

Name of Municipality: TOWN OF ORANGETOWN

Date Submitted: 6/15/2021

2021 LAND USE BOARD APPLICATION

Please check all that apply:

<input type="checkbox"/> Commercial	<input checked="" type="checkbox"/> Residential
<input type="checkbox"/> Planning Board	<input checked="" type="checkbox"/> Historical Board
<input checked="" type="checkbox"/> Zoning Board of Appeals	<input type="checkbox"/> Architectural Board
<input type="checkbox"/> Subdivision	<input type="checkbox"/> Consultation
<input type="checkbox"/> Number of Lots	<input type="checkbox"/> Pre-Preliminary/Sketch
<input type="checkbox"/> Site Plan	<input type="checkbox"/> Preliminary
<input type="checkbox"/> Conditional Use	<input checked="" type="checkbox"/> Final
<input type="checkbox"/> Special Permit	<input type="checkbox"/> Interpretation
<input checked="" type="checkbox"/> Variance	
<input type="checkbox"/> Performance Standards Review	
<input type="checkbox"/> Use Variance	
<input type="checkbox"/> Other (specify): _____	

PERMIT#: 51533

ASSIGNED

INSPECTOR: RICK OLIVER

Referred from Planning Board: YES / **NO**

If yes provide date of Planning Board meeting: _____

Project Name: ~~ADDITION & ALTERATION TO THE~~ GOLDBERG RESIDENCE

Street Address: 1 PRIOR COURT
PALISADES, NY 10964

Tax Map Designation:

Section: 80.06 Block: 1 Lot(s): 7
Section: N/A Block: N/A Lot(s): N/A

Directional Location:

On the WEST side of PRIOR COURT, approximately 20 feet SOUTHWEST of the intersection of PRIOR COURT & FERN ROAD, in the Town of ORANGETOWN in the hamlet/village of PALISADES.

Acreage of Parcel <u>0.78</u>	Zoning District <u>R-40</u>
School District <u>SOUTH ORANGETOWN</u>	Postal District _____
Ambulance District _____	Fire District _____
Water District _____	Sewer District _____

Project Description: (If additional space required, please attach a narrative summary.)
SEE ATTACHED ARCHITCTURAL DRAWINGS FOR FULL SCOPE. GARAGE & OFFICE ADDITION
TO THE EXISTING RESIDENCE. EXPAND THE EXISTING REAR DECK. INTERIOR RENOVATION
AS SHOWN ON PLANS. (BUILDING ADDITIONS = 926 SF, DECK ADDITION = 145 SF)

The undersigned agrees to an extension of the statutory time limit for scheduling a public hearing.

Date: 6/14/2021 Applicant's Signature: 

APPLICATION REVIEW FORM

FILL IN WHERE APPLICABLE.

(IF THE FOLLOWING DOES NOT APPLY PLEASE MOVE ON TO THE NEXT PAGE)

If subdivision:

- 1) Is any variance from the subdivision regulations required? N/A
- 2) Is any open space being offered? N/A If so, what amount? N/A
- 3) Is this a standard or average density subdivision? N/A

If site plan:

- 1) Existing square footage N/A
- 2) Total square footage N/A
- 3) Number of dwelling units N/A

If **special permit**, list special permit use and what the property will be used for.

N/A

Environmental Constraints:

Are there **slopes greater than 25%**? If yes, please indicate the amount and show the gross and net area NO -

Are there **streams** on the site? If yes, please provide the names. NO

Are there **wetlands** on the site? If yes, please provide the names and type:

NO

Project History:

Has this project ever been reviewed before? NO

If so, provide a narrative, including the list case number, name, date, and the board(s) you appeared before, and the status of any previous approvals.

N/A

List tax map section, block & lot numbers for all other abutting properties in the same ownership as this project.

NONE



OFFICE OF BUILDING, ZONING, PLANNING,
ADMINISTRATION AND ENFORCEMENT
TOWN OF ORANGETOWN
20 Greenbush Road
Orangeburg, N.Y. 10962

Jane Slavin, R.A.
Director

(845)359-8410

Fax: (845) 359-8526

DENIAL TO THE ZONING BOARD OF APPEALS

Date: June 9, 2021

Applicant: Goldberg

Address: 1 Prior Ct, Palisades, NY

RE: Application Made at: same

Chapter 43, Table 3.12, Column 1 R-40 District, Column 2 Group E, Column 3 SFR, Column 11 Rear
Yard 50' with 42' proposed.
One Variance required

Section: 80.06 Block: 1 Lot: 7

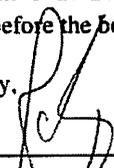
Dear Goldberg:

Please be advised that the Building Permit Application, which you submitted on
May 25, 2021, has been denied. I have enclosed a Xerox copy of your application, where you will find
at the bottom the reason for denial.

**In Accordance with Zoning, Chapter 43 Section 10.322 the time to appeal a determination of a
Building Inspector or Similar administrative office is thirty (30) days from the filing of such a
determination with the Town Clerk.**

The Clerk to the Zoning Board of Appeals, Debbie Arbolino, will assist you in the preparation necessary to
appear before the board.

Sincerely,


Richard Oliver
Deputy Building Inspector


Signature of Director
NOTE: PLEASE KEEP FOR YOUR RECORDS
12-31-18-CCC


Date
CC: Rosanna Sfraga
Liz Decort
Debbie Arbolino

OWNER'S AUTHORIZATION

for submittal to the:
Town of Orangetown Building Department

RYAN & JENNIFER MANDELL GOLDBERG, deposes and says that he/she they reside(s)
(OWNER)
at 1 PRIOR COURT, PALISADES, NY 10964 n the County of ROCKLAND
(OWNER'S ADDRESS)
and State of NEW YORK and that he is the owner of property tax map

Designation number (Sec. 80.06 Block 1 Lot 7) which is the property described in the
foregoing application and that he/she designates:

ALLEN D. ROSS, AIA - 153 MAIN STREET, NEW PALTZ, NY 12561
(Agent Name & Address)

as his agent to make the attached application.

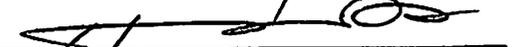
THIS DESIGNATION SHALL BE EFFECTIVE UNTIL WITHDRAWN BY THE OWNER OR UNTIL TWO (2) YEARS FROM THE DATE AGREED TO, WHICH EVER IS SOONER.

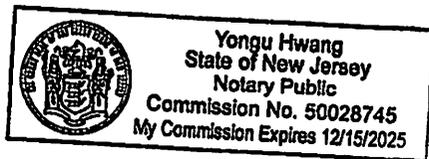

(OWNER'S SIGNATURE)

STATE OF ~~NEW YORK~~ Jersey
COUNTY OF Orange ss:

SWORN BEFORE ME THIS:

19 DAY OF May 2021


NOTARY PUBLIC



GOLDBERG RESIDENCE RENOVATIONS



NOTES

GENERAL NOTES:

- SCOPE OF WORK: GARAGE AND OFFICE ADDITION TO RESIDENCE AT 1 PRIOR COURT, PALISADES, NY. IT IS THE INTENT THAT THE WORK INCLUDED SHALL COVER THE MANUFACTURE, FABRICATION, DELIVERY, INSTALLATION AND/OR ERECTION WITH ALL INCIDENTALS THERETO, AS SHOWN ON THE DOCUMENTS, AS SPECIFIED HEREIN, AND AS REQUIRED BY JOB CONDITIONS.
- ADDITION WILL BE CONSTRUCTED IN ACCORDANCE WITH ALL LOCAL AND STATE ENERGY CODES.

DEMOLITION NOTES:

- CONTRACTOR SHALL PERFORM ALL OPERATIONS OF DEMOLITION AND REMOVAL INDICATED ON THE DRAWINGS AND AS MAY BE REQUIRED BY THE WORK. ALL WORK SHALL BE DONE CAREFULLY AND NEATLY, IN A SYSTEMATIC MANNER.
- NO STRUCTURAL ELEMENTS SHALL BE REMOVED UNTIL PORTIONS AFFECTED ARE ADEQUATELY SUPPORTED BY EITHER TEMPORARY SHORING OR NEW STRUCTURAL ELEMENTS AS REQUIRED TO PROTECT THE STABILITY AND INTEGRITY OF THE SITE AND WORK. THE DESIGN OF THE TEMPORARY SHORING IS THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL ADJOINING PROPERTY AFFECTED BY ANY OPERATIONS OF DEMOLITION SHALL BE PROTECTED PER THE REQUIREMENTS OF THE LOCAL AUTHORITIES.
- THE CONTRACTOR SHALL PROVIDE, ERECT, AND MAINTAIN ALL TEMPORARY BARRIER AND GUARDS, AND ALL TEMPORARY SHORING AND BRACING AS REQUIRED BY ALL REGULATING AUTHORITIES.
- THE CONTRACTOR SHALL FILE ALL NECESSARY CERTIFICATES OF INSURANCE, OBTAIN ALL REQUIRED PERMITS, AND PAY ALL FEES, AND PROVIDE ANY AND ALL BONDS REQUIRED BY THE STATE OF NEW YORK, COUNTY OF ROCKLAND, AND TOWN OF ORANGETOWN IN ORDER TO DO THE WORK HEREIN DESCRIBED.

