

Name of Municipality: TOWN OF ORANGETOWN

Date Submitted: May 24, 2021

2021 LAND USE BOARD APPLICATION

Please check all that apply:

<input type="checkbox"/> Commercial	<input checked="" type="checkbox"/> Residential
<input type="checkbox"/> Planning Board	<input type="checkbox"/> Historical Board
<input checked="" type="checkbox"/> Zoning Board of Appeals	<input type="checkbox"/> Architectural Board
<input type="checkbox"/> Subdivision	<input type="checkbox"/> Consultation
<input type="checkbox"/> Number of Lots	<input type="checkbox"/> Pre-Preliminary/Sketch
<input type="checkbox"/> Site Plan	<input type="checkbox"/> Preliminary
<input type="checkbox"/> Conditional Use	<input type="checkbox"/> Final
<input type="checkbox"/> Special Permit	<input type="checkbox"/> Interpretation
<input checked="" type="checkbox"/> Variance	
<input type="checkbox"/> Performance Standards Review	
<input type="checkbox"/> Use Variance	
<input type="checkbox"/> Other (specify): _____	

PERMIT#: 5117
 ASSIGNED
 INSPECTOR: Glenn

Referred from Planning Board: YES / NO
 If yes provide date of Planning Board meeting: _____

Project Name: Proposed Addition & Alterations for The Moroz Residence MOROZ

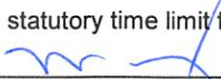
Street Address: 15 Linda Lane, Pearl River, NY 10965

Tax Map Designation:
 Section: 73.09 Block: 1 Lot(s): 6
 Section: _____ Block: _____ Lot(s): _____

Directional Location:
 On the North side of Linda Lane, approximately 200 feet east of the intersection of Linda Lane & S Middletown Road, in the Town of ORANGETOWN in the hamlet/village of Pearl River.

Acreage of Parcel <u>0.54</u>	Zoning District <u>R-15</u>
School District <u>Pearl River</u>	Postal District <u>Pearl River</u>
Ambulance District _____	Fire District <u>Pearl River</u>
Water District <u>Suez</u>	Sewer District <u>Orangetown</u>

Project Description: *(If additional space required, please attach a narrative summary.)*
 The proposed work is for a new, two-story addition to an existing 1-family dwelling including a new garage and livable space, a covered rear terrace and a new, covered front porch. Ancillary work includes modifications to the driveway and rear deck stair, and a decorative enclosure at an existing, open foundation.

The undersigned agrees to an extension of the statutory time limit for scheduling a public hearing.
 Date: May 25 2021 Applicant's Signature: 

APPLICATION REVIEW FORM

Applicant: Jennifer & Michael Moroz Phone # 551.486.2663

Address: 15 Linda Lane Pearl River NY 10965
Street Name & Number (Post Office) City State Zip Code

Property Owner: (Applicant) Phone #

Address: Street Name & Number (Post Office) City State Zip Code

Engineer/Architect/Surveyor: Plan Architecture (Contact: A.J. Alvarez) Phone # 973-837-8399

Address: 125 Paterson Avenue Little Falls NJ 07424
Street Name & Number (Post Office) City State Zip Code

Attorney: N/A Phone #

Address: Street Name & Number (Post Office) City State Zip Code

Contact Person: Plan Architecture (A.J. Alvarez) Phone # 973-837-8399

Address: 125 Paterson Avenue Little Falls NJ 07424
Street Name & Number (Post Office) City State Zip Code

GENERAL MUNICIPAL LAW REVIEW:

This property is within 500 feet of:
(Check all that apply)

IF ANY ITEM IS CHECKED, A REVIEW MUST BE DONE BY THE ROCKLAND COUNTY COMMISSIONER OF PLANNING UNDER THE STATE GENERAL MUNICIPAL LAW, SECTIONS 239 L, M, N, AND NN.

- | | |
|---|---|
| <input type="checkbox"/> State or County Road | <input type="checkbox"/> State or County Park |
| <input type="checkbox"/> Long Path | <input type="checkbox"/> County Stream |
| <input type="checkbox"/> Municipal Boundary | <input type="checkbox"/> County Facility |

List name(s) of facility checked above:

Referral Agencies:

- | | |
|--|--|
| <input type="checkbox"/> RC Highway Department | <input type="checkbox"/> RC Division of Environmental Resources |
| <input type="checkbox"/> RC Drainage Agency | <input type="checkbox"/> RC Dept. of Health |
| <input type="checkbox"/> NYS Dept. of Transportation | <input type="checkbox"/> NYS Dept. of Environmental Conservation |
| <input type="checkbox"/> NYS Thruway Authority | <input type="checkbox"/> Palisades Interstate Park Commission |
| <input type="checkbox"/> Adjacent Municipality _____ | |
| <input type="checkbox"/> Other _____ | |

APPLICATION REVIEW FORM

FILL IN WHERE APPLICABLE.

(IF THE FOLLOWING DOES NOT APPLY PLEASE MOVE ON TO THE NEXT PAGE)

If subdivision:

- 1) Is any variance from the subdivision regulations required? _____
- 2) Is any open space being offered? ____ If so, what amount? _____
- 3) Is this a standard or average density subdivision? _____

If site plan:

- 1) Existing square footage _____
- 2) Total square footage _____
- 3) Number of dwelling units _____

If **special permit**, list special permit use and what the property will be used for.

Environmental Constraints:

Are there **slopes greater than 25%**? If yes, please indicate the amount and show the gross and net area No. _____

Are there **streams** on the site? If yes, please provide the names.No. _____

Are there **wetlands** on the site? If yes, please provide the names and type:

No. _____

Project History:

Has this project ever been reviewed before? No. _____

If so, provide a narrative, including the list case number, name, date, and the board(s) you appeared before, and the status of any previous approvals.

List tax map section, block & lot numbers for all other abutting properties in the same ownership as this project.

Not applicable.



OFFICE OF BUILDING, ZONING, PLANNING,
ADMINISTRATION AND ENFORCEMENT
TOWN OF ORANGETOWN

20 Greenbush Road
Orangeburg, N.Y. 10962

Jane Slavin, R.A.
Director

(845)359-8410

Fax: (845) 359-8526

DENIAL TO THE ZONING BOARD OF APPEALS

Date: May 13, 2021

Applicant: Moroz

Address: 15 Linda Ln, Pearl River, NY

RE: Application Made at: same

Chapter 43, Table 3.12, Column 1 R-15 District, Column 2 Group M, Column 3 SFR, Column 4 Max FAR 20% with 20.6% proposed.
One variances required

Section: 73.09 Block: 1 Lot: 6

Dear Moroz:

Please be advised that the Building Permit Application, which you submitted on

February 17, 2021, has been denied. I have enclosed a Xerox copy of your application, where you will find at the bottom the reason for denial.

In Accordance with Zoning, Chapter 43 Section 10.322 the time to appeal a determination of a Building Inspector or Similar administrative office is thirty (30) days from the filing of such a determination with the Town Clerk.

The Clerk to the Zoning Board of Appeals, Debbie Arbolino, will assist you in the preparation necessary to appear before the board.

Sincerely,

Richard Oliver
Deputy Building Inspector

[Handwritten signature of Richard Oliver] 5/13/21
[Handwritten signature of Deputy] 5/13/21

