

# PLANS PREPARED FOR

# AMENDED FINAL SITE PLAN FOR

# HILLSIDE COMMERCIAL PARK

## TOWN OF ORANGETOWN ROCKLAND COUNTY, NEW YORK

**OWNER:**  
TAC PEARL RIVER LLC  
2100 POWERS FERRY ROAD  
ATLANTA, GEORGIA 30339

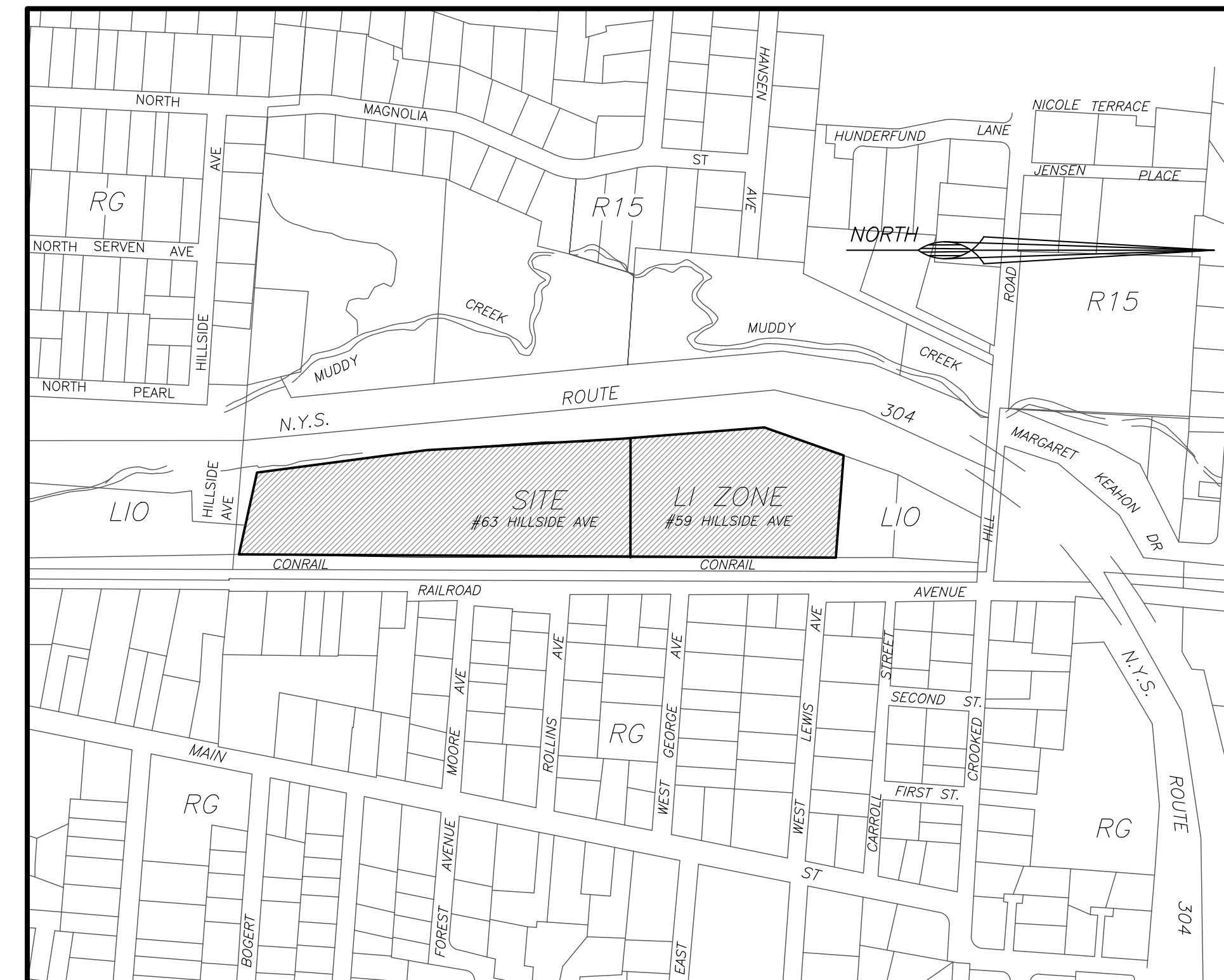
**LIST OF DRAWINGS**

- T. TITLE SHEET
- 1. LAYOUT PLAN
- 2. GRADING AND UTILITY PLAN (1 OF 2)
- 3. GRADING AND UTILITY PLAN (2 OF 2)
- 4. SOIL EROSION & SEDIMENT CONTROL PLAN
- 5. LANDSCAPING & LIGHTING PLAN

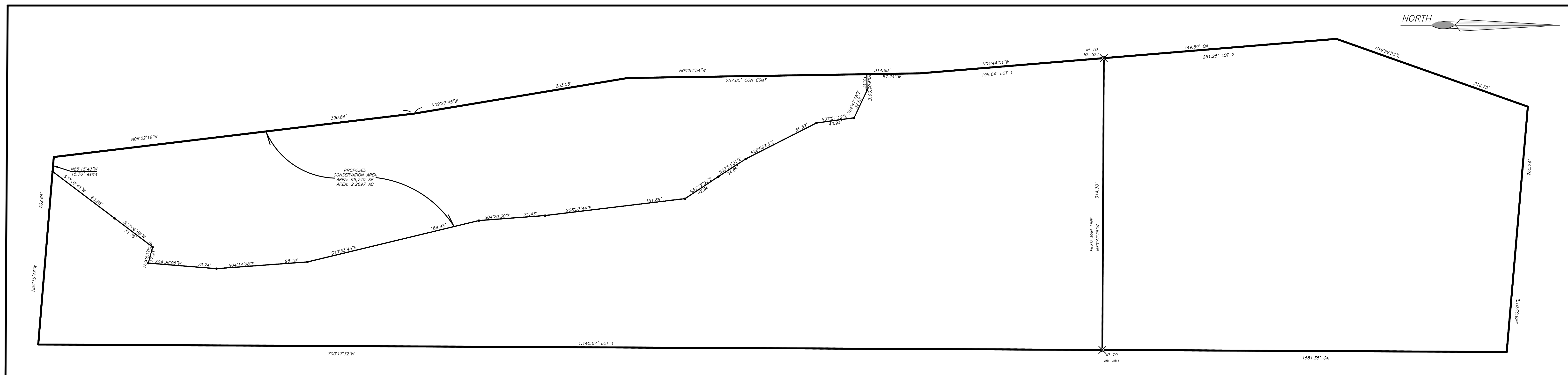
**APPLICANT:**  
MONTAR GROUP LLC  
6100 LAKE FOREST DRIVE, SUITE 104  
ATLANTA, GEORGIA 30328

**SITE ENGINEER:**  
BROOKER ENGINEERING P.L.L.C.  
76 LAFAYETTE AVENUE  
SUFFERN, NEW YORK 10901  
(845) 357-4411

**LAND SURVEYOR:**  
JAY A. GREENWELL, PLS  
85 LAFAYETTE AVENUE  
SUFFERN, NEW YORK 10901  
(845) 357-0830



**VICINITY MAP**  
1" = 400'



**EASEMENT MAP**  
1" = 50'

- NOTES:**
1. THIS IS A SITE PLAN OF SECTION 68.11 BLOCK 3 LOTS 39 AND 40 OF THE TOWN OF ORANGETOWN TAX MAP.
  2. ZONING DISTRICT: L1
  3. AREA OF PARCELS: 445,003 S.F. (10.22 ACRES)
  4. OWNER: TAC PEARL RIVER LLC  
2100 POWERS FERRY ROAD  
ATLANTA, GA 30339
  5. APPLICANT: MONTAR GROUP LLC  
6100 LAKE FOREST DRIVE, SUITE 104  
ATLANTA, GA 30328
  6. SCHOOL DISTRICT: PEARL RIVER
  7. FIRE DISTRICT: PEARL RIVER
  8. SEWER DISTRICT: ORANGETOWN
  9. WATER DISTRICT: SUEZ WATER
  10. BOUNDARY AND TOPOGRAPHIC DATA TAKEN FROM AN ACTUAL FIELD SURVEY PREPARED BY JAY A. GREENWELL, PLS, DATED 1/29/07.
  11. DATUM: NAD 83
  12. AT LEAST ONE WEEK PRIOR TO THE COMMENCEMENT OF ANY WORK, INCLUDING THE INSTALLATION OF EROSION CONTROL DEVICES OR THE REMOVAL OF TREES AND VEGETATION, A PRE-CONSTRUCTION MEETING MUST BE HELD WITH THE TOWN OF ORANGETOWN DEPARTMENT OF ENVIRONMENTAL MANAGEMENT AND ENGINEERING, SUPERINTENDENT OF HIGHWAYS AND THE OFFICE OF BUILDING, ZONING AND PLANNING ADMINISTRATION AND ENFORCEMENT. IT IS THE RESPONSIBILITY AND OBLIGATION OF THE PROPERTY OWNER TO ARRANGE SUCH A MEETING.
  13. TREE PROTECTION: THE TREE PROTECTION AND PRESERVATION GUIDELINES ADOPTED PURSUANT TO SECTION 21-24 OF THE LAND DEVELOPMENT REGULATIONS OF THE TOWN OF ORANGETOWN WILL BE IMPLEMENTED IN ORDER TO PROTECT AND PRESERVE BOTH INDIVIDUAL SPECIMEN TREES AND BUFFER AREAS WITH MANY TREES. STEPS THAT WILL BE TAKEN TO RESERVE AND PROTECT EXISTING TREES TO REMAIN ARE AS FOLLOWS:
    - A. NO CONSTRUCTION EQUIPMENT SHALL BE PARKED UNDER THE TREE CANOPY.
    - B. THERE WILL BE NO EXCAVATION OR STOCKPIILING OF EARTH UNDERNEATH THE TREES.
    - C. TREES DESIGNATED TO BE PRESERVED SHALL BE MARKED CONSPICUOUSLY ON ALL SIDES AT A 5 TO 10 FEET HEIGHT.
    - D. THE TREE PROTECTION ZONE FOR TREES DESIGNATED TO BE PRESERVED WILL BE ESTABLISHED BY ONE OF THE FOLLOWING METHODS:
      - ONE (1) FOOT RADIUS FROM TRUNK PER INCH DBH
      - DIBB LINE OF THE TREE CANOPY. THE METHOD CHOSEN SHOULD BE BASED ON PROVING THE MAXIMUM PROTECTION ZONE POSSIBLE. A BARRIER OF SNOW FENCE OR EQUAL IS TO BE PLACED AND MAINTAINED ONE YARD BEYOND THE ESTABLISHED TREE PROTECTION ZONE. IF IT IS AGREED THAT THE TREE PROTECTION ZONE OF A SELECTED TREE MUST BE VIOLATED, ONE OF THE FOLLOWING METHODS MUST BE EMPLOYED TO MITIGATE THE IMPACT:
        - LIGHT TO HEAVY IMPACTS - MINIMUM OF EIGHT INCHES OF WOOD CHIPS INSTALLED IN THE AREA TO BE PROTECTED. CHIPS SHALL BE REMOVED UPON COMPLETION OF WORK.
        - LIGHT IMPACTS ONLY - INSTALLATION OF 1-INCH PLYWOOD OR BOARDS - OR EQUAL OVER THE AREA TO BE PROTECTED. THE BUILDER OR ITS AGENT MAY NOT CHANGE GRADE WITHIN THE TREE PROTECTION ZONE OF A PRESERVED TREE UNLESS SUCH GRADE CHANGE HAS RECEIVED APPROVAL FROM THE PLANNING BOARD. IF THE GRADE LEVEL IS TO BE CHANGED MORE THAN SIX INCHES, TREES DESIGNATED TO BE PRESERVED SHALL BE HELLED AND/OR PRESERVED IN A RAISED BED WITH A TREE MESH HAVING A RADIUS OF THREE (3) FEET LARGER THAN THE TREE CANOPY.
  14. ALL LANDSCAPING SHOWN ON THE SITE PLANS SHALL BE MAINTAINED IN A VIGOROUS GROWING CONDITION THROUGHOUT THE DURATION OF THE USE OF THIS SITE. ANY PLANTS NOT SO MAINTAINED SHALL BE REPLACED WITH NEW PLANTS AT THE BEGINNING OF THE NEXT GROWING SEASON IMMEDIATELY FOLLOWING GROWING SEASON.
  15. PRIOR TO THE COMMENCEMENT OF ANY SITE WORK, INCLUDING THE REMOVAL OF TREES, THE APPLICANT SHALL INSTALL THE SOIL EROSION AND SEDIMENT CONTROL AS REQUIRED BY THE PLANNING BOARD. PRIOR TO THE AUTHORIZATION TO PROCEED WITH ANY PHASE OF THE SITE WORK, THE TOWN OF ORANGETOWN DEPARTMENT OF ENVIRONMENTAL MANAGEMENT AND ENGINEERING (DEME) SHALL INSPECT THE INSTALLATION OF ALL REQUIRED SOIL EROSION AND SEDIMENT CONTROL MEASURES. THE APPLICANT SHALL CONTACT DEME AT LEAST 48 HOURS IN ADVANCE FOR AN INSPECTION.
  16. THE CONTRACTOR'S TRAILER, IF ANY IS PROPOSED, SHALL BE LOCATED AS APPROVED BY THE PLANNING BOARD.
  17. IF THE APPLICANT, DURING THE COURSE OF CONSTRUCTION, ENCOUNTERS SUCH CONDITIONS AS FLOOD AREAS, UNDERGROUND WATER, SOFT OR SILTY AREAS, IMPROPER DRAINAGE, OR ANY OTHER UNUSUAL CIRCUMSTANCES OR CONDITIONS OR CONDITIONS THAT WERE NOT FORESEEN IN THE ORIGINAL PLANNING, SUCH CONDITIONS SHALL BE REPORTED IMMEDIATELY TO DEME. THE APPLICANT SHALL SUBMIT THEIR RECOMMENDATIONS AS TO THE SPECIAL TREATMENT TO BE GIVEN TO SUCH AREAS TO SECURE ADEQUATE, PERMANENT AND SATISFACTORY CONSTRUCTION. DEME SHALL INVESTIGATE THE CONDITIONS, AND SHALL EITHER APPROVE THE APPLICANT'S RECOMMENDATIONS TO CORRECT THE CONDITIONS, OR ORDER A MODIFICATION THEREOF. IN THE EVENT OF THE APPLICANT'S DISAGREEMENT WITH THE DECISION OF THE DEME, OR IN THE EVENT OF A SIGNIFICANT CHANGE RESULTING TO THE SUBDIVISION PLAN - OR SITE PLAN OR ANY CHANGE THAT INVOLVES A WETLAND REGULATED AREA, THIS MATTER SHALL BE DECIDED BY THE AGENCY WITH JURISDICTION IN THAT AREA (I.E. WETLANDS - U.S. ARMY CORPS OF ENGINEERS).
  18. PERMANENT VEGETATION COVER OF DISTURBED AREAS SHALL BE ESTABLISHED ON THE SITE WITHIN THIRTY (30) DAYS OF THE COMPLETION OF CONSTRUCTION.
  19. ALL UTILITIES, INCLUDING ELECTRIC AND TELEPHONE SERVICE, SHALL BE INSTALLED UNDERGROUND.
  20. IRON PINS OR MONUMENTS SHALL BE PLACED AT LOT CORNERS, AS SHOWN ON THE PLAN.
  21. THIS PLAN DOES NOT CONFLICT WITH THE COUNTY OFFICIAL MAP AND HAS BEEN APPROVED IN THE MANNER SPECIFIED BY SECTION 238.64M OF THE GENERAL MUNICIPAL LAW OF THE STATE OF NEW YORK.
  22. THE DRAWINGS AND PROJECT ARE IN COMPLIANCE WITH STORMWATER MANAGEMENT PHASE II REGULATIONS.
  23. A CERTIFICATION BY AN APPROPRIATE LICENSED OR CERTIFIED DESIGN PROFESSIONAL SHALL BE REQUIRED FOR ALL MATTERS BEFORE THE PLANNING BOARD INDICATING THAT THE DRAWINGS AND PROJECT ARE IN COMPLIANCE WITH STORMWATER MANAGEMENT PHASE II REGULATIONS.
  24. MAINTENANCE OF THE DETENTION BASIN SHALL BE THE SELF RESPONSIBILITY OF THE OWNERS OF LOT #1 AND LOT #2. A LEGALLY BINDING MAINTENANCE AGREEMENT, INCLUDING PROVISIONS FOR ANY NECESSARY EASEMENTS, HAS BEEN EXECUTED AND FILED IN THE OFFICE OF THE ROCKLAND COUNTY CLERK AS INSTRUMENT NUMBERS 2017-0004024 AND 2017-0004025.
  25. AT LEAST 14 DAYS PRIOR TO THE PLACING OF ANY ROAD SUB-BASE, THE APPLICANT SHALL PROVIDE THE TOWN OF ORANGETOWN SUPERINTENDENT OF HIGHWAYS AND DEME WITH A PLAN AND PROFILE OF THE GRADED ROAD TO BE PAVED IN ORDER THAT THESE DEPARTMENTS MAY REVIEW THE DRAWINGS CONFORMANCE TO THE APPROVED CONSTRUCTION PLANS AND THE TOWN STREET SPECIFICATION.
  26. A VARIANCE FOR "ACCESS BY RIGHT-OF-WAY" FOR LOT #2 WAS GRANTED BY THE ZBA AS RESOLUTION #08-08 ON 1/16/08.
  27. ALL STORMWATER AND SANITARY SEWER FACILITIES ON THE PROJECT SITE ARE PRIVATE.
  28. THERE SHALL BE NO CHANGE TO THE GRADE WITHIN THE RIGHT-OF-WAY OF ROUTE 304 AS PART OF THE INSTALLATION OF UTILITIES.
  29. ALL WETLAND AND WETLAND BUFFER AREAS TO BE PRESERVED SHALL BE MARKED IN THE FIELD WITH A SNOW FENCE PRIOR TO ANY CLEARING OR CONSTRUCTION. LONG TERM USE RESTRICTIONS REGARDING THESE AREAS ARE CONTAINED WITHIN A COVENANT FILED IN THE ROCKLAND COUNTY CLERK'S OFFICE AS INSTRUMENT #2010-0003245. ADDITIONALLY, MAINTENANCE RESPONSIBILITIES AND USE RESTRICTIONS REGARDING PROPOSED UTILITIES/INGRESS/EGRESS EASEMENTS, COMMON IMPROVEMENTS, CONSERVATION EASEMENT, AND DETENTION BASIN ARE CONTAINED WITHIN A COVENANT FILED IN THE ROCKLAND COUNTY CLERK'S OFFICE IN INSTRUMENT #2010-0003244.
  30. MAP REFERENCE: "SUBDIVISION OF PROPERTY FOR HILLSIDE COMMERCIAL PARK" PREPARED BY JAY A. GREENWELL, PLS AND FILED IN THE OFFICE OF THE ROCKLAND COUNTY CLERK ON 10/12/10 AS MAP #8120.
  31. THIS PROJECT WILL NOT IMPACT THE FLOODWAY AND THE PLACEMENT OF FILL WILL NOT CAUSE AN INCREASE IN FLOOD HEIGHTS.
  32. ALL STRUCTURES ON THE SITE MUST BE FULLY SPRINKLED AND EQUIPPED WITH WET STANDPIPE SYSTEM.
  33. THE OWNERSHIP AND MAINTENANCE OF THE PROPOSED PRIVATE SANITARY SEWER SYSTEM INCLUDING ALL PUMPING STATIONS, GRAVITY MAINS, AND FORCE MAINS ON THE SITE SHALL BE THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
  34. A COPY OF THE ENGINEER'S CERTIFICATION, SANITARY SEWER TEST RESULTS, AND AS-BUILT SHALL BE SUBMITTED TO THE ROCKLAND COUNTY HEALTH DEPARTMENT.
  35. CERTIFICATES OF OCCUPANCY UNTIL A CERTIFICATE OF APPROVAL HAS BEEN RELEASED BY THE ROCKLAND COUNTY HEALTH DEPARTMENT.
  36. LOT DRAINAGE SHOWN SHALL CONSTITUTE AN EASEMENT RUNNING WITH THE LAND AND ARE NOT TO BE DISTURBED.
  37. BEFORE THE SITE PLAN CAN BE SIGNED FOR FILING:
    - A. ANY EASEMENTS, DEDICATIONS OR RESTRICTIVE COVENANTS ARE TO BE SUBMITTED IN FORM SATISFACTORY TO THE TOWN ATTORNEY.
    - B. POSTING OF BONDS IN AMOUNT TO BE DETERMINED BY VARIOUS DEPARTMENTS HAVING JURISDICTION AND IN A FORM SATISFACTORY TO THE TOWN ATTORNEY.
    - C. ALL PLANNING BOARD REQUIREMENTS MUST BE SATISFIED AND ALL FEES AND EXPENSES MUST BE PAID.
  38. NO MODIFICATIONS ARE TO BE MADE WITHIN ORANGE AND ROCKLAND UTILITIES TRANSMISSION RIGHT OF WAY WITHOUT O&R'S PRIOR CONSENT.
  39. STOCKPIILING OF SOIL OR CONSTRUCTION MATERIALS WITHIN THE EASEMENT AREA IS PROHIBITED.
  40. AS REQUIRED BY STATE LAW, THE APPLICANT MUST CALL 811 CALL BEFORE YOU DIG FIVE (5) WORKING DAYS BEFORE YOU OR CONTRACTOR BREAK GROUND.
  41. BEFORE ANY WORK OR IMPROVEMENTS BEING PERFORMED IN O&R'S EASEMENT AREA AT ANY TIME, A WORK PLAN PREPARED IN ACCORDANCE WITH ORANGE AND ROCKLAND'S WORK PLAN TEMPLATE MUST BE SUBMITTED TO O&R FOR ITS PRIOR REVIEW AND COMMENTS.
  42. THE TOWN OF ORANGETOWN SEWER INSPECTOR SHALL BE NOTIFIED AT LEAST 48 HOURS IN ADVANCE OF ANY AND ALL PROPOSED SANITARY SEWER WORK.
  43. ALL REQUIRED DISTURBANCE OF THE WETLAND FOR THIS PROJECT WAS PREVIOUSLY COMPLETED IN NOVEMBER 2017 UNDER THE PROVISIONS OF THE DULY ISSUED PERMIT FROM THE U.S. ARMY CORPS OF ENGINEERS (ACCE PERMIT NUMBER NAN-2015-00332-W08). THERE IS NO FURTHER DISTURBANCE OF THE WETLANDS REQUIRED OR PROPOSED AS PART OF THE AMENDED FINAL SITE PLAN APPLICATION.
  44. NO TRUCK LOADING SHALL BE PERMITTED AT THE LOADING AREAS ON THE EASTERN SIDE OF THE BUILDINGS.

