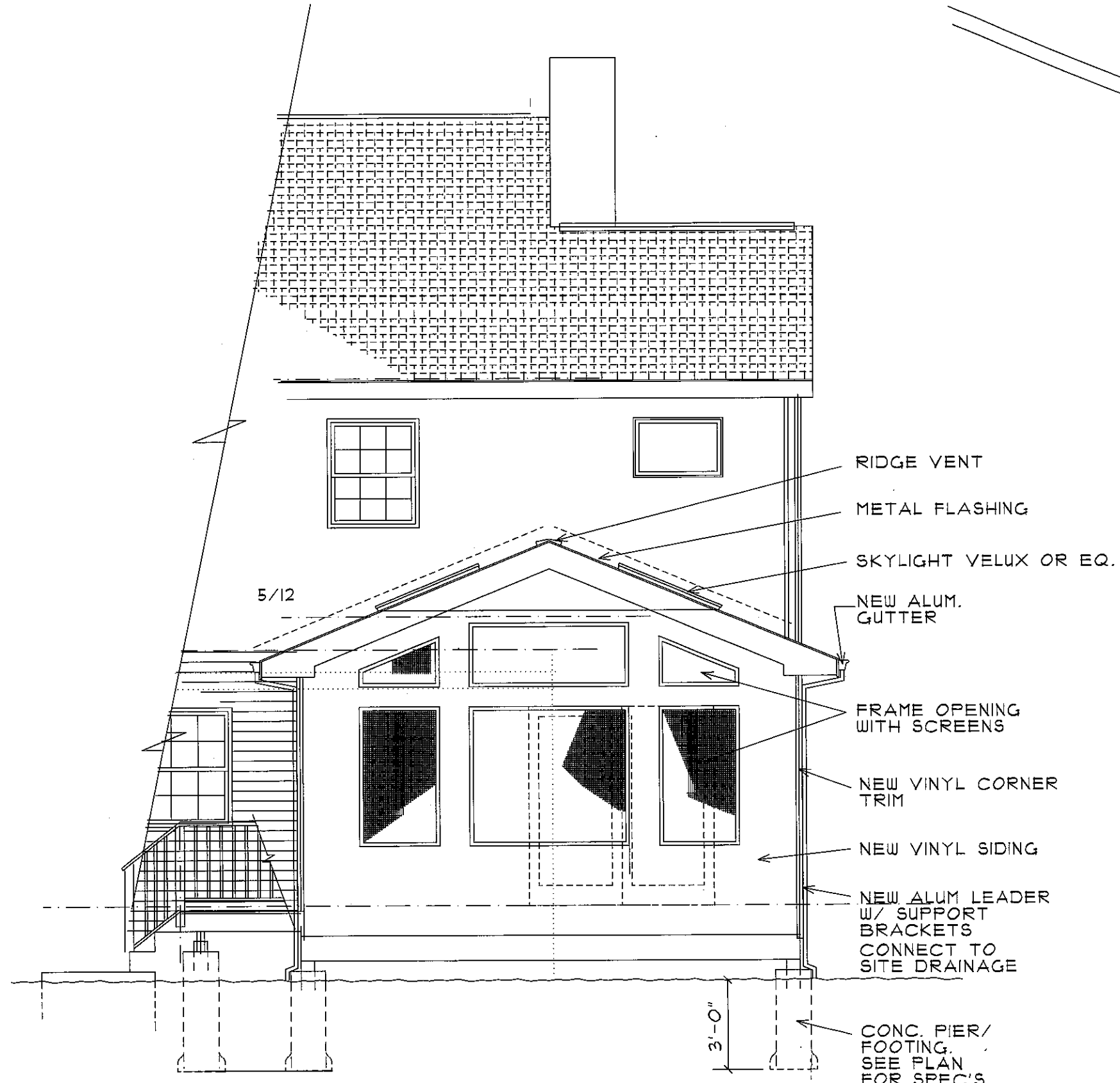
\* DENOTES VARIANCE REQUIRED

**Zone R-15 Bulk Regulations Group M**

Item	Required	Provided	Proposed
Max. F.A.R.	0.20	0.249	* 0.274
Lot Area	15,000 sf	10,945 sf	No Change
Lot Width	100 ft.	99.50 ft.	No Change
Street Frontage	75 ft.	99.50 ft.	No Change
Front Yard	30 ft.	37.4 ft.	No Change
Side Yard	20 ft.	20 ft.	No Change
Total Side Yard	50 ft.	44.5 ft.	No Change
Rear Yard	35 ft.	22.3 ft. (DECK)	No Change
Max. Height	1 ft. per ft from lot line	7" per ft from lot line	No Change