Signature of Director
NOTE: PLEASE KEEP FOR YOUR RECORDS
12-31-18-CCC

Date
CC: Rosanna Sfraga
Liz Decort
Debbie Arbolino

APPLICATION REVIEW FORM

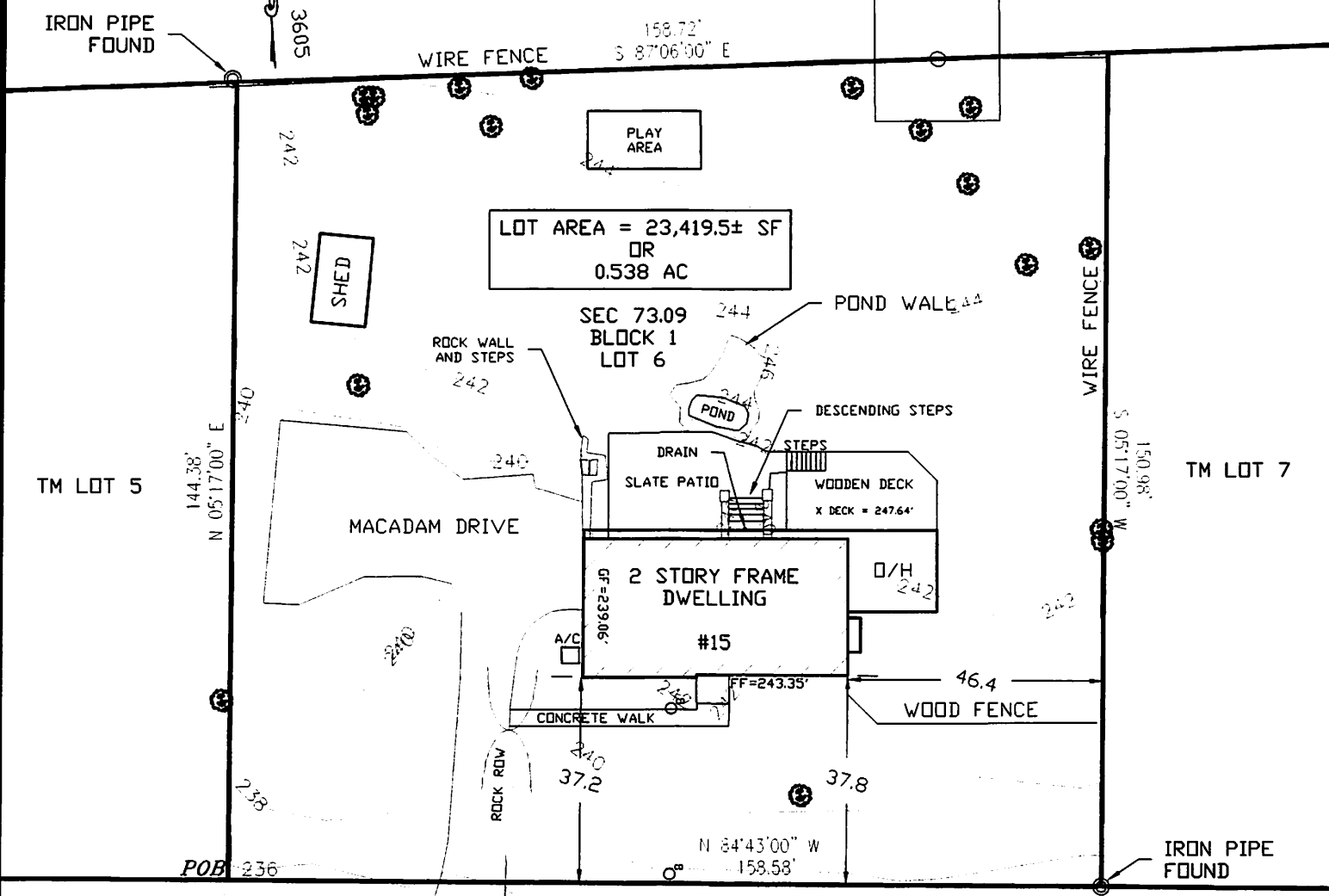
AFFIDAVIT

State of New York)
County of Rockland) SS.:
Town/Village of Orangetown)

I, Michael Moroz being duly sworn deposes and says that he is the applicant, agent or attorney for applicant, in the matter of the petition before the Zoning Board of Appeals (board) in the town/village of Orangetown affecting property located at 15 Linda Lane, Pearl River, Rockland County, New York.

That the following are all of the owners of property 200 feet (distance) from the premises as to which this application is being taken.

Table with 3 columns: SECTION-BLOCK-LOT, NAME, ADDRESS. Rows include owners like Andrew Riddler, Junichi Nakashima, Carlos L Once, Jennifer Moroz (Omitted Applicant), Richard Urban, Eduardo Cacas Jr, Ouseph & Aleyamma George, and Herbert Lovenson.



LOT AREA = 23,419.5± SF
OR
0.538 AC

SEC 73.09
BLOCK 1
LOT 6

LINDA LANE
50' RIGHT-OF-WAY

SURVEY REFERENCES

1. DEED BOOK PAGE
2. MORE PARTICULARLY KNOWN AND DESIGNATED AS LOT NO. 1 AS SHOWN ON CERTAIN MAP ENTITLED "SUBDIVISION OF LINDA HOMES" WHICH SAID MAP WAS FILED IN THE ROCKLAND COUNTY CLERK'S OFFICE ON DECEMBER 14, 1962, AS MAP NO. 3065 IN BOOK 65 OF MAPS AT PAGE 56A (SHEET 1)
3. TAX ASSESSMENT MAP OF THE HAMLET OF PEARL RIVER, ROCKLAND COUNTY, NEW JERSEY.
4. ELEVATION DATUM NAVD'88.

GENERAL NOTES

1. PROPERTY SUBJECT TO DOCUMENTS OF RECORD AND TO AN ACCURATE TITLE SEARCH.
2. THE SUBJECT PROPERTY IS SUBJECT TO EASEMENTS, RESTRICTIONS, OR EXCEPTIONS, OR CONVEYANCES THAT MAY EXIST.
3. ONLY SURFACE CONDITIONS ARE SHOWN, NO RESPONSIBILITY IS TAKEN FOR BURIED PIPES, WIRES, SEPTIC, WELLS, UST'S, ETC.
4. THE SUBJECT PROPERTY IS SUBJECT TO THE RIGHTS OF THE PUBLIC IN ANY PORTION OF SAID PROPERTY LYING WITHIN THE RIGHTS OF WAY OF THE ROADS SHOWN.

REVISION:	DRAWN BY: AP
	CHECK BY: WTM
	DATE: 09/25/19
	SCALE: 1:30
	PROJECT: 15 LINDA

PAX Surveying & Environmental Consultants, LLC
 271 US 46 West, SUITE G 208
 FAIRFIELD, NEW JERSEY 07004
 201-230-3521 bill@paxsurvey.com

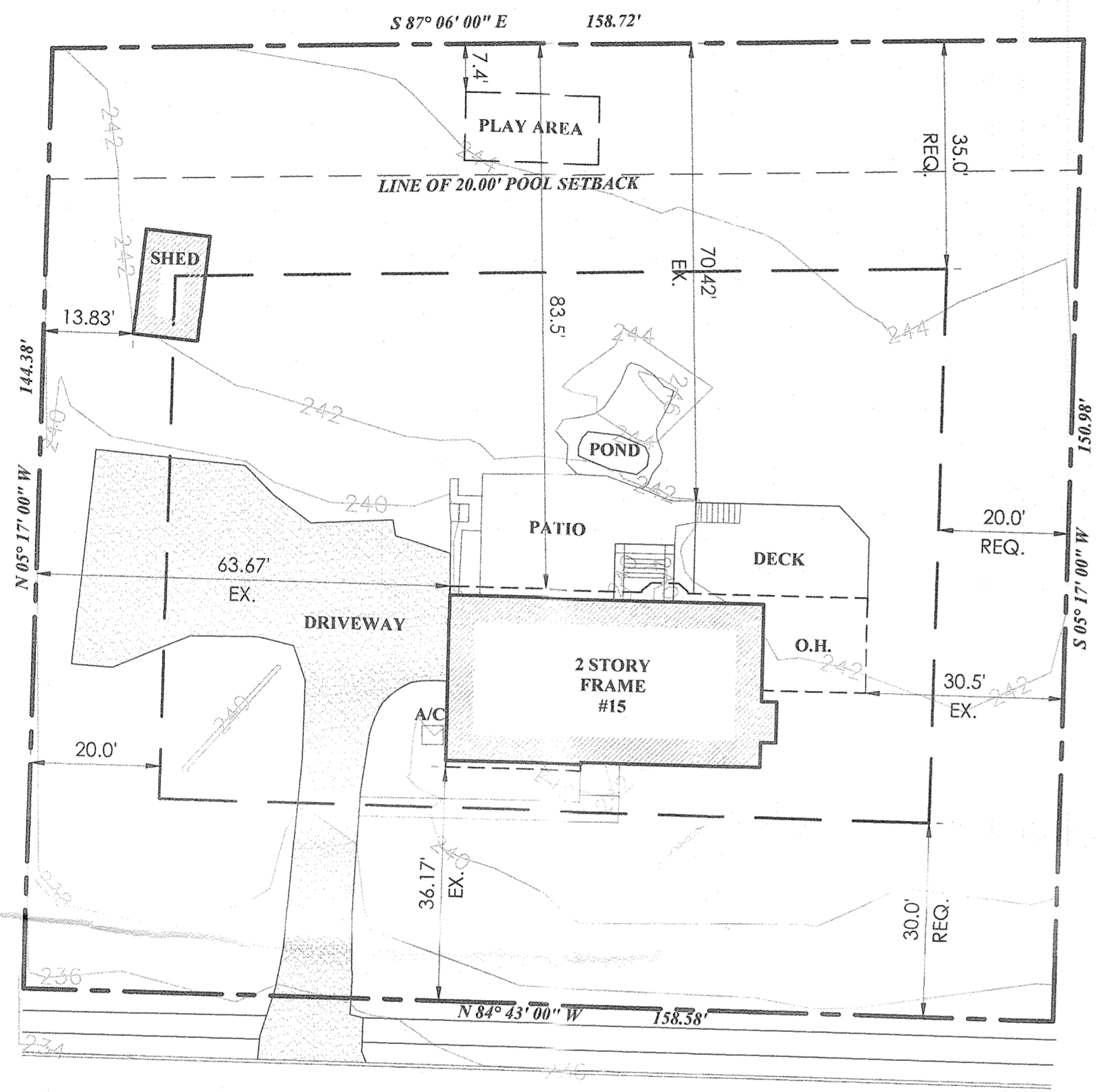
TOPOGRAPHIC BOUNDARY

SEC 73.09 BLOCK 1 LOT 6
 #15 LINDA LANE
 HAMLET OF PEARL RIVER
 TOWN OF ORANGETOWN
 ROCKLAND COUNTY, NEW JERSEY

WILLIAM T. MANNING, PLS
 NY LICENSE NO. 50388

PROPOSED CONCEPTUAL DESIGN FOR: THE MOROZ RESIDENCE

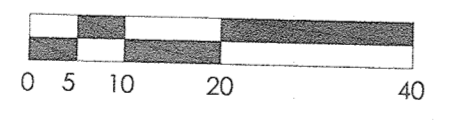
15 LINDA LANE
PEARL RIVER, NY 10965



LINDA LANE
(50' R.O.W.)