SIGNATURE BOX	
OWNER	DATE
PLANNING BOARD	DATE

REV	DESCRIPTION	BY	DATE
1	AS PER REVIEW COMMENTS	JO	07/06/21


**DISCLAIMER:**  
UNAUTHORIZED ALTERATION OR ADDITIONS TO THESE PLANS IS A VIOLATION OF THE N.Y.S. EDUCATION LAW, ARTICLE 145, SECTION 7209, SUBSECTION 2.

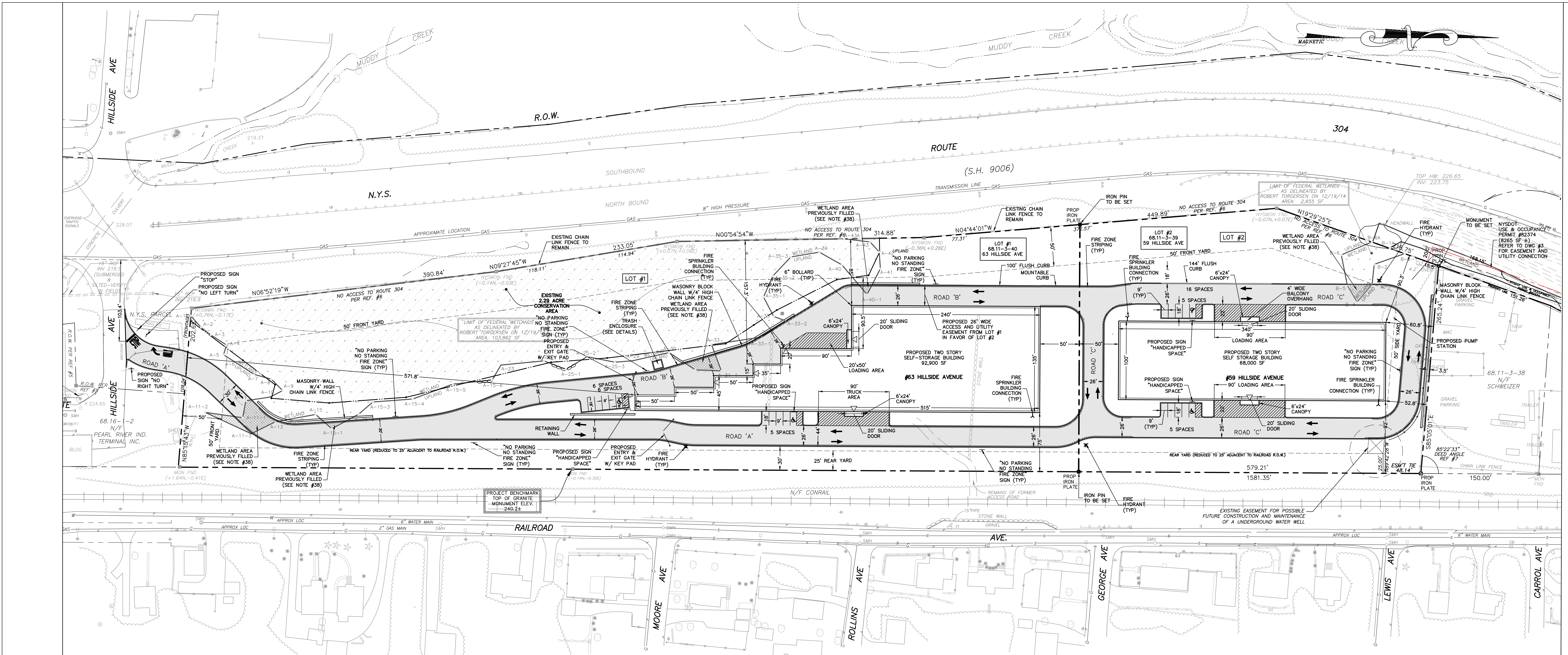
**BROOKER ENGINEERING, PLLC**  
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74 Lafayette Avenue, Suite 501 | 65 Ramapo Valley Road, Suite 208  
Suffern, NY 10901 | Mahwah, NJ 07430  
(845) 357-4411 | (201) 884-1221

**PROJECT:**  
AMENDED FINAL SITE PLAN FOR  
HILLSIDE COMMERCIAL PARK  
TOWN OF ORANGETOWN  
ROCKLAND COUNTY, NEW YORK

**TITLE:**  
TITLE SHEET

 <p><b>STUART STROW</b> PROFESSIONAL ENGINEER N.Y.S. Lic. No. 66876</p>	PROJECT NO: 21044	DRAWN: JO	CHECKED: SS
	SCALE: AS SHOWN	GRAPHIC SCALE:	
DATE: 04/30/2021	DRAWING NO: T		