RECEIVED  
 AUG 3 2021  
 TOWN OF ORANGETOWN  
 LAND USE BOARDS

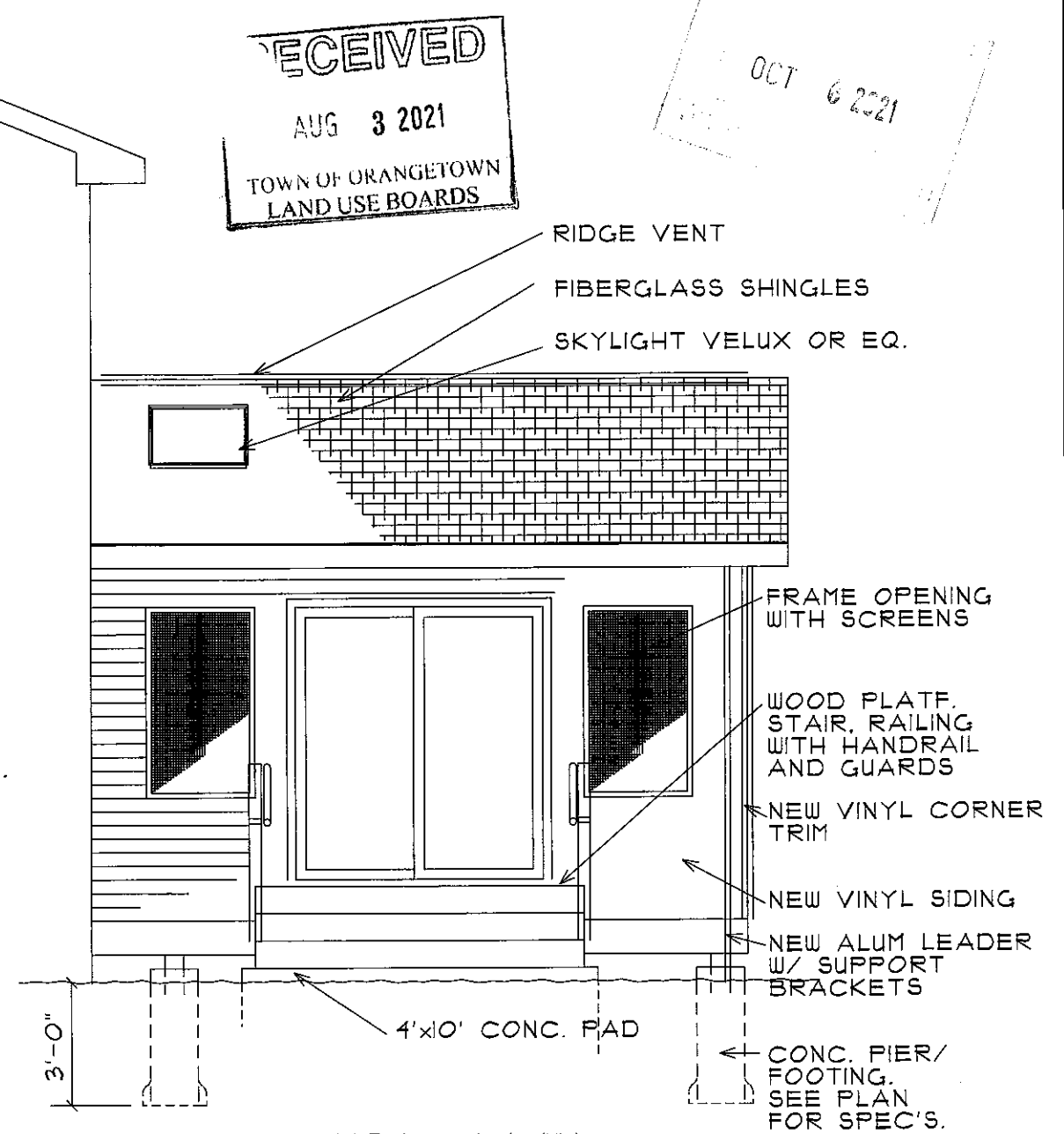
OCT 6 2021



WEST (REAR) ELEVATION  
 1/4"=1'-0"

1/4"=1'-0"