1 EXISTING ARCHITECTURAL SITE PLAN

SCALE: 1"=20'
SURVEY INFORMATION OBTAINED FROM A SURVEY OF THE PROPERTY PREPARED BY: PAX SURVEYING AND ENVIRONMENTAL CONSULTANTS, LLC. 271 US 46 WEST SUITE G 208 FAIRFIELD, NJ 07004 201-230-3521 DATED: 9/25/19 SIGNED BY: WILLIAM T. MANNING, 50388



PROJECT DESCRIPTION

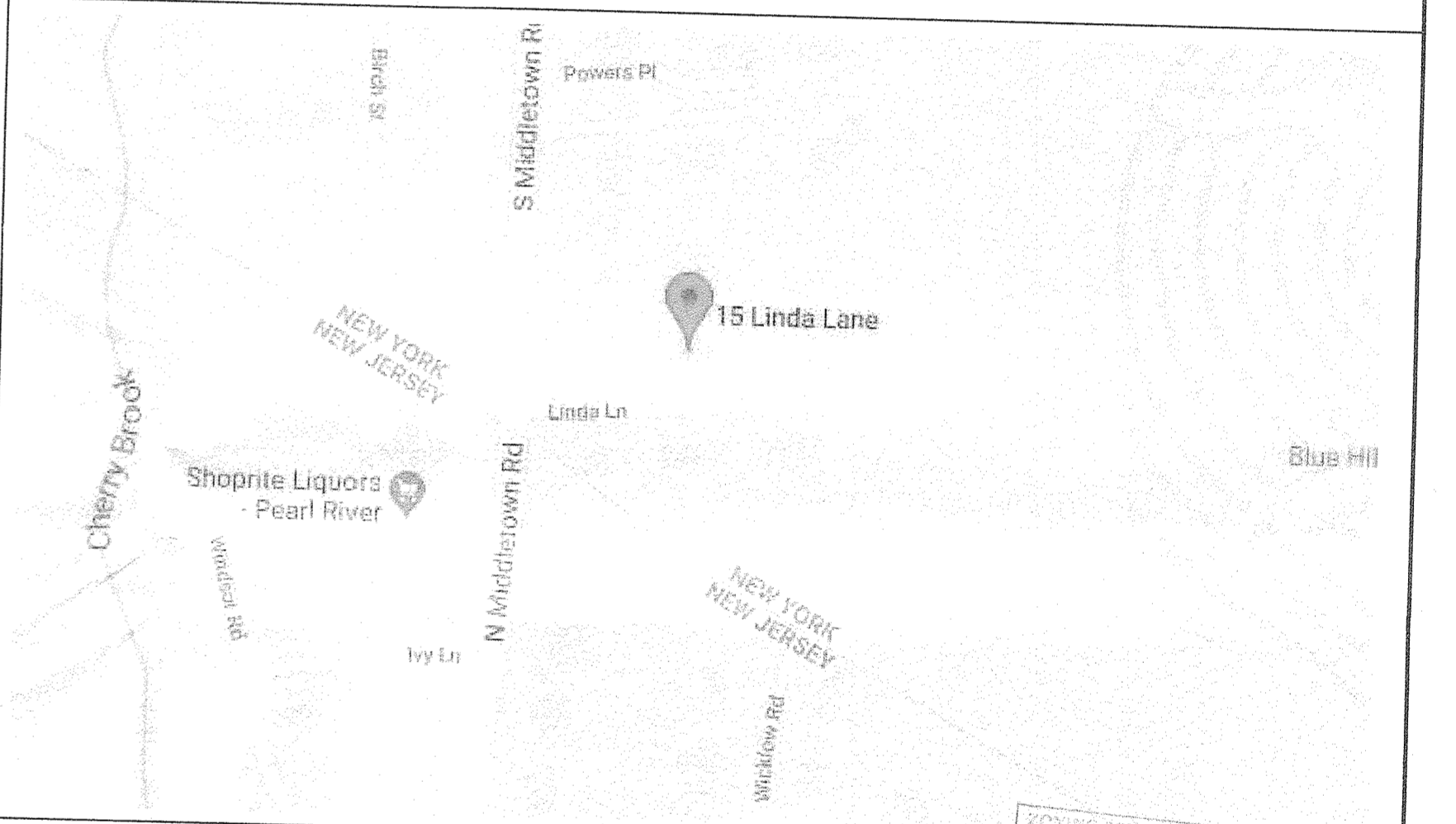
THE PROPOSED WORK IS COMPRISED OF A NEW, TWO-STORY ADDITION TO AN EXISTING, 1-FAMILY DWELLING WHICH INCLUDES A NEW GARAGE AND LIVABLE SPACE, A COVERED REAR PATIO AND A NEW, COVERED FRONT PORCH. ANCILLARY WORK INCLUDES MODIFICATIONS TO THE EXISTING DRIVEWAY AND REAR DECK STAIR AND A DECORATIVE ENCLOSURE AT AN EXISTING, OPEN FOUNDATION.

ZONING INFORMATION

ZONE: R-15		BLOCK: 1		LOT: 6		BUILDING USE GROUP: R-5		CONSTRUCTION TYPE: TYPE V-B	
								STORIES: 2	
								AREA: 2,304 SF	
PRINCIPAL BUILDING									
MAX. F.A.R.	ZONING ORD. SECTION NO.	REQUIRED	EXISTING	PROPOSED	VARIANCE				
	43:ATTCH. 13	0.20	0.126	.206	REQUIRED				
		EXISTING COVERAGE:		PROPOSED COVERAGE:					
		2,953 SF		4,826					
		23,419 SF		23,419 SF					
MIN. LOT AREA	43:ATTCH. 13	15,000 SF	23,419 SF	NO CHANGE	COMPLIES				
MIN. LOT WIDTH	43:ATTCH. 13	100.00'	158.6'	NO CHANGE	COMPLIES				
MIN. STREET FRONTAGE	43:ATTCH. 13	75.00'	158.58'	NO CHANGE	COMPLIES				
REQ. FRONT YARD	43:ATTCH. 13	30.00'	36.17'	32.65'	COMPLIES				
REQ. SIDE YARD (EACH)	43:ATTCH. 13	20.00'	63.67' (L); 30.50' (R)	39.66' (L); 30.50' (R)	COMPLIES				
REQ. SIDE YARD (TOTAL)	43:ATTCH. 13	50.00'	94.17'	62.5'	COMPLIES				
REQ. REAR YARD	43:ATTCH. 13	35.00'	70.42'	70.16'	COMPLIES				
MAX. BUILDING HEIGHT (1)	43:ATTCH. 13	34.00' (1)	± 17.9'	± 20.9'	COMPLIES				
MAX. ACC. BLDG. HEIGHT	43:5.227	15.00'	UNKNOWN	NO CHANGE	N/A				
ACC. SETBACK (REAR)	43:5.227	5.00'	7.4'	NO CHANGE	COMPLIES				
ACC. SETBACK (SIDE)	43:5.227	5.00'	13.83'	NO CHANGE	COMPLIES				
POOL SETBACK (REAR)	43:5.227	20.00'	N/A	NO CHANGE	COMPLIES				
MAX. ACC. BLDG. COVERAGE	43:5.227	30%	3.4%	NO CHANGE	COMPLIES				
		EXISTING LOT COVERAGE:		PROPOSED LOT COVERAGE:					
		375 SF		11,062 SF					
		11,062 SF		3.4%					
MIN. DRIVEWAY WIDTH (2)	43:6.332	10.00'	± 9.50'	16.66'	COMPLIES				

(1) ALLOWABLE BUILDING HEIGHT IS DETERMINED BY 1:1 FOOT RATIO FROM FRONT OF BUILDING TO PROPERTY LINE, ESSENTIALLY YOUR MAXIMUM HEIGHT IS EQUAL TO THE DISTANCE FROM THE FRONT LOT LINE (FRONT SETBACK)
(2) PER SECTION 43:6.332 DRIVEWAYS CAN HAVE A MAXIMUM SLOPE OF 10%.