- NOTES:**
- THIS IS A SITE PLAN OF SECTION 68.11 BLOCK 3 LOTS 39 AND 40 OF THE TOWN OF ORANGETOWN TAX MAP.
  - ZONING DISTRICT: L1
  - AREA OF PARCELS: 448,053 S.F. (10.22 ACRES)
  - OWNER: 2100 POWERS FERRY ROAD, MONTAR GROUP LLC, 6100 LAKE FOREST DRIVE, SUITE 104, FALLS CHURCH, VA 22048
  - SCHOOL DISTRICT: PEARL RIVER
  - FIRE DISTRICT: PEARL RIVER
  - SEWER DISTRICT: ORANGETOWN
  - WATER DISTRICT: SUEZ WATER
  - BOUNDARY AND TOPOGRAPHIC DATA TAKEN FROM AN ACTUAL FIELD SURVEY PREPARED BY JAY A. GREENWELL, PLS., DATED 1/29/07.
  - DATUM: NAD 83
  - AT LEAST ONE WEEK PRIOR TO THE COMMENCEMENT OF ANY WORK, INCLUDING THE INSTALLATION OF GREENWALL CONTROL DEVICES OR THE REMOVAL OF TREES AND VEGETATION, A PRE-CONSTRUCTION MEETING MUST BE HELD WITH THE TOWN OF ORANGETOWN DEPARTMENT OF ENVIRONMENTAL MANAGEMENT AND ENGINEERING, SUPERINTENDENT OF HIGHWAYS AND THE OFFICE OF BUILDING, ZONING AND PLANNING ADMINISTRATION AND ENFORCEMENT. IT IS THE RESPONSIBILITY AND OBLIGATION OF THE PROPERTY OWNER TO ARRANGE SUCH A MEETING.
  - TREE PROTECTION: THE TREE PROTECTION AND PRESERVATION GUIDELINES ADOPTED PURSUANT TO SECTION 21-24 OF THE LAND DEVELOPMENT REGULATIONS OF THE TOWN OF ORANGETOWN WILL BE IMPLEMENTED IN ORDER TO PROTECT AND PRESERVE BOTH INDIVIDUAL SPECIMEN TREES AND BUFFER AREA WITH MANY TREES. STEPS THAT WILL BE TAKEN TO RESERVE AND PROTECT EXISTING TREES TO REMAIN ARE AS FOLLOWS:
    - NO CONSTRUCTION EQUIPMENT SHALL BE PARKED UNDER THE TREE CANOPY.
    - THERE WILL BE NO EXCAVATION OR STOCKPILING OF EARTH UNDERNEATH THE TREES.
    - TREES DESIGNATED TO BE PRESERVED SHALL BE MARKED CONSPICUOUSLY ON ALL SIDES AT A 5 TO 10 FEET HEIGHT.
    - THE TREE PROTECTION ZONE FOR TREES DESIGNATED TO BE PRESERVED WILL BE ESTABLISHED BY ONE OF THE FOLLOWING METHODS:
      - ONE (1) FOOT RADIUS FROM TRUNK PER INCH DBH
      - DROP LINE OF THE TREE CANOPY: THE METHOD CHOSEN SHOULD BE BASED ON PROVING THE MAXIMUM PROTECTION ZONE POSSIBLE. A BARRIER OF SNOW FENCE OR EQUAL IS TO BE PLACED AND MAINTAINED ONE YARD BEYOND THE ESTABLISHED TREE PROTECTION ZONE. IF IT IS AGREED THAT THE TREE PROTECTION ZONE OF A SELECTED TREE MUST BE VIOLATED, ONE OF THE FOLLOWING METHODS MUST BE EMPLOYED TO MITIGATE THE IMPACT:
        - LIGHT TO HEAVY IMPACTS - MINIMUM OF EIGHT INCHES OF WOOD CHIPS INSTALLED IN THE AREA TO BE PROTECTED. CHIPS SHALL BE REMOVED UPON COMPLETION OF WORK.
        - LIGHT IMPACTS ONLY - INSTALLATION OF 1 INCH PLYWOOD OR BOARDS OR EQUAL OVER THE AREA TO BE PROTECTED. THE BARRIER OR ITS AGENT MAY NOT CHANGE GRADE WITHIN THE TREE PROTECTION ZONE OF A PRESERVED TREE UNLESS SUCH GRADE CHANGE HAS RECEIVED APPROVAL FROM THE PLANNING BOARD. IF THE GRADE LEVEL IS TO BE CHANGED MORE THAN SIX INCHES, TREES DESIGNATED TO BE PRESERVED SHALL BE WELLED AND/OR PRESERVED IN A RAISED BED, WITH A TREE WELL HAVING A RADIUS OF THREE (3) FEET LARGER THAN THE TREE CANOPY.
  - ALL LANDSCAPING SHOWN ON THE SITE PLAN SHALL BE MAINTAINED IN A VIGOROUS GROWING CONDITION THROUGHOUT THE DURATION OF THE USE OF THIS SITE. ANY PLANTS NOT SO MAINTAINED SHALL BE REPLACED WITH NEW PLANTS AT THE BEGINNING OF THE NEXT GROWING SEASON IMMEDIATELY FOLLOWING GROWING SEASON.
  - PRIOR TO THE COMMENCEMENT OF ANY SITE WORK, INCLUDING THE REMOVAL OF TREES, THE APPLICANT SHALL INSTALL THE SOIL EROSION AND SEDIMENT CONTROL AS REQUIRED BY THE PLANNING BOARD. PRIOR TO THE AUTHORIZATION TO PROCEED WITH ANY PHASE OF THE SITE WORK, THE TOWN OF ORANGETOWN DEPARTMENT OF ENVIRONMENTAL MANAGEMENT AND ENGINEERING (DEME) SHALL INSPECT THE INSTALLATION OF ALL REQUIRED SOIL EROSION AND SEDIMENT CONTROL MEASURES. THE APPLICANT SHALL CONTACT DEME AT LEAST 48 HOURS IN ADVANCE FOR AN INSPECTION.
  - IF THE APPLICANT, DURING THE COURSE OF CONSTRUCTION, ENCOUNTERS SUCH CONDITIONS AS FLOOD AREAS, UNDERGROUND WATER, SOFT OR SILTY AREAS, IMPROPER DRAINAGE, OR ANY OTHER UNUSUAL CIRCUMSTANCES OR CONDITIONS THAT WERE NOT FORESEEN IN THE ORIGINAL PLANNING, SUCH CONDITIONS SHALL BE REPORTED IMMEDIATELY TO DEME. THE APPLICANT SHALL SUBMIT THEIR RECOMMENDATIONS AS TO THE SPECIAL TREATMENT TO BE GIVEN TO SUCH AREAS TO SECURE ADEQUATE, PERMANENT AND SATISFACTORY CONSTRUCTION. DEME SHALL INVESTIGATE THE CONDITIONS AND EITHER APPROVE THE APPLICANT'S RECOMMENDATIONS TO CORRECT THE CONDITIONS, OR ORDER A MODIFICATION THEREOF. IN THE EVENT OF THE APPLICANT'S DISAGREEMENT WITH THE DECISION OF THE DEME, OR IN THE EVENT OF A SIGNIFICANT CHANGE RESULTING TO THE SUBDIVISION PLAN, OR SITE PLAN OR ANY CHANGE THAT INVOLVES A LAND REGULATED AREA, THIS MATTER SHALL BE DECIDED BY THE AGENCY WITH JURISDICTION IN THAT AREA (I.E. WETLANDS - U.S. ARMY CORPS OF ENGINEERS).
  - PERMANENT VEGETATION COVER OF DISTURBED AREAS SHALL BE ESTABLISHED ON THE SITE WITHIN THIRTY (30) DAYS OF THE COMPLETION OF CONSTRUCTION.
  - ALL UTILITIES, INCLUDING ELECTRIC AND TELEPHONE SERVICES, SHALL BE INSTALLED UNDERGROUND.
  - THIS PLAN DOES NOT CONFLICT WITH THE ZONING ORDINANCES IN THE MANNER SPECIFIED BY SECTION 238.64M OF THE GENERAL MUNICIPAL LAW OF THE STATE OF NEW YORK.
  - THE DRAWINGS AND PROJECT ARE IN COMPLIANCE WITH STORMWATER MANAGEMENT PHASE II REGULATIONS.
  - A CERTIFICATION BY AN APPROPRIATE LICENSED OR CERTIFIED DESIGN PROFESSIONAL SHALL BE REQUIRED FOR ALL MATTERS BEFORE THE PLANNING BOARD INDICATING THAT THE DRAWINGS AND PROJECT ARE IN COMPLIANCE WITH STORMWATER MANAGEMENT PHASE II REGULATIONS.
  - MAINTENANCE OF THE DETENTION BASIN SHALL BE THE SELF RESPONSIBILITY OF THE OWNERS OF LOT #1 AND LOT #2. A LEGALLY BINDING MAINTENANCE AGREEMENT, INCLUDING PROVISIONS FOR ANY NECESSARY EASEMENTS, HAS BEEN EXECUTED AND FILED IN THE OFFICE OF THE ROCKLAND COUNTY CLERK AS INSTRUMENT NUMBERS 2017-000402A AND 2017-000402B.
  - AT LEAST 14 DAYS PRIOR TO THE PLACING OF ANY ROAD SURFING, THE APPLICANT SHALL PROVIDE THE TOWN OF ORANGETOWN SUPERINTENDENT OF HIGHWAYS AND DEME WITH A PLAN AND PROFILE OF THE GRADED ROAD TO BE PAVED IN ORDER THAT THESE DEPARTMENTS MAY REVIEW THE DRAWINGS CONFORMANCE TO THE APPROVED CONSTRUCTION PLANS AND THE TOWN STREET SPECIFICATION.
  - AN EASEMENT FOR ACCESS BY RIGHT-OF-WAY FOR LOT #2 WAS GRANTED BY THE DEA AS RESOLUTION #19-06 ON 1/19/08.
  - ALL STORMWATER AND SANITARY SEWER FACILITIES ON THE PROJECT SITE ARE PRIVATE.
  - THERE SHALL BE NO DISCHARGE OF WASTEWATER TO ANY WATERWAY.
  - ALL WETLAND AND WETLAND BUFFER AREAS TO BE PRESERVED SHALL BE MARKED IN THE FIELD WITH A SNOW FENCE PRIOR TO ANY CLEARING OR CONSTRUCTION. LONG TERM USE RESTRICTIONS REGARDING THESE AREAS ARE CONTAINED WITHIN A COVENANT FILED IN THE ROCKLAND COUNTY CLERK'S OFFICE AS INSTRUMENT #2010-000354S. ADDITIONALLY, MAINTENANCE RESPONSIBILITIES AND USE RESTRICTIONS REGARDING PROPOSED UTILITIES/INGRESS/EGRESS EASEMENTS, COMMON IMPROVEMENTS, CONSERVATION EASEMENT, AND DETENTION BASIN ARE CONTAINED WITHIN A COVENANT FILED IN THE ROCKLAND COUNTY CLERK'S OFFICE AS INSTRUMENT #2010-000354S.
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  - THIS PROJECT WILL NOT IMPACT THE FLOODWAY AND THE PLACEMENT OF FILL WILL NOT CAUSE AN INCREASE IN FLOOD HEIGHTS.
  - ALL STRUCTURES ON THE SITE MUST BE FULLY SPRINKLED AND EQUIPPED WITH WET STROUPE SYSTEM.
  - THE OWNERSHIP AND MAINTENANCE OF THE PROPOSED PRIVATE SANITARY SEWER SYSTEM INCLUDING ALL PUMPING STATIONS, GRAVITY MAINS, AND FORCE MAINS ON THE SITE SHALL BE THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
  - A COPY OF THE ENGINEER'S CERTIFICATION, SANITARY SEWER TEST RESULTS, AND AS-BUILT SHALL BE SUBMITTED TO THE ROCKLAND COUNTY HEALTH DEPARTMENT. THE TOWN OF ORANGETOWN SHALL NOT RELEASE CERTIFICATES OF OCCUPANCY UNTIL A CERTIFICATE OF APPROVAL HAS BEEN RELEASED BY THE ROCKLAND COUNTY HEALTH DEPARTMENT.
  - LOT DRAINAGE SHOWN SHALL CONSTITUTE AN EASEMENT RUNNING WITH THE LAND AND ARE NOT TO BE DISTURBED.
  - BEFORE THE SITE PLAN CAN BE SIGNED FOR FILING:
    - ANY EASEMENTS, DEDICATIONS OR RESTRICTIVE COVENANTS ARE TO BE SUBMITTED IN FORM SATISFACTORY TO THE TOWN ATTORNEY.
    - POSTING OF BONDS IN AMOUNT TO BE DETERMINED BY THE TOWN ENGINEER AND IN A FORM SATISFACTORY TO THE TOWN ATTORNEY.
    - ALL PLANNING BOARD REQUIREMENTS MUST BE SATISFIED AND ALL FEES AND EXPENSES MUST BE PAID.
  - NO MODIFICATIONS ARE TO BE MADE WITHIN ORANGE AND ROCKLAND UTILITIES TRANSMISSION RIGHT OF WAY WITHOUT O&R'S PRIOR CONSENT.
    - STOOPING OF SOIL OR CONSTRUCTION MATERIALS WITHIN A TRANSMISSION RIGHT OF WAY IS PROHIBITED.
    - AS REQUIRED BY STATE LAW, THE APPLICANT MUST CALL 811 CALL BEFORE YOU DIG FIVE (5) WORKING DAYS BEFORE YOU OR CONTRACTOR BREAK GROUND.
  - BEFORE ANY WORK OR IMPROVEMENTS BEING PERFORMED IN O&R'S EASEMENT AREA AT ANY TIME, A WORK PLAN PREPARED IN ACCORDANCE WITH ORANGE AND ROCKLAND'S WORK PLAN TEMPLATE MUST BE SUBMITTED TO O&R FOR ITS PRIOR REVIEW AND COMMENTS.
  - BEFORE ANY WORK OR IMPROVEMENTS BEING PERFORMED IN THE TOWN OF ORANGETOWN'S EASEMENT AREA AT ANY TIME, A WORK PLAN PREPARED IN ACCORDANCE WITH ORANGE AND ROCKLAND'S WORK PLAN TEMPLATE MUST BE SUBMITTED TO O&R FOR ITS PRIOR REVIEW AND COMMENTS.
  - ALL REQUIRED DISTURBANCE OF THE WETLAND FOR THIS PROJECT WAS PREVIOUSLY COMPLETED IN NOVEMBER 2017 UNDER THE PROVISIONS OF THE DULY ISSUED PERMIT FROM THE ARMY CORPS OF ENGINEERS (ACOE PERMIT NUMBER NAW-2015-00332-W00). THERE IS NO FURTHER DISTURBANCE OF THE WETLANDS REQUIRED OR PROPOSED AS PART OF THE AMENDED FINAL SITE PLAN APPLICATION.
  - NO TRUCK LOADING SHALL BE PERMITTED AT THE LOADING AREAS ON THE EASTERN SIDE OF THE BUILDINGS.

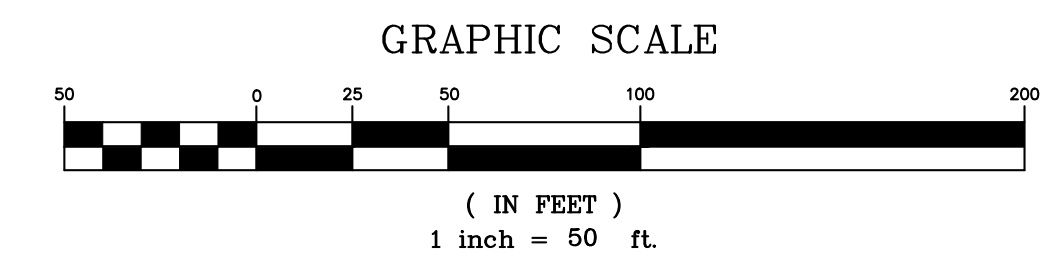
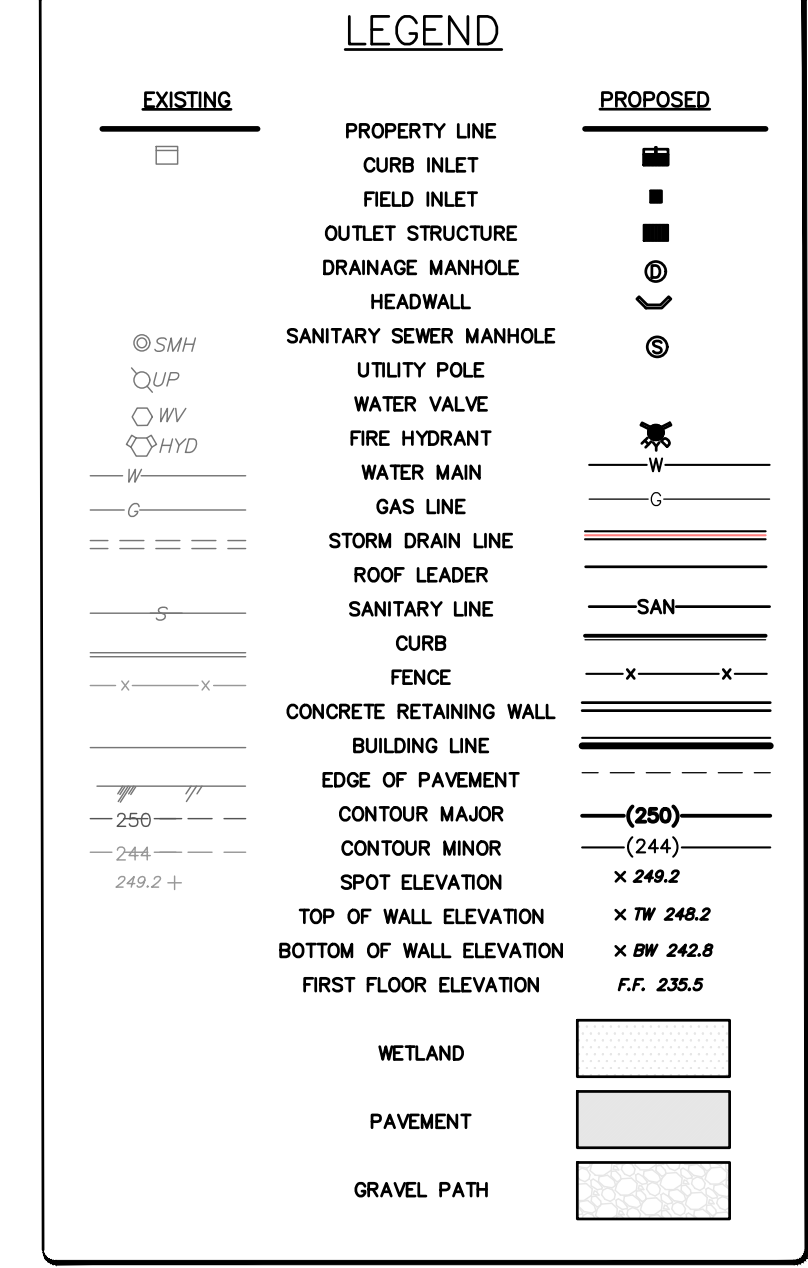
**SELF-STORAGE BUILDING HEIGHT CALCULATION - 59 HILLSIDE AVENUE**  
 AVERAGE ELEVATION OF PROPOSED FINISHED GRADE = 238.5  
 MAXIMUM ALLOWABLE BUILDING HEIGHT PER FOOT OF DISTANCE FROM LOT LINE = 6'  
 CALCULATE MAXIMUM ALLOWABLE HEIGHT ALONG SOUTHERLY FACE OF BUILDING  
 MINIMUM DISTANCE TO SOUTHERLY LOT LINE = 50 FEET  
 MAXIMUM ALLOWABLE BUILDING HEIGHT = (6') X (50) = 300' = 25 FEET  
 MAXIMUM ELEVATION OF ROOF ALONG THE SOUTHERLY SIDE OF THE BUILDING MEASURED TO HIGHEST POINT IN ACCORDANCE WITH THE DEFINITION OF 'HEIGHT' WITHIN THE TOWN OF ORANGETOWN ZONING CODE = 238.5 + 25 = ELEVATION 263.5

**FLOOR AREA RATIO CALCULATION:**

LOT 68.11-3-40 63 HILLSIDE COMMERCIAL LOT AREA = 304,414 SF PROP. BUILDING = 92,900 SF 92,900/304,414 = 0.305	LOT 68.11-3-39 59 HILLSIDE COMMERCIAL LOT AREA = 140,639 SF PROP. BUILDING = 68,000 SF 68,000/304,414 = 0.483
---	---

**SELF-STORAGE BUILDING HEIGHT CALCULATION - 63 HILLSIDE AVENUE**  
 AVERAGE ELEVATION OF PROPOSED FINISHED GRADE = 235.9  
 MAXIMUM ALLOWABLE BUILDING HEIGHT PER FOOT OF DISTANCE FROM LOT LINE = 6'  
 CALCULATE MAXIMUM ALLOWABLE HEIGHT ALONG NORTHERLY FACE OF BUILDING  
 MINIMUM DISTANCE TO NORTHERLY LOT LINE = 50 FEET  
 MAXIMUM ALLOWABLE BUILDING HEIGHT = (6') X (50) = 300' = 25.0 FEET  
 MAXIMUM ELEVATION OF ROOF ALONG THE NORTHERLY SIDE OF THE BUILDING MEASURED TO HIGHEST POINT IN ACCORDANCE WITH THE DEFINITION OF 'HEIGHT' WITHIN THE TOWN OF ORANGETOWN ZONING CODE = 235.9 + 25.0 = ELEVATION 260.9

THE ROOF OF THE PROPOSED BUILDING WILL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE ABOVE CALCULATIONS AND IN COMPLIANCE WITH THE APPLICABLE DEFINITIONS WITHIN THE TOWN OF ORANGETOWN ZONING CODE.