1 2 3 4 8 SCALE IN FEET 16

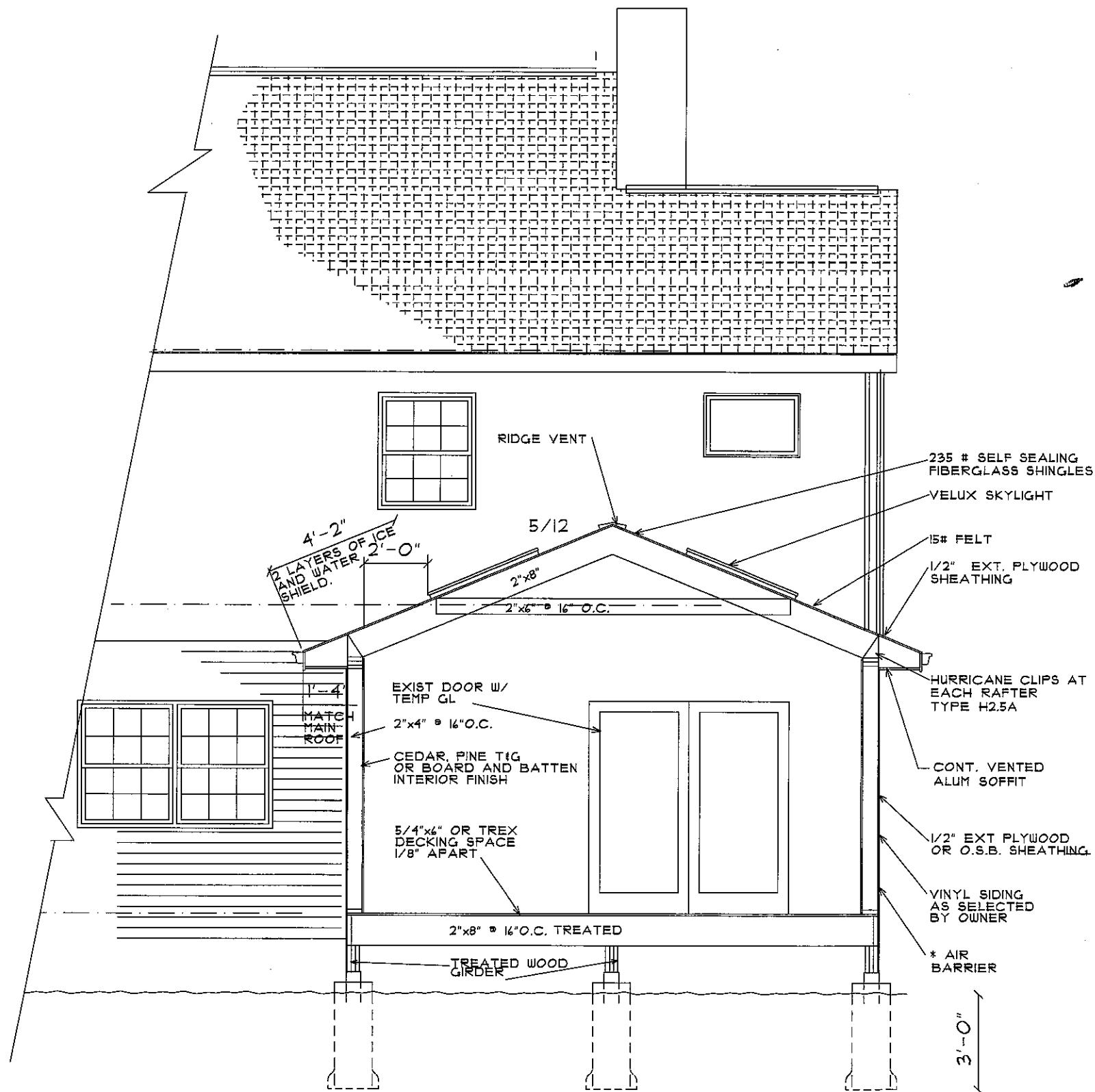


SOUTH (RIGHT) ELEVATION  
 1/4"=1'-0"



CLIENT: PROPOSED PORCH ADDITION TO THE DOHERTY RESIDENCE 12 SUNRISE LANE PEARL RIVER N.Y.	
DRAWING TITLE: ELEVATIONS	
PAUL DOUGLAS SIEBENALER ARCHITECT P.O. BOX 9243 BARBONIA, NEW YORK 10954 18451823-0346 PDS@GLASSPRODIGY.NET	DRAWING NO. AI
DRAWN BY: PDS	CHECKED BY:
SCALE: AS NOTED	DATE: 6/11/21
PROJECT NO. 2106-02	
OF 4 SHEETS	

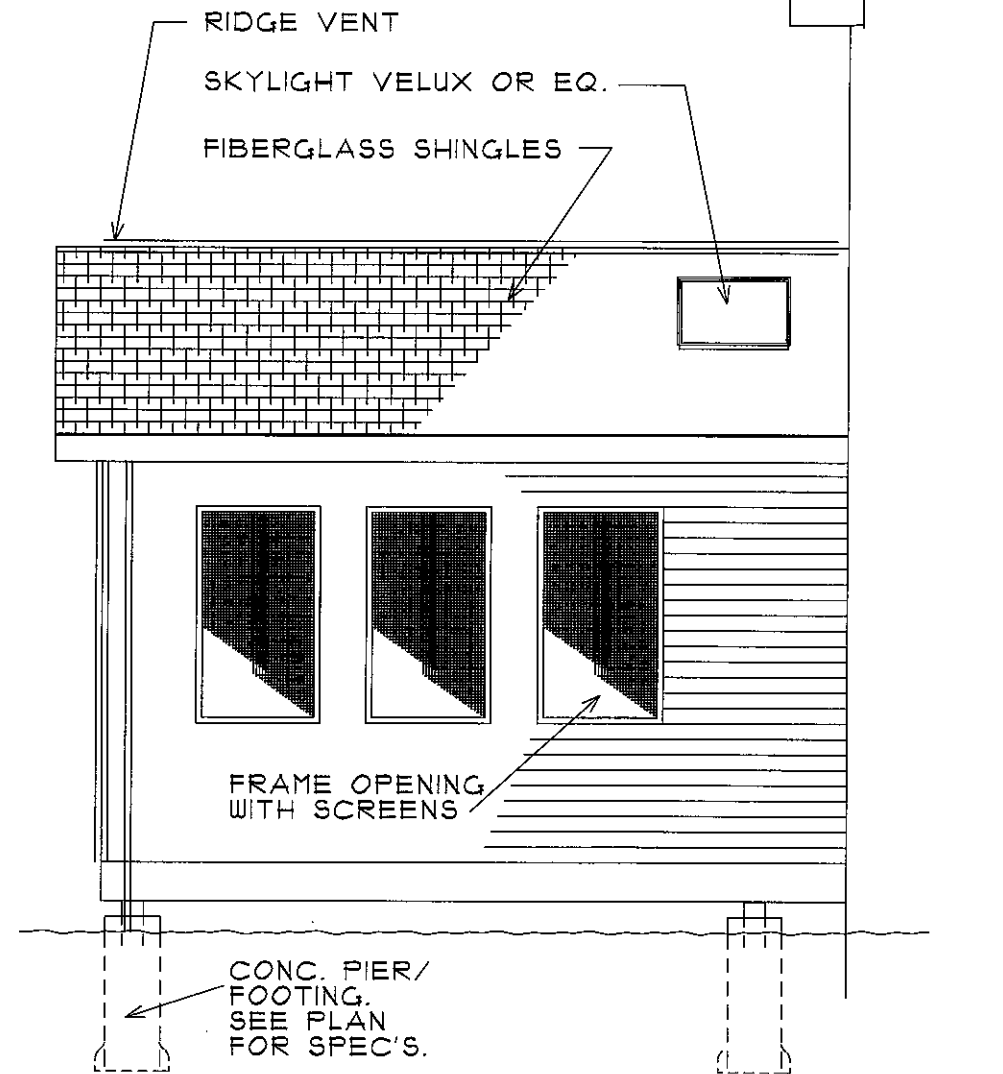
UNAUTHORIZED REPRODUCTION, ALTERATION OR REMOVAL OF ANY PORTION OF THIS DRAWING WILL CONSTITUTE A VIOLATION OF THE PROFESSIONAL SEAL ACT.



