

Historical Areas Board of Review(HABR)

Town of Orangetown Building Department
20 Greenbush Road, Orangeburg, New York 10962

PROPERTY ADDRESS: 1 PRIOR COURT, PALISADES, NY Section/Block/Lot: SEC. 80.06 / BLOCK 1 / LOT 7

1. Provide a narrative summary explaining the project and including any facts pertaining to this project which applicant feels would be of interest to the Board;
2. Architectural Plans;
3. It is preferable to the HABR if the Architect would appear at the meeting with the Applicant.
4. Please bring SAMPLES of building materials to the meeting.
5. Materials checklist: (please provide the brand name, type, style, model and color numbers):

	COLOR	MATERIAL	MANUFACTURER
Roof:	SHAKEWOOD	FIBERGLASS ASPHALT	TIMBERLINE
Siding:	WIMBORNE WHITE #239	PINE	
Decorative Siding:			
Soffits & Fascia:			
Gutters & Leaders:			
Windows:	WHITE	WOOD & VINYL	ANDERSEN 400 SERIES
Trim:			
Shutters:			
Front Door:	F&B RAILINGS #31	LAMINATED STRAND LUMBER	GLASSCRAFT
Back Door:			
Garage Door(s):			
Other Door(s):	WHITE	WOOD & VINYL	ANDERSEN 400 SERIES
Lighting:	WEATHERED ZINC	STEEL	HARBOR SCONCE
Lighting:	BLACK	SOLID BRASS	PACIFICA
Stone or Rock being used on Structure:			
Stone or Rock being used on walkway(s):			
Other:	WHITE WASH	BRICK MASONRY	

Name of Municipality: TOWN OF ORANGETOWN

Date Submitted: 6/15/2021

2021 LAND USE BOARD APPLICATION

Please check all that apply:

<input type="checkbox"/> Commercial	<input type="checkbox"/> Residential
<input type="checkbox"/> Planning Board	<input checked="" type="checkbox"/> Historical Board
<input checked="" type="checkbox"/> Zoning Board of Appeals	<input type="checkbox"/> Architectural Board
<input type="checkbox"/> Subdivision	<input type="checkbox"/> Consultation
<input type="checkbox"/> Number of Lots	<input type="checkbox"/> Pre-Preliminary/Sketch
<input type="checkbox"/> Site Plan	<input type="checkbox"/> Preliminary
<input type="checkbox"/> Conditional Use	<input type="checkbox"/> Final
<input type="checkbox"/> Special Permit	<input type="checkbox"/> Interpretation
<input checked="" type="checkbox"/> Variance	
<input type="checkbox"/> Performance Standards Review	
<input type="checkbox"/> Use Variance	
<input type="checkbox"/> Other (specify): _____	

PERMIT#: 51533

ASSIGNED _____

INSPECTOR: RICK OLIVER

Referred from Planning Board: YES / **NO** (circled)

If yes provide date of Planning Board meeting: _____

Project Name: ADDITION & ALTERATION TO THE GOLDBERG RESIDENCE

Street Address: 1 PRIOR COURT
PALISADES, NY 10964

Tax Map Designation:

Section: 80.06 Block: 1 Lot(s): 7
Section: N/A Block: N/A Lot(s): N/A

Directional Location:

On the WEST side of PRIOR COURT, approximately 20 feet SOUTHWEST of the intersection of PRIOR COURT & FERN ROAD, in the Town of ORANGETOWN in the hamlet/village of PALISADES.

Acreage of Parcel <u>0.78</u>	Zoning District <u>R-40</u>
School District <u>SOUTH ORANGETOWN</u>	Postal District _____
Ambulance District _____	Fire District _____
Water District _____	Sewer District _____

Project Description: (If additional space required, please attach a narrative summary.)
SEE ATTACHED ARCHITCTURAL DRAWINGS FOR FULL SCOPE. GARAGE & OFFICE ADDITION
TO THE EXISTING RESIDENCE. EXPAND THE EXISTING REAR DECK. INTERIOR RENOVATION
AS SHOWN ON PLANS. (BUILDING ADDITIONS = 926 SF, DECK ADDITION = 145 SF)

The undersigned agrees to an extension of the statutory time limit for scheduling a public hearing.

Date: 6/14/2021 Applicant's Signature: [Signature]

APPLICATION REVIEW FORM

Applicant: ALLEN D. ROSS, AIA Phone # (845) 255-0114

Address: 153 MAIN STREET - FIRST FLOOR NEW PALTZ NY 12561
Street Name & Number (Post Office) City State Zip Code

Property Owner: RYAN & JENNIFER GOLDBERG Phone # (917) 747-2242

Address: 1 PRIOR COURT PALISADES NY 10964
Street Name & Number (Post Office) City State Zip Code

Engineer/Architect/Surveyor: ADLER, & YOUNG, P.C. Phone # N/A

Address: 82 DEMAREST MILL ROAD NANUET NY 10994
Street Name & Number (Post Office) City State Zip Code

Attorney: N/A Phone # N/A

Address: N/A N/A N/A N/A
Street Name & Number (Post Office) City State Zip Code

Contact Person: ALLEN D. ROSS, AIA Phone # (845) 255-0114

Address: 153 MAIN STREET - FIRST FLOOR NEW PALTZ NY 12561
Street Name & Number (Post Office) City State Zip Code

GENERAL MUNICIPAL LAW REVIEW:

This property is within 500 feet of:
(Check all that apply)

IF ANY ITEM IS CHECKED, A REVIEW MUST BE DONE BY THE ROCKLAND COUNTY COMMISSIONER OF PLANNING UNDER THE STATE GENERAL MUNICIPAL LAW, SECTIONS 239 L, M, N, AND NN.

- | | |
|--|---|
| <input checked="" type="checkbox"/> State or County Road | <input type="checkbox"/> State or County Park |
| <input type="checkbox"/> Long Path | <input type="checkbox"/> County Stream |
| <input type="checkbox"/> Municipal Boundary | <input type="checkbox"/> County Facility |

List name(s) of facility checked above:
ROUTE 9W

Referral Agencies:

- | | |
|---|--|
| <input checked="" type="checkbox"/> RC Highway Department | <input type="checkbox"/> RC Division of Environmental Resources |
| <input type="checkbox"/> RC Drainage Agency | <input type="checkbox"/> RC Dept. of Health |
| <input type="checkbox"/> NYS Dept. of Transportation | <input type="checkbox"/> NYS Dept. of Environmental Conservation |
| <input type="checkbox"/> NYS Thruway Authority | <input type="checkbox"/> Palisades Interstate Park Commission |
| <input type="checkbox"/> Adjacent Municipality _____ | |
| <input type="checkbox"/> Other _____ | |

APPLICATION REVIEW FORM

FILL IN WHERE APPLICABLE.

(IF THE FOLLOWING DOES NOT APPLY PLEASE MOVE ON TO THE NEXT PAGE)

If subdivision:

- 1) Is any variance from the subdivision regulations required? N/A
- 2) Is any open space being offered? N/A If so, what amount? N/A
- 3) Is this a standard or average density subdivision? N/A

If site plan:

- 1) Existing square footage N/A
- 2) Total square footage N/A
- 3) Number of dwelling units N/A

If **special permit**, list special permit use and what the property will be used for.

N/A

Environmental Constraints:

Are there slopes greater than 25%? If yes, please indicate the amount and show the gross and net area – NO

Are there streams on the site? If yes, please provide the names. NO

Are there wetlands on the site? If yes, please provide the names and type:

NO

Project History:

Has this project ever been reviewed before? YES

If so, provide a narrative, including the list case number, name, date, and the board(s) you appeared before, and the status of any previous approvals.

THE PROJECT WAS PREVIOUSLY REVIEWED AND APPROVED BY HABR. THE
DECISION LETTER WAS DATED 4/13/21 & THE RECORD NUMBER IS HABR #21-07.

List tax map section, block & lot numbers for all other abutting properties in the same ownership as this project.