**BULK TABLE OF REQUIREMENTS L1 ZONING DISTRICT (GROUP "QQ")**

DESCRIPTION	MAXIMUM FLOOR AREA RATIO	MINIMUM LOT AREA (SQ FEET)	MINIMUM LOT WIDTH (FEET)	MINIMUM STREET FRONTAGE (FEET)	REQUIRED FRONT YARD (FEET)	REQUIRED SIDE YARD (FEET)	REQUIRED TOTAL BOTH SIDE YARDS (FEET)	REQUIRED REAR YARD (FEET)	MAXIMUM LAND COVERAGE (PERCENT)	MAXIMUM BUILDING HEIGHT PER FOOT OF DISTANCE FROM LOT LINE
REQUIRED	0.50	2 ACRES	150	150	50	50	100	25*	75	6 INCHES
PROPOSED - LOT #1	0.305	6.99 ACRES	1144	1246.45	57.8	50	NA	75	36	6 INCHES
PROPOSED - LOT #2	0.483	3.23 ACRES	449	470	90.3	50	102.8	92	52.5	6 INCHES

\*AS PER BULKTABLE NOTE #10 THE REQUIRED REAR YARD IS REDUCED TO 25 FEET WHERE ITS ABUTS THE RAILROAD

**PARKING CALCULATION DATA**

LOT	USE	REQUIREMENT	SPACES REQUIRED	SPACES PROVIDED
LOT #1	SELF-STORAGE	1 SPACE PER 2 EMPLOYEES OR 300 SQUARE FEET OF GROSS FLOOR AREA	NUMBER OF EMPLOYEES = 2 2 / 2 = 1 > 1 SPACE REQ'D	11 SPACES
LOT #2	SELF-STORAGE	1 SPACE PER 2 EMPLOYEES OR 300 SQUARE FEET OF GROSS FLOOR AREA	NUMBER OF EMPLOYEES = 2 1 SPACE REQUIRED	10 SPACES

REV	DESCRIPTION	BY	DATE
1	AS PER REVIEW COMMENTS	JO	07/06/21

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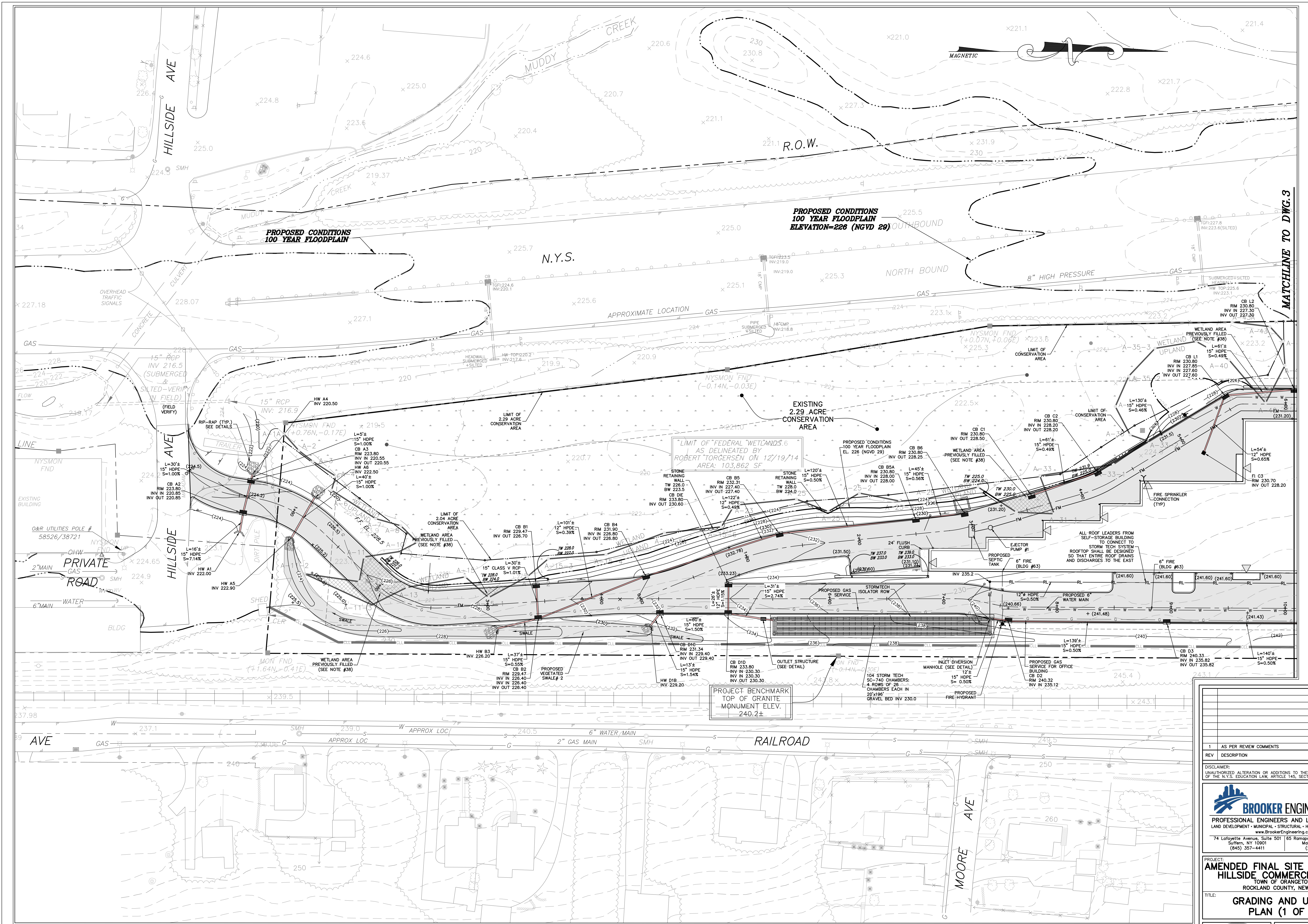
PROJECT: AMENDED FINAL SITE PLAN FOR HILLSIDE COMMERCIAL PARK  
 TOWN OF ORANGETOWN  
 ROCKLAND COUNTY, NEW YORK

LAYOUT PLAN

TITLE:

PROJECT NO: 21044  
 SCALE: 1"=50'  
 GRAPHIC SCALE:  
 DATE: 04/30/2021  
 DRAWING NO: 1

STUART STROW  
 PROFESSIONAL ENGINEER  
 N.Y.S. Lic. No. 66676



**PROPOSED CONDITIONS  
100 YEAR FLOODPLAIN  
ELEVATION=226 (NGVD 29)**

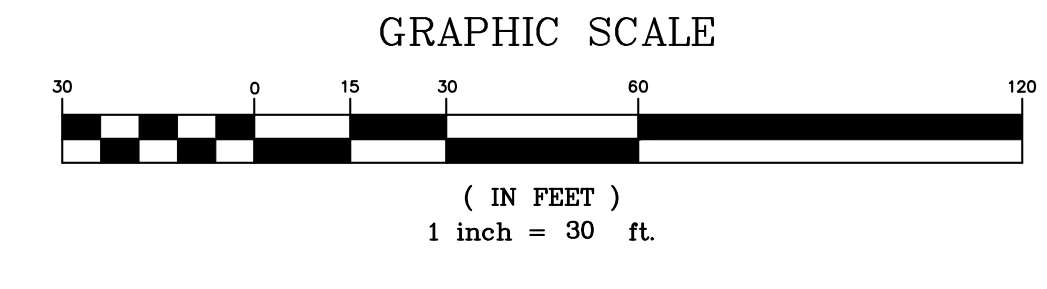
**EXISTING  
2.29 ACRE  
CONSERVATION AREA**

**LIMIT OF FEDERAL WETLANDS 6  
AS DELINEATED BY  
ROBERT TORGERSEN ON 12/19/14  
AREA: 103.862 SF**

**PROJECT BENCHMARK  
TOP OF GRANITE  
MONUMENT ELEV.  
240.2±**

**GENERAL NOTES:**

1. THERE ARE NO STORMWATER "HOT SPOT" USES PROPOSED AT THIS SITE. ANY FUTURE "HOT SPOT" USES ON THIS PROPERTY, AS DEFINED IN THE NYSDEC STORMWATER MANAGEMENT DESIGN MANUAL, MUST COMPLY WITH ALL APPLICABLE WATER QUALITY REQUIREMENTS FOR THE "HOT SPOT" AS SPECIFIED IN THE NYSDEC STORMWATER MANAGEMENT DESIGN MANUAL.
2. FOR GRADING AND UTILITY LEGEND SEE DRAWING 3.
3. THE OWNERSHIP AND MAINTENANCE OF THE PROPOSED PRIVATE SANITARY SEWERS SYSTEM INCLUDING ALL PUMPING STATIONS, GRAVITY MAINS, AND FORCE MAINS ON THE SITE SHALL BE THE SOLE RESPONSIBILITY OF THE OWNER(S) OF THE LOT(S).



REV	DESCRIPTION	BY	DATE
1	AS PER REVIEW COMMENTS	JO	07/06/21

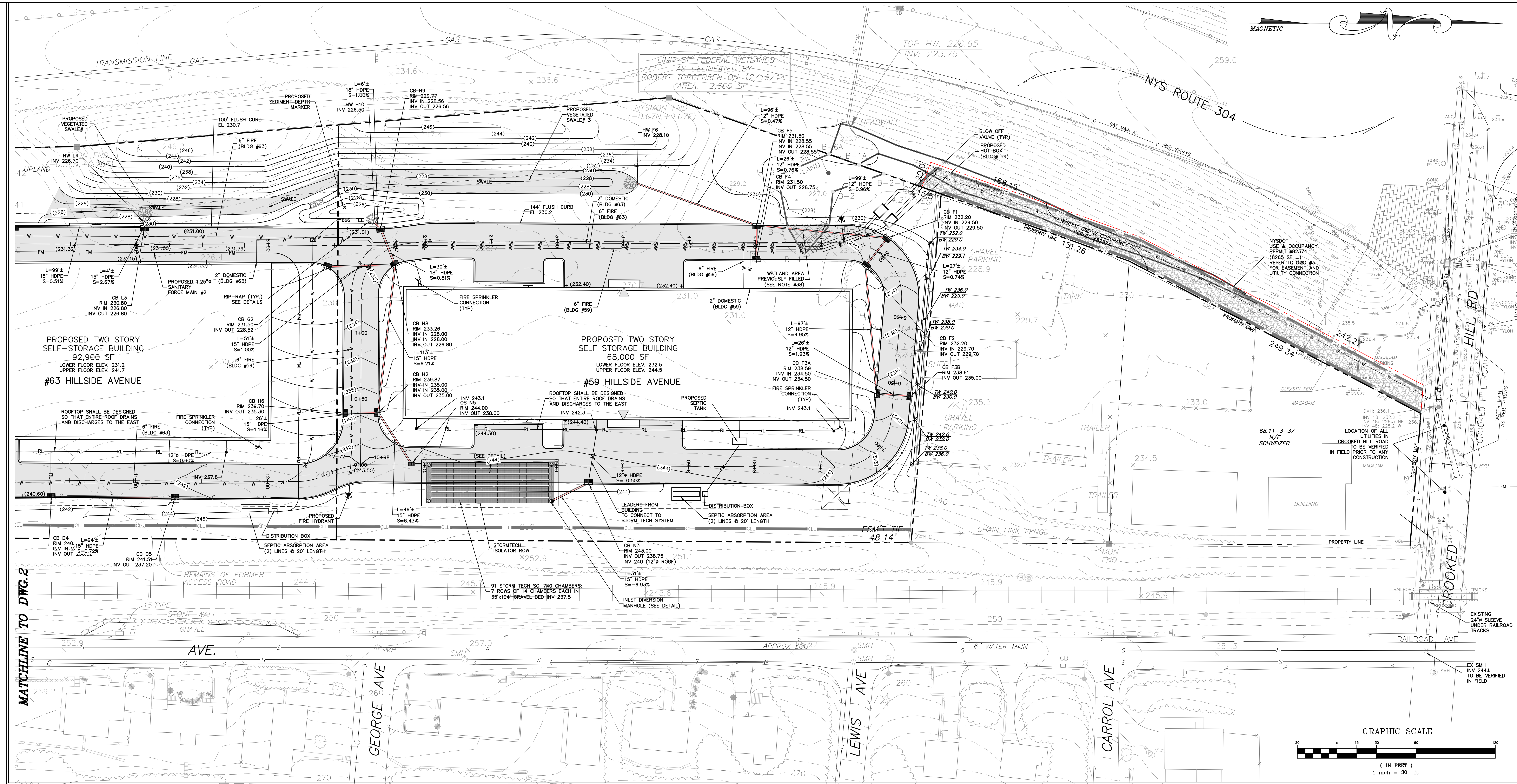
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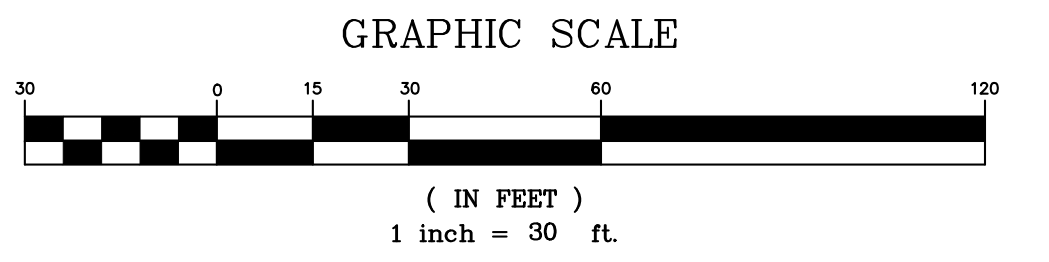
**PROJECT:  
AMENDED FINAL SITE PLAN FOR  
HILLSIDE COMMERCIAL PARK  
TOWN OF ORANGETOWN  
ROCKLAND COUNTY, NEW YORK**

**TITLE:  
GRADING AND UTILITY  
PLAN (1 OF 2)**

PROJECT NO: 21044 DRAWN: JO CHECKED: SS  
 SCALE: 1"=30'  
 GRAPHIC SCALE:  
 DATE: 04/30/2021 DRAWING NO: 2



MAGNETIC



**STORMWATER MANAGEMENT SYSTEM MAINTENANCE NOTES:**

MAINTENANCE OF THE STORMWATER MANAGEMENT FACILITIES SHALL BE THE SELF RESPONSIBILITY OF THE OWNERS OF LOT #1 AND LOT #2. A LEGALLY BINDING MAINTENANCE AGREEMENT, INCLUDING PROVISIONS FOR ANY NECESSARY EASEMENTS, SHALL BE EXECUTED BETWEEN THE LOT OWNERS. MAINTENANCE MEASURES SHALL INCLUDE THE FOLLOWING:

**INSPECTION & MAINTENANCE**

- STEP 1) INSPECT ISOLATOR ROW FOR SEDIMENT
- INSPECTION PORTS (IF PRESENT)
  - REMOVE/OPEN LID ON NYLOPLAST INLINE DRAIN
  - REMOVE AND CLEAN FLEXFORM FILTER IF INSTALLED
  - USING A FLASHLIGHT AND STADIA ROD, MEASURE DEPTH OF SEDIMENT AND RECORD ON MAINTENANCE LOG
  - LOWER A CAMERA INTO ISOLATOR ROW FOR VISUAL INSPECTION OF SEDIMENT LEVELS (OPTIONAL)
  - IF SEDIMENT IS AT, OR ABOVE, 3" (80 mm) PROCEED TO STEP 2. IF NOT, PROCEED TO STEP 3.
- B. ALL ISOLATOR ROWS
- REMOVE COVER FROM STRUCTURE AT UPSTREAM END OF ISOLATOR ROW
  - USING A FLASHLIGHT, INSPECT DOWN THE ISOLATOR ROW THROUGH OUTLET PIPE
  - MIRRORS ON POLES OR CAMERAS MAY BE USED TO AVOID A CONFINED SPACE ENTRY
  - FOLLOW OSHA REGULATIONS FOR CONFINED SPACE ENTRY IF ENTERING MANHOLE
  - IF SEDIMENT IS AT, OR ABOVE, 3" (80 mm) PROCEED TO STEP 2. IF NOT, PROCEED TO STEP 3.

- STEP 2) CLEAN OUT ISOLATOR ROW USING THE JETVAC PROCESS
- A FIXED CULVERT CLEANING NOZZLE WITH REAR FACING SPREAD OF 45" (1.1 m) OR MORE IS PREFERRED
  - APPLY MULTIPLE PASSES OF JETVAC UNTIL BACKFLUSH WATER IS CLEAN
  - VACUUM STRUCTURE SUMP AS REQUIRED

- STEP 3) REPLACE ALL COVERS, GRATES, FILTERS, AND LIDS; RECORD OBSERVATIONS AND ACTIONS.

- STEP 4) INSPECT AND CLEAN BASINS AND MANHOLES UPSTREAM OF THE STORMTECH SYSTEM.

**NOTES**

- INSPECT SYSTEM AFTER EACH RAINFALL FOR STANDING WATER OR SEDIMENT ACCUMULATION. ADJUST THE INSPECTION INTERVAL BASED ON PREVIOUS OBSERVATIONS OF SEDIMENT ACCUMULATION AND HIGH WATER ELEVATIONS.
- CONDUCT SETTING AND VACTORING ANNUALLY OR WHEN INSPECTION SHOWS THAT MAINTENANCE IS NECESSARY.