SECTION

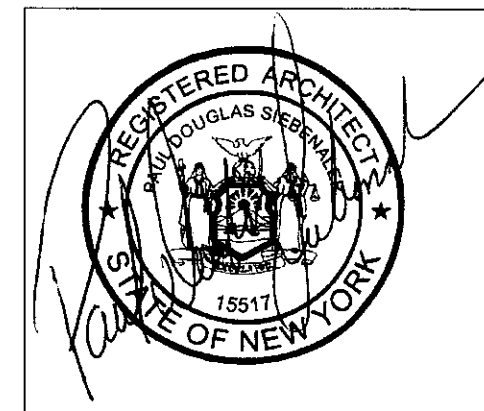
1/4"=1'-0"

1 2 3 4 8 SCALE IN FEET 16



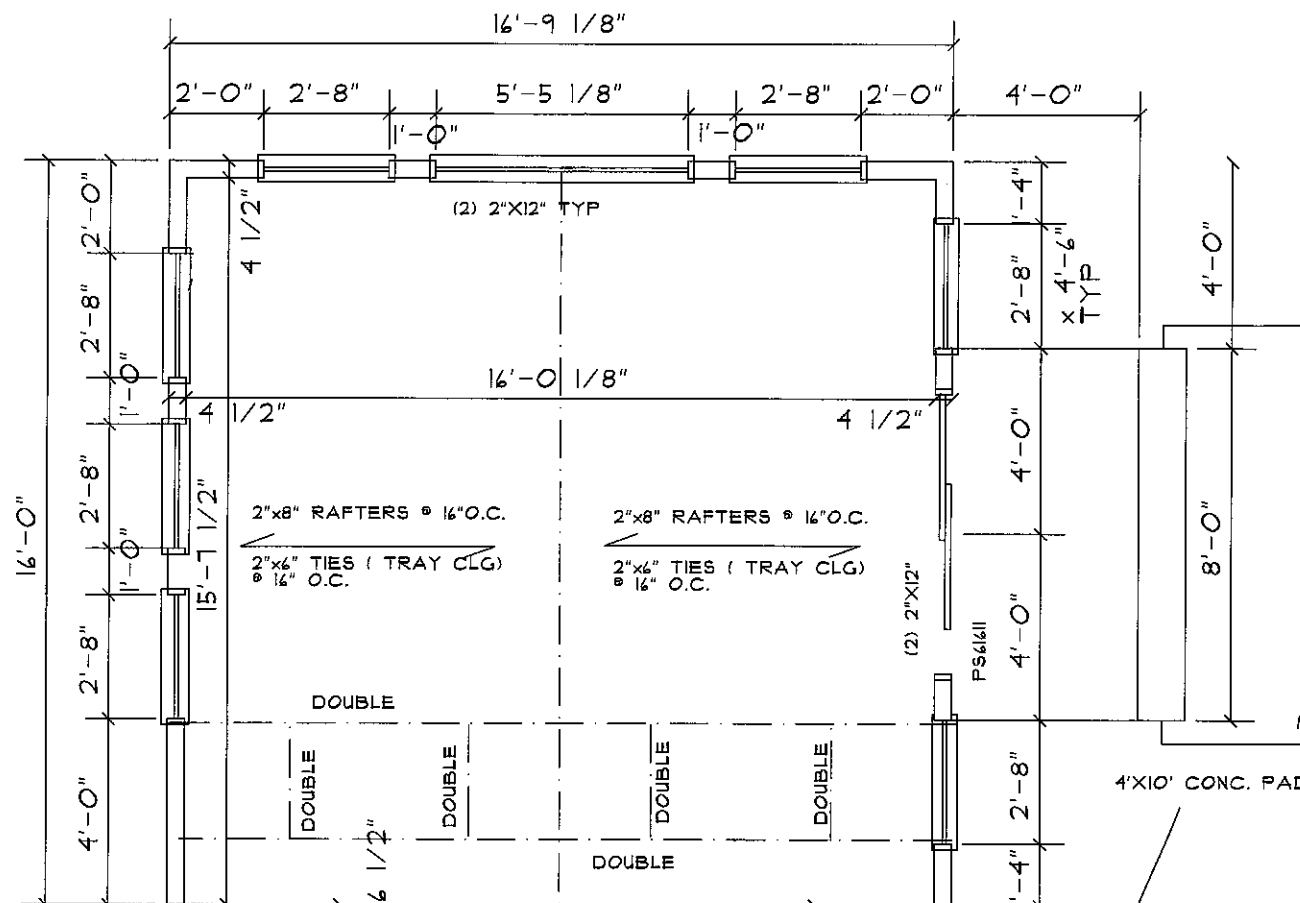
NORTH (RIGHT) ELEVATION

1/4"=1'-0"