KEY MAP



DRAWING LIST

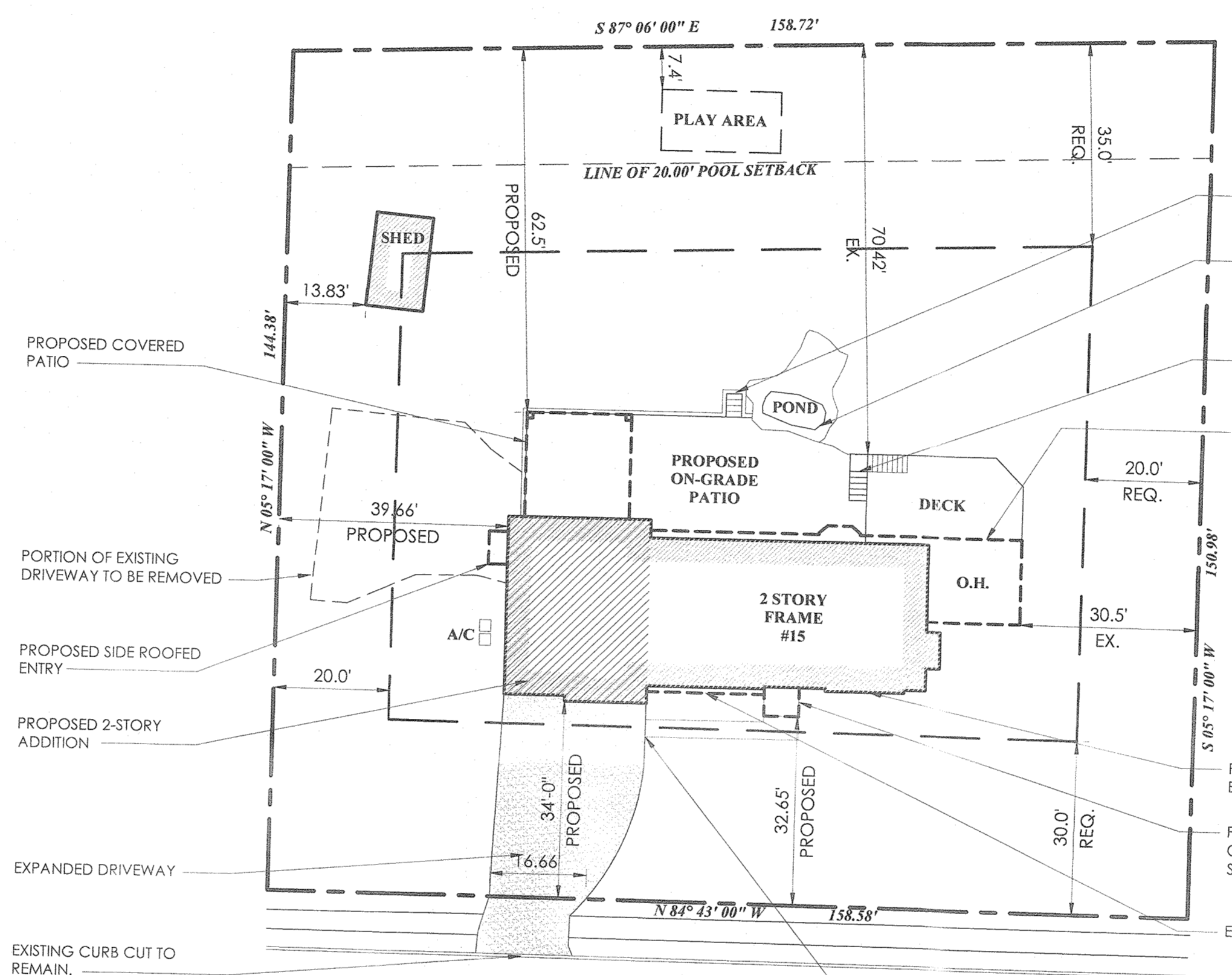
DWG NO.	DESCRIPTION	LATEST REVISION
VA.000	EXISTING & PROPOSED SITE PLAN, ZONING	MAY 11, 2021
VA.001	EXIST. FLOOR PLANS, EXISTING PHOTOS	MAY 11, 2021
VA.002	PROPOSED FLOOR PLAN: BASEMENT	MAY 11, 2021
VA.003	PROPOSED FLOOR PLAN: FIRST	MAY 11, 2021
VA.004	PROPOSED FLOOR PLAN: ROOF	MAY 11, 2021
VA.005	PROPOSED ELEVATIONS & RENDERS	MAY 11, 2021

JUL 21 2021

PLAN ARCHITECTURE
125 PATERSON AVE, Second Floor
Little Falls, NJ 07424
dan@planarc.com
1: 973-837-8399

REVISIONS:
NO. DESCRIPTION YEAR MO DA
PROJECT: PROPOSED CONCEPTUAL DESIGN FOR THE MOROZ RESIDENCE 15 LINDA LANE PEARL RIVER, NY 10965

FLOOR OR FLOORS (IF APPLICABLE):
TITLE
EXISTING & PROPOSED SITE PLAN, ZONING
SEAL & SIGNATURE: MATT PECORA, AIA
DATE: MAY 11, 2021
PROJECT NO.: 19-0930
SCALE: AS NOTED
DWG BY: JLD/AA
CHK BY: DD
DWG NO.: VA.000



LINDA LANE
(50' R.O.W.)

2 PROPOSED ARCHITECTURAL SITE PLAN

SCALE: 1"=20'

F.A.R. TABULATIONS		
	EXISTING	NEW
BASEMENT	1076	1434
GARAGE	157	535
SIDE COV. ENTRY	-	19
COV. PATIO	-	324
1ST FLOOR	1508	2252
O.T.B./STAIR	52	52
COV. PORCH	-	30
SHED	160	160
TOTAL S.F.	2953	4826

ABBREVIATIONS

ABV.	ABOVE	EA.	EACH	OPP.	OPPOSITE
ACT.	ACOUSTIC CEILING TILE	EQ.	EQUAL	RM.	ROOM
APP.	APPROXIMATE	EXT.	EXTERIOR	R.O.	ROUGH OPENING
ARCH.	ARCHITECT	FIN.	FINISH	SCHED.	SCHEDULE
BLW.	BELOW	FLR.	FLOOR	SF	SQUARE FOOT
BOT.	BOTTOM	G.C.	GENERAL CONTRACTOR	SIM.	SIMILAR
CL	CENTERLINE	GWB	GYPSUM WALL BOARD	SPECS.	SPECIFICATIONS
CLOS.	CLOSET	INSUL.	INSULATION	SS	STAINLESS STEEL
CLG.	CEILING	LAV.	LAVATORY	T.O.	TRIMMED OPENING
DIA.	DIAMETER	MFR.	MANUFACTURER	TYP.	TYPICAL
DIM.	DIMENSION	MTD.	MOUNTED	U.O.N.	UNLESS OTHERWISE NOTED
		V.I.F.	VERIFY IN FIELD		

DRAWING KEYS

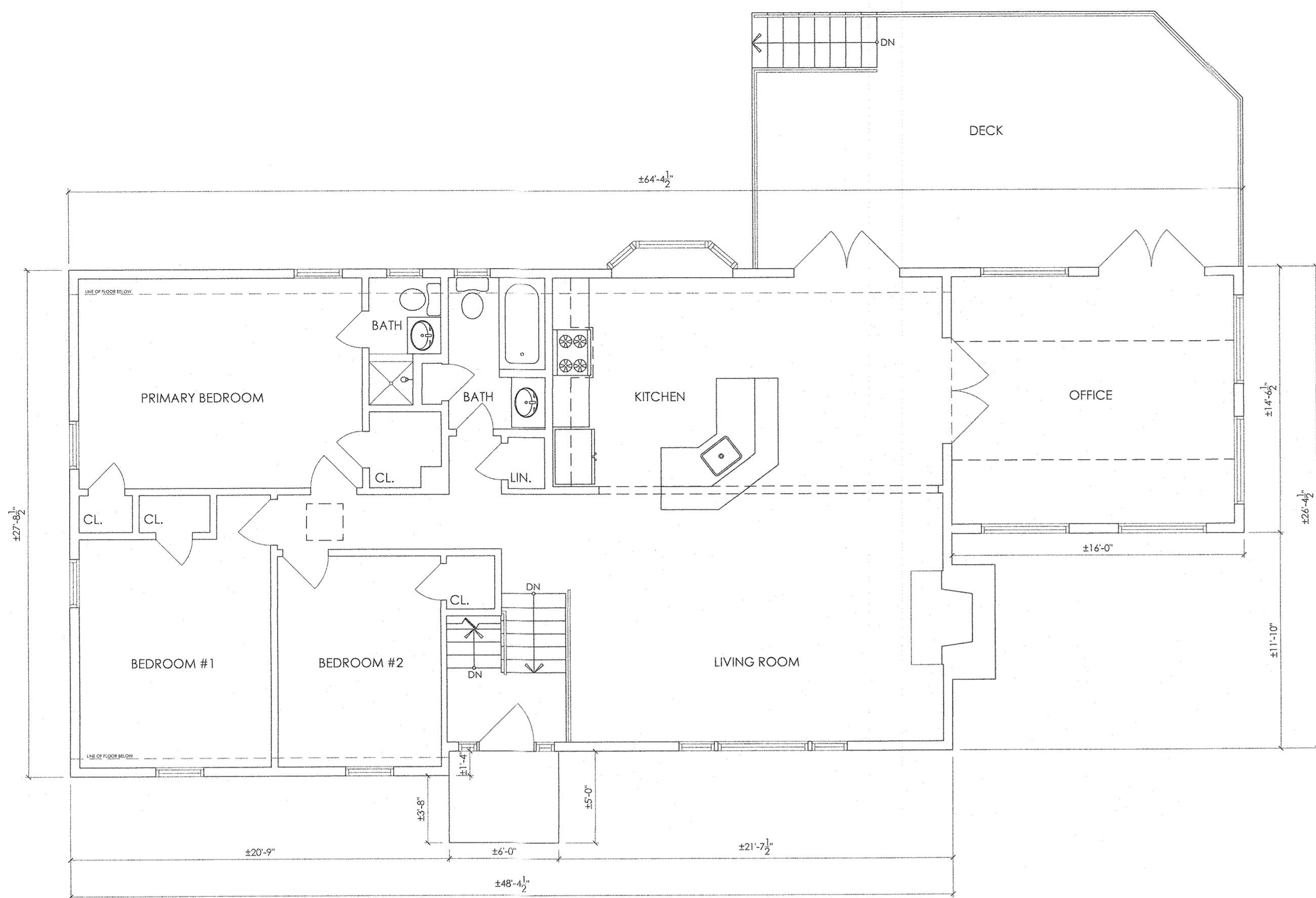
SECTION ELEVATION:	ELEVATION/ START POINT:
WALL TYPE:	REVISION NUMBER:
ELEVATION:	CONSTRUCTION NOTE:
	DOOR TAG:
	WINDOW TAG:

CONSTRUCTION SYMBOLS

CONSTRUCTION ABOVE	FIRE RATED WALL
PROPERTY LINE	STUD/ROUGHING
EXISTING PARTITION TO BE REMOVED	BLOCKING
EXISTING PARTITION TO REMAIN	FINISH WOOD
NEW WALL CONSTRUCTION	PLYWOOD
STEEL	PLASTIC LAMINATE ON PLYWOOD
CONCRETE BLOCK	FACEBRICK
	BATT INSULATION

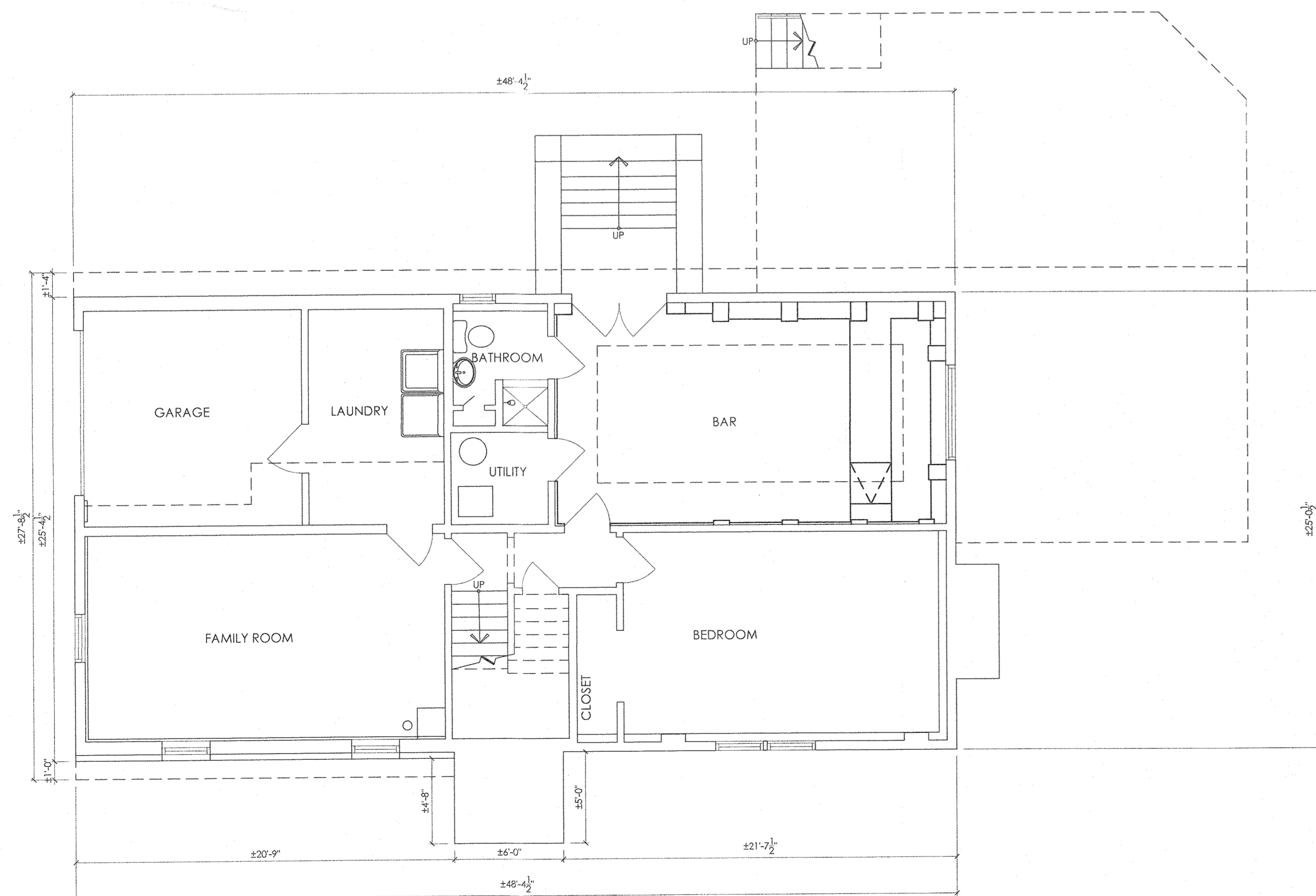
BOARD APPROVALS

CHAIRMAN	DATE
SECRETARY	DATE
BOARD ENGINEER	DATE



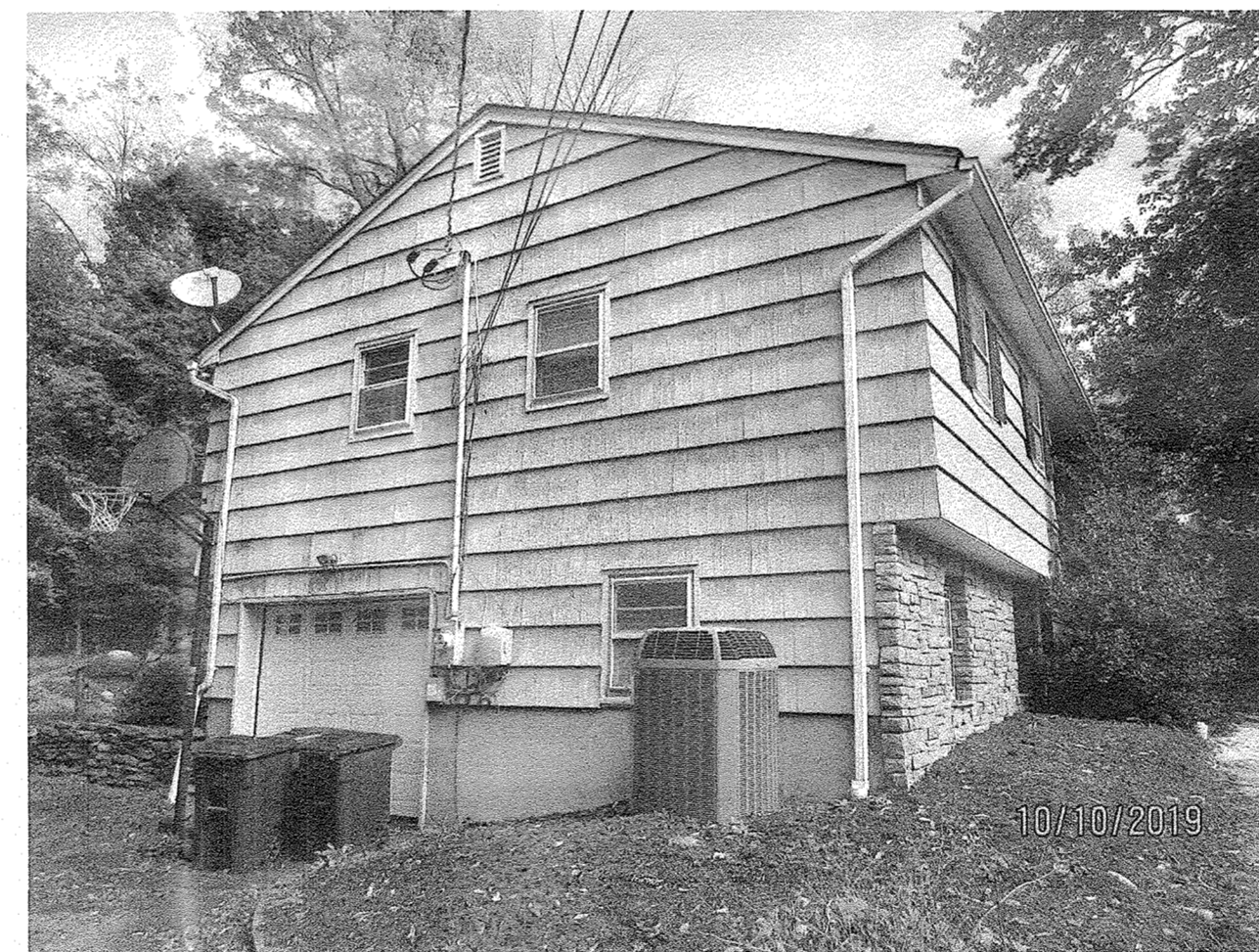
2 EXISTING FLOOR PLAN: FIRST

SCALE: 3/16"=1'-0"



1 EXISTING FLOOR PLAN: BASEMENT

SCALE: 3/16"=1'-0"



3 EXISTING PHOTOS

SCALE: NTS

ZBA SET

PLAN ARCHITECTURE
 125 PATERSON AVE., Second Floor
 Little Falls, NJ 07424
 dan@planarc.com
 T: 973-837-8399

REVISIONS:

NO.	DESCRIPTION	YEAR/MO/DA

PROJECT: PROPOSED CONCEPTUAL DESIGNS FOR
THE MOROZ RESIDENCE
 15 LINDA LANE
 PEARL RIVER, NY 10965

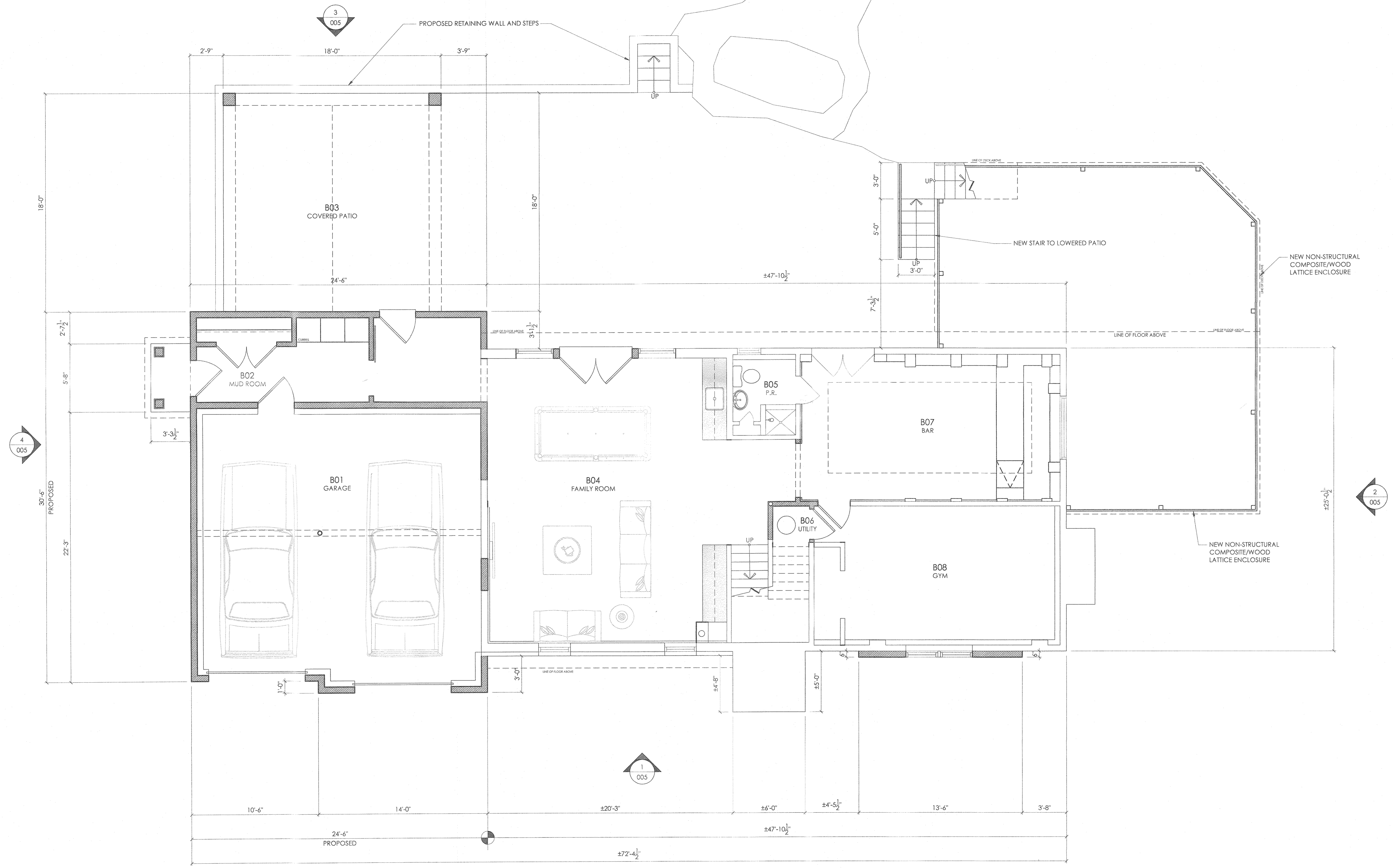
FLOOR OR FLOORS (IF APPLICABLE):
BASEMENT & FIRST
 EXIST. FLOOR PLANS, EXISTING PHOTOS

SEAL & SIGNATURE:

DATE: MAY 11, 2021
 PROJECT NO.: 19-0930
 SCALE: AS NOTED
 DWG. BY: JLD/AA
 CHK. BY: DD
 DWG. NO.: VA.001

MATT PECORA, A.I.A.

SQUARE FOOTAGE			
SQUARE FT	EXISTING	PROP.	TOTAL
BASEMENT	1076	358	1434
GARAGE	157	398	555
SIDE COV. ENTRY	--	19	19
COV. PATIO	--	324	324
1ST FLOOR	1508	744	2252
O.T.B./STAIR	52	--	52
COV. PORCH	--	30	30
TOTAL S.F.	2,793	1,873	4,666



1 PROPOSED PLAN: BASEMENT
SCALE: 1/4"=1'-0"

ZBA SET


PLAN ARCHITECTURE
125 PATERSON AVE., Second Floor
Little Falls, NJ 07424
dan@planarc.com
T: 973-637-8399

REVISIONS:

NO.	DESCRIPTION	YEAR MO DA

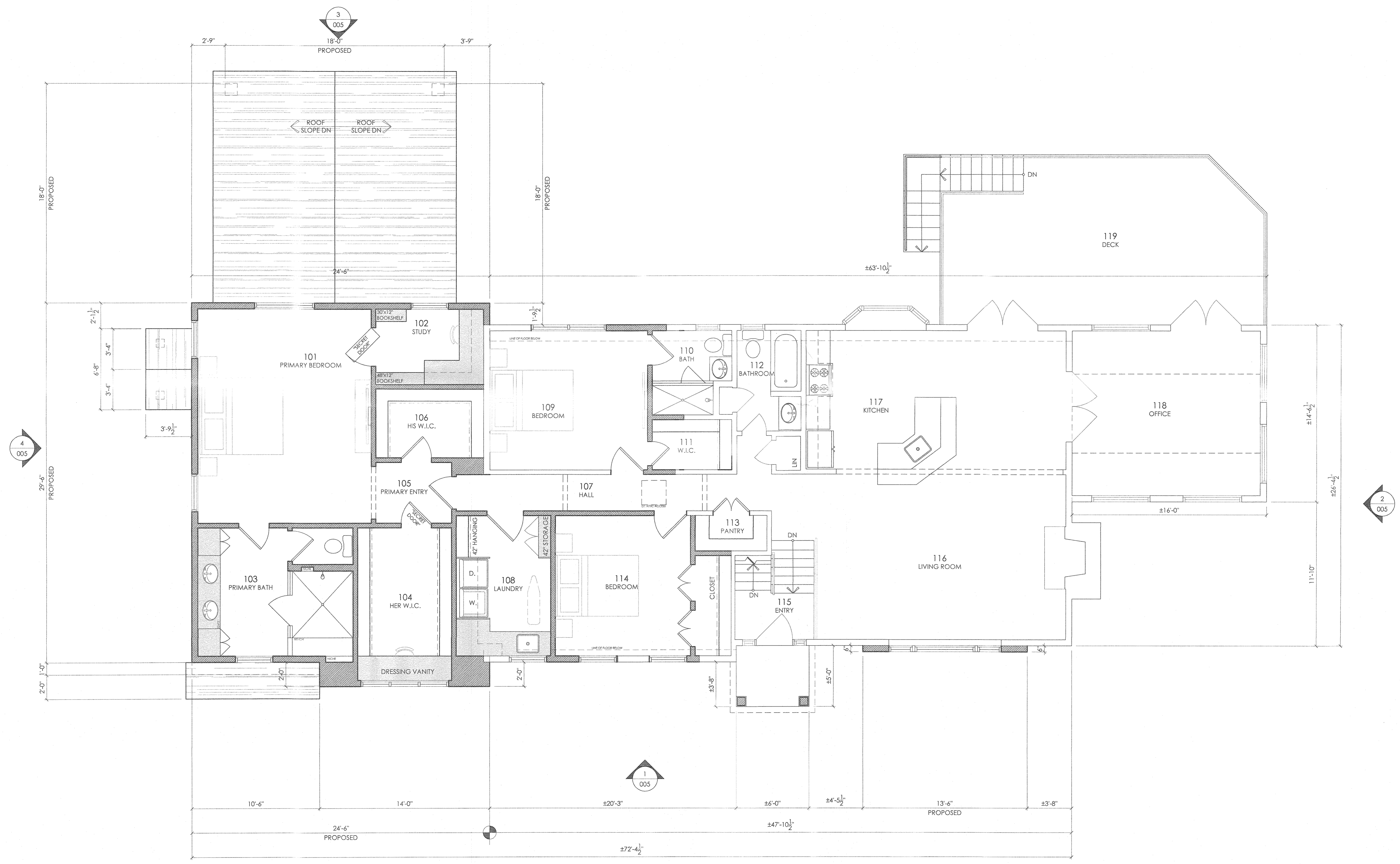
PROJECT: PROPOSED CONCEPTUAL DESIGNS FOR
THE MOROZ RESIDENCE
15 LINDA LANE
PEARL RIVER, NY 10965

FLOOR OR FLOORS (IF APPLICABLE):
BASEMENT
PROPOSED FLOOR PLAN

SEAL & SIGNATURE:  DATE: MAY 11, 2021
PROJECT NO.: 19-0930
SCALE: AS NOTED
DWG. BY: JLD/AA
CHK. BY: DD
DWG NO.: VA.002

MATT PECORA, A.I.A.