**VEGETATED SWALE MAINTENANCE MEASURES:**

- FERTILIZE AND LIME AS NEEDED TO MAINTAIN DENSE VEGETATION.
- MOW AS REQUIRED DURING THE GROWING SEASON TO MAINTAIN GRASS HEIGHTS AT 4 INCHES TO 6 INCHES.
- REMOVE ANY SEDIMENT OR DEBRIS BUILDUP BY HAND IF POSSIBLE IN THE BOTTOM OF THE CHANNEL WHEN THE DEPTH REACHES 2 INCHES.
- INSPECT FOR POOLS OF STANDING WATER. REGRADE TO RESTORE DESIGN GRADE AND REVEGETATE.
- REPAIR FILLS IN CHANNEL BOTTOM WITH COMPACTED TOPSOIL, ANCHORED WITH MESH OR FILTER FABRIC, SEED AND MULCH.
- USE OF HEAVY EQUIPMENT FOR MOWING AND REMOVING PLANTS/DEBRIS SHOULD BE AVOIDED TO MINIMIZE SOIL COMPACTION. DISTURBED AREAS SHOULD BE STABILIZED WITH SEED AND MULCH, OR REVEGETATION, AS NECESSARY.

**FOREBAY MAINTENANCE MEASURES:**

- REMOVE ACCUMULATED TRASH AND DEBRIS FROM INSIDE THE FOREBAY.
- KEEP OUTLET AND EMERGENCY OVERTFLOW CLEAR OF OBSTRUCTIONS AND DEBRIS.
- MAINTAIN ADEQUATE VEGETATION AND GROUND COVER ON THE EMBANKMENTS. SEEDING AND VEGETATION SHALL BE PROVIDED AS NEEDED TO ASSURE 100% COVERAGE.
- REMOVE UNDESIRABLE WEEDS AND WOODED VEGETATION GROWTH.
- REPAIR AND STABILIZE EMBANKMENT EROSION.
- REMOVE ACCUMULATED SEDIMENT FROM FOREBAY EVERY 5 YEARS OR AFTER 50% OF THE TOTAL FOREBAY CAPACITY HAS BEEN LOST.
- DISPOSE OF DEBRIS AND SEDIMENT IN ACCORDANCE WITH ALL APPLICABLE RULES AND REGULATIONS.

**GENERAL NOTES:**

- THERE ARE NO STORMWATER "HOT SPOT" USES PRESENTLY PROPOSED AT THIS SITE. ANY FUTURE "HOT SPOT" USES ON THIS PROPERTY, AS DEFINED IN THE NYSDEC STORMWATER MANAGEMENT DESIGN MANUAL, MUST COMPLY WITH ALL APPLICABLE WATER QUALITY REQUIREMENTS FOR THE "HOT SPOT" AS SPECIFIED IN THE NYSDEC STORMWATER MANAGEMENT DESIGN MANUAL.
- ALL ROOFS SHALL BE PITCHED AND CONSTRUCTED IN A MANNER THAT DIRECTS ALL RUNOFF TOWARD THE EAST SIDE OF THE RESPECTIVE BUILDINGS.
- THE PROPOSED 2.29 ACRE CONSERVATION AREA IS TO BE PROTECTED DURING CONSTRUCTION AND MANAGED AFTER OCCUPANCY BY A RESPONSIBLE PARTY ABLE TO MAINTAIN THE AREA IN A NATURAL STATE IN PERPETUITY, AND PROTECTED BY LEGALLY ENFORCEABLE DEED RESTRICTIONS. LEGAL DOCUMENTS SHALL BE FILED IN THE OFFICE OF THE ROCKLAND COUNTY CLERK AFTER RECEIPT OF FINAL SITE PLAN APPROVAL FROM THE TOWN OF ORANGETOWN, BUT PRIOR TO THE ISSUANCE OF A PERMIT FROM THE ROCKLAND COUNTY DRAINAGE AGENCY AND PRIOR TO ANY CONSTRUCTION ON THE SITE.
- THE OWNERSHIP AND MAINTENANCE OF THE PROPOSED PRIVATE SANITARY SEWERS SYSTEM INCLUDING ALL PUMPING STATIONS (3), GRAVITY MAINS, AND FORCE MAINS (3) ON THE SITE SHALL BE THE SOLE RESPONSIBILITY OF THE OWNER(S) OF THE LOTS. THIS SHALL INCLUDE THE FORCE MAIN RUNNING FROM THE PROPOSED PUMPING STATION #3 TO THE IN-THE-TO-MANHOLE AT CROOKED HILL ROAD AND RAILROAD AVENUE.

**MOSQUITO CONTROL NOTES**

- ALL STORMWATER FACILITIES ON THIS SITE HAVE BEEN DESIGNED TO REMOVE ALL STANDING WATER WITHIN FIVE DAYS OF A RAIN EVENT.
- ALL STORMWATER FACILITIES SHALL BE INSPECTED AFTER SIGNIFICANT RAINFALLS AND AT LEAST ONCE PER MONTH.
- IF, UPON INSPECTION, WATER REMAINS IN THE STORMWATER FACILITIES LONGER THAN FIVE DAYS AFTER A RAIN EVENT, ONE OF THE FOLLOWING MEASURES WILL BE TAKEN:
  - THE WATER WILL BE MECHANICALLY REMOVED (I.E. BY VACUUM); OR
  - THE WATER WILL BE MECHANICALLY AGITATED TO PREVENT MOSQUITO BREEDING; OR
  - THE WATER WILL BE TREATED WITH MOSQUITO LARVICIDE IN ACCORDANCE WITH NYSDEC AND ROCKLAND COUNTY HEALTH DEPARTMENT GUIDELINES, REGULATIONS AND PROCEDURES.
- MOSQUITO BREEDING SUPPRESSION MEASURES MUST BE IMPLEMENTED BETWEEN APRIL 1 AND OCTOBER 31.
- LARVICIDE TO BE APPLIED SHALL BE "MOSQUITO DUNKS" AS MANUFACTURED BY SUMMIT CHEMICAL CO., BALTIMORE, MD, OR ROCKLAND COUNTY DEPARTMENT OF HEALTH APPROVED EQUAL. LARVICIDE SHALL BE APPLIED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
- THE LONG TERM MAINTENANCE OF THE ON-SITE STORMWATER SYSTEM SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.
- RESPONSIBLE PARTY: TAC PEARL RIVER LLC 2100 POWERS FERRY ROAD ATLANTA GA 30328

**CONSTRUCTION NOTES:**

- CONTRACTOR SHALL FIELD LOCATE ALL EXISTING UTILITIES AND VERIFY ALL LOCATIONS, ELEVATIONS, INVERTS, ETC. PRIOR TO ANY CONSTRUCTION AND NOTIFY THE DESIGN ENGINEER OF ANY DISCREPANCIES ON THIS PLAN.
- CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES AND HAVE ALL UTILITIES FIELD LOCATED BY RESPECTIVE UTILITY COMPANY AND SHALL ASSUME FULL RESPONSIBILITY FOR MAINTAINING CONTINUOUS UTILITY SERVICE AND REPAIRS TO ANY DAMAGE.
- PROJECT SAFETY AND TRAFFIC MAINTENANCE ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- CONTRACTOR TO COORDINATE WITH ALL COMPANIES TO ASSURE ADEQUATE SUPPLY AND SCHEDULING OF NEW SERVICE, WHERE REQUIRED, TO FIT THE CONSTRUCTION SCHEDULING AND SEQUENCE TO ASSURE NO DAMAGE OR DISTURBANCE TO EXISTING SERVICES. IF THE CONTRACTOR DAMAGES ANY MATERIALS WHICH ARE TO REMAIN IN PLACE, THE DAMAGED MATERIALS SHALL BE REPAIRED OR REPLACED IN A MANNER SATISFACTORY TO THE ENGINEER AT THE EXPENSE OF THE CONTRACTOR.
- THE CONTRACTOR IS RESPONSIBLE TO NOTIFY THE OWNER AND ENGINEER OF ANY UNANTICIPATED UTILITIES ENCOUNTERED AND MAINTAIN THE UTILITIES IN WORKING ORDER UNTIL THEIR DISPOSITION IS RESOLVED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE RELOCATION, PROTECTION AND/OR TEMPORARY SUPPORT OF ANY UTILITIES ENCOUNTERED WITHIN THE WORK AREA.
- THE CONTRACTOR SHALL COORDINATE DIRECTLY WITH EACH AFFECTED UTILITY COMPANY, SHALL APPLY FOR AND OBTAIN THE NECESSARY PERMITS AND APPROVALS, AND SHALL INITIATE AND COORDINATE ALL NECESSARY PERMITS FOR FINAL APPROVAL AND ACCEPTANCE BY THE SUBJECT UTILITY COMPANY.
- CONTRACTOR IS RESPONSIBLE FOR MAINTAINING CONTINUOUS SERVICE OF ALL EXISTING UTILITIES WITHIN THE WORK AREA AT ALL TIMES. CONTRACTOR SHALL COORDINATE ANY REPAIR, RELOCATION OR REMOVAL OF EXISTING UTILITIES WITH EACH RESPECTIVE UTILITY COMPANY AND PROVISIONS MUST BE PROVIDED FOR TEMPORARY SERVICE OF ANY RESPECTIVE UTILITY SERVICE AFFECTED BY THE CONSTRUCTION IN THE EVENT OF ANY DISRUPTION TO THE EXISTING UTILITY. SHUT-DOWNS SHALL BE AT THE DISCRETION OF THE RESPECTIVE UTILITY COMPANIES AND COORDINATED WITH THE MUNICIPALITY AND THE ENGINEER FOR PUBLIC NOTICE IF NECESSARY. TEMPORARY SERVICE SHALL BE PROVIDED AND MAINTAINED AT NO ADDITIONAL COST.
- ALL STORM DRAINAGE PIPE TO BE HIGH DENSITY POLYETHYLENE PIPE (HDPE) WITH SMOOTH INTERIOR UNLESS OTHERWISE SPECIFIED.
- ALL ROOF LEADERS ARE TO BE CONNECTED TO THE ON-SITE STORMWATER SYSTEM. ROOF DOWNSPOUTS AND RECEIVING LEADER SIZES SHALL BE SPECIFIED BY THE BUILDING MECHANICAL ENGINEER. FINAL LOCATIONS OF ROOF LEADERS ARE TO BE FINALIZED BY CONTRACTOR. ROOF LEADER PIPES SHALL BE 30R-35 PVC.
- WATER SERVICE LINE AND SEWER CONNECTION SHALL BE PLACED IN SEPARATE TRENCHES WITH A MINIMUM HORIZONTAL DISTANCE OF TEN FEET BETWEEN THEM.
- SANITARY SEWER PIPE SHALL BE 30R-35 PVC.
- WATER MAIN PIPE, VALVES, FITTINGS, THRUST RESTRAINT, TAPPING SLEEVES, HYDRANTS, ETC SHALL CONFORM WITH SUEZ WATER NEW YORK STANDARD SPECIFICATIONS (CURRENT EDITION).
- ALL TRAFFIC CONTROL DEVICES SHALL BE IN ACCORDANCE WITH THE NEW YORK STATE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.
- ALL DIMENSIONS ARE MEASURED TO THE ROUGH UNLESS OTHERWISE NOTED. ELEVATIONS AND DIMENSIONS SHOWN ARE FOR GENERAL REFERENCE ONLY. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, CONDITIONS, AND ELEVATIONS IN THE FIELD PRIOR TO THE USE OF SUCH INFORMATION IN BIDDING OR CONSTRUCTION. THE CONTRACTOR SHALL TAKE ALL FIELD MEASUREMENTS NECESSARY TO ASSURE PROPER FIT OF FINISHED WORK AND SHALL ASSUME FULL RESPONSIBILITY FOR THEIR ACCURACY. NOTIFY THE ENGINEER IMMEDIATELY OF ANY DIMENSIONAL DISCREPANCIES.
- THE CONTRACTOR SHALL PERFORM ALL WORK WITH CARE SO THAT ANY MATERIALS WHICH ARE TO REMAIN IN PLACE WILL NOT BE DAMAGED. IF THE CONTRACTOR DAMAGES ANY MATERIALS WHICH ARE TO REMAIN IN PLACE, THE DAMAGED MATERIALS SHALL BE REPAIRED OR REPLACED IN A MANNER SATISFACTORY TO THE ENGINEER AT THE EXPENSE OF THE CONTRACTOR.
- THE SITE SHALL BE KEPT CLEAN AT ALL TIMES. UPON COMPLETION OF WORK, ALL EXCESS MATERIAL, DEBRIS, ETC. SHALL BE REMOVED AND PROPERLY DISPOSED OF AND THE WORK AREA SHALL BE LEFT CLEAN TO THE OWNER'S SATISFACTION.
- WHENEVER ITEMS IN THE CONTRACT REQUIRE MATERIALS TO BE REMOVED AND DISPOSED OF, THE COST OF SUPPLYING A DISPOSAL AREA AND TRANSPORTATION TO THAT AREA SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- THE TOWN OF ORANGETOWN SEWER INSPECTOR SHALL BE NOTIFIED AT LEAST 48 HOURS IN ADVANCE OF ANY AND ALL PROPOSED SANITARY SEWER WORK, INCLUDING WORK IN AND/OR ON PUBLIC RIGHTS-OF-WAY, ROADS, AND IN OR AROUND THE TOWN OWNED FACILITIES (MARKET KECHAN PUMP STATION FORCE MAIN, MANHOLES, ETC.).

**LEGEND**

EXISTING	PROPOSED
PROPERTY LINE	PROPERTY LINE
CURB INLET	CURB INLET
FIELD INLET	FIELD INLET
OUTLET STRUCTURE	OUTLET STRUCTURE
DRAINAGE MANHOLE	DRAINAGE MANHOLE
HEADWALL	HEADWALL
SANITARY SEWER MANHOLE	SANITARY SEWER MANHOLE
UTILITY POLE	UTILITY POLE
WATER VALVE	WATER VALVE
FIRE HYDRANT	FIRE HYDRANT
GAS LINE	GAS LINE
STORM DRAIN LINE	STORM DRAIN LINE
ROOF LEADER	ROOF LEADER
SANITARY LINE	SANITARY LINE
CURB	CURB
FENCE	FENCE
CONCRETE RETAINING WALL	CONCRETE RETAINING WALL
BUILDING LINE	BUILDING LINE
EDGE OF PAVEMENT	EDGE OF PAVEMENT
CONTOUR MAJOR	CONTOUR MAJOR
CONTOUR MINOR	CONTOUR MINOR
SPOT ELEVATION	SPOT ELEVATION
TOP OF WALL ELEVATION	TOP OF WALL ELEVATION
BOTTOM OF WALL ELEVATION	BOTTOM OF WALL ELEVATION
FIRST FLOOR ELEVATION	FIRST FLOOR ELEVATION
WETLAND	WETLAND
PAVEMENT	PAVEMENT
GRAVEL PATH	GRAVEL PATH

REV	DESCRIPTION	BY	DATE
1	AS PER REVIEW COMMENTS	JO	07/06/21

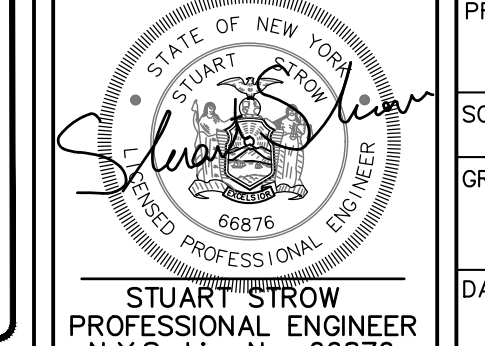
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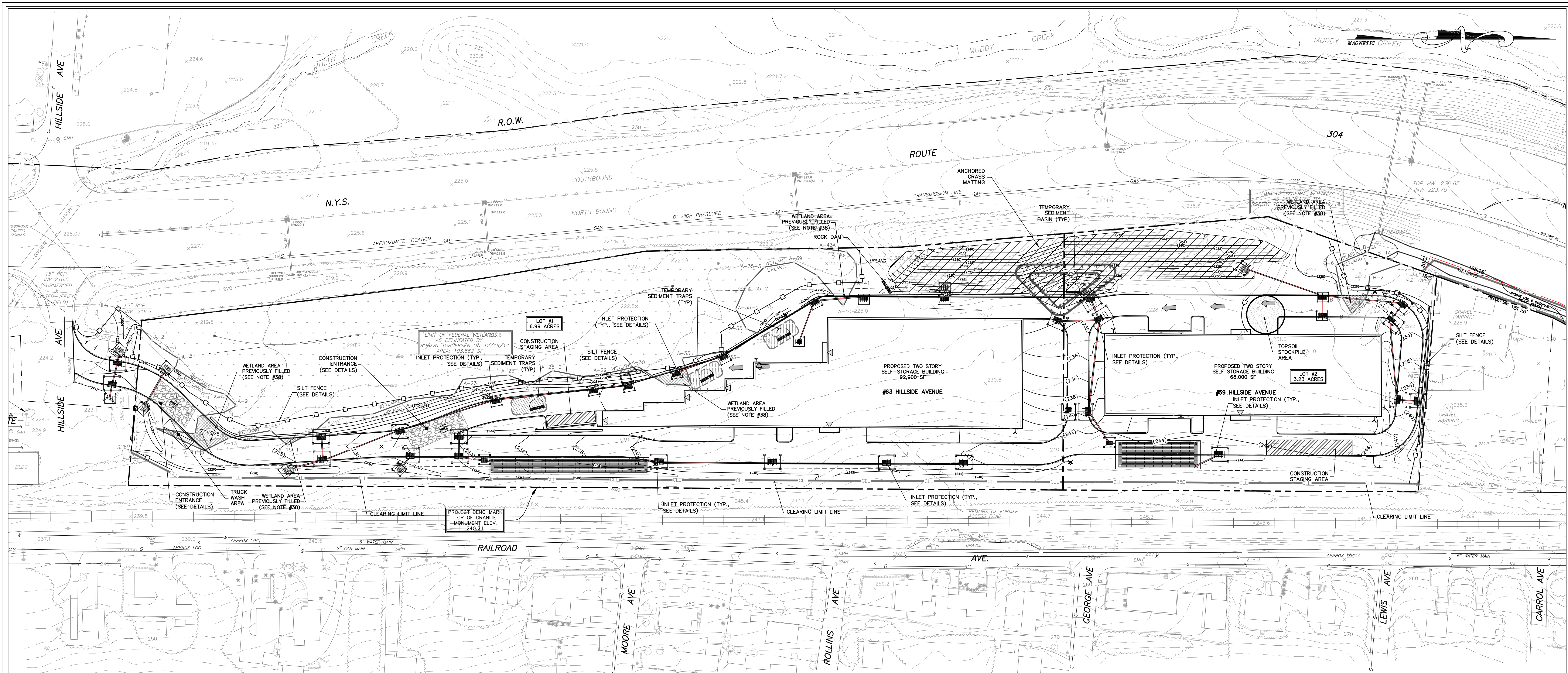
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**PROJECT:**  
**AMENDED FINAL SITE PLAN FOR HILLSIDE COMMERCIAL PARK**  
 TOWN OF ORANGETOWN  
 ROCKLAND COUNTY, NEW YORK