PROJECT DIRECTORY

OWNER:

RYAN GOLDBERG AND JENNIFER MANDELL GOLDBERG
1 PRIOR CT.
PALISADES, NY 10964

ARCHITECT:

ALLEN ROSS ARCHITECTURE, LLC
153 MAIN STREET
NEW PALTZ, NY 12561
845.255.0114

INTERIOR DESIGNER:

CATLIN BURCK
218 GAIR STREET,
PIERMONT, NY 10968
845.222.7999

DRAWING LIST

GENERAL:

T-001 COVER SHEET & GENERAL NOTES

SURVEY:

A-001 SITE PLAN

REMOVAL:

D-101 FIRST FLOOR REMOVAL PLAN
D-102 SECOND FLOOR REMOVAL PLAN

ARCHITECTURAL:

A-100 FOUNDATION PLAN
A-101 FIRST FLOOR PLAN
A-102 SECOND FLOOR PLAN

A-200 SOUTH & WEST ELEVATIONS
A-201 NORTH & EAST ELEVATIONS

STRUCTURAL:

S-100 FIRST FLOOR FRAMING PLAN
S-101 SECOND FLOOR FRAMING PLAN

DRAWING SYMBOLS

	ELEVATION LEVEL
	START POINT
	BUILDING SECTION / ELEVATION REFERENCE
	DETAIL REFERENCE
	DETAIL REFERENCE
	INTERIOR ELEVATION REFERENCE
	WINDOW NUMBER
	DOOR NUMBER
	ROOM NUMBER
	MILLWORK NUMBER
	PLUMBING NUMBER

ABBREVIATIONS

A.B.	ANCHOR BOLT	INSUL.	INSULATION
ACC.	ACCESSIBLE	INT.	INTERIOR
ACT.	ACOUSTIC CEILING TILE	MAX.	MAXIMUM
ADD'L	ADDITIONAL	M.D.O.	MEDIUM DENSITY OVERLAY PLYWOOD
ADJ.	ADJACENT	MIN.	MINIMUM
A.E.D.	AUTOMATED EXTERNAL DEFIBRILLATOR	N.A.	NOT PART OF WORK
A.F.F.	ABOVE FINISH FLOOR	N.I.C.	NOT IN CONTRACT
APPROX.	APPROXIMATE	N.T.S.	NOT TO SCALE
ARCH.	ARCHITECT	O/	OVER
A.S.F.	ABOVE SUB FLOOR	O.C.	ON CENTER
B.	BOTTOM	OPNG.	OPENING
BD.	BOARD	OPP.	OPPOSITE
BET.	BETWEEN	PLYWD.	PLYWOOD
BIT.	BITUMINOUS	PNL.	PANEL
B.O.	BOTTOM OF CANTILEVERED	P.T.	PRESERVATIVE PRESSURE TREATED
CANT.	CANTILEVERED	PTD.	PAINTED
CL.	CLOSET	RECEPT.	RECEPTACLE
C.	CENTERLINE	REIN.	REINFORCED
CLG.	CEILING	REQ.	REQUIRED
COL.	COLUMN	RM.	ROOM
CONC.	CONCRETE	R.O.	ROUGH OPENING
CONT.	CONTINUOUS	R.T.U.	ROUGH TOP UNIT
DEMO.	DEMOLISH	SCRN.	SCREEN
DIA.	DIAMETER	S.F.	SQUARE FEET
DIM.	DIMENSION	SIM.	SIMILAR
DR.	DOOR	SLP.	SLOPE
DS.	DOWNSPOUT	SQ.	SQUARE
DWG.	DRAWING	S.S.	STAINLESS STEEL
EL.	ELEVATION	ST.	STONE
ELEC.	ELECTRICAL	STD.	STANDARD
ELEV.	ELEVATION	STL.	STEEL
ELEVS.	ELEVATIONS	STRUC.	STRUCTURAL
E.O.	EDGE OF	SUBFLR.	SUB FLOOR
EQ.	EQUAL	T.	TOP
EQUIP.	EQUIPMENT	T&B	TOP AND BOTTOM
E.T.R.	EXISTING TO REMAIN	T&D.	TO BE DECIDED
EXT.	EXTERIOR	T&G.	TONGUE AND GROOVE
EXTG.	EXISTING	THK.	THICK
F.A.I.	FRESH AIR INTAKE	T.O.	TOP OF
F.F.	FINISH FLOOR	T.R.M.	TOILET ROOM
FIN.	FINISH	TYP.	TYPICAL
FLR.	FLOOR	UNI.	UNIVERSAL
FM-FM	FACE OF MASONRY TO FACE OF MASONRY	UNQ.	UNLESS NOTED OTHERWISE
F.O.	FACE OF	V.I.F.	VERIFY IN FIELD
FOUND.	FOUNDATION	VERT.	VERTICAL
F.R.	FIBER REINFORCED	W.C.	WATER CLOSET
FTG.	FOOTING	W/	WITH
GALV.	GALVANIZED	WIND.	WINDOW
G.B.	GYPSPUM BOARD	WD.	WOOD
HORIZ.	HORIZONTAL	W.W.F.	WELDED WIRE FABRIC

	06/15/2021	PERMIT FILING R2
	05/28/2021	PERMIT FILING R1
	05/14/2021	PERMIT FILING

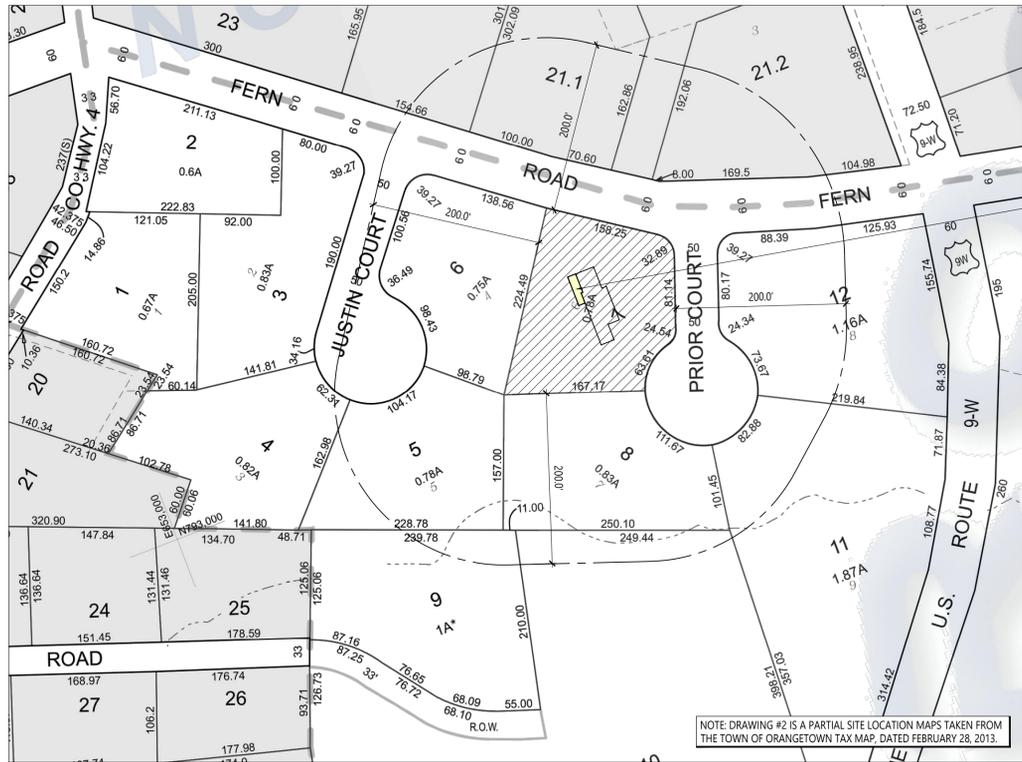
ALLEN ROSS ARCHITECTURE
GREENWICH, CT 203.832.3534
NEW PALTZ, NY 845.255.0114
AllenRossArchitecture.com