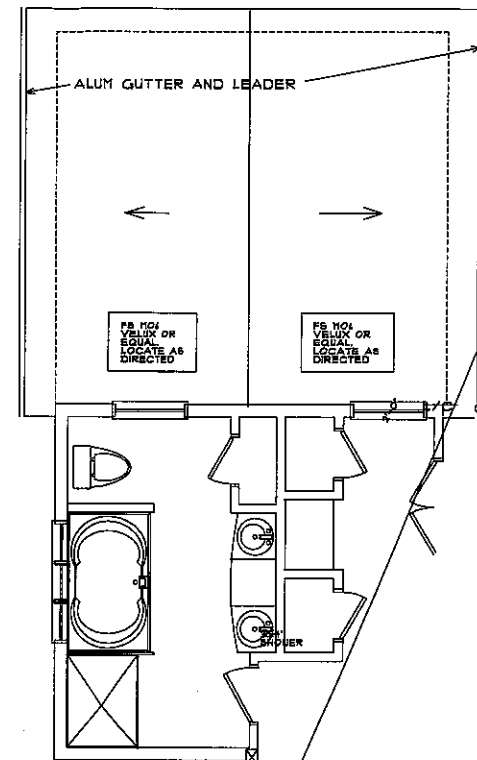


CLIENT: PROPOSED PORCH ADDITION TO THE DOHERTY RESIDENCE 12 SUNRISE LANE PEARL RIVER N.Y.	
DRAWING TITLE: SECTION, ELEVATION AND NOTES	
DRAWN BY: PDS	CHECKED BY:
SCALE: AS NOTED	DATE: 6/17/21
PROJECT NO: 2106-2	
DRAWING NO: A2	
OF 4 SHEETS	

UNAUTHORIZED REPRODUCTION, ALTERATION, OR REUSE OF ANY PORTION OF THIS DRAWING WILL CONSTITUTE A THEFT OF SERVICES



PART ROOF PLAN  
1/8"=1'-0"



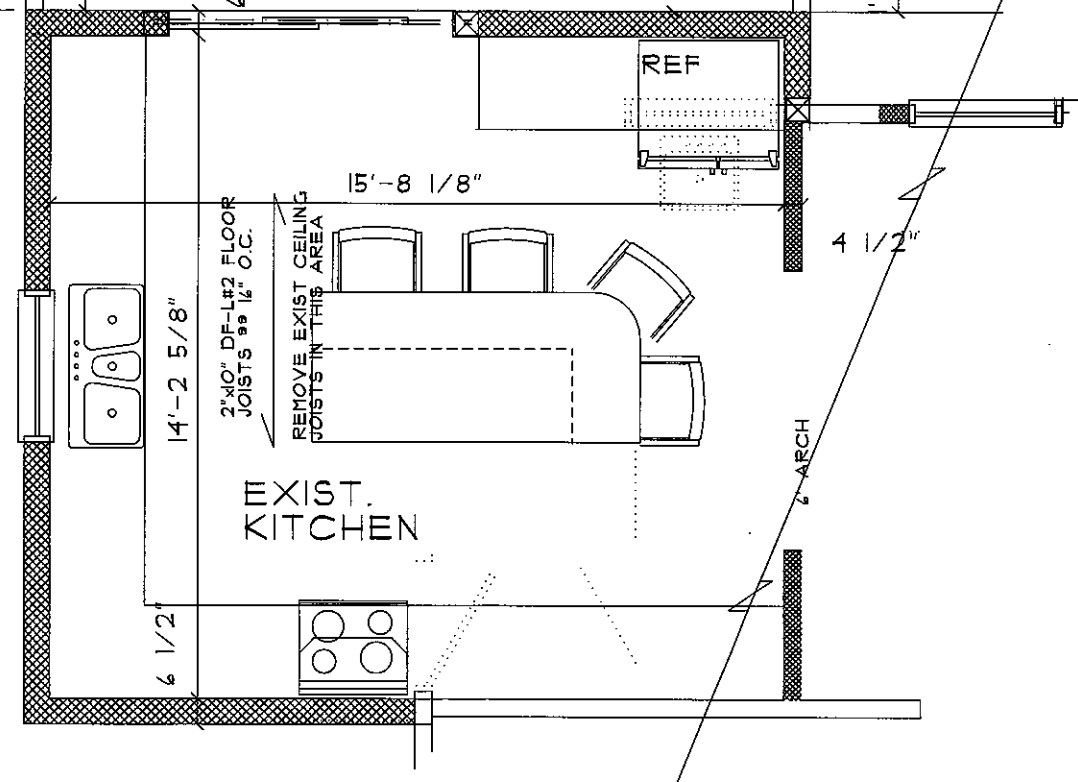
NOTE:  
CONTRACTOR HAS OPTION TO USE PLASTIC RAILING AND POSTS MATERIAL TO MEET IMPACT REQUIREMENTS AND APPROVAL BY BUILDING DEPT.