N/A



OFFICE OF BUILDING, ZONING, PLANNING,
ADMINISTRATION AND ENFORCEMENT
TOWN OF ORANGETOWN

20 Greenbush Road
Orangeburg, N.Y. 10962

Jane Slavin, R.A.
Director

(845)359-8410

Fax: (845) 359-8526

HISTORICAL AREAS BOARD OF REVIEW REFERRAL LETTER

Date: June 9, 2021

Applicant: Goldberg

Address: 1 Prior Ct, Palisades, NY

RE: Application Made at: same

Subject Referral for: Chapter 12 Section 12-4 Paragraph A requires HABR Approval

Section: 80.06 Block: 1 Lot: 7

Dear Goldberg:


Please be advised that the Building Permit Application, which you submitted on May 25, 2021, has been referred to appear before the H.A.B.R. I have enclosed a copy of your application, where you will find at the bottom the reason for denial.

The Clerk to the Historical Areas Board of Review, Debbie Arbolino, can assist you in the preparation necessary to appear before the board. Please contact her at 845-359-8410 ext. 4331 or darbolino@orangetown.com

Sincerely,

 6.9.21

Richard Oliver
Deputy Building Inspector

 Deputy 6.9.21

Signature of Director
NOTE: PLEASE KEEP FOR YOUR RECORDS
12-31-18-CCC

Date
CC: Rosanna Sfraga
Liz Decort
Debbie Arbolino



OFFICE OF BUILDING, ZONING, PLANNING,
ADMINISTRATION AND ENFORCEMENT
TOWN OF ORANGETOWN

20 Greenbush Road
Orangeburg, N.Y. 10962

Jane Slavin, R.A.
Director

(845)359-8410

Fax: (845) 359-8526

DENIAL TO THE ZONING BOARD OF APPEALS

Date: June 9, 2021
Applicant: Goldberg
Address: 1 Prior Ct, Palisades, NY
RE: Application Made at: same

Chapter 43, Table 3.12, Column 1 R-40 District, Column 2 Group E , Column 3 SFR, Column 11 Rear
Yard 50' with 42' proposed.
One Variance required

Section: 80.06 Block: 1 Lot: 7

Dear Goldberg:

Please be advised that the Building Permit Application, which you submitted on
May 25, 2021, has been denied. I have enclosed a Xerox copy of your application, where you will find
at the bottom the reason for denial.

**In Accordance with Zoning, Chapter 43 Section 10.322 the time to appeal a determination of a
Building Inspector or Similar administrative office is thirty (30) days from the filing of such a
determination with the Town Clerk.**

The Clerk to the Zoning Board of Appeals, Debbie Arbolino, will assist you in the preparation necessary to
appear before the board.

Sincerely,


Richard Oliver
Deputy Building Inspector

Signature of Director
NOTE: PLEASE KEEP FOR YOUR RECORDS
12-31-18-CCC

Date
CC: Rosanna Sfraga
Liz Decort
Debbie Arbolino

**PERMIT EXPIRES TWO (2) YEARS FROM DATE OF ISSUANCE.
TWO SIX (6) MONTH EXTENSIONS MAY BE GRANTED PRIOR TO EXPIRATION DATE.
APPLICATION FOR BUILDING / DEMOLITION PERMIT**

TOWN OF ORANGETOWN

20 Greenbush Road, Orangeburg, NY 10962 Phone: (845) 359-8410 Fax: (845) 359-8526

ZONE: <u>R-40</u> <u>(OML)</u>	OFFICIAL USE ONLY	ACREAGE: <u>1.78</u>
Inspector: <u>Mike</u>	Date App Received: <u>5.25.21</u>	Received By: <u>[Signature]</u>
Permit No.: <u>51533</u>	Date Issued: _____	
CO No.: _____	Date Issued: _____	
Permit Fee: <u>\$1,140.00</u>	Ck#: <u>1120</u>	Paid By: <u>Mandell/Goldberg</u>
GIS Fee: <u>20.-</u>	Ck#: <u>1121</u>	Paid By: _____
Stream Maintenance Fee	Ck # _____	Paid By _____
Additional Fee: _____	Ck# _____	Date Paid _____
1st 6 mo. Ext.: _____	Ck # _____	Exp. Date: _____
2nd 6 mo. Ext.: _____	Ck # _____	Exp. Date: _____

HISTORIC

APPLICANT COMPLETES:

**Note: See inside for instructions for completing this application,
PAGES 2, 3 and PAGE 4 must be reviewed and PAGES 3 & 4 must signed by the applicant.**

Property Location: 1 PRIOR COURT PALISADES, NY 10964

Section: 80.06 **Block:** 1 **Lot:** 7

Property Owner: RYAN GOLDBERG AND JENNIFER MANDELL GOLDBERG

Mailing Address: 1 Prior Court, Palisades, NY 10964

Email: rdgnyc@gmail.com and mandelljennifer@gmail.com **Phone #:** (917) 747-2242

Lessee (Business Name): _____

Mailing Address: _____

Email: _____ **Phone #:** _____

Type of Business /Use: SINGLE FAMILY RESIDENCE

Contact Person: ALLEN ROSS, AIA **Relation to Project:** ARCHITECT

Email: AROSS@ALLENROSSARCHITECTURE.COM **Phone#:** 845-255-0114

Architect/Engineer: ALLEN D. ROSS, AIA **NYS Lic #** 026839

Address: 153 MAIN STREET, NEW PALTZ, NY 12561 **Phone#:** 845 255-0114

Builder/General Contractor: FINE TRIMWORK INC. **RC Lic #** H-12497

Address: 185 WASHINGTON AVE. ELMWOOD PARK, NJ 07407 **Phone#:** 908 377-0489

Plumber: MOONLIGHT PLUMBING **RC Lic #** P-19210-P-0

Address: 65 DEMAREST MILL ROAD, WEST NYACK, NY 10994 **Phone#:** 845 406-0074

Electrician: BILCO ELECTRICAL CONTRACTORS **RC Lic #:** 313

Address: 12 SUNRISE AVE. NEW CITY, NY 10956 **Phone#:** 914 447-0257

Heat/Cooling: N/A **RC Lic#:** N/A

Address: N/A **Phone#:** N/A

Existing use of structure or land: SINGLE FAMILY RESIDENCE

Proposed Project Description: SEE ATTACHED ARCHITECTURAL DRAWINGS FOR FULL SCOPE.
GARAGE & OFFICE ADDITION TO THE EXISTING RESIDENCE. EXPAND THE EXISTING REAR DECK.
INTERIOR RENOVATION AS SHOWN ON PLANS. (BUILDING ADDITIONS = 926 SF, DECK ADDITION = 145 SF)

Proposed Square Footage: 926 SF **Estimated Construction Value (\$):** 55,500.00

BUILDING DEPARTMENT COMPLETES BELOW

PLANS REVIEWED: _____

PERMIT REFERRED / DENIED FOR: _____

- * Chapter 43, Table 3.1.1 Column 1 R-40 District, Column 2 Group E, Column 3 SFR
Column 4 Rear Yard required 50' w/ 40' proposed.
- * Chapter 12 Section 12.4 Paragraph A requires NABR APPROVAL
1 Variance Request

[Signature] Deputy 6.9.21

FOR OFFICE USE ONLY SECTION 80.06 BLOCK 1 LOT 7 NAME Goldberg PERMIT# 51533

OWNER'S AUTHORIZATION


for submittal to the:
Town of Orangetown Building Department

RYAN & JENNIFER MANDELL GOLDBERG, deposes and says that he/she they reside(s)
(OWNER)
at 1 PRIOR COURT, PALISADES, NY 10964 n the County of ROCKLAND
(OWNER'S ADDRESS)
and State of NEW YORK and that he is the owner of property tax map
Designation number (Sec. 80.06 Block 1 Lot 7) which is the property described in the
foregoing application and that he/she designates:


ALLEN D. ROSS, AIA - 153 MAIN STREET, NEW PALTZ, NY 12561
(Agent Name & Address)

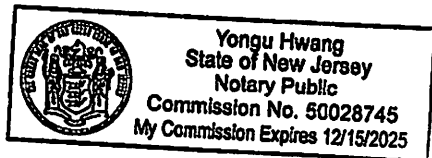
as his agent to make the attached application.