**TITLE:**  
**GRADING AND UTILITY PLAN (2 OF 2)**

PROJECT NO:	21044	DRAWN:	JO	CHECKED:	SS
SCALE:	1"=30'	DATE:	04/30/2021	DRAWING NO:	3





**SOIL EROSION AND SEDIMENT CONTROL NOTES**

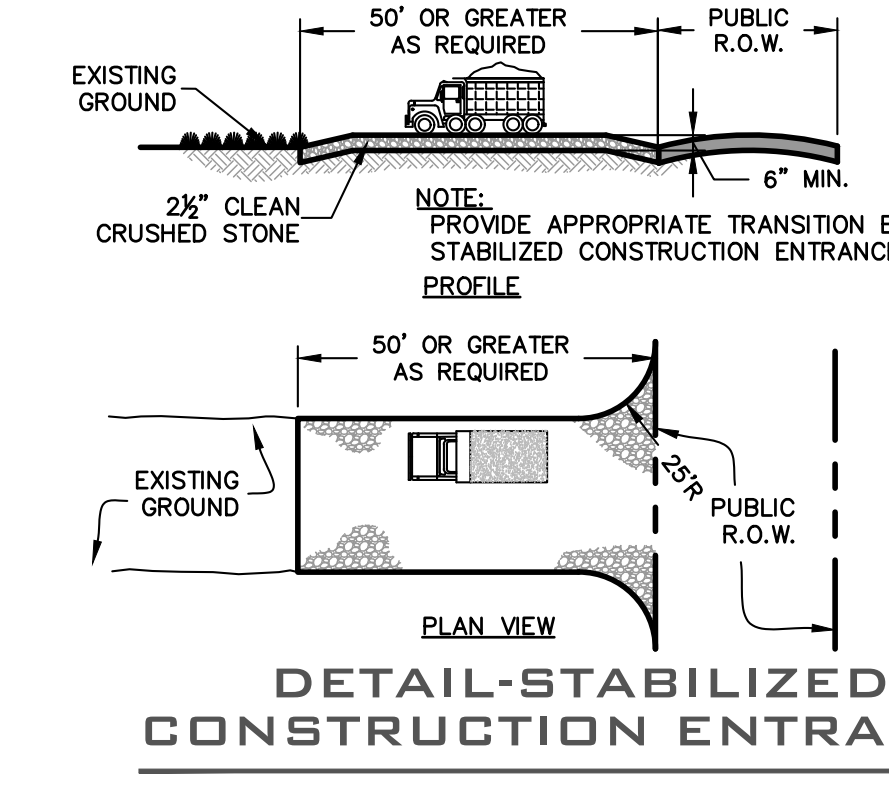
- DESCRIPTION OF WORK**  
 PROVIDE ALL MEANS NECESSARY TO INSTALL, INSPECT, MAINTAIN, AND REMOVE TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES AS SHOWN ON THE DRAWINGS AND AS REQUIRED TO MINIMIZE THE EROSION AND UNSPECIFIED TRANSPORT OF SOIL FROM THE SITE.
- QUALITY ASSURANCE**  
 A. GENERAL:  
 I. INSTALL IN ACCORDANCE WITH THE DRAWINGS OR NEW YORK STATE: GUIDELINES FOR URBAN EROSION & SEDIMENT CONTROL, AUGUST 2005 (N.Y. GUIDELINES), WHICHEVER IS STRICTER.  
 II. GRADE AND MAINTAIN SITE AT ALL TIMES SUCH THAT ALL STORM WATER RUNOFF FROM DISTURBED AREAS IS DIVERTED TO SOIL EROSION AND SEDIMENTATION CONTROL FACILITIES.  
 III. NO CHANGES TO THE SOIL EROSION AND SEDIMENTATION CONTROL PLAN SHALL BE MADE WITHOUT APPROVAL OF THE OWNER'S REPRESENTATIVE.  
 IV. NO MORE THAN 5 ACRES OF SOIL, NOT PROTECTED BY EROSION AND SEDIMENTATION CONTROL MEASURES, SHALL BE DISTURBED AT ANY TIME.  
 V. THE CONTRACTOR SHALL COMPLY WITH APPLICABLE FEDERAL, STATE, AND LOCAL REGULATIONS RELATING TO THE PREVENTION AND ABATEMENT OF POLLUTION.  
 VI. THE MUNICIPAL ENGINEER MAY REQUIRE ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES TO MITIGATE UNFORESEEN SILTATION.  
 B. PRODUCT STOCKPILING:  
 STOCKPILES OF STABILIZATION MEASURES SUCH AS HAYBALES AND MULCH SHALL BE MAINTAINED AT SITE FOR USE IN STABILIZING DISTURBED AREAS IN ADVANCE OF SEVERE WEATHER CONDITIONS.
- WORK SCHEDULE**  
 A. GENERAL:  
 INSTALL AND REMOVE MEASURES AS NOTED IN THE "CONSTRUCTION SEQUENCE" NARRATIVE AND PLANS. THE MEASURES SHALL BE MAINTAINED UNTIL PERMANENT PROTECTION OF THE CONTRIBUTING WATERSHED IS APPROVED BY THE OWNER'S REPRESENTATIVE. ALL STORM DRAINAGE OUTLETS WILL BE STABILIZED, AS REQUIRED, BEFORE THE DISCHARGE POINTS BECOME OPERATIONAL.  
 B. INSPECTIONS:  
 INSPECT MEASURES AT LEAST ONCE A WEEK. STABILIZED AREAS WILL BE INSPECTED MONTHLY UNTIL THE ENTIRE SITE IS STABILIZED. INSPECT DAILY SEDIMENT BARRIERS LOCATED DOWNGRADE OF ROCK RIPPING/BLASTING ACTIVITIES.  
 C. MAINTENANCE:  
 COMPLETE MAINTENANCE WITHIN 7 CALENDAR DAYS OF DETERMINING ITS NEED.  
 D. STABILIZATION/PLANTING:  
 TEMPORARILY OR PERMANENTLY STABILIZE WITHIN 24 HOURS AFTER THE END OF CONSTRUCTION ACTIVITIES IN AN AREA UNLESS THERE IS SNOW COVER OR CONSTRUCTION ACTIVITIES WILL RESUME WITHIN 21 DAYS.
- PRODUCTS AND EXECUTION**  
 A. STABILIZED CONSTRUCTION ENTRANCE:  
 THE FILTER FABRIC SHALL BE MIRAFI 600X OR EQUAL. THE CONTRACTOR SHALL KEEP THE ROADWAYS WITHIN THE PROJECT CLEAR OF SOIL AND DEBRIS AND IS RESPONSIBLE FOR ANY STREET CLEANING NECESSARY DURING THE COURSE OF CONSTRUCTION.  
 B. SILT FENCE:  
 SILT FENCE FABRIC SHALL BE MIRAFI 100X OR EQUAL. WOOD POSTS SHALL BE OF SOUND QUALITY HARDWOOD, A MINIMUM 36 INCHES LONG AND TWO INCHES SQUARE. METAL POSTS SHALL BE STANDARD T AND U SECTION WEIGHING NOT LESS THAN ONE POUND PER LINEAR FOOT. WIRE FENCE BACKING SHALL BE A MINIMUM 14-182 GAGE WITH A MAXIMUM SIX INCH MESH OPENING AND SECURELY ATTACHED TO FENCE POSTS. POSTS SHALL EXTEND A MINIMUM OF 16 INCHES INTO THE GROUND.  
 C. DUST CONTROL:  
 TREAT ALL DISTURBED AREAS WITHIN 500 FEET OF AN INHABITED DWELLING AS NECESSARY TO PROVIDE DUST CONTROL. CONFORM TO ALL LOCAL AND STATE REGULATIONS GOVERNING THESE ACTIVITIES.  
 D. CONSTRUCTION VEHICLES:  
 WASH DOWN ALL CONSTRUCTION VEHICLES AND COVER WITH TARPULAINS AS NECESSARY TO PREVENT VEHICLE TRANSPORT OF SEDIMENT OFF-SITE. DIRECT WASTEWATER FROM WASH DOWN OPERATIONS TO A SEDIMENT TRAP.  
 E. ROCK REMOVAL:  
 ROCK RIPPING SHALL BE USED WHEREVER POSSIBLE IN PLACE OF BLASTING. OBSERVATIONS MADE DURING TEST BLASTING SHALL BE USED IN THE DEVELOPMENT OF A CONTROLLED ROCK REMOVAL PROGRAM.  
 F. TEMPORARY SOIL AND ROCK STOCKPILING:  
 MATERIALS SHALL NOT BE STOCKPILED ON STEEP SLOPES, DRAINAGE SWALES, WETLAND AREAS, OR WETLAND SETBACK AREAS. STOCKPILES SHALL BE SURROUNDED WITH SILT FENCE AND REVEGETATED FOLLOWING COMPLETION OF CONSTRUCTION ACTIVITIES.  
 G. MAINTENANCE  
 A. REPAIR OR REPLACE ALL DAMAGED EROSION AND SEDIMENT CONTROL MEASURES.  
 B. STABILIZED CONSTRUCTION ENTRANCE: TOP DRESS WITH ADDITIONAL AGGREGATE AS REQUIRED TO PREVENT TRACKING OF SEDIMENT OFF OF THE SITE.  
 C. SILT FENCE: REMOVE CAPTURED SEDIMENT WHEN DEPTH EXCEEDS 1/3 THE HEIGHT OF THE FENCE.

**SOIL EROSION AND SEDIMENT CONTROL - CONSTRUCTION SEQUENCE**

- ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN PLACE PRIOR TO ANY GRADING OPERATIONS AND INSTALLATION OF PROPOSED STRUCTURES OR UTILITIES.
- ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL REMAIN IN PLACE AND BE MAINTAINED UNTIL CONSTRUCTION IS COMPLETED AND/OR STABILIZED.
- DISTURBANCE AREA SHALL BE LIMITED TO NO MORE THAN FIVE (5) ACRES AT ANY TIME.
- INSTALL STABILIZED CONSTRUCTION ENTRANCE AS INDICATED ON PLAN.
- INSTALL SILT FENCE AND/OR INLET PROTECTION BARRIERS DOWN SLOPE OF ALL AREAS TO BE DISTURBED AND DOWN SLOPE OF ALL AREAS DESIGNATED FOR TOPSOIL STOCKPILING.
- CONSTRUCT BERMS, TEMPORARY SWALES, TEMPORARY SEDIMENTATION BASINS AND PIPES AS NECESSARY TO DIRECT RUNOFF TO TEMPORARY SEDIMENTATION ENTRAPMENT AREAS.
- CLEAR EXISTING TREES, VEGETATION AND EXISTING STRUCTURES FROM AREAS TO BE FILLED OR EXCAVATED. STRIP AND STOCKPILE TOPSOIL FROM THE AREAS TO BE DISTURBED. SEED STOCKPILED TOPSOIL WITH TEMPORARY RYE GRASS COVER.
- PERFORM EXCAVATION AND FILL FOR ACCESS ROAD TO NORTHERLY PARCEL TO BRING LAND TO DESIRED GRADE.
- ANY DISTURBED AREAS TO REMAIN BARE SHOULD BE SEED WITH TEMPORARY RYE GRASS.
- INSTALL UNDERGROUND UTILITIES, MANHOLES AND CATCH BASINS, GRATES OF CURB AND FIELD INLETS SHOULD BE LEFT AT ELEVATIONS WHICH PERMIT PROPER COLLECTION OF SURFACE RUNOFF.
- INSTALL INLET PROTECTION RINGS AROUND CURB AND FIELD INLETS.
- CONSTRUCT CURBS AND INSTALL BASE AND BINDER COURSES OF PAVED AREAS. RAISE GRATES OF THE CURB AND FIELD INLETS ACCORDINGLY.
- COMPLETE THE GRADING FOR BUILDINGS AND PARKING LOTS.
- INSTALL SURFACE COURSE OF PAVEMENT. RAISE GRATES OF CURBS AND FIELD INLETS TO FINAL ELEVATION.
- UPON COMPLETION OF CONSTRUCTION, ALL DISTURBED AREAS ARE TO BE SEED. ALL TEMPORARY DEVICES SHALL BE REMOVED AND THE AFFECTED AREAS REGRADED, PLANTED OR TREATED IN ACCORDANCE WITH THE APPROVED SITE PLANS.
- REFER TO APPROVED SWPPP FOR ADDITIONAL CONSTRUCTION SEQUENCE INFORMATION.

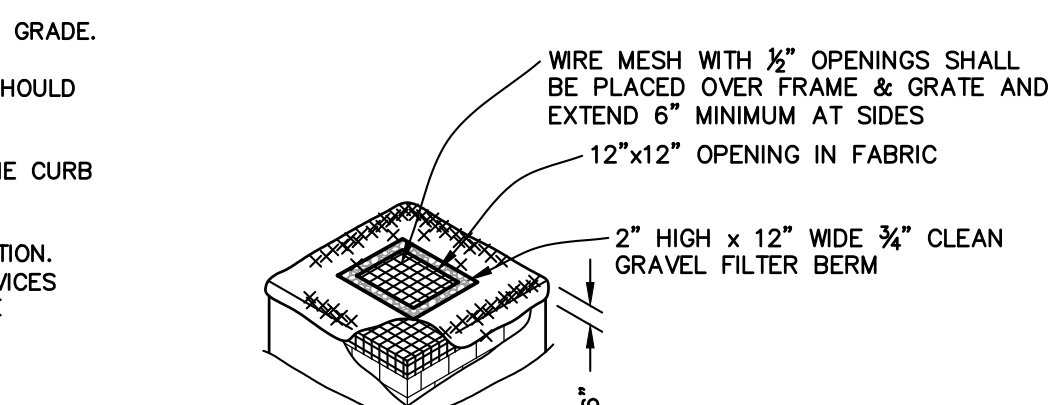
PHASE 1 DISTURBANCE AREA= 4.76 ACRES  
 PHASE 2 DISTURBANCE AREA= 2.74 ACRES

NOTE:  
 REFER TO DRAWING #13  
 FOR ADDITIONAL EROSION  
 CONTROL DETAILS.