**GOLDBERG
RESIDENCE**
1 PRIOR CT
PALISADES, NY

**COVER SHEET
GENERAL NOTES**



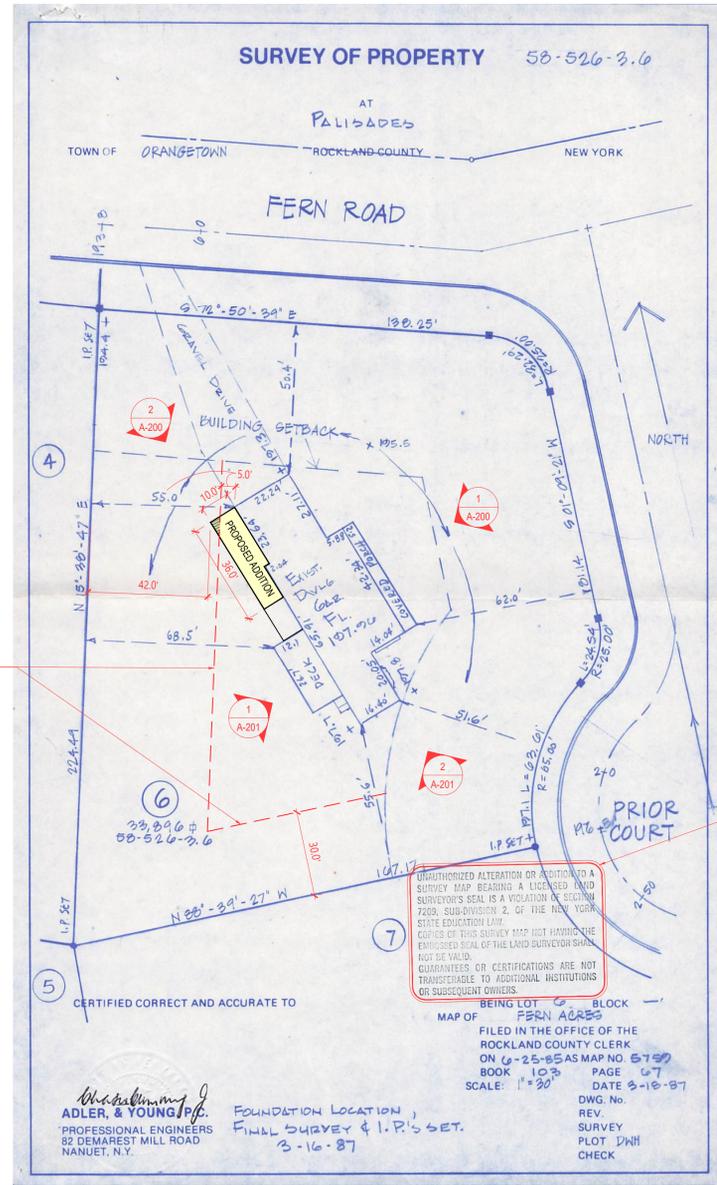
PROJECT NO.
**184
GOL**
T-001



2 PARTIAL TAX MAP PLOT PLAN
SCALE: 1" = 100'

NOTE: DRAWING #2 IS A PARTIAL SITE LOCATION MAPS TAKEN FROM THE TOWN OF ORANGETOWN TAX MAP, DATED FEBRUARY 28, 2013.

PROJECT LOCATION:
1 PRIOR CT, PALISADES, NY



ASSUMED LOCATION OF REAR YARD & SIDE YARD SETBACK LINE BASED ON HISTORICAL SURVEY.

ALLEN ROSS ARCHITECTURE IS IN NO WAY ATTEMPTING TO MODIFY THE PREVIOUSLY ISSUED PROPERTY SURVEY. THE SURVEY DRAWING IS BEING USED SOLELY AS REFERENCE TO SHOW LOCATION FOR THE PROPOSED SCOPE OF WORK. THE REAR YARD SETBACK IS ASSUMED AND IS BASED ON THE INFORMATION SHOWN IN THE SURVEY DRAWING. THERE IS NO EVIDENCE AS TO WHY THIS INFORMATION WAS NOT ORIGINALLY SHOWN.

1 SITE PLAN
SCALE: 1" = 30'-0"

ZONING BULK REQUIREMENTS TABLE			
TAX MAP PARCEL: SECTION 80.06, BLOCK 1, LOT 7			
ZONE: R-40	GROUP: E	USE: SINGLE FAMILY RESIDENTIAL	
NUMBER OF STORIES: TWO	CONSTRUCTION TYPE: 5B	OCCUPANCY CLASS: R-3	
	REQUIRED	EXISTING	PROPOSED
FLOOR AREA RATIO	0.15	0.11	0.13
LOT AREA	40,000 SF	33,896 SF	33,896 SF
LOT WIDTH	150'	160'	160'
STREET FRONTAGE	100'	339.83'	339.83'
FRONT YARD SETBACK	50'	50' *	50' *
SIDE YARD SETBACK	30'	55.6'	55.6'
TOTAL SIDE YARD SETBACK	80'	106' **	106' **
REAR YARD SETBACK	50'	55'	42'
MAXIMUM BUILDING HEIGHT	8'/FT	4.4'/FT	5.3'/FT

- BULK TABLE NOTES:
- PROPERTY USES TOWN SEWAGE
 - THERE IS (1) ONE KITCHEN ON THE PROPERTY
 - THERE ARE NO RENTERS, TENANTS, LESSEES OR BOARDERS AT THE PROPERTY.
 - THERE IS (1) ONE ACTIVE BUILDING PERMIT ON THIS PROPERTY.
 - THE PROPERTY IS NOT IN THE FLOOD PLAIN.
 - * SECTION 5.112 - CORNER LOTS. EACH LOT LINE WHICH ABUTS A STREET SHALL BE DEEMED TO BE A FRONT LINE, AND THE REQUIRED YARD ALONG BOTH LOT FRONTAGES SHALL BE A REQUIRED FRONT YARD.
 - ** TOTAL SIDE YARD SETBACK WAS DETERMINED BY ADDING NOTED DISTANCES OF 55.6' & 50.4' IDENTIFIED ON PROPERTY SURVEY DRAWING.

- GENERAL NOTES:
- DRAWING #1 ON THIS SHEET USES THE PREVIOUSLY ISSUED PROPERTY SURVEY PREPARED BY ADLER & YOUNG P.C. OF NANUET, NY, ON MARCH 16, 1987. THIS DRAWING WAS SCANNED AND SCALED TO THE ORIGINAL DRAWING SCALE OF 1"=30'.
 - ALLEN ROSS ARCHITECTURE IS SHOWING THE REAR YARD SETBACK IN RED. THIS LOCATION WAS DETERMINED BY OFFSETTING 5'-0" FROM THE NOTED DIMENSION OF 55.0' ON THE HISTORICAL SURVEY.
 - DRAWING #2 IS A PARTIAL SITE LOCATION MAP TAKEN FROM THE TOWN OF ORANGETOWN TAX MAP, DATED FEBRUARY 28, 2013.
 - THE AVERAGE GRADE AROUND THE RESIDENCE IS 197.55'. THIS WAS CALCULATED BASED ON THE (4) FOUR SPOT ELEVATIONS IDENTIFIED ON THE SITE SURVEY.

06/15/2021	PERMIT FILING R2
06/07/2021	PERMIT FILING R1
05/14/2021	PERMIT FILING

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GREENWICH, CT 203.832.3534
NEW PALTZ, NY 845.255.0114