DECK DETAIL  
SEE PLAN FOR FRAMING AND PIER LOCATIONS 1/4"=1'-0"

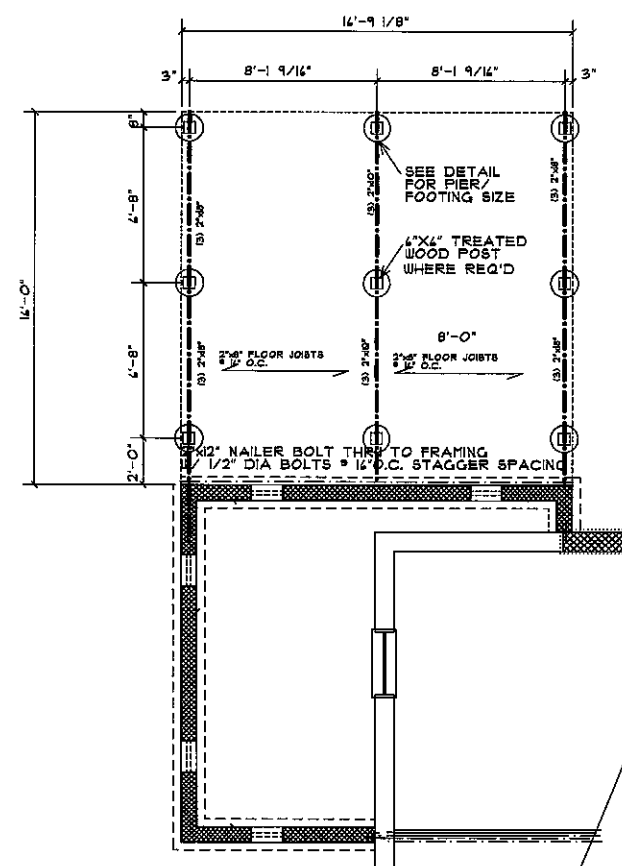
NOTE: INSTALL DIAGONAL 2"x4" BRACE BELOW JOISTS UNLESS WOOD DECKING IS INSTALLED AT A DIAGONAL TO THE JOISTS. VERIFY JOIST SPACING REQ'TS W/ MFR. IF "TREX" TYPE DECKING IS INSTALLED

DECK RAILING, GUARDS AND RAILING SUPPORT POSTS TO RESIST A SINGLE CONCENTRATED LOAD APPLIED IN ANY DIRECTION ANY POINT ALONG THE TOP OF 200 LBS PER SQ FT APPROPRIATE CONNECTORS OR FASTENING TECHNIQUES MAY BE USED IN LIEU OF CONNECTOR SPECIFIED

NOTE:  
CONTRACTOR HAS OPTION TO USE PLASTIC RAILING AND POSTS MATERIAL TO MEET IMPACT REQUIREMENTS AND APPROVAL BY BUILDING DEPT.



PART FLOOR PLAN  
1/4"=1'-0"



PART FOUNDATION PLAN  
1/8"=1'-0"



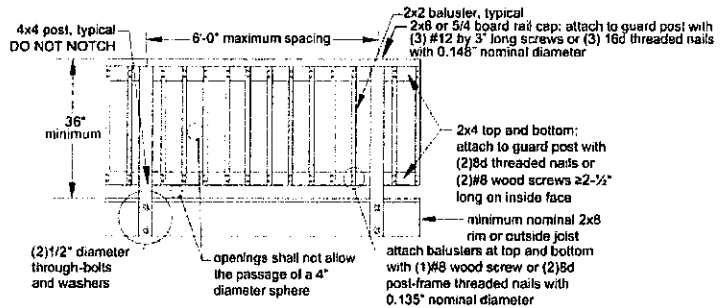
1 2 3 4 8 SCALE IN FEET 16

CLIENT: PROPOSED PORCH ADDITION TO THE DOHERTY RESIDENCE 12 SUNRISE LANE PEARL RIVER N.Y.	
DRAWING TITLE: FLOOR, FOUNDATION AND ROOF PLAN NOTES	
P. O. BOX 9243 BARDOMA, NEW YORK 10854 (845) 823-0346	DRAWING NO.:
P. DOUGLAS SIEBENALER ARCHITECT NY LICENSE NO. 015517	A3
SCALE: AS NOTED	DATE: 4/17/21
PROJECT NO. 2104-2	

UNAUTHORIZED REPRODUCTION, ALTERATION, OR REMOVAL OF ANY PORTION OF THIS DRAWING WILL CONSTITUTE A VIOLATION OF THE PROFESSIONAL ARCHITECTURE ACT AND MAY BE PENALIZED BY THE STATE OF NEW YORK.



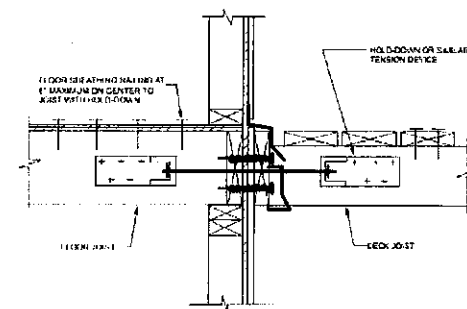
**Example Guard Detail.**



**FIGURE R507.2.1(2) PLACEMENT OF LAG SCREWS AND BOLTS IN BAND JOISTS**

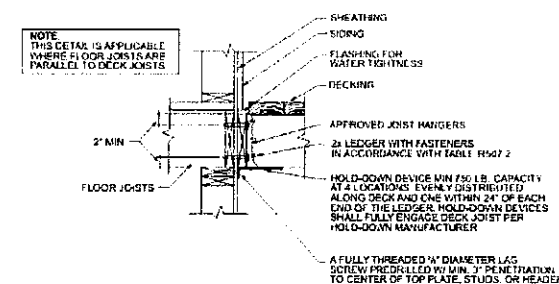
**R507.2.2 Band joist details.**  
Band joists attached by a ledger in accordance with Section R507.2 shall be a minimum 2-inch-nominal (51 mm), solid-sawn, spruce-pine-fir lumber or a minimum 1-inch by 9 1/2-inch (25 mm x 241 mm) dimensional, Douglas fir, laminated veneer lumber. Band joists attached by a ledger in accordance with Section R507.2 shall be fully supported by a wall or sill plate below.