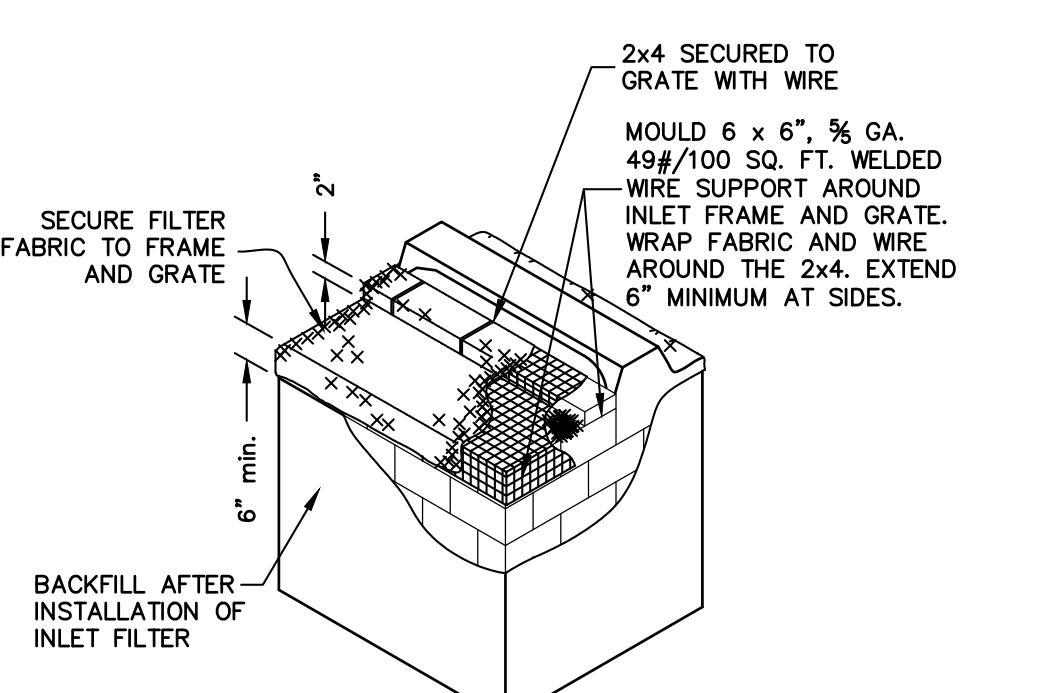


**DETAIL-STABILIZED CONSTRUCTION ENTRANCE**  
 CONSTRUCTION SPECIFICATIONS

- STONE SIZE - USE 1-4 INCH STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
- LENGTH - NOT LESS THAN 50' (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY).
- THICKNESS - NOT LESS THAN SIX (6) INCHES.
- WIDTH - TWELVE (12) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS AND EGRESS OCCURS. TWENTY-FOUR (24) FOOT IF SINGLE ENTRANCE SITE.
- GEOTEXTILE WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
- SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED BENEATH THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
- MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT SPILLED, DROPPED, WASHED OR TRACED ONTO PUBLIC RIGHTS-OF-WAY. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
- WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
- PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

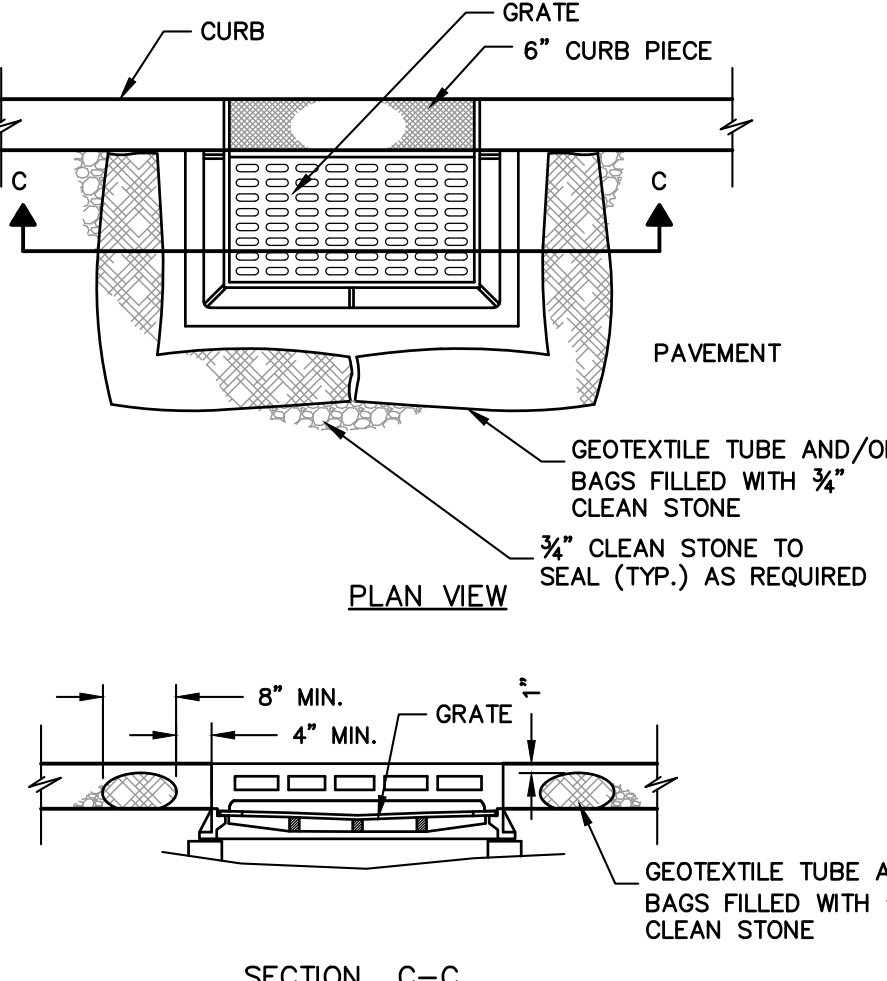


**DETAIL-FIELD INLET PROTECTION**



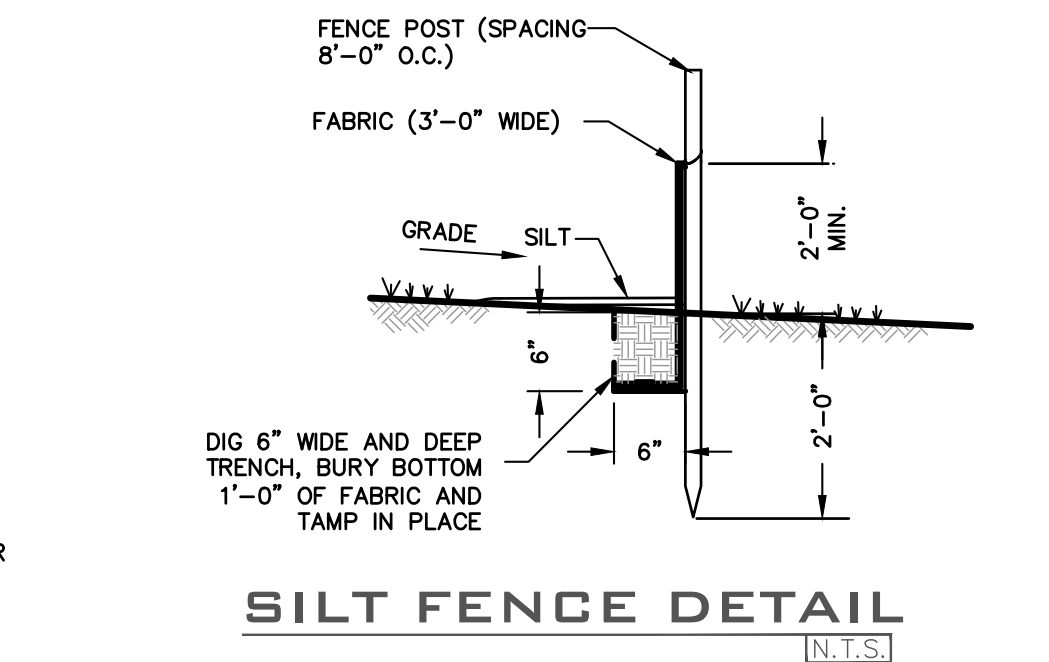
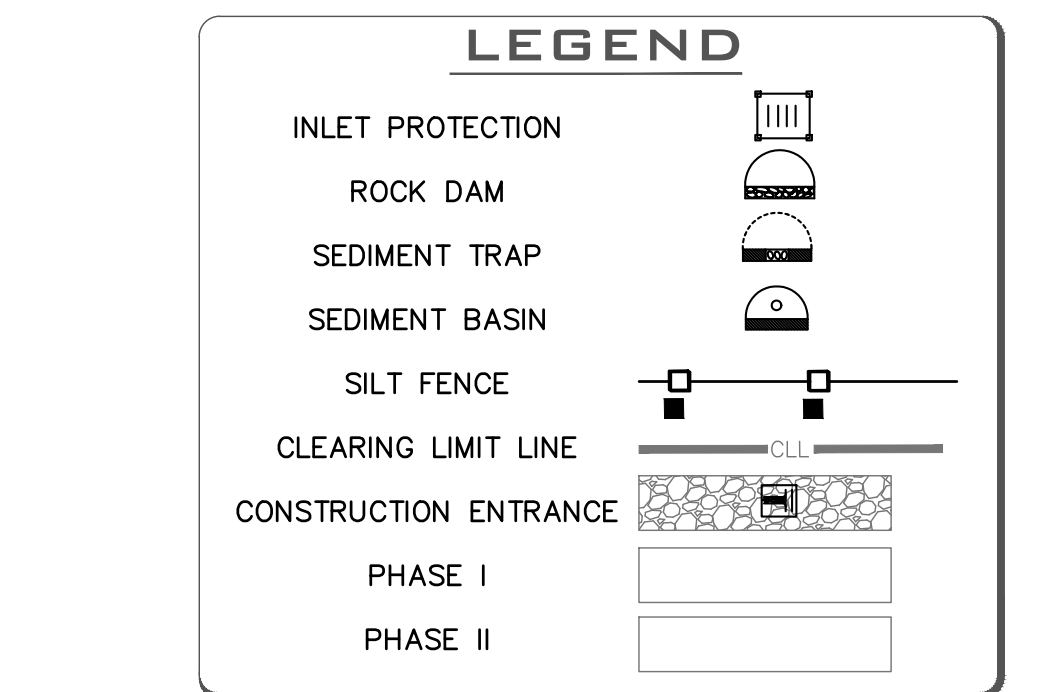
**DETAIL-CURB INLET PROTECTION**

- NOTES:
- CONTRACTOR IS TO CLEAN INLET FILTER AFTER EVERY STORM.
  - CONTRACTOR TO REMOVE FABRIC AND MESH JUST PRIOR TO PAVING.
  - IF BOTTOM OF ROADWAY IS BELOW TOP OF INLET GRATE, CONSTRUCT PROPERLY FILTERED OPENING(S) IN INLET WALL TO ALLOW PASSAGE OF WATER.
  - THE PROTECTION DEVICE WILL BE DESIGNED TO CAPTURE OR FILTER RUNOFF FROM THE 1 YEAR, 24 HOUR STORM EVENT AND SHALL SAFELY CONVEY HIGHER FLOWS DIRECTLY INTO THE STORM SEWER SYSTEM.

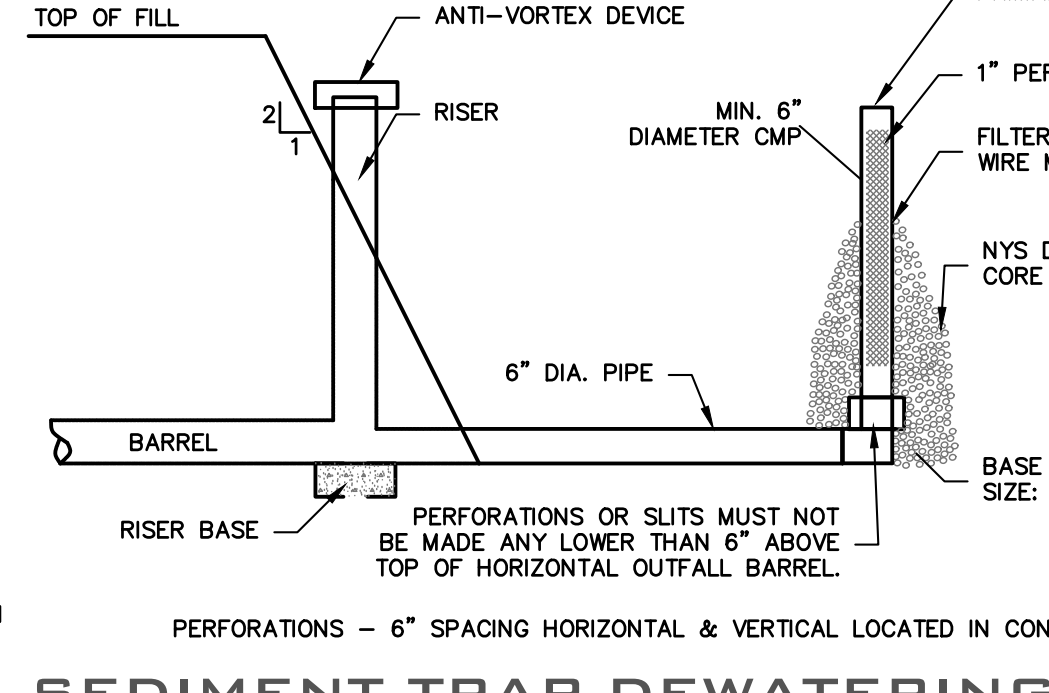


**DETAIL-GEOTEXTILE RING**

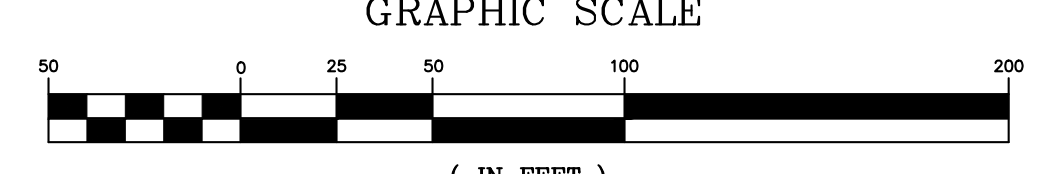
- NOTES:
- GEOTEXTILE TO BE WOVEN POLYPROPYLENE PRODUCT 117Z BY SYNTHETIC INDUSTRIES INC. OR TERRATEX SC BY WEBTEC INC. OR APPROVED EQUAL.
  - 3/4" CLEAN STONE CORE SHALL BE COMPLETELY CONTAINED WITHIN GEOTEXTILE. SEALS SHALL BE SEWN OR CLOSED BY SUITABLE MECHANICAL MEANS TO PREVENT LEAKAGE OF STONE.
  - WHERE NO CURB IS PRESENT, BARRIER SHALL COMPLETELY ENCLOSE THE DRAIN INLET.
  - INLET GRATE OPENING IS TO BE KEPT CLEAR OF OBSTRUCTIONS AT ALL TIME.
  - THE PROTECTION DEVICE WILL BE DESIGNED TO CAPTURE OR FILTER RUNOFF FROM 1 YEAR, 24 HOUR STORM EVENT AND SHALL SAFELY CONVEY HIGHER FLOWS DIRECTLY INTO THE STORM SEWER SYSTEM.
  - OTHER METHODS THAT ACCOMPLISH THE PURPOSE OF STORM SEWER INLET PROTECTION MAY BE USED IF APPROVED BY THE SOIL CONSERVATION DISTRICT.
  - INSPECTIONS SHALL BE FREQUENT. MAINTENANCE, REPAIR, AND REPLACEMENT SHALL BE MADE PROMPTLY, AS NEEDED. THE BARRIER SHALL BE REMOVED WHEN THE AREA DRAINING TOWARDS THE INLET HAS BEEN STABILIZED.