GOLDBERG RESIDENCE
1 PRIOR CT
PALISADES, NY

SITE PLAN & ZONING BULK TABLE

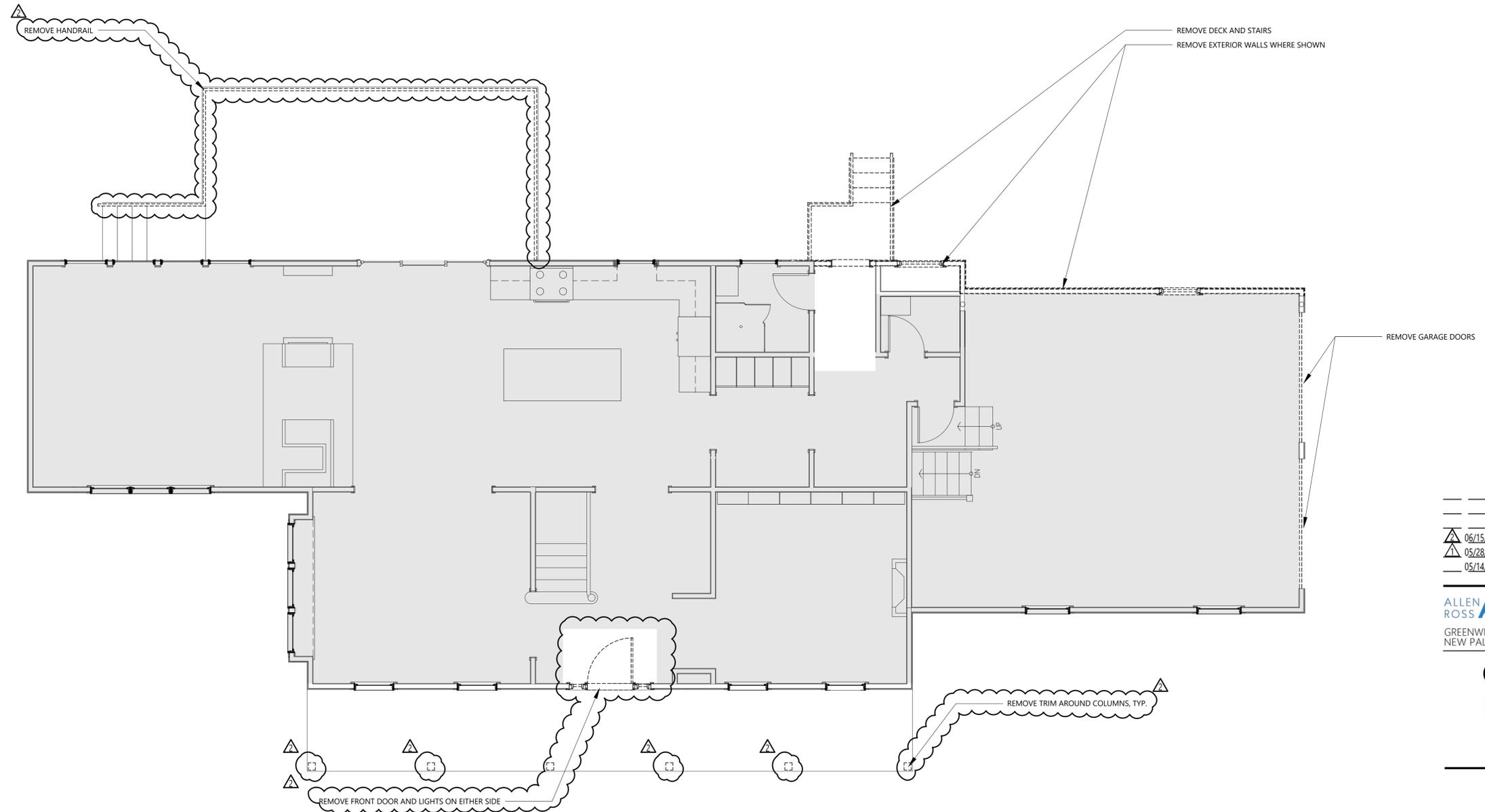
PROJECT NO. 184 GOL
A-001

LEGEND:

NOT IN SCOPE

REMOVALS

EXTG. WALL



06/15/2021 PERMIT FILING R2
 05/28/2021 PERMIT FILING R1
 05/14/2021 PERMIT FILING

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GOLDBERG RESIDENCE

1 PRIOR CT
 PALISADES, NY

FIRST FLOOR REMOVALS

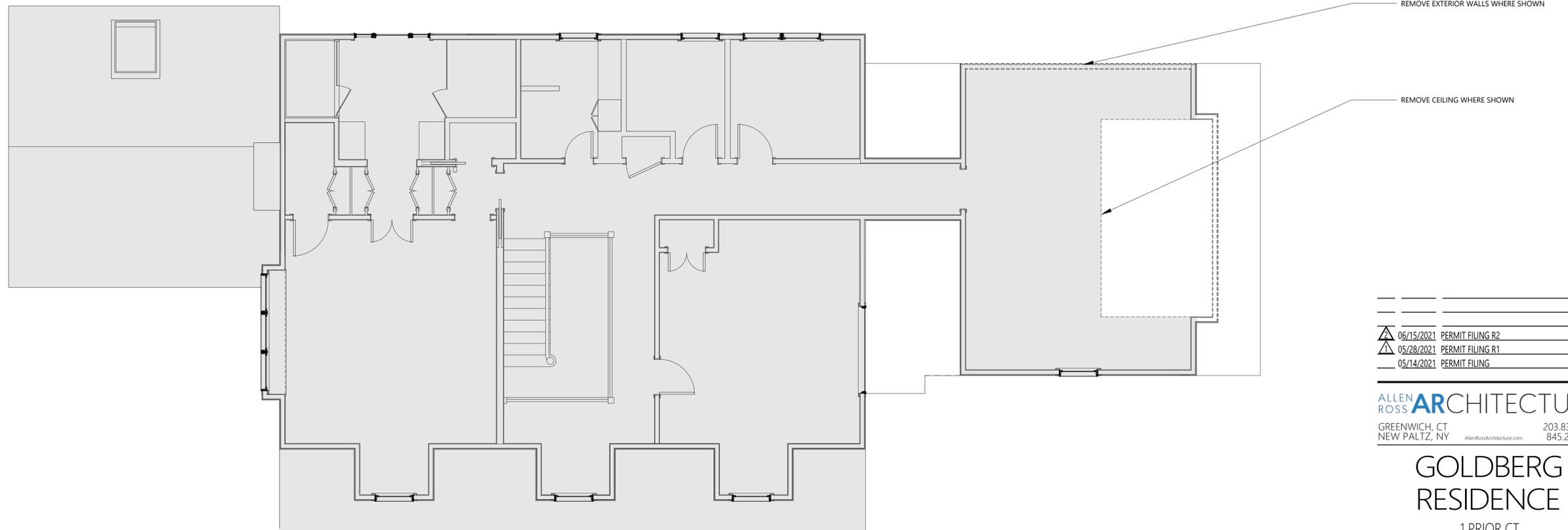
1 FIRST FLOOR REMOVAL PLAN
 SCALE: 1/4" = 1'-0"



PROJECT NO.
184
 GOL
D-101

LEGEND:

- NOT IN SCOPE
- REMOVALS
- ==== EXTG. WALL



-
-
- △ 06/15/2021 PERMIT FILING R2
- △ 05/28/2021 PERMIT FILING R1
-
- 05/14/2021 PERMIT FILING

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**GOLDBERG
 RESIDENCE**

1 PRIOR CT
 PALISADES, NY

**SECOND FLOOR
 REMOVALS**

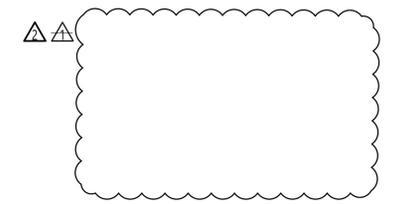
1 SECOND FLOOR REMOVAL PLAN
 SCALE: 1/4" = 1'-0"