**R507.2.3 Ledger to band joist fastener details.**  
Fasteners used in deck ledger connections in accordance with Table R507.2 shall be hot-dipped galvanized or stainless steel and shall be installed in accordance with Table R507.2.1 and Figures R507.2.1(1) and R507.2.1(2).



For S1: 1 inch = 25.4 mm.

**FIGURE R507.2.3(1) DECK ATTACHMENT FOR LATERAL LOADS**



For S1: 1 inch = 25.4 mm, 1 foot = 304.8 mm

**R507.1 Decks.**

Wood-framed decks shall be in accordance with this section or Section R301 for materials and conditions not prescribed herein. Where supported by attachment to an exterior wall, decks shall be positively anchored to the primary structure and designed for both vertical and lateral loads.

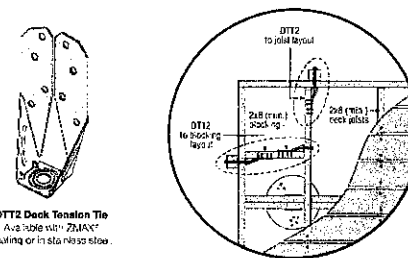
Such attachment shall not be accomplished by the use of toenails or nails subject to withdrawal. Where positive connection to the primary building structure cannot be verified during inspection, decks shall be self-supporting. For decks with cantilevered framing members connections to exterior walls or other framing members shall be designed and constructed to resist uplift resulting from the full live load specified in Table R301.5 acting on the cantilevered portion of the deck.

**R507.2 Deck ledger connection to band joist.**

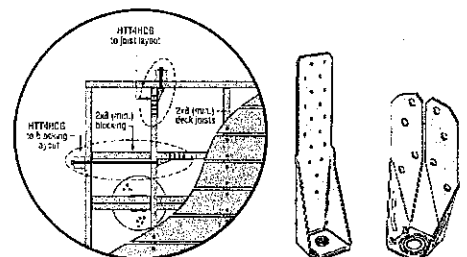
Deck ledger connections to band joists shall be in accordance with this section, Tables R507.2 and R507.2.1, and Figures R507.2.1(1) and R507.2.1(2). For other grades, species, connection details and loading conditions, deck ledger connections shall be designed in accordance with Section R301.

**Guard Post to Deck Framing**

Simpson Strong-Tie® Solutions  
For 36"-Tall (minimum) Guard Posts



For 42"-Tall (maximum) Guard Posts



Note: The DT2 may also be used to secure 42" guard posts with 2x10 deck joists

DT2 Deck Tension Tie Available with ZMAX® coating or in stainless steel.

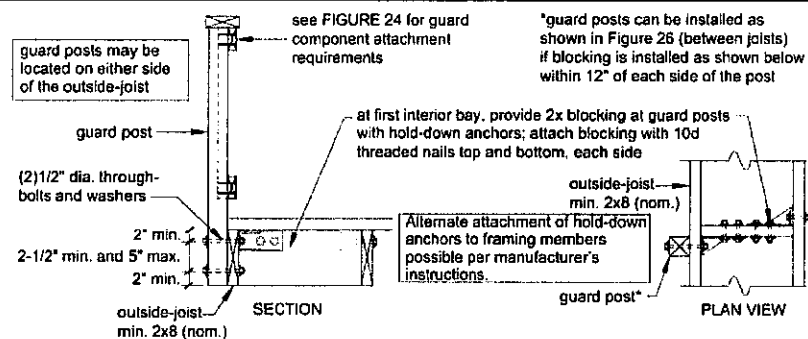
**GUARD POST ATTACHMENTS FOR REQUIRED GUARDS**

Deck guard posts for required guards shall be a minimum 4x4 (nominal) with an adjusted bending design value not less than 1,100 psi. Joists and rim joists to which guard posts are attached shall be a minimum of 2x8 (nominal).

Guard posts for required guards which run parallel to the deck joists shall be attached to the outside joist per

Figure 25. Guard posts for required guards that run perpendicular to the deck joists shall be attached to the rim joist in accordance with Figure 26. Only hold-down anchor models meeting these minimum requirements shall be used. Hold-down anchors shall have a minimum allowable tension load of 1,800 pounds for a 36" maximum guard height and be installed in accordance with the manufacturer's instructions.