SQUARE FOOTAGE			
SQUARE FT	EXISTING	PROP.	TOTAL
BASEMENT	1076	358	1434
GARAGE	157	398	555
SIDE COV. ENTRY	-	19	19
COV. PATIO	-	324	324
1ST FLOOR	1508	744	2252
O.T.B./STAIR	52	-	52
COV. PORCH	-	30	30
TOTAL S.F.	2,793	1,873	4,666



1 PROPOSED PLAN: FIRST FLOOR
SCALE: 1/4"=1'-0"

ZBA SET

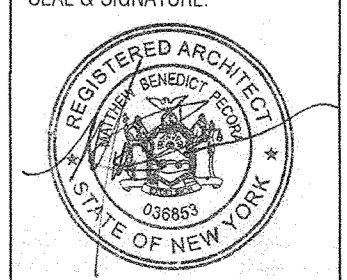
PLAN ARCHITECTURE
125 PATERSON AVE., Second Floor
Little Falls, NJ 07424
dan@planarc.com
T: 973-637-6399

REVISIONS:

NO.	DESCRIPTION	YEAR.MO.DA

PROJECT: PROPOSED CONCEPTUAL DESIGNS FOR
THE MOROZ RESIDENCE
15 LINDA LANE
PEARL RIVER, NY 10965

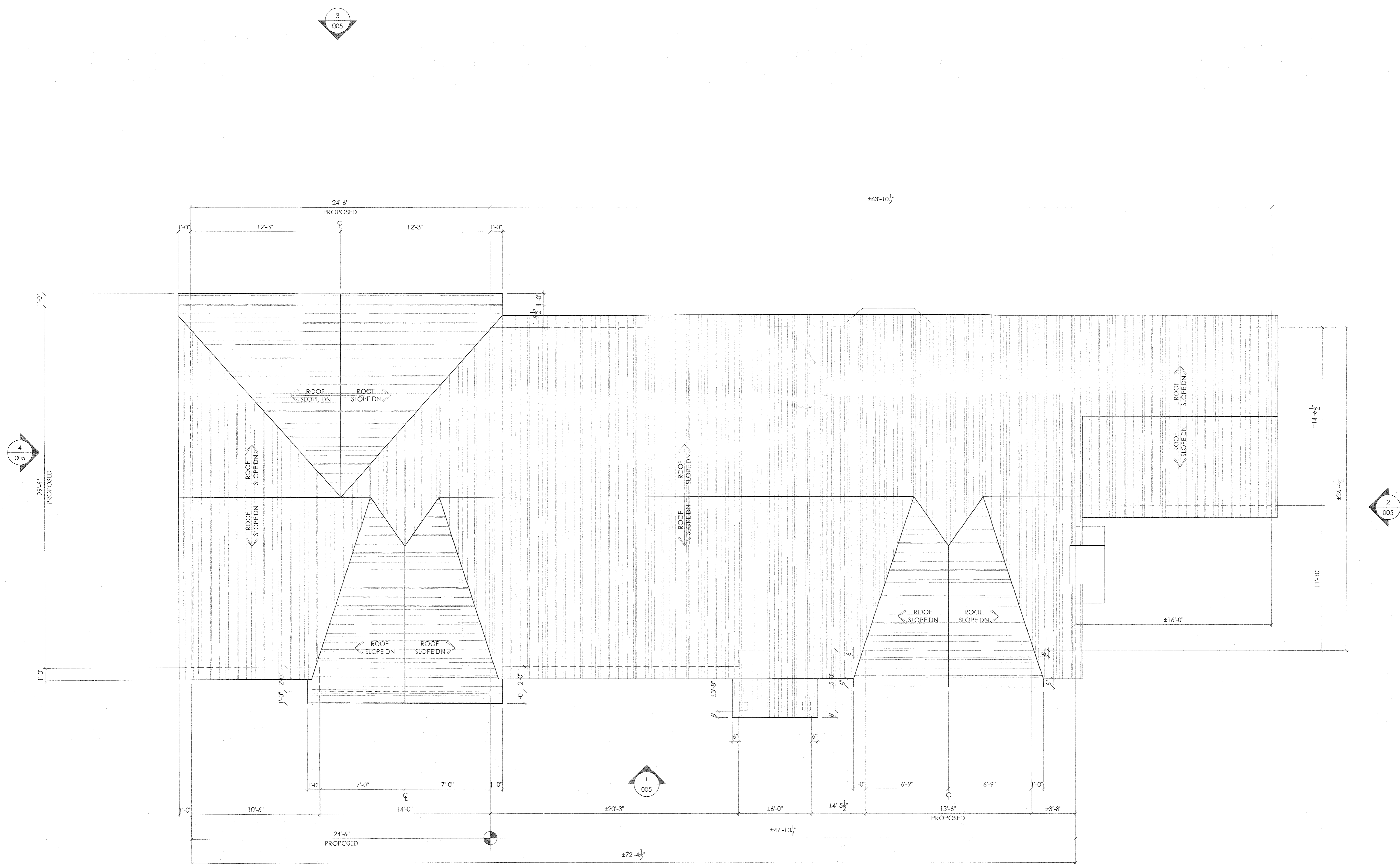
FLOOR OR FLOORS (IF APPLICABLE):
FIRST FLOOR
PROPOSED FLOOR PLAN

SEAL & SIGNATURE:  DATE: MAY 11, 2021
PROJECT NO.: 19-0930
SCALE: AS NOTED
DWG. BY: JLD/A.A.
CHK. BY: DD
DWG NO.: VA.003

MATT PECORA, AIA

SQUARE FOOTAGE

SQUARE FT	EXISTING	PROP.	TOTAL
BASEMENT	1076	358	1434
GARAGE	157	398	555
SIDE COV. ENTRY	--	19	19
COV. PATIO	--	324	324
1ST FLOOR	1508	744	2252
O.T.B./STAIR	52	--	52
COV. PORCH	--	30	30
TOTAL S.F.	2,793	1,873	4,666



1 PROPOSED PLAN: ROOF

SCALE: 1/4"=1'-0"

ZBA SET

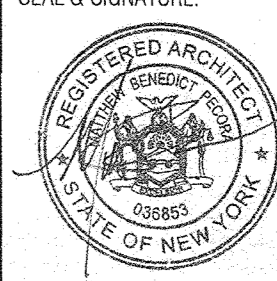
PLAN ARCHITECTURE
 125 PATERSON AVE, Second Floor
 Little Falls, NJ 07424
 dan@plnarc.com
 T: 973-837-8399

REVISIONS:

NO.	DESCRIPTION	YEAR.MO.DA

PROJECT: PROPOSED CONCEPTUAL DESIGNS FOR:
THE MOROZ RESIDENCE
 15 LINDA LANE
 PEARL RIVER, NY 10965

FLOOR OR FLOORS (IF APPLICABLE):
ROOF
 PROPOSED FLOOR PLAN

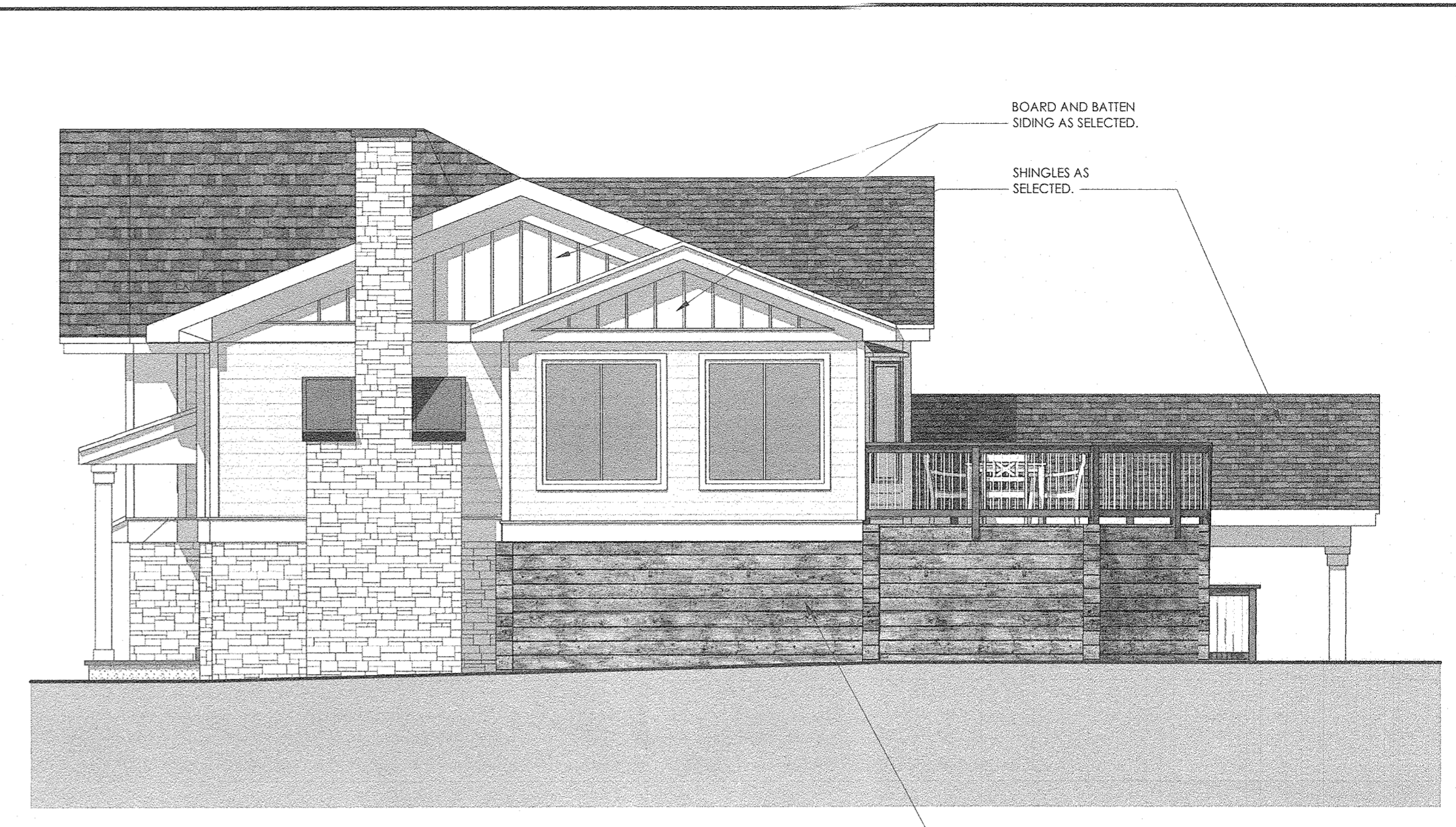
SEAL & SIGNATURE:  DATE: MAY 11, 2021
 PROJECT NO.: 19-0930
 SCALE: AS NOTED
 DWG BY: JLD/AA
 CHK BY: DD
 DWG NO.: **VA.004**