PROJECT NO.
 184
 GOL

D-102

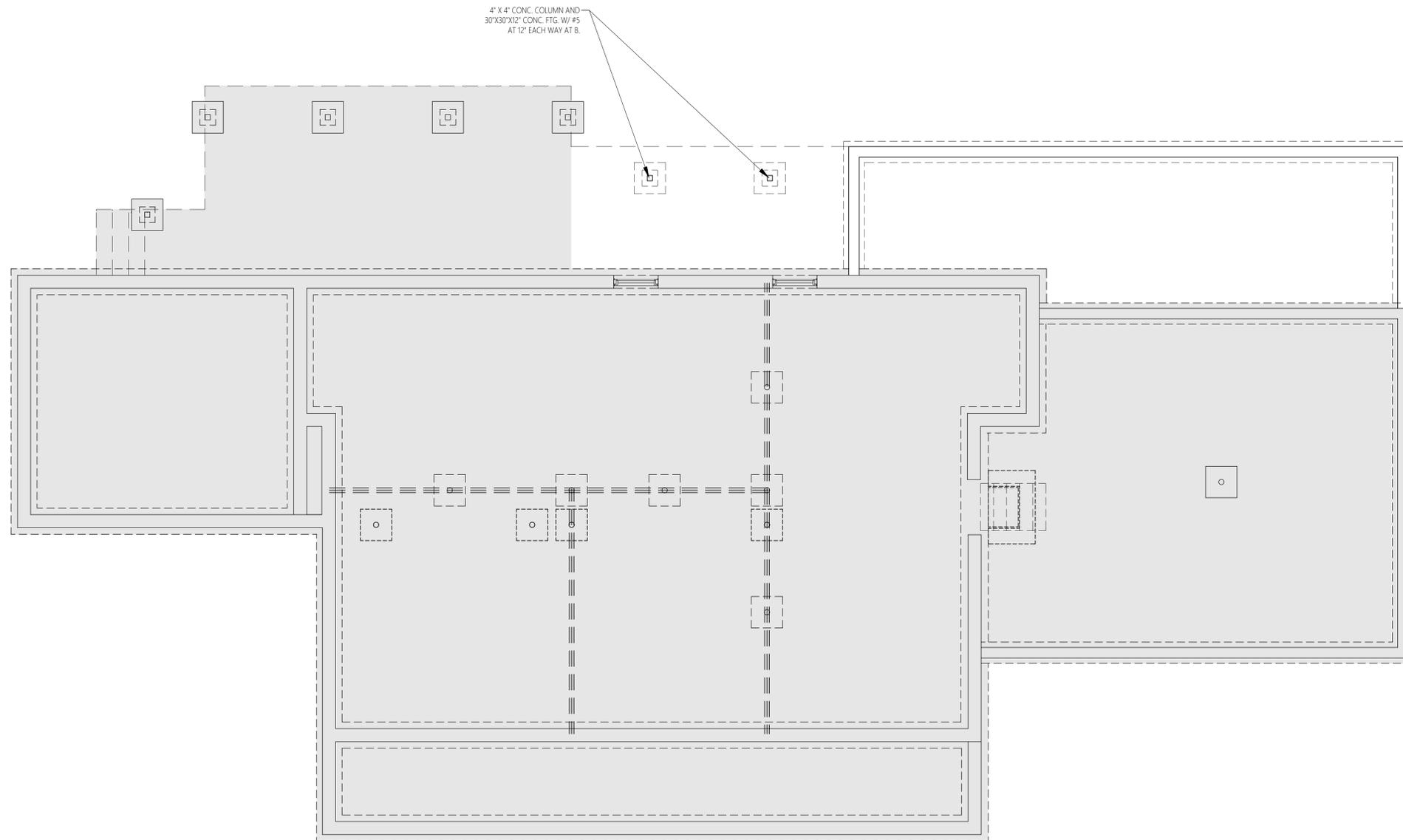
- LEGEND:
- NOT IN SCOPE
 - NEW WALL
 - FLOOR ABOVE
 - NEW COLUMN W/ FOOTING



4" X 4" CONC. COLUMN AND
30"X30"X12" CONC. FTG. W/ #5
AT 12" EACH WAY AT B.

1' DEEP X 1'-8" WIDE CONC. FOOTING W/ (3) #5 @ B

8" THK. CONC. MASONRY FOUNDATION WALL W/ (2) #5 @ T + B



- 06/15/2021 PERMIT FILING R2
- 05/28/2021 PERMIT FILING R1
- 05/14/2021 PERMIT FILING

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**GOLDBERG
RESIDENCE**

1 PRIOR CT
PALISADES, NY

**FOUNDATION
PLAN**

1 CRAWL SPACE PLAN
SCALE: 1/4" = 1'-0"



PROJECT NO.
**184
GOL**

A-100

WINDOW INFORMATION			
ITEM	MANUFACTURER	TYPE	MODEL
110D	ANDERSEN	DOUBLE HUNG	400 SERIES
110E	ANDERSEN	DOUBLE HUNG	400 SERIES
111A	ANDERSEN	CASEMENT	400 SERIES
110D	ANDERSEN	DOUBLE HUNG	400 SERIES

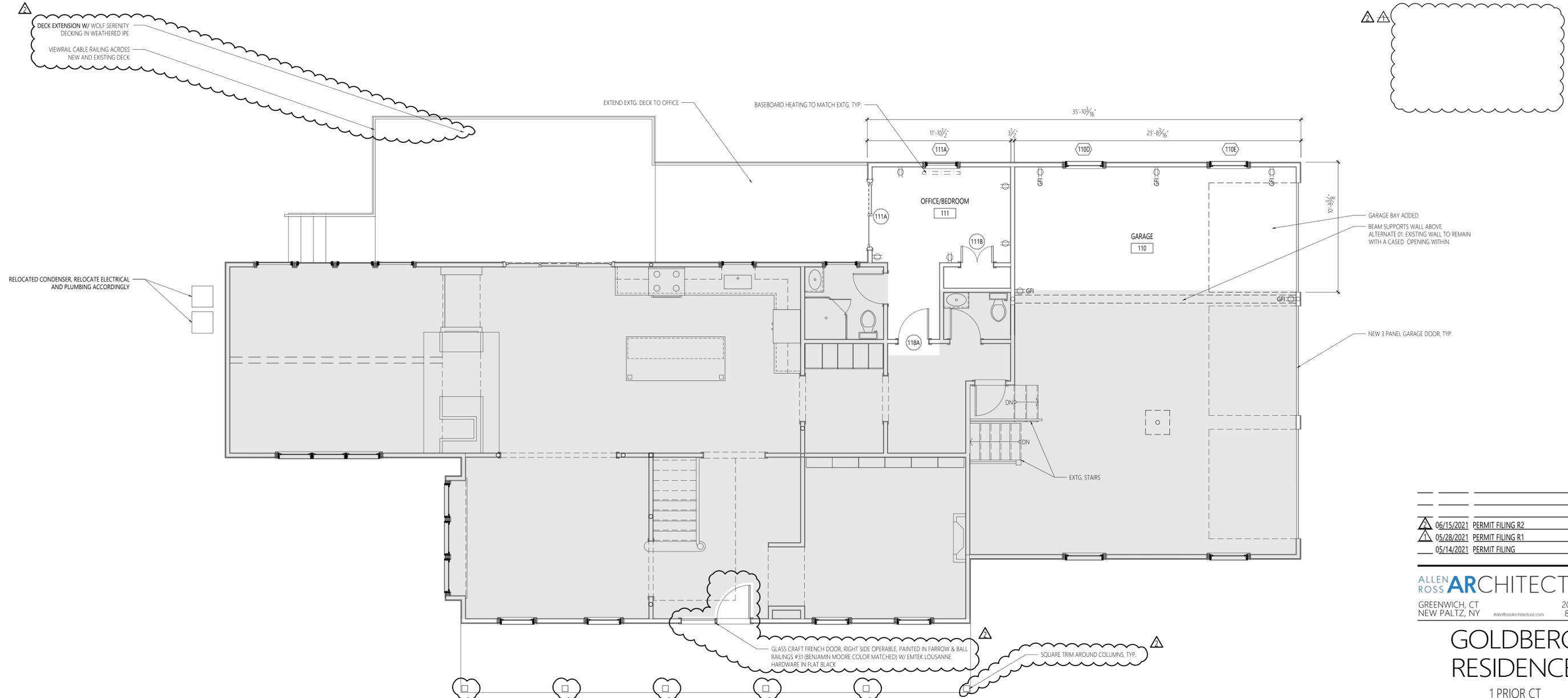
EXTERIOR DOOR INFORMATION			
ITEM	MANUFACTURER	TYPE	MODEL
111A	ANDERSEN	SLIDING	400 SERIES

LEGEND:

- NOT IN SCOPE
- NEW WALL
- CEILING ABOVE

NOTES:

1. ALL GARAGE WALL PARTITIONS SHALL HAVE 1/2" GYP. BOARD BOTH SIDES, TYP.
2. GARAGE CEILING SHALL BE 5/8" TYPE X GYP. BOARD, TYP.
3. ALL INTERIOR DOORS TO BE 1-3/4" THICK, TYP.
4. WINDOWS 111A TO BE EGRESS WINDOW
5. EXISTING RECEPTACLES NOT SHOWN, TYP.



- 06/15/2021 PERMIT FILING R2
- 05/28/2021 PERMIT FILING R1
- 05/14/2021 PERMIT FILING

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GOLDBERG RESIDENCE
 1 PRIOR CT
 PALISADES, NY