**Guard Post to Outside-Joist Example.**



**GENERAL NOTES:**

- CONTRACTOR SHALL ACQUAINT HIM / HERSELF WITH AND VERIFY ALL CONDITIONS AND MEASUREMENTS AND BE RESPONSIBLE FOR THE SAME BEFORE COMMENCEMENT OF WORK. ANY DISCREPANCIES IN THE PLANS, DETAILS OR SPECIFICATIONS ARE TO BE CALLED TO THE ARCHITECTS ATTENTION IN WRITING BEFORE PROCEEDING WITH WORK.
- BACKFILL PLACEMENT AS PER SECTION R404.1. BACKFILL SHALL NOT BE PLACED AGAINST THE WALL UNIT UNTIL THE WALL HAS SUFFICIENT STRENGTH AND HAS BEEN ANCHORED TO THE FLOOR ABOVE OR HAS BEEN SUFFICIENTLY BRACED TO PREVENT DAMAGE BY THE
- ALL WORK TO CONFORM TO THE REQUIREMENTS OF ALL AUTHORITIES HAVING JURISDICTION.
- ALL WORK IS TO CONFORM TO THE 2020 RESIDENTIAL AND ENERGY CONSERVATION CONSTRUCTION CODE (CHAPTER 1) OF NEW YORK STATE
- SMOKE ALARMS, CARBON MONOXIDE AND AUTOMATIC SPRINKLER SYSTEMS (WHERE APPLICABLE) TO BE INSTALLED AS PER SECTION R313,R314 AND R315
- ALL LUMBER TO BE No 1 DOUGLAS FIR LARCH (DF) Fb 1000psi, Fv 95 psi. WHERE USED MINIMUM SPAN STANDARDS APPLY AS PER SECTIONS R502 AND R802 OF TITLE 19 FOR WOOD FLOOR, CEILING AND ROOF
- DOUBLE JOISTS BELOW PARTITIONS PARALLEL TO JOISTS.
- DOUBLE ALL TRIMMERS AND HEADERS UNLESS OTHERWISE NOTED
- LVL'S, LP-LVL'S ETC. ARE TO BE INSTALLED AS PER MFR'S SPEC'S. DRILLING HOLES ARE PERMITTED ONLY IF APPROVED BY A STRUCTURAL ENGINEER AND MFR.
- ALL GIRDERS AND HEADERS TO BEAR ON POSTS OR SOLID STUDS EQUAL TO THE WIDTH OF THE MEMBER IT IS SUPPORTING.
- ALL LUMBER EXPOSED TO DAMP OR WET CONDITIONS IS TO TREATED LUMBER RATED FOR GROUND CONTACT.
- STAIRS TO HAVE A MINIMUM WIDTH OF 3'-0". MAXIMUM RISER HEIGHT OF 8-1/4" AND A MINIMUM TREAD DEPTH OF 9" PLUS NOSING OF NOT LESS THAN 3/4" NOT MORE THAN 1-1/4" ON STAIRS WITH SOLID RISERS. STAIRS WITH OPEN RISERS ARE TO HAVE A GUARD PREVENTING THE PASSAGE OF A SPHERE OF 4" OR MORE IN DIA. RAILINGS TO BE INSTALLED ON AT LEAST ONE SIDE OF EACH STAIRWAY WITH FOUR OR MORE RISERS. RAILINGS SHALL NOT BE LESS THAN 34" AND NOT MORE THAN 38" MEASURED AT STAIR NOSING. GUARDS AND WINDOW FALL PROTECTION AS PER SECTION R312
- HANDRAIL GRIP SIZE AS PER SECTION R311.1.8.2
- PORCHES, BALCONIES OR RAISED FLOOR SURFACES LOCATED 30' OR MORE ABOVE THE FLOOR OR GRADE BELOW SHALL HAVE GUARDS NOT LESS THAN 36" IN HEIGHT.
- OPEN SIDES OF A STAIR WITH A TOTAL RISE OF 30' OR MORE ABOVE THE GRADE BELOW SHALL HAVE GUARDS NOT LESS THAN 34" IN HEIGHT MEASURED VERTICALLY FROM THE NOSING OF THE TREADS. A) GUARDS TO HAVE INTERMEDIATE RAILS OR ORNAMENTAL CLOSURES THAT DO NOT ALLOW PASSAGE OF A SPHERE 4" OR MORE IN DIAMETER.
- EXTERIOR DECKS TO BE INSTALLED AS PER SECTION 501
- ALL DOOR STYLES TO BE SELECTED BY CLIENT UNLESS NOTED OTHERWISE ON THE PLAN
- INTERIOR WOOD TRIMS: SURFACES TO BE CLEANED BEFORE APPLICATION OF PAINT OR STAIN. APPLY FINISHES AS DIRECTED BY MANUFACTURER. LIGHTLY SAND BETWEEN COATS.
- PROVIDE CLOTHES RODS AND SHELF IN ALL CLOSETS. PROVIDE 5 ADJUSTABLE SHELVES IN LINEN CLOSET. OR AS PER CONTRACT BETWEEN OWNER AND CONTRACTOR.
- CONTRACTOR TO VERIFY COMPARABILITY BETWEEN DISSIMILAR MATERIALS, GLUES, FLASHING AND COATINGS PRIOR TO INSTALLATION
- ELECTRIC FIXTURES, OUTLETS AND SWITCHES ARE TO BE SELECTED BY THE CLIENT AND INSTALLED AS PER PART VIII OF THE 2020 RESIDENTIAL CODE OF N.Y.S. ELECTRICAL WORK SHALL MEET THE REQUIREMENTS OF NFPA 70 (LATEST EDITION) AND ALL OTHER STATE AND LOCAL CODES. ELECTRICAL CONTRACTOR SHALL FURNISH ALL TEMPORARY POWER AND LIGHTING SYSTEMS AS NECESSARY TO COMPLY WITH OSHA REQUIREMENTS.



CLIENT: PROPOSED PORCH ADDITION TO THE DOHERTY RESIDENCE 12 SUNRISE LANE PEARL RIVER N.Y.

DRAWING TITLE: NOTES AND DETAILS

ARCHITECT: PAUL DOUGLAS SIEBENALER NY LICENSE NO.015517

P.O. BOX 9243 BARDONIA, NEW YORK 10854 (845)623-0346

SCALE: AS NOTED

DATE: 6/11/21

PROJECT NO.: 2103-2

DRAWING NO.: A4

OF 4 SHEETS