MATT PECORA, AIA



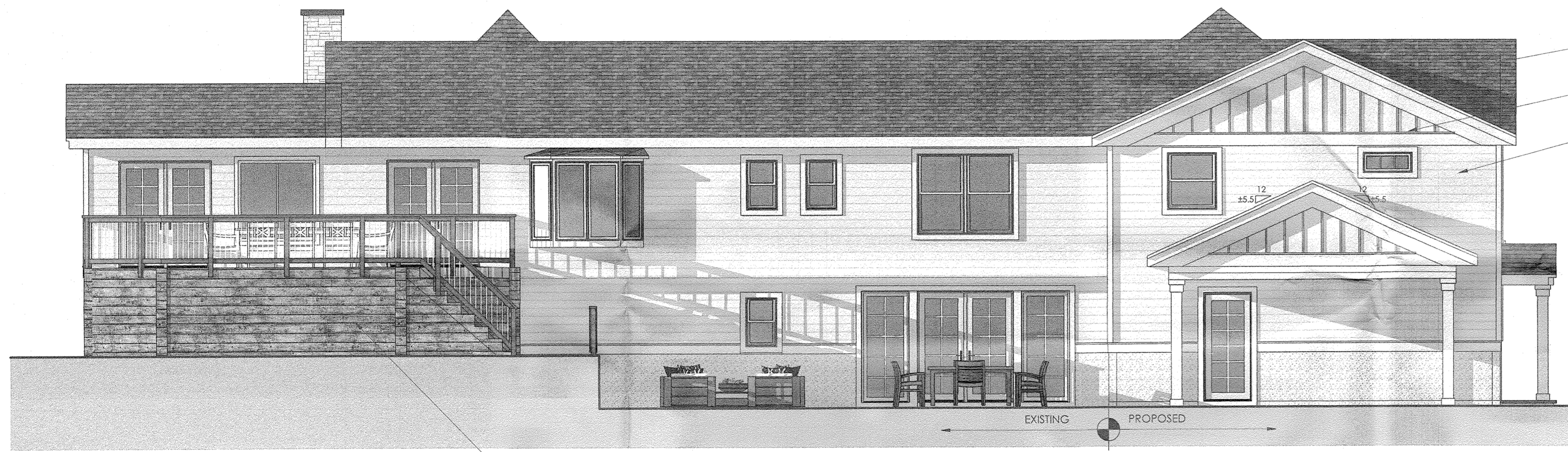
1 PROPOSED ELEVATION: FRONT

SCALE: 3/16"=1'-0"



2 PROPOSED ELEVATION: RIGHT SIDE

SCALE: 3/16"=1'-0"



3 PROPOSED ELEVATION: REAR

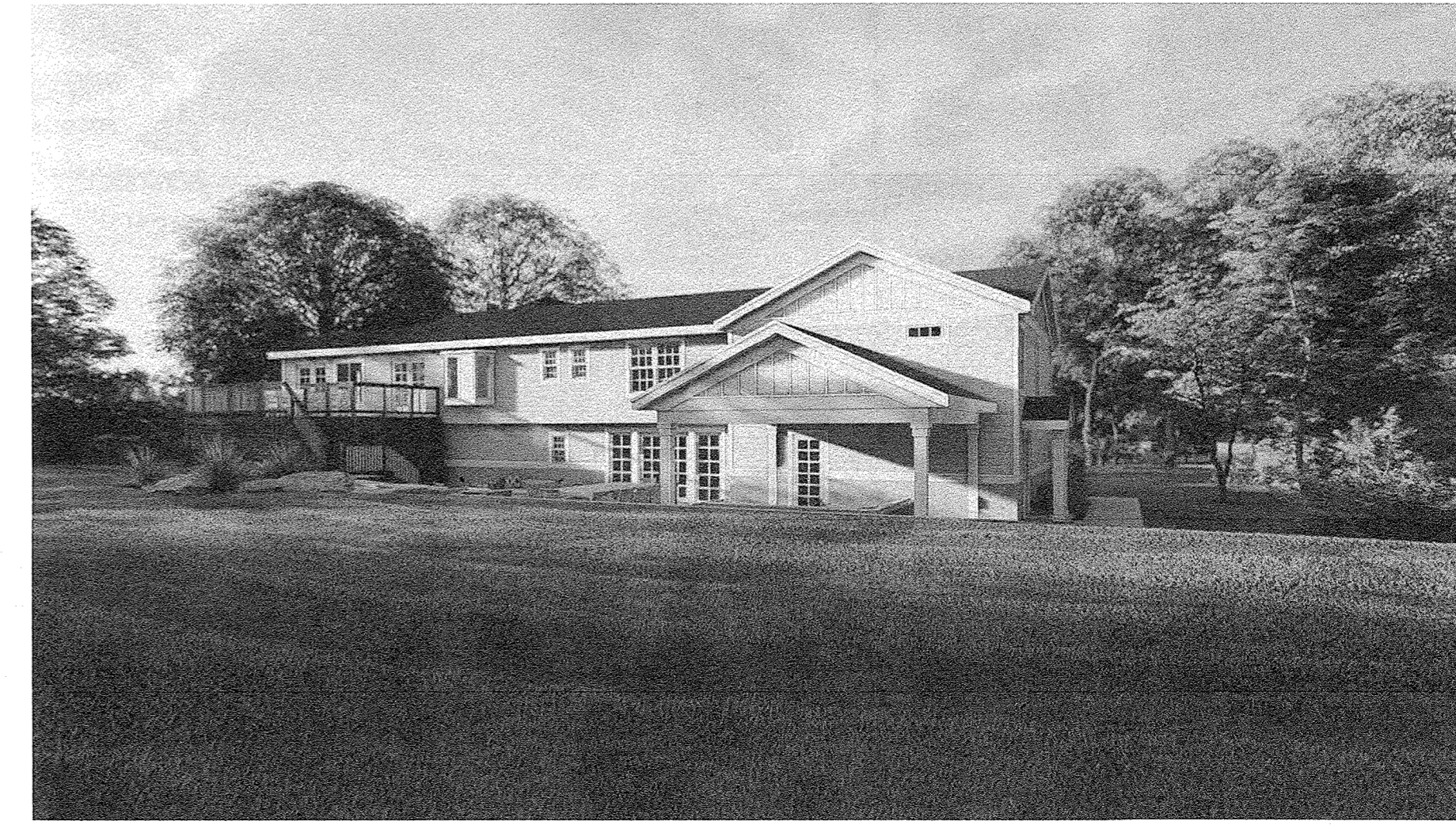
SCALE: 3/16"=1'-0"




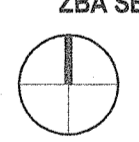
4 PROPOSED ELEVATION: LEFT SIDE

SCALE: 3/16"=1'-0"

CONCEPTUAL VIEWS (FOR ILLUSTRATIVE PURPOSES ONLY)



ZBA SET

PLAN ARCHITECTURE
 125 PATERSON AVE., Second Floor
 Little Falls, NJ 07424 dpa@planarc.com T. 973-837-8399

REVISIONS:

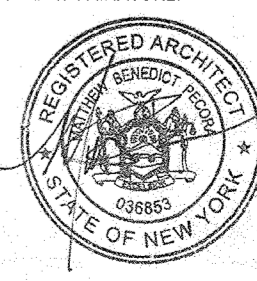
NO.	DESCRIPTION	YEAR.MO.DA

PROJECT: PROPOSED CONCEPTUAL DESIGNS FOR:
THE MOROZ RESIDENCE
 15 LINDA LANE
 PEARL RIVER, NY 10985

FLOOR OR FLOORS (IF APPLICABLE):

PROPOSED ELEVATIONS & RENDERS

SEAL & SIGNATURE:



DATE: MAY 11, 2021
 PROJECT NO.: 19-0930
 SCALE: AS NOTED
 DWG. BY: JLD/A.A
 CHK. BY: DD
 DWG. NO.:

VA.005

MATT PECORA, A.I.A.