FIRST FLOOR PLAN

1 FIRST FLOOR PLAN
 SCALE: 1/4" = 1'-0"

REGISTERED ARCHITECT
 ALLEN DOUGLAS ROSS
 LIC #026859
 STATE OF NEW YORK

PROJECT NO. 184
 GOL

A-101

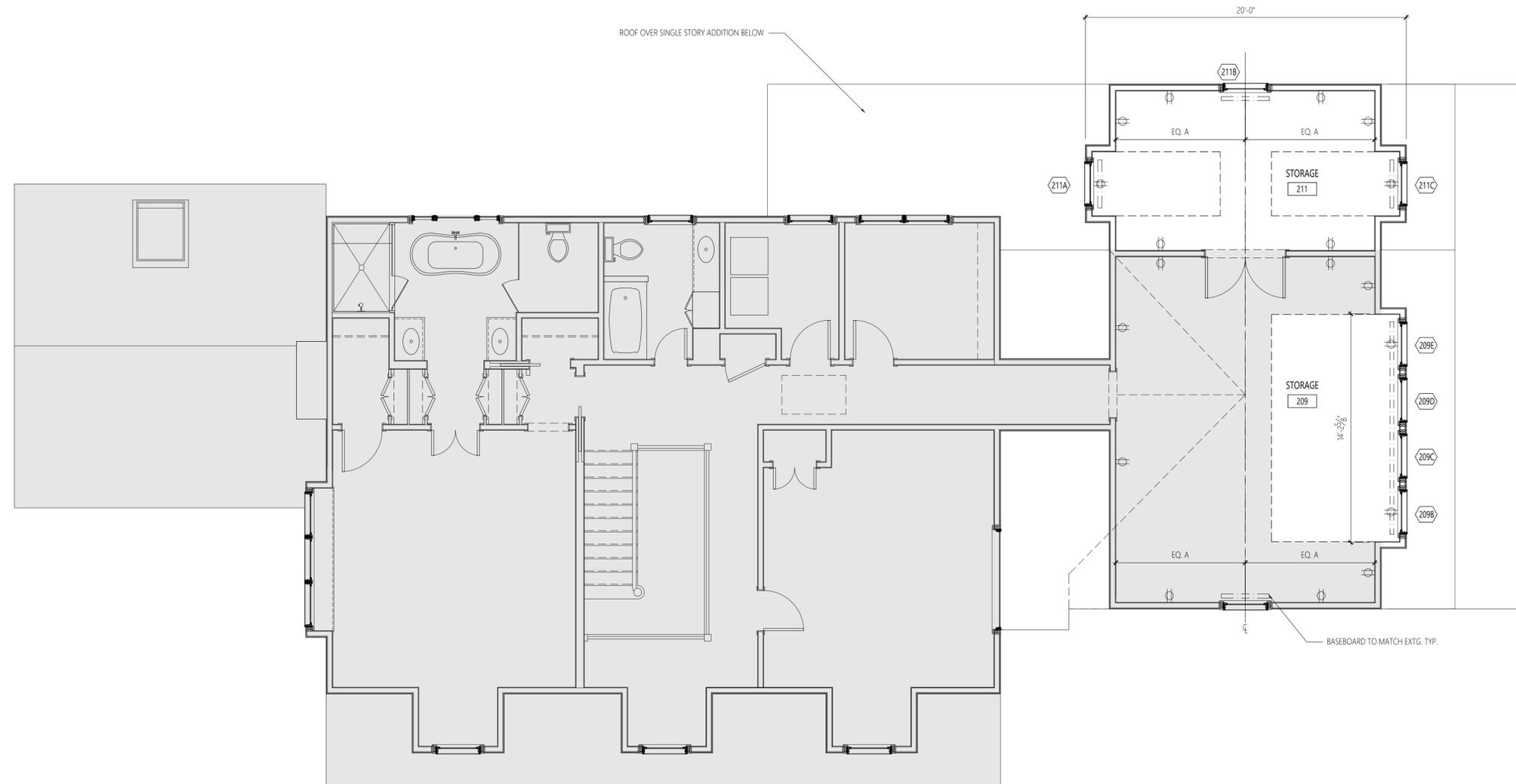
WINDOW INFORMATION			
ITEM	MANUFACTURER	TYPE	MODEL
209A	ANDERSEN	DOUBLE HUNG	400 SERIES
209B	ANDERSEN	DOUBLE HUNG	400 SERIES
209C	ANDERSEN	DOUBLE HUNG	400 SERIES
209D	ANDERSEN	DOUBLE HUNG	400 SERIES
209E	ANDERSEN	DOUBLE HUNG	400 SERIES
211A	ANDERSEN	DOUBLE HUNG	400 SERIES
211B	ANDERSEN	DOUBLE HUNG	400 SERIES
211C	ANDERSEN	DOUBLE HUNG	400 SERIES

LEGEND:

- NOT IN SCOPE
- NEW WALL
- CEILING ABOVE

NOTES:

1. ALL INTERIOR DOORS TO BE 1-3/4" THICK, TYP.
2. WINDOWS IN STORAGE 209 AND STORAGE 211 DORMERS TO MATCH WINDOW 209A
3. EXISTING RECEPTACLES NOT SHOWN, TYP.



- 06/15/2021 PERMIT FILING R2
- 05/28/2021 PERMIT FILING R1
- 05/14/2021 PERMIT FILING

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 NEW PALTZ, NY 845.255.0114

GOLDBERG RESIDENCE

1 PRIOR CT
 PALISADES, NY

SECOND FLOOR PLAN

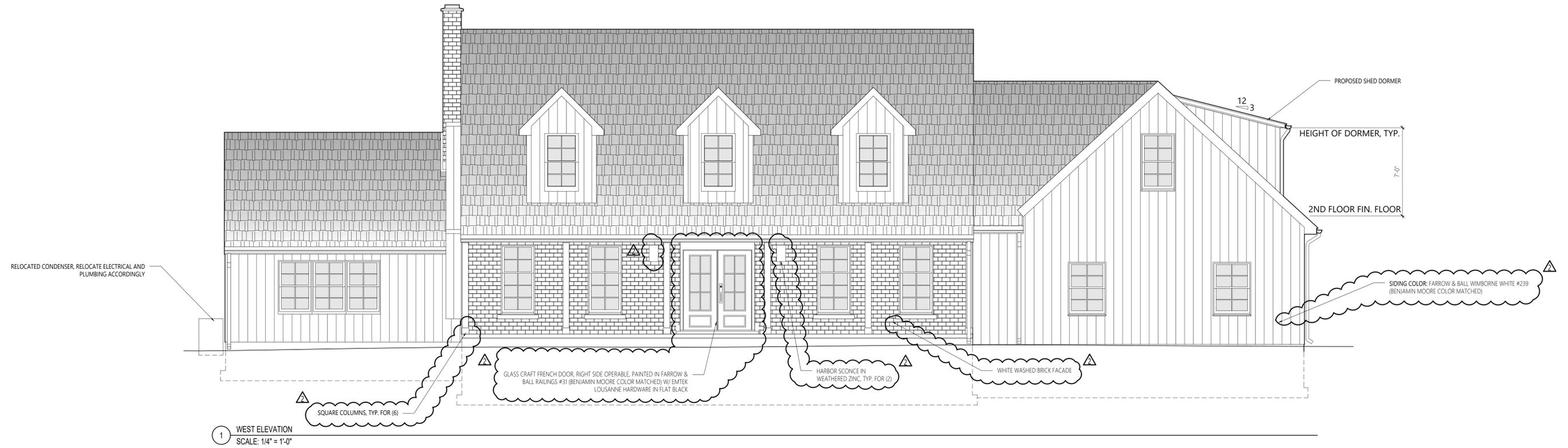
1 SECOND FLOOR PLAN
 SCALE: 1/4" = 1'-0"

REGISTERED ARCHITECT
 ALLEN DOUGLAS ROSS
 LIC #026859
 STATE OF NEW YORK

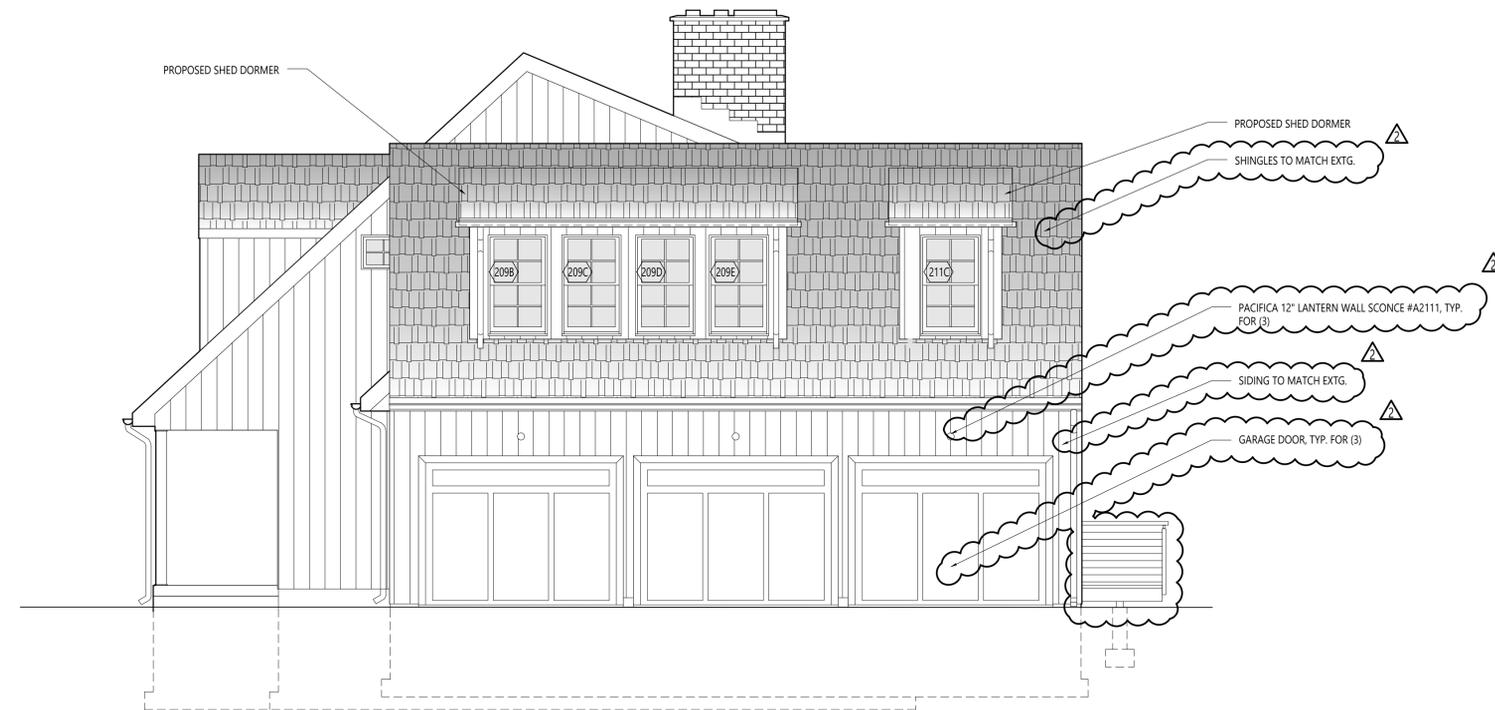
PROJECT NO. 184
 GOL

A-102

NOTES:
 1. EXTG. WINDOWS SHOWN WITHOUT WINDOW TAGS



1 WEST ELEVATION
 SCALE: 1/4" = 1'-0"



2 SOUTH ELEVATION
 SCALE: 1/4" = 1'-0"

06/15/2021 PERMIT FILING R2
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 05/14/2021 PERMIT FILING