**SILT FENCE DETAIL**



**SEDIMENT TRAP DEWATERING DETAIL**



REV	DESCRIPTION	BY	DATE
1	AS PER REVIEW COMMENTS	JO	07/06/21

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PROJECT:  
**AMENDED FINAL SITE PLAN FOR HILLSIDE COMMERCIAL PARK**  
 TOWN OF ORANGETOWN  
 ROCKLAND COUNTY, NEW YORK

TITLE:  
**SOIL EROSION & SEDIMENT CONTROL**

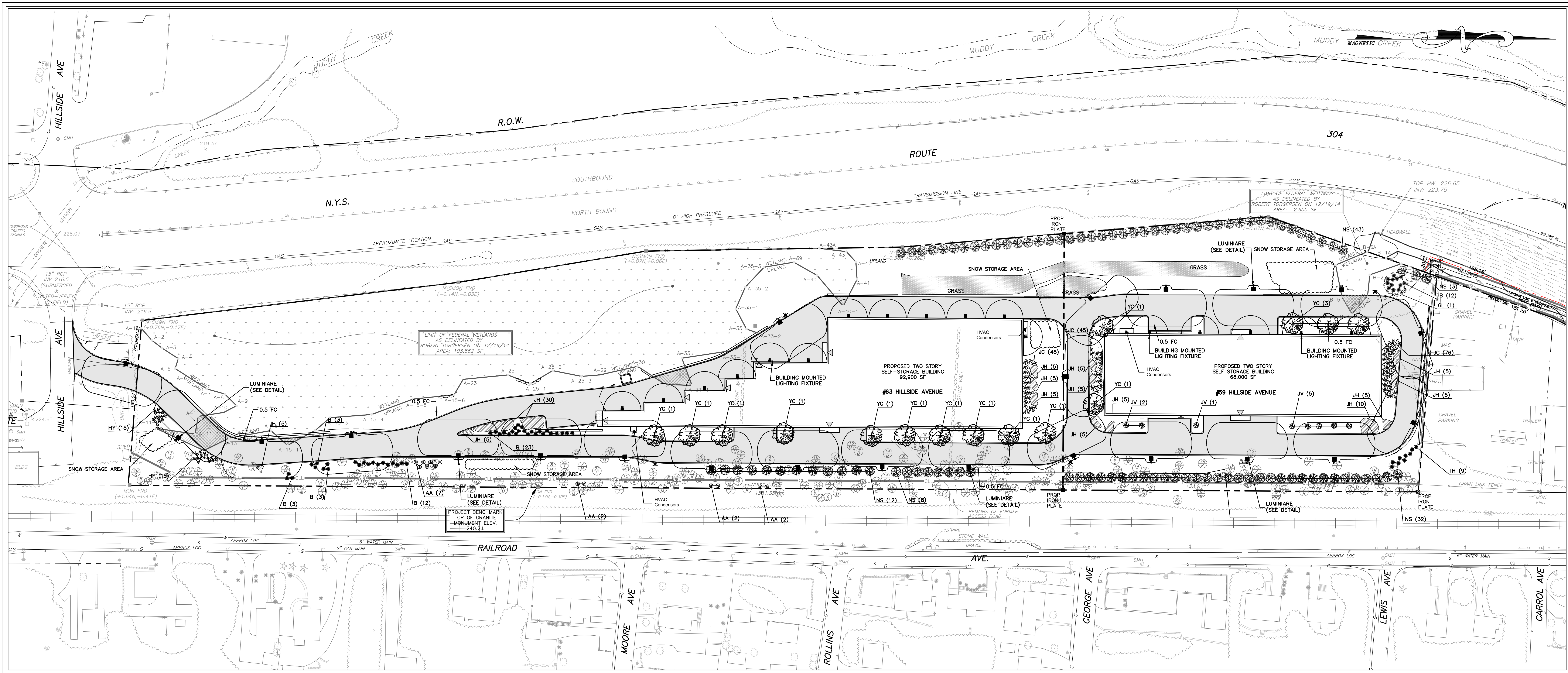
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SCALE: 1"=50'

GRAPHIC SCALE:

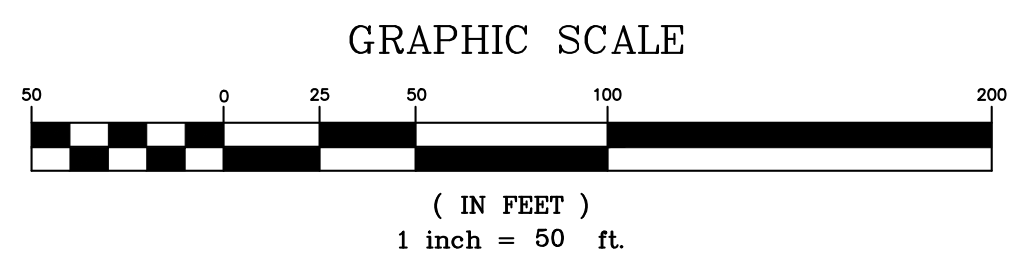
DATE: 04/30/2021 | DRAWING NO: 4

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 PROFESSIONAL ENGINEER  
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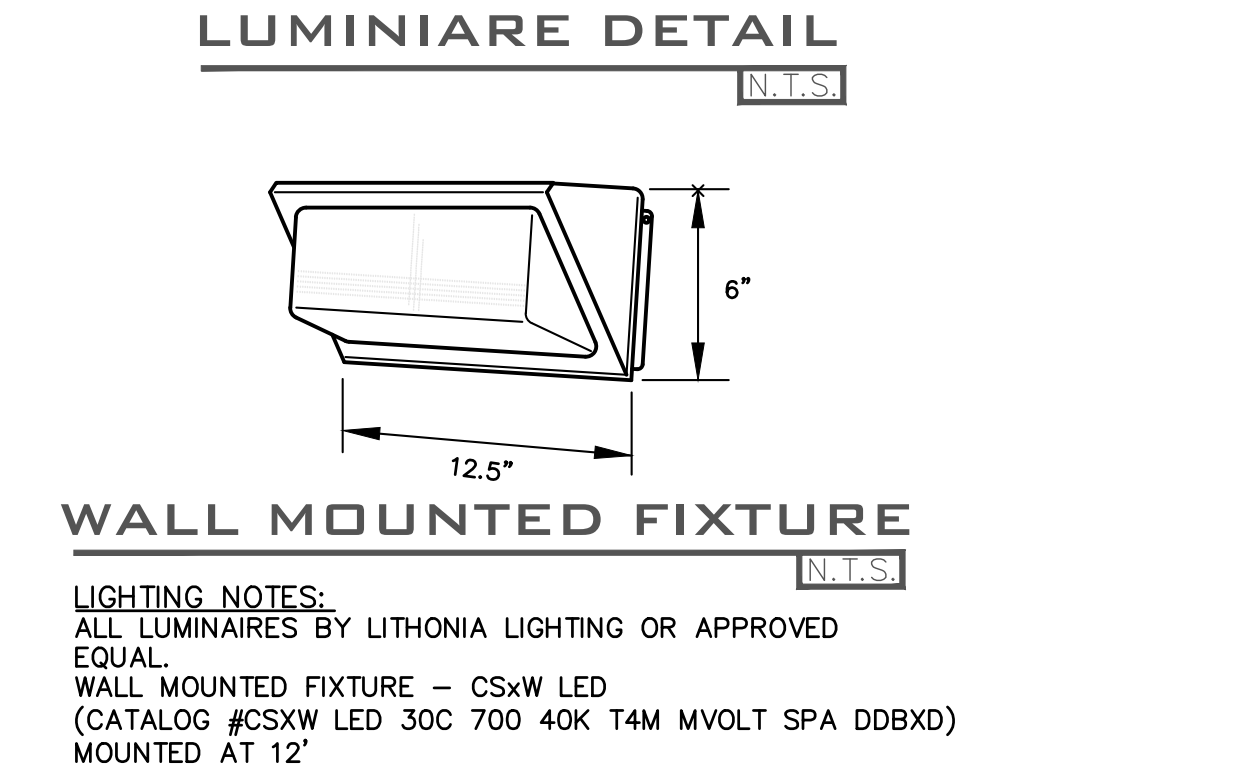
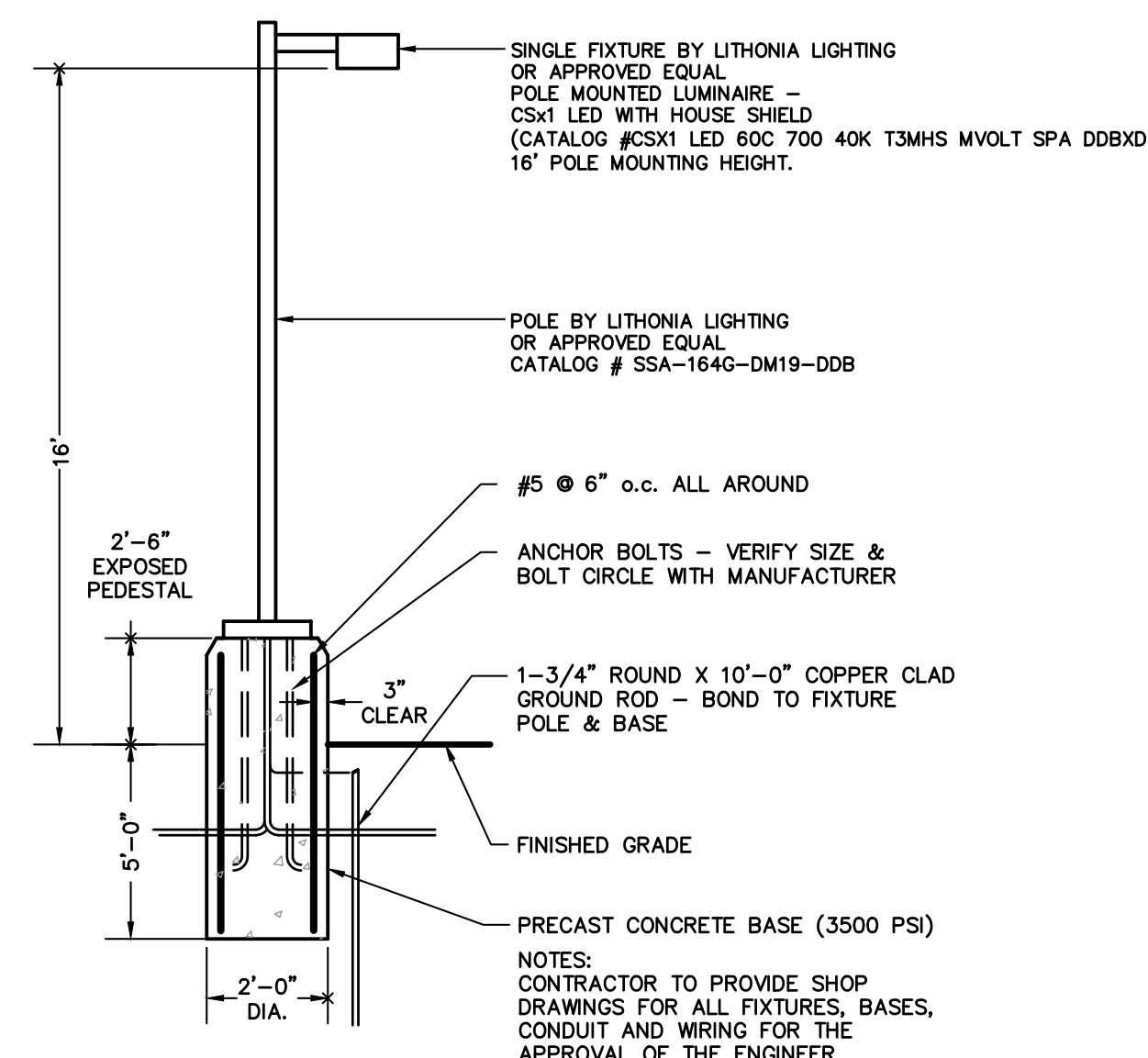


**PLANT KEY**

SYMBOL	QUANTITY	COMMON NAME	BOTANICAL NAME	SIZE
YC	15	YOSHINO FLOWERING CHERRY	PRUNUS YEODENSIS	2"-2 1/2" cal., B&B
JH	110	ANDORA COMPACT JUNIPER	JUNIPERUS HORIZONTALIS "PLUMOSA COMPACTA"	2 1/2" cal., B&B
JC	166	SEA GREEN JUNIPER	JUNIPERUS CHINENSIS "SEA GREEN"	3" cal., 3' OC
TH	9	HICKS YEW	TAXUS HICKS	2 1/2" cal., 3' OC
HY	30	HATFIELD YEW	TAXUS MEDIA HATFIELDI	2 1/2"-3' ht. B&B @ 24" OC
B	56	WINTER GEM BOXWOOD	BOXUS MICROPHYLLA "WINTER GEM"	#3 CONTAINER @ 24" OC
AA	13	AMERICAN ARBORITAE	THUJA OCCIDENTALIS	8' HT, 8' O.C.
JV	8	EASTERN RED CEDAR	JUNIPERUS VIRGINIANA	12' HT, 2 1/2"-3" CAL.
GL	1	GREENSPIRE LINDEN	TILIA CORDATA GREENSPIRE	2 1/2"-3" cal., B&B
NS	98	NORWAY SPRUCE	PICEA ABIES	7-8 ht. B&B 12' OC

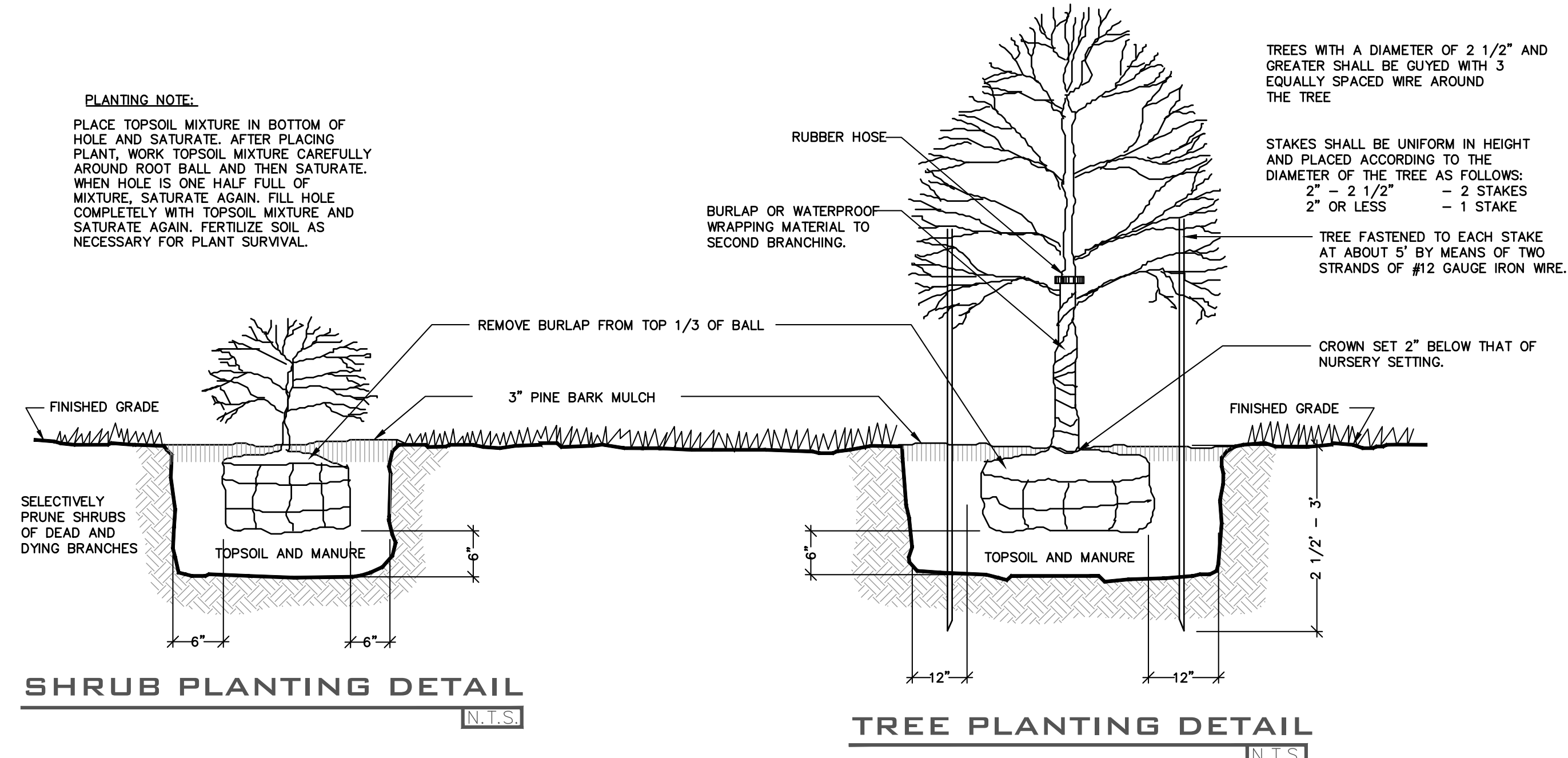


**LIGHTING NOTES:**  
AMBIENT LIGHTING ON THE SITE SHALL BE REDUCED AFTER 10:00 PM BY LIMITING THE LIGHTING TO ONLY ONE OUT OF EVERY FOUR POLES.



**EXISTING TREE LEGEND**

SYMBOL	SIZE IN INCHES (LARGEST DIA SHOWN IN TWIN/TRIPLE)	LETTER INDICATES TREE TYPE (SEE BELOW)	SECOND NUMBER (2), (3) INDICATES TWIN/TRIPLE		
A	ASH	E	ELM	MG	MAGNOLIA
B	BIRCH	H	HICKORY	S	SASSAFRAS
BE	BEECH	IW	IRONWOOD	SU	SUMAC
BN	BUTTERNUT	K	OAK	T	TULIP
C	CHERRY	L	LOCUST	W	WALNUT
CA	CRABAPPLE	M	MAPLE		



1	AS PER REVIEW COMMENTS	JO	07/06/21
REV	DESCRIPTION	BY	DATE

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**PROJECT:**  
AMENDED FINAL SITE PLAN FOR  
HILLSIDE COMMERCIAL PARK  
TOWN OF ORANGETOWN  
ROCKLAND COUNTY, NEW YORK

**TITLE:**  
LANDSCAPING & LIGHTING  
PLAN

PROJECT NO:	21044	DRAWN:	JO	CHECKED:	SS
SCALE:	1"=50'	GRAPHIC SCALE:		DATE:	04/30/2021
DATE:	04/30/2021	DRAWING NO.:	5		

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