THIS DESIGNATION SHALL BE EFFECTIVE UNTIL WITHDRAWN BY THE OWNER OR UNTIL TWO (2) YEARS FROM THE DATE AGREED TO, WHICH EVER IS SOONER.


(OWNER'S SIGNATURE)

STATE OF NEW YORK Jersey
COUNTY OF Dejea ss:

SWORN BEFORE ME THIS:
19 DAY OF May 2021

NOTARY PUBLIC



SURVEY OF PROPERTY

58-526-3.6

AT
PALISADES

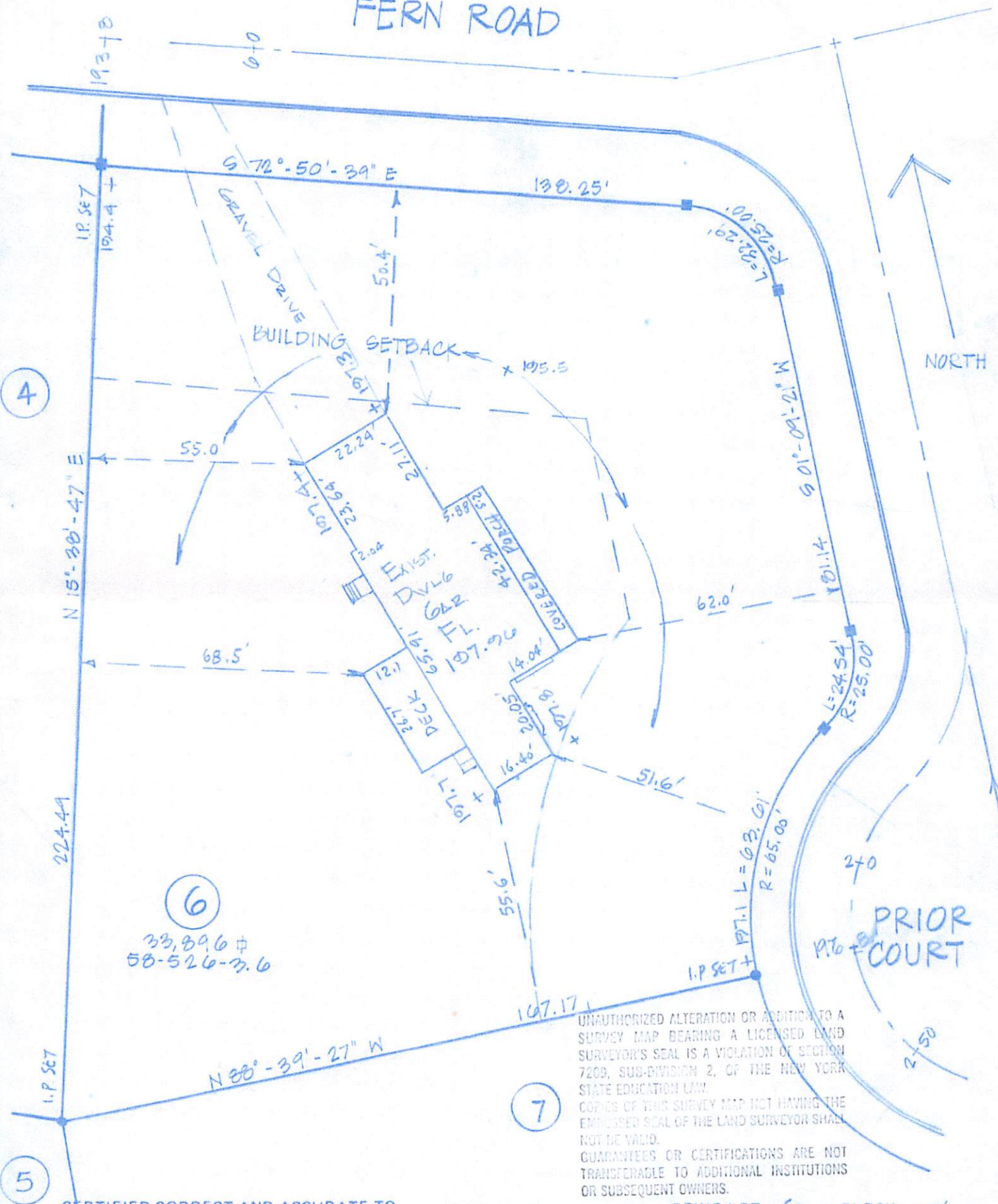
TOWN OF

ORANGETOWN

ROCKLAND COUNTY

NEW YORK

FERN ROAD



4

6

33,89.6 ±
58-526-3.6

7

5

UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S SEAL IS A VIOLATION OF SECTION 7209, SUB-DIVISION 2, OF THE NEW YORK STATE EDUCATION LAW.
 COPIES OF THIS SURVEY MAP NOT HAVING THE EMBOSSED SEAL OF THE LAND SURVEYOR SHALL NOT BE VALID.
 GUARANTEES OR CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.

CERTIFIED CORRECT AND ACCURATE TO

BEING LOT 6 BLOCK 1
 MAP OF FERN ACRES
 FILED IN THE OFFICE OF THE
 ROCKLAND COUNTY CLERK
 ON 6-25-85 AS MAP NO. 5759
 BOOK 103 PAGE 67
 SCALE: 1" = 30' DATE 3-18-87

Charles Young J.
ADLER, & YOUNG P.C.
 PROFESSIONAL ENGINEERS
 82 DEMAREST MILL ROAD
 NANUET, N.Y.

FOUNDATION LOCATION,
 FINAL SURVEY & I.P.'S SET.
 3-16-87

DWG. No.
 REV.
 SURVEY
 PLOT DWH
 CHECK

GOLDBERG RESIDENCE RENOVATIONS



NOTES

GENERAL NOTES:

- SCOPE OF WORK: GARAGE AND OFFICE ADDITION TO RESIDENCE AT 1 PRIOR COURT, PALISADES, NY. IT IS THE INTENT THAT THE WORK INCLUDED SHALL COVER THE MANUFACTURE, FABRICATION, DELIVERY, INSTALLATION AND/OR ERECTION WITH ALL INCIDENTALS THERETO, AS SHOWN ON THE DOCUMENTS, AS SPECIFIED HEREIN, AND AS REQUIRED BY JOB CONDITIONS.
- ADDITION WILL BE CONSTRUCTED IN ACCORDANCE WITH ALL LOCAL AND STATE ENERGY CODES.

DEMOLITION NOTES:

- CONTRACTOR SHALL PERFORM ALL OPERATIONS OF DEMOLITION AND REMOVAL INDICATED ON THE DRAWINGS AND AS MAY BE REQUIRED BY THE WORK. ALL WORK SHALL BE DONE CAREFULLY AND NEATLY, IN A SYSTEMATIC MANNER.
- NO STRUCTURAL ELEMENTS SHALL BE REMOVED UNTIL PORTIONS AFFECTED ARE ADEQUATELY SUPPORTED BY EITHER TEMPORARY SHORING OR NEW STRUCTURAL ELEMENTS AS REQUIRED TO PROTECT THE STABILITY AND INTEGRITY OF THE SITE AND WORK. THE DESIGN OF THE TEMPORARY SHORING IS THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL ADJOINING PROPERTY AFFECTED BY ANY OPERATIONS OF DEMOLITION SHALL BE PROTECTED PER THE REQUIREMENTS OF THE LOCAL AUTHORITIES.
- THE CONTRACTOR SHALL PROVIDE, ERECT, AND MAINTAIN ALL TEMPORARY BARRIER AND GUARDS, AND ALL TEMPORARY SHORING AND BRACING AS REQUIRED BY ALL REGULATING AUTHORITIES.
- THE CONTRACTOR SHALL FILE ALL NECESSARY CERTIFICATES OF INSURANCE, OBTAIN ALL REQUIRED PERMITS, AND PAY ALL FEES, AND PROVIDE ANY AND ALL BONDS REQUIRED BY THE STATE OF NEW YORK, COUNTY OF ROCKLAND, AND TOWN OF ORANGETOWN IN ORDER TO DO THE WORK HEREIN DESCRIBED.

PROJECT DIRECTORY

OWNER:

RYAN GOLDBERG AND JENNIFER MANDELL GOLDBERG
1 PRIOR CT.
PALISADES, NY 10964

ARCHITECT:

ALLEN ROSS ARCHITECTURE, LLC
153 MAIN STREET
NEW PALTZ, NY 12561
845.255.0114

2 GREENWICH OFFICE PARK

SUITE 300
GREENWICH, CT 06831
aross@allenrossarchitecture.com

INTERIOR DESIGNER:

CATLIN BURCK
218 GAIR STREET,
PIERMONT, NY 10968
845.222.7999

DRAWING LIST

GENERAL:

T-001 COVER SHEET & GENERAL NOTES

SURVEY:

A-001 SITE PLAN

REMOVAL:

D-101 FIRST FLOOR REMOVAL PLAN
D-102 SECOND FLOOR REMOVAL PLAN

ARCHITECTURAL:

A-100 FOUNDATION PLAN
A-101 FIRST FLOOR PLAN
A-102 SECOND FLOOR PLAN

A-200 SOUTH & WEST ELEVATIONS
A-201 NORTH & EAST ELEVATIONS

STRUCTURAL:

S-100 FIRST FLOOR FRAMING PLAN
S-101 SECOND FLOOR FRAMING PLAN

DRAWING SYMBOLS

FIN FIRST FLOOR EL. ±100'-0"	ELEVATION LEVEL
SP	START POINT
1 A301	BUILDING SECTION / ELEVATION REFERENCE
1 A401	DETAIL REFERENCE
1 A401	DETAIL REFERENCE
D A301 B C	INTERIOR ELEVATION REFERENCE
A	WINDOW NUMBER
101	DOOR NUMBER
114A-1	MILLWORK NUMBER
100-A	PLUMBING NUMBER

ABBREVIATIONS

A.B.	ANCHOR BOLT	INSUL.	INSULATION
ACC.	ACCESSIBLE	INT.	INTERIOR
ACT.	ACOUSTIC CEILING TILE	MAX.	MAXIMUM
ADD'L	ADDITIONAL	M.D.O.	MEDIUM DENSITY OVERLAY PLYWOOD
ADJ.	ADJACENT	MIN.	MINIMUM
A.E.D.	AUTOMATED EXTERNAL DEFIBRILLATOR	N.A.	NOT PART OF WORK
A.F.F.	ABOVE FINISH FLOOR	N.I.C.	NOT IN CONTRACT
APPROX.	APPROXIMATE	N.T.S.	NOT TO SCALE
ARCH.	ARCHITECT	O/	OVER
A.S.F.	ABOVE SUB FLOOR	O.C.	ON CENTER
B.	BOTTOM	OPNG.	OPENING
BD.	BOARD	OPP.	OPPOSITE
BET.	BETWEEN	PLYWD.	PLYWOOD
BIT.	BITUMINOUS	PNL.	PANEL
B.O.	BOTTOM OF	P.T.	PRESERVATIVE PRESSURE TREATED
CANT.	CANTILEVERED	PTD.	PAINTED
CL.	CLOSET	RECEPT.	RECEPTACLE
C.	CENTERLINE	REIN.	REINFORCED
CLG.	CEILING	REQ.	REQUIRED
COL.	COLUMN	RM.	ROOM
CONC.	CONCRETE	R.O.	ROUGH OPENING
CONT.	CONTINUOUS	R.T.U.	ROOF TOP UNIT
DEMO.	DEMOLISH	SCRN.	SCREEN
DIA.	DIAMETER	S.F.	SQUARE FEET
DIM.	DIMENSION	SIM.	SIMILAR
DR.	DOOR	SLP.	SLOPE
DS.	DOWNSPOUT	SQ.	SQUARE
DWG.	DRAWING	S.S.	STAINLESS STEEL
EL.	ELEVATION	ST.	STONE
ELEC.	ELECTRICAL	STD.	STANDARD
ELEV.	ELEVATION	STL.	STEEL
ELEVS.	ELEVATIONS	STRUC.	STRUCTURAL
E.O.	EDGE OF	SUBFLR.	SUB FLOOR
EQ.	EQUAL	T.	TOP
EQUIP.	EQUIPMENT	T&B	TOP AND BOTTOM
E.T.R.	EXISTING TO REMAIN	T&D.	TO BE DECIDED
EXT.	EXTERIOR	T&G.	TONGUE AND GROOVE
EXTG.	EXISTING	THK.	THICK
F.A.I.	FRESH AIR INTAKE	T.O.	TOP OF
F.F.	FINISH FLOOR	T.R.M.	TOILET ROOM
FIN.	FINISH	TYP.	TYPICAL
FLR.	FLOOR	UNI.	UNIVERSAL
FM-FM	FACE OF MASONRY TO FACE OF MASONRY	UNQ.	UNLESS NOTED OTHERWISE
F.O.	FACE OF	V.I.F.	VERIFY IN FIELD
FOUND.	FOUNDATION	VERT.	VERTICAL
F.R.	FIBER REINFORCED	W.C.	WATER CLOSET
FTG.	FOOTING	W/	WITH
GALV.	GALVANIZED	WIND.	WINDOW
G.B.	GYPSPUM BOARD	WD.	WOOD
HORIZ.	HORIZONTAL	W.W.F.	WELDED WIRE FABRIC

06/15/2021	PERMIT FILING R2
05/28/2021	PERMIT FILING R1
05/14/2021	PERMIT FILING

ALLEN ROSS ARCHITECTURE
GREENWICH, CT 203.832.3534
NEW PALTZ, NY 845.255.0114
AllenRossArchitecture.com

**GOLDBERG
RESIDENCE**

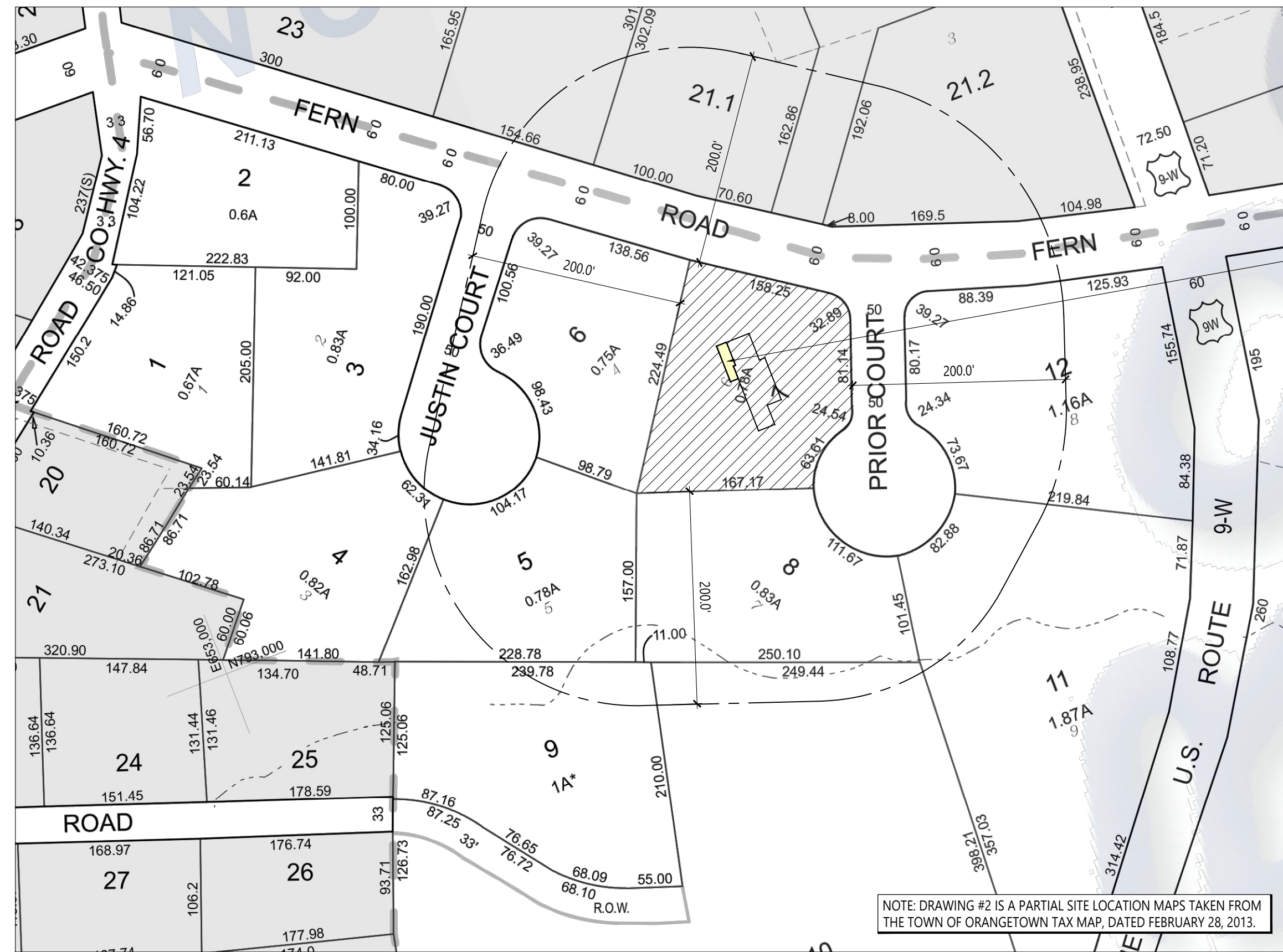
1 PRIOR CT
PALISADES, NY

**COVER SHEET
GENERAL NOTES**



PROJECT NO.
**184
GOL**

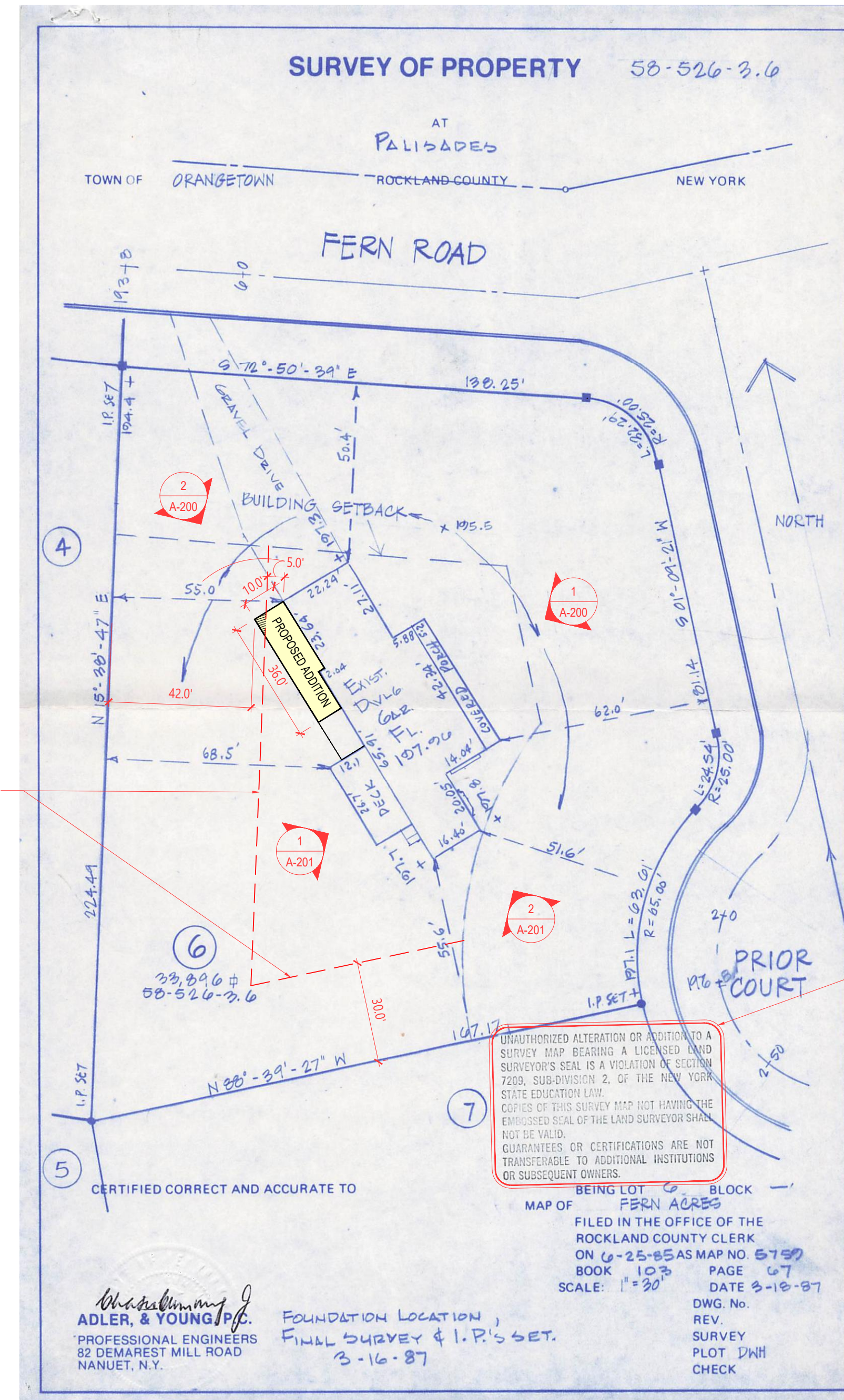
T-001



2 PARTIAL TAX MAP PLOT PLAN
SCALE: 1" = 100'

NOTE: DRAWING #2 IS A PARTIAL SITE LOCATION MAPS TAKEN FROM THE TOWN OF ORANGETOWN TAX MAP, DATED FEBRUARY 28, 2013.

PROJECT LOCATION:
1 PRIOR CT, PALISADES, NY



ASSUMED LOCATION OF REAR YARD & SIDE YARD SETBACK LINE BASED ON HISTORICAL SURVEY.

ALLEN ROSS ARCHITECTURE IS IN NO WAY ATTEMPTING TO MODIFY THE PREVIOUSLY ISSUED PROPERTY SURVEY. THE SURVEY DRAWING IS BEING USED SOLELY AS REFERENCE TO SHOW LOCATION FOR THE PROPOSED SCOPE OF WORK. THE REAR YARD SETBACK IS ASSUMED AND IS BASED ON THE INFORMATION SHOWN IN THE SURVEY DRAWING. THERE IS NO EVIDENCE AS TO WHY THIS INFORMATION WAS NOT ORIGINALLY SHOWN.

1 SITE PLAN
SCALE: 1" = 30'-0"

ZONING BULK REQUIREMENTS TABLE			
TAX MAP PARCEL: SECTION 80.06, BLOCK 1, LOT 7			
ZONE: R-40	GROUP: E	USE: SINGLE FAMILY RESIDENTIAL	
NUMBER OF STORIES: TWO	CONSTRUCTION TYPE: 5B	OCCUPANCY CLASS: R-3	
	REQUIRED	EXISTING	PROPOSED
FLOOR AREA RATIO	0.15	0.11	0.13
LOT AREA	40,000 SF	33,896 SF	33,896 SF
LOT WIDTH	150'	160'	160'
STREET FRONTAGE	100'	339.83'	339.83'
FRONT YARD SETBACK	50'	50' *	50' *
SIDE YARD SETBACK	30'	55.6'	55.6'
TOTAL SIDE YARD SETBACK	80'	106' **	106' **
REAR YARD SETBACK	50'	55'	42'
MAXIMUM BUILDING HEIGHT	8'/FT	4.4'/FT	5.3'/FT

- BULK TABLE NOTES:
- PROPERTY USES TOWN SEWAGE
 - THERE IS (1) ONE KITCHEN ON THE PROPERTY
 - THERE ARE NO RENTERS, TENANTS, LESSEES OR BOARDERS AT THE PROPERTY.
 - THERE IS (1) ONE ACTIVE BUILDING PERMIT ON THIS PROPERTY.
 - THE PROPERTY IS NOT IN THE FLOOD PLAIN.
 - * SECTION 5.112 - CORNER LOTS. EACH LOT LINE WHICH ABUTS A STREET SHALL BE DEEMED TO BE A FRONT LINE, AND THE REQUIRED YARD ALONG BOTH LOT FRONTAGES SHALL BE A REQUIRED FRONT YARD.
 - ** TOTAL SIDE YARD SETBACK WAS DETERMINED BY ADDING NOTED DISTANCES OF 55.6' & 50.4' IDENTIFIED ON PROPERTY SURVEY DRAWING.

GENERAL NOTES:

- DRAWING #1 ON THIS SHEET USES THE PREVIOUSLY ISSUED PROPERTY SURVEY PREPARED BY ADLER & YOUNG P.C. OF NANUET, NY, ON MARCH 16, 1987. THIS DRAWING WAS SCANNED AND SCALED TO THE ORIGINAL DRAWING SCALE OF 1"=30'.
- ALLEN ROSS ARCHITECTURE IS SHOWING THE REAR YARD SETBACK IN RED. THIS LOCATION WAS DETERMINED BY OFFSETTING 5'-0" FROM THE NOTED DIMENSION OF 55.0' ON THE HISTORICAL SURVEY.
- DRAWING #2 IS A PARTIAL SITE LOCATION MAP TAKEN FROM THE TOWN OF ORANGETOWN TAX MAP, DATED FEBRUARY 28, 2013.
- THE AVERAGE GRADE AROUND THE RESIDENCE IS 197.55'. THIS WAS CALCULATED BASED ON THE (4) FOUR SPOT ELEVATIONS IDENTIFIED ON THE SITE SURVEY.

06/15/2021	PERMIT FILING R2
06/07/2021	PERMIT FILING R1
05/14/2021	PERMIT FILING

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NEW PALTZ, NY AllenRossArchitecture.com 845.255.0114

GOLDBERG RESIDENCE
1 PRIOR CT
PALISADES, NY

SITE PLAN & ZONING BULK TABLE

REGISTERED ARCHITECT
ALLEN DOUGLAS ROSS
LIC #028639
STATE OF NEW YORK

PROJECT NO. 184
GOL

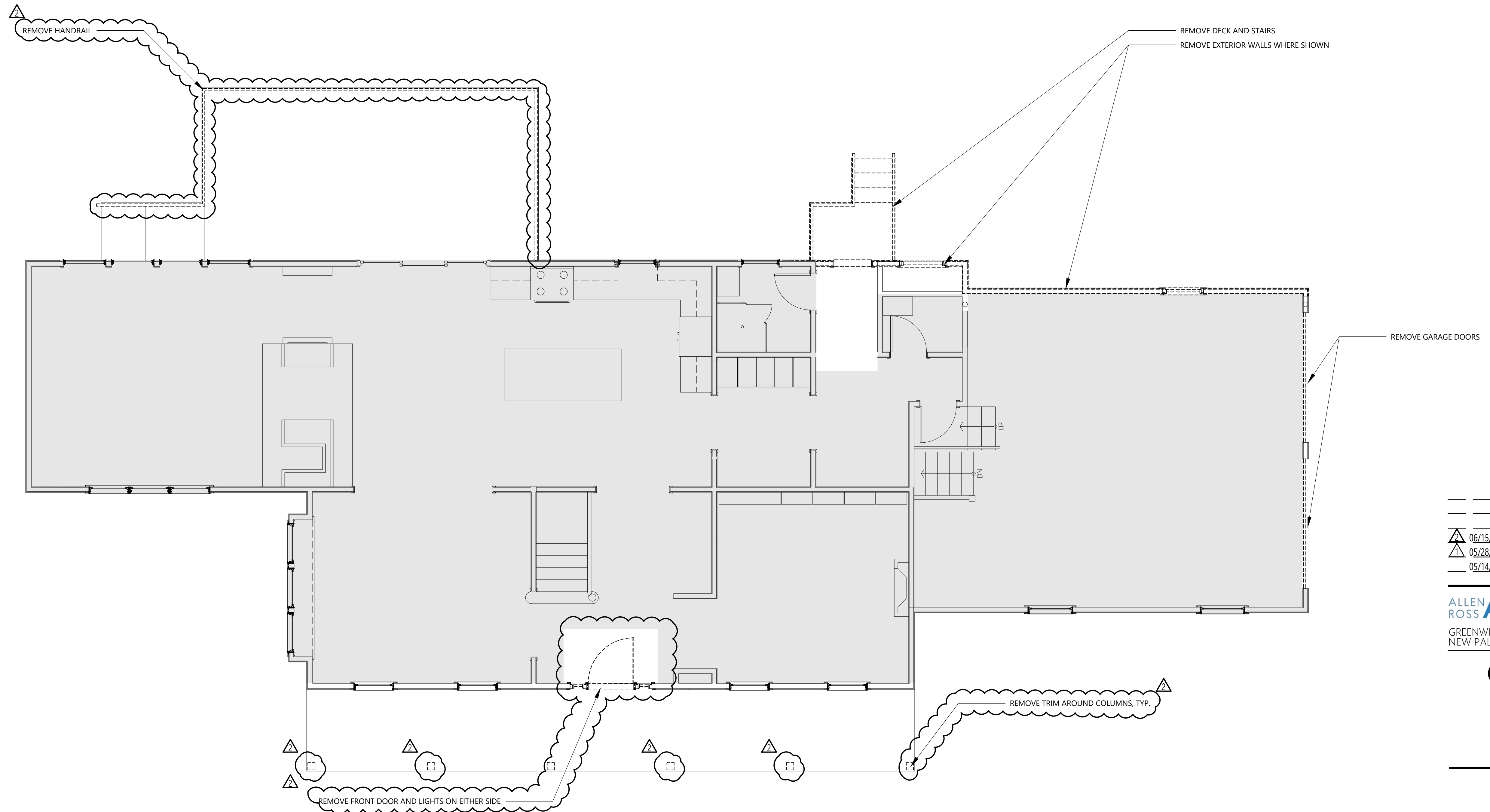
A-001

LEGEND:

NOT IN SCOPE

REMOVALS

EXTG. WALL



06/15/2021 PERMIT FILING R2
 05/28/2021 PERMIT FILING R1
 05/14/2021 PERMIT FILING

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GOLDBERG RESIDENCE

1 PRIOR CT
 PALISADES, NY

FIRST FLOOR REMOVALS

1 FIRST FLOOR REMOVAL PLAN
 SCALE: 1/4" = 1'-0"

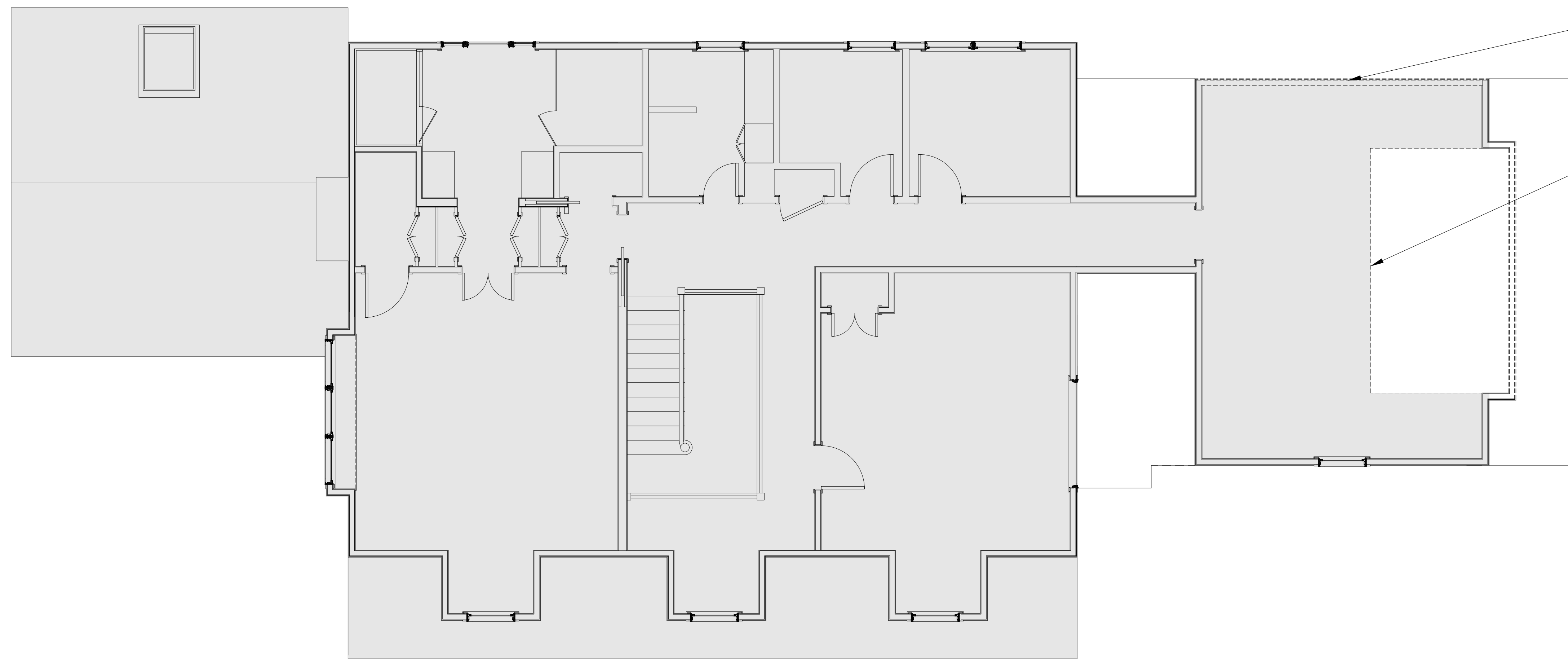


PROJECT NO.
 184
 GOL

D-101

LEGEND:

- NOT IN SCOPE
- REMOVALS
- ==== EXTG. WALL



REMOVE EXTERIOR WALLS WHERE SHOWN

REMOVE CEILING WHERE SHOWN

-
-
- △ 06/15/2021 PERMIT FILING R2
- △ 05/28/2021 PERMIT FILING R1
- 05/14/2021 PERMIT FILING

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**GOLDBERG
 RESIDENCE**

1 PRIOR CT
 PALISADES, NY

**SECOND FLOOR
 REMOVALS**

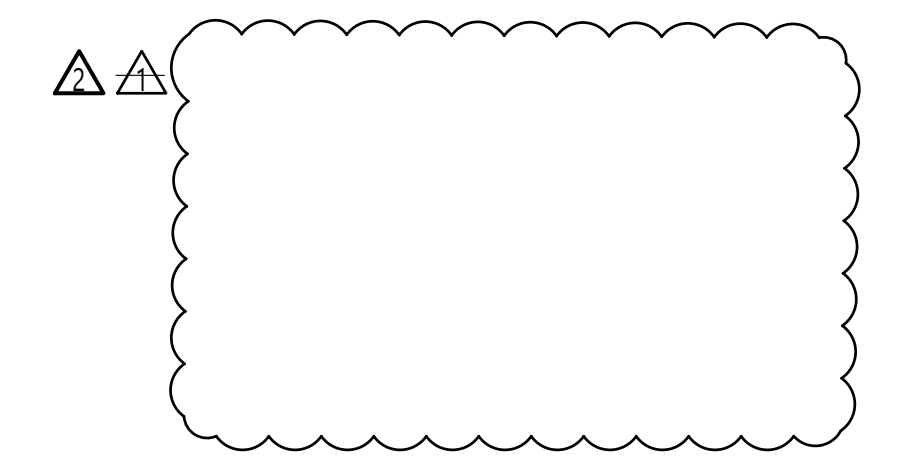
1 SECOND FLOOR REMOVAL PLAN
 SCALE: 1/4" = 1'-0"



PROJECT NO.
**184
 GOL**

D-102

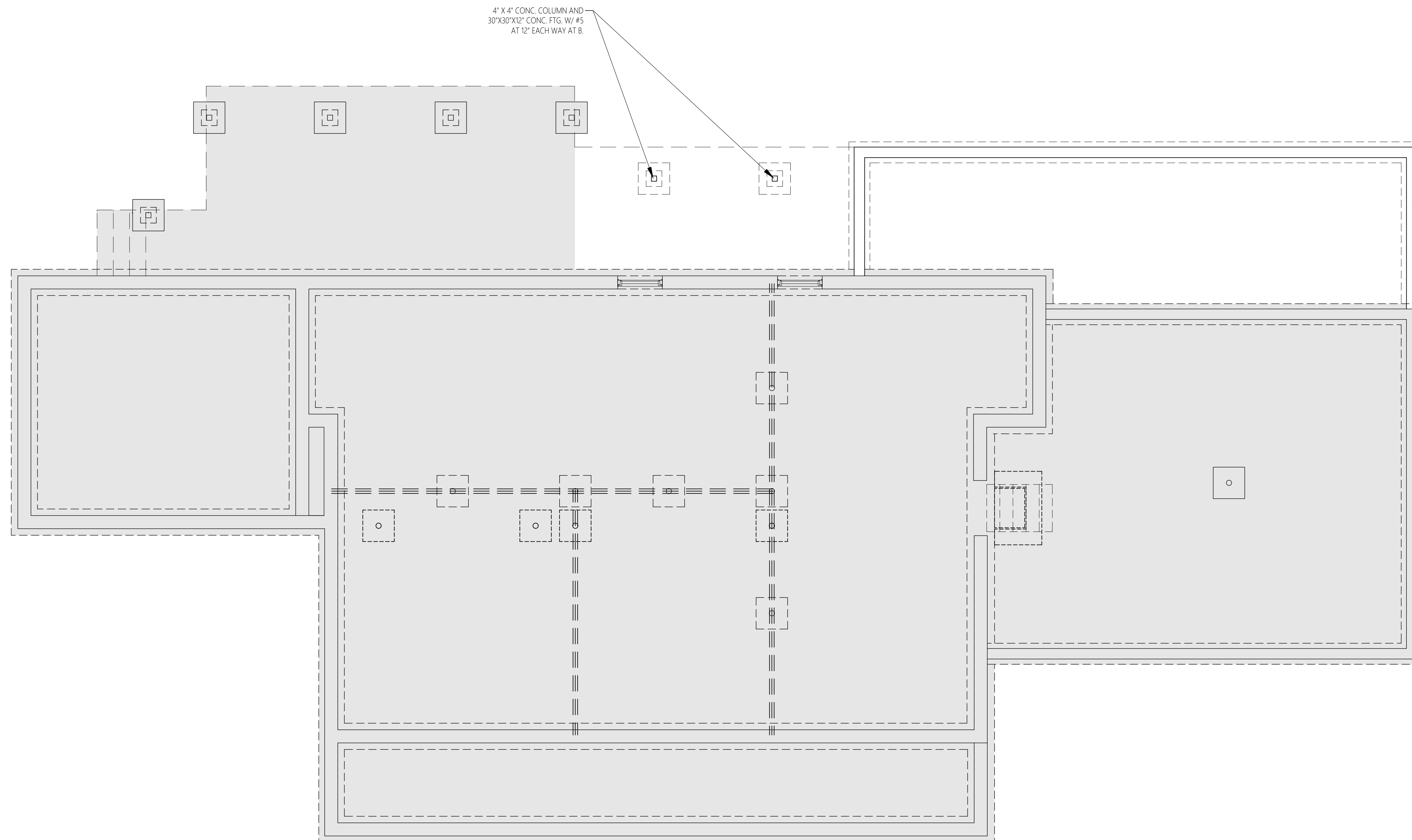
- LEGEND:
- NOT IN SCOPE
 - NEW WALL
 - FLOOR ABOVE
 - NEW COLUMN W/ FOOTING



4" X 4" CONC. COLUMN AND
30"X30"X12" CONC. FTG. W/ #5
AT 12" EACH WAY AT B.

1' DEEP X 1'-8" WIDE CONC. FOOTING W/ (3) #5 @ B

8" THK. CONC. MASONRY FOUNDATION WALL W/ (2) #5 @ T + B



- 06/15/2021 PERMIT FILING R2
- 05/28/2021 PERMIT FILING R1
- 05/14/2021 PERMIT FILING

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**GOLDBERG
RESIDENCE**

1 PRIOR CT
PALISADES, NY

**FOUNDATION
PLAN**

1 CRAWL SPACE PLAN
SCALE: 1/4" = 1'-0"



PROJECT NO.
**184
GOL**

A-100

WINDOW INFORMATION			
ITEM	MANUFACTURER	TYPE	MODEL
110D	ANDERSEN	DOUBLE HUNG	400 SERIES
110E	ANDERSEN	DOUBLE HUNG	400 SERIES
111A	ANDERSEN	CASEMENT	400 SERIES
110D	ANDERSEN	DOUBLE HUNG	400 SERIES

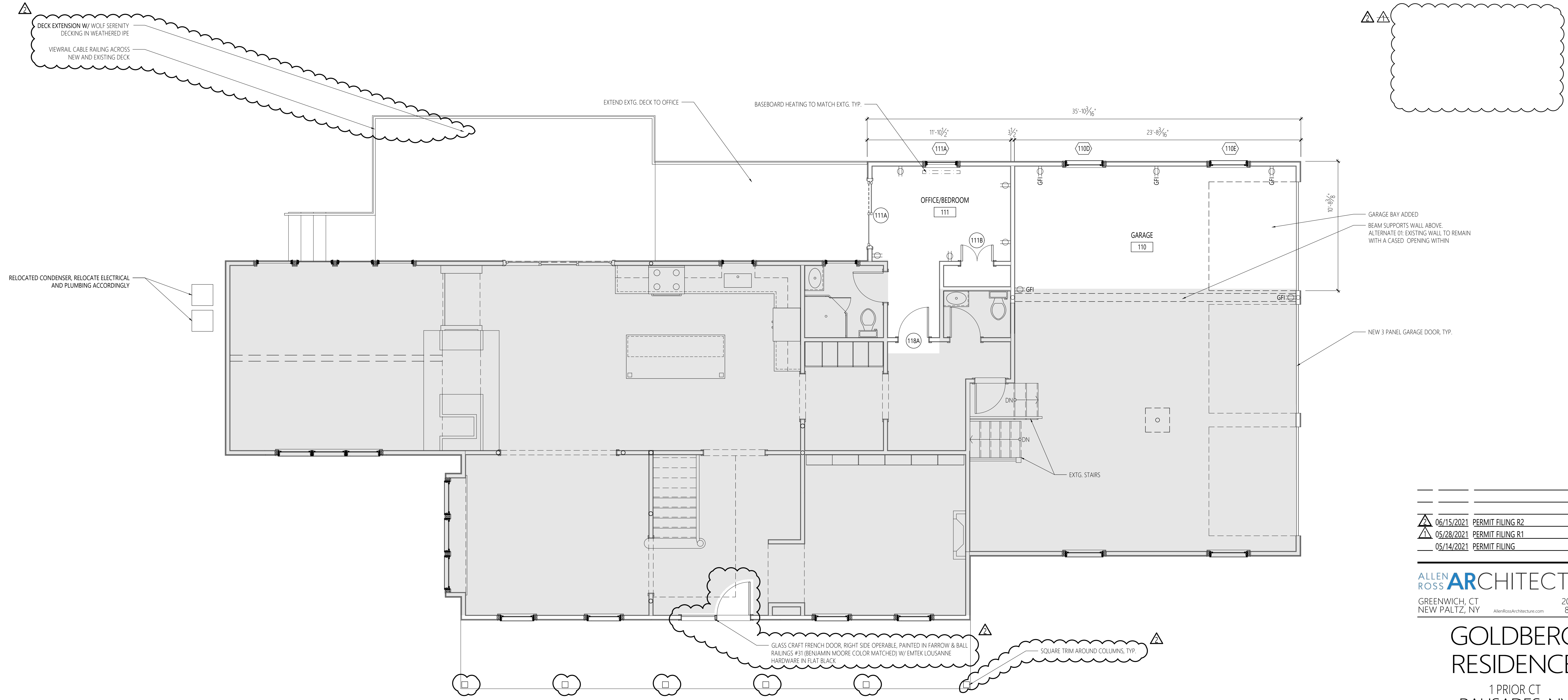
EXTERIOR DOOR INFORMATION			
ITEM	MANUFACTURER	TYPE	MODEL
111A	ANDERSEN	SLIDING	400 SERIES

LEGEND:

- NOT IN SCOPE
- NEW WALL
- CEILING ABOVE

NOTES:

1. ALL GARAGE WALL PARTITIONS SHALL HAVE 1/2" GYP. BOARD BOTH SIDES, TYP.
2. GARAGE CEILING SHALL BE 5/8" TYPE X GYP. BOARD, TYP.
3. ALL INTERIOR DOORS TO BE 1-3/4" THICK, TYP.
4. WINDOWS 111A TO BE EGRESS WINDOW
5. EXISTING RECEPTACLES NOT SHOWN, TYP.



- 06/15/2021 PERMIT FILING R2
- 05/28/2021 PERMIT FILING R1
- 05/14/2021 PERMIT FILING

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GOLDBERG RESIDENCE
 1 PRIOR CT
 PALISADES, NY

FIRST FLOOR PLAN

1 FIRST FLOOR PLAN
 SCALE: 1/4" = 1'-0"

REGISTERED ARCHITECT
 ALLEN DOUGLAS ROSS
 LIC #026859
 STATE OF NEW YORK

PROJECT NO. 184
 GOL

A-101

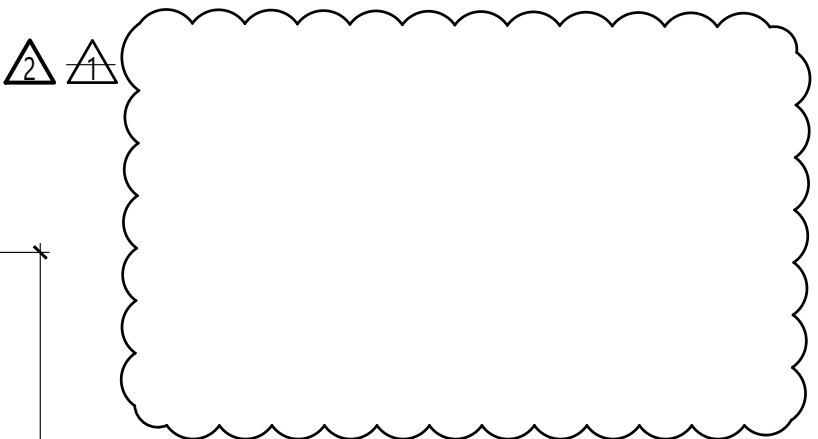