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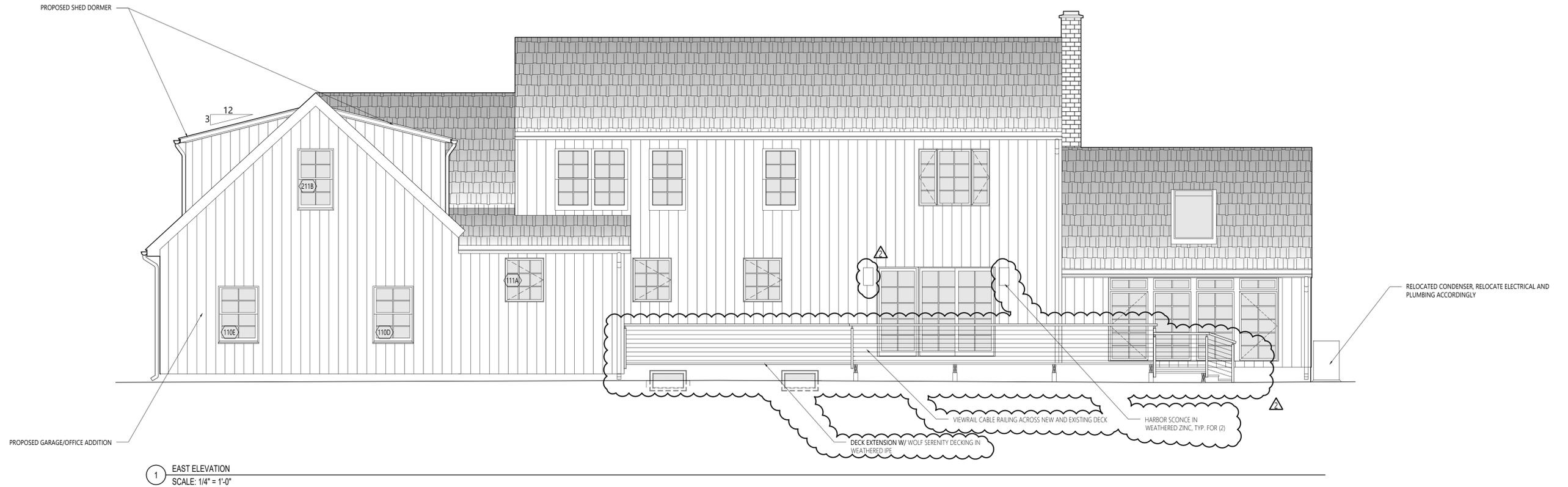
GOLDBERG RESIDENCE
 1 PRIOR CT
 PALISADES, NY

ELEVATIONS

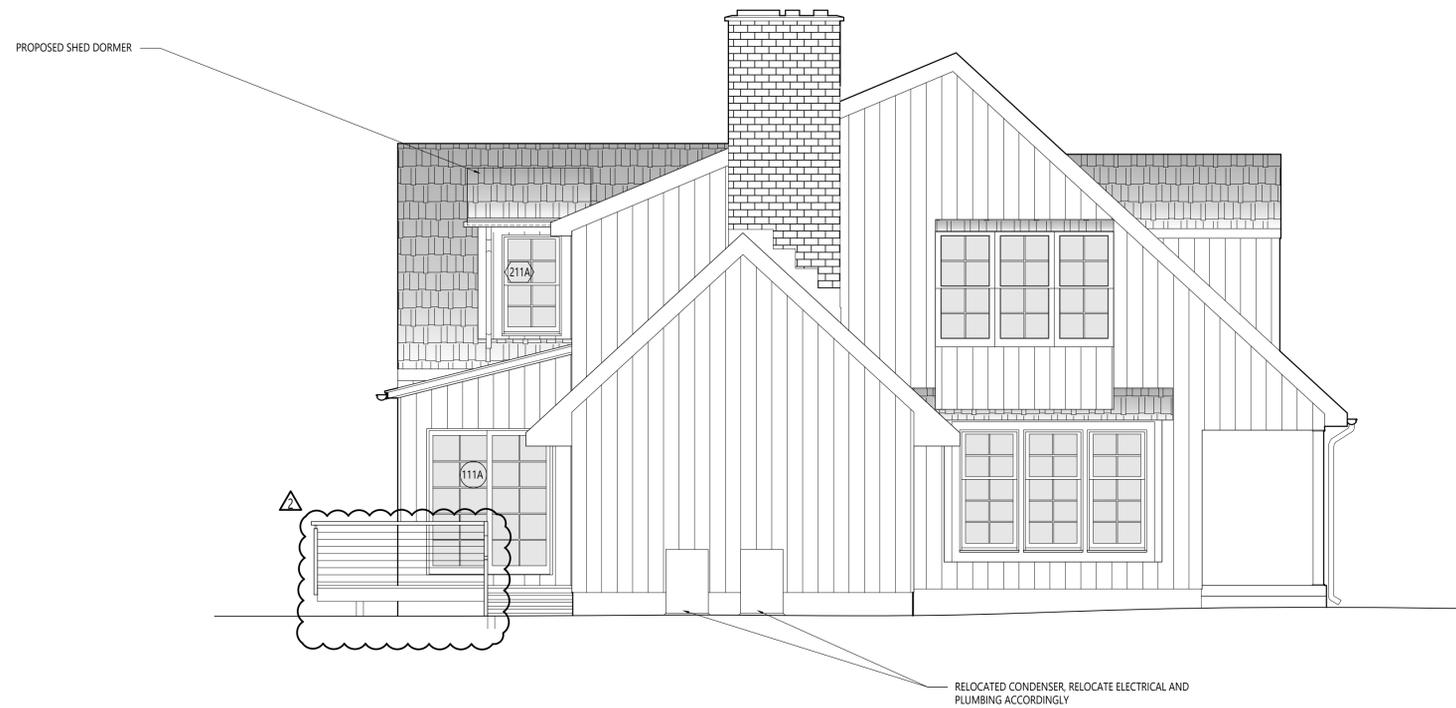


PROJECT NO.
 184
 GOL
A-200

NOTES:
 1. EXTG. WINDOWS SHOWN WITHOUT WINDOW TAGS



1 EAST ELEVATION
 SCALE: 1/4" = 1'-0"



2 NORTH ELEVATION
 SCALE: 1/4" = 1'-0"

06/15/2021 PERMIT FILING R2
 05/28/2021 PERMIT FILING R1
 05/14/2021 PERMIT FILING

ALLEN ROSS ARCHITECTURE
 GREENWICH, CT 203.832.3534
 NEW PALTZ, NY 845.255.0114
AllenRossArchitecture.com

GOLDBERG RESIDENCE
 1 PRIOR CT
 PALISADES, NY

ELEVATIONS



PROJECT NO. 184 GOL
A-201

LEGEND:

NOT IN SCOPE

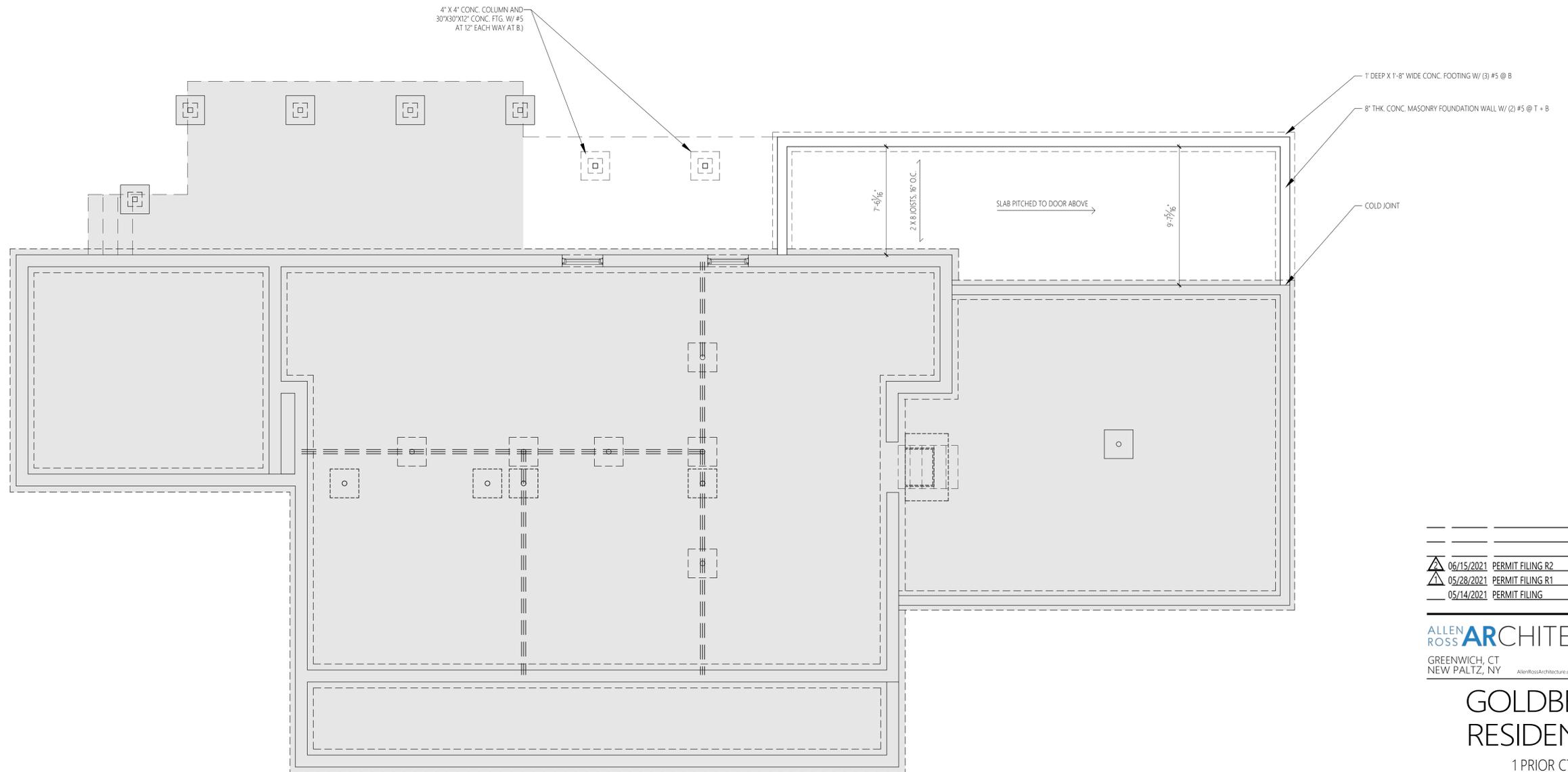
STRUCTURAL LEGEND:

- COLUMN BELOW
- COLUMN ABOVE

STRUCTURAL NOTES:

1. MAINTAIN MIN. 2" CLEARANCE BETWEEN ALL WD. FRAMING

BEAM/HEADER SCHEDULE:



06/15/2021	PERMIT FILING R2
05/28/2021	PERMIT FILING R1
05/14/2021	PERMIT FILING

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 GREENWICH, CT 203.832.3534
 NEW PALTZ, NY AllenRossArchitecture.com 845.255.0114

GOLDBERG RESIDENCE

1 PRIOR CT
 PALISADES, NY

FIRST FLOOR FRAMING PLAN

1 FIRST FLOOR FRAMING PLAN SHOWN ON THE FOUNDATION PLAN
 SCALE: 1/4" = 1'-0"



PROJECT NO.
184 GOL
S-100

LEGEND:

NOT IN SCOPE

STRUCTURAL LEGEND:

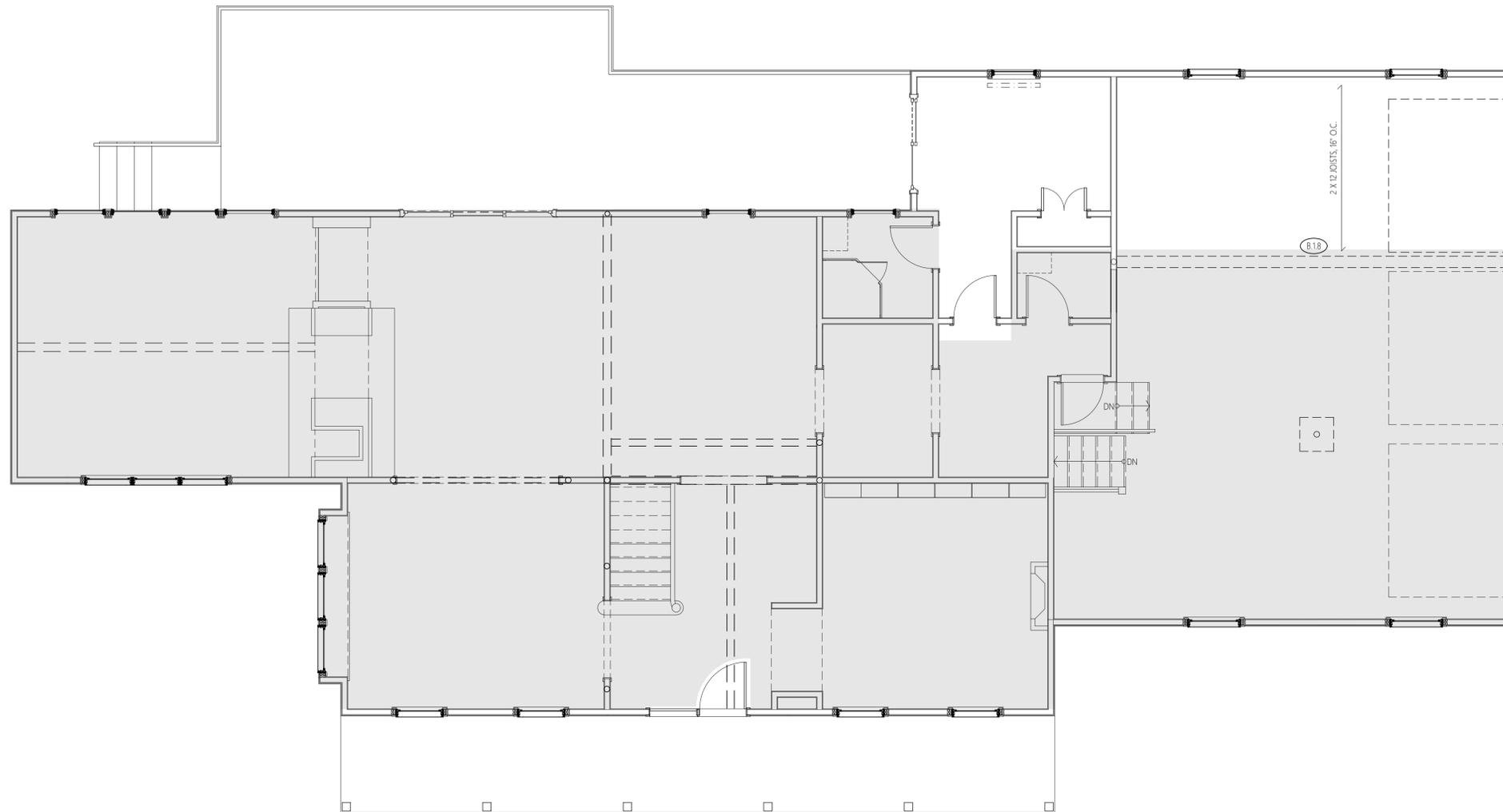
- COLUMN BELOW
- COLUMN ABOVE

STRUCTURAL NOTES:

1. MAINTAIN MIN. 2" CLEARANCE BETWEEN ALL WD. FRAMING

BEAM/HEADER SCHEDULE:

- 8.18 (3) LVLS W/ STEEL FLITCH PLATES - FLUSH FRAMED



06/15/2021 PERMIT FILING R2
 05/28/2021 PERMIT FILING R1
 05/14/2021 PERMIT FILING

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GOLDBERG RESIDENCE

1 PRIOR CT
 PALISADES, NY

SECOND FLOOR FRAMING PLAN

1 SECOND FLOOR FRAMING SHOWN ON FIRST FLOOR PLAN
 SCALE: 1/4" = 1'-0"



PROJECT NO.
184
 GOL

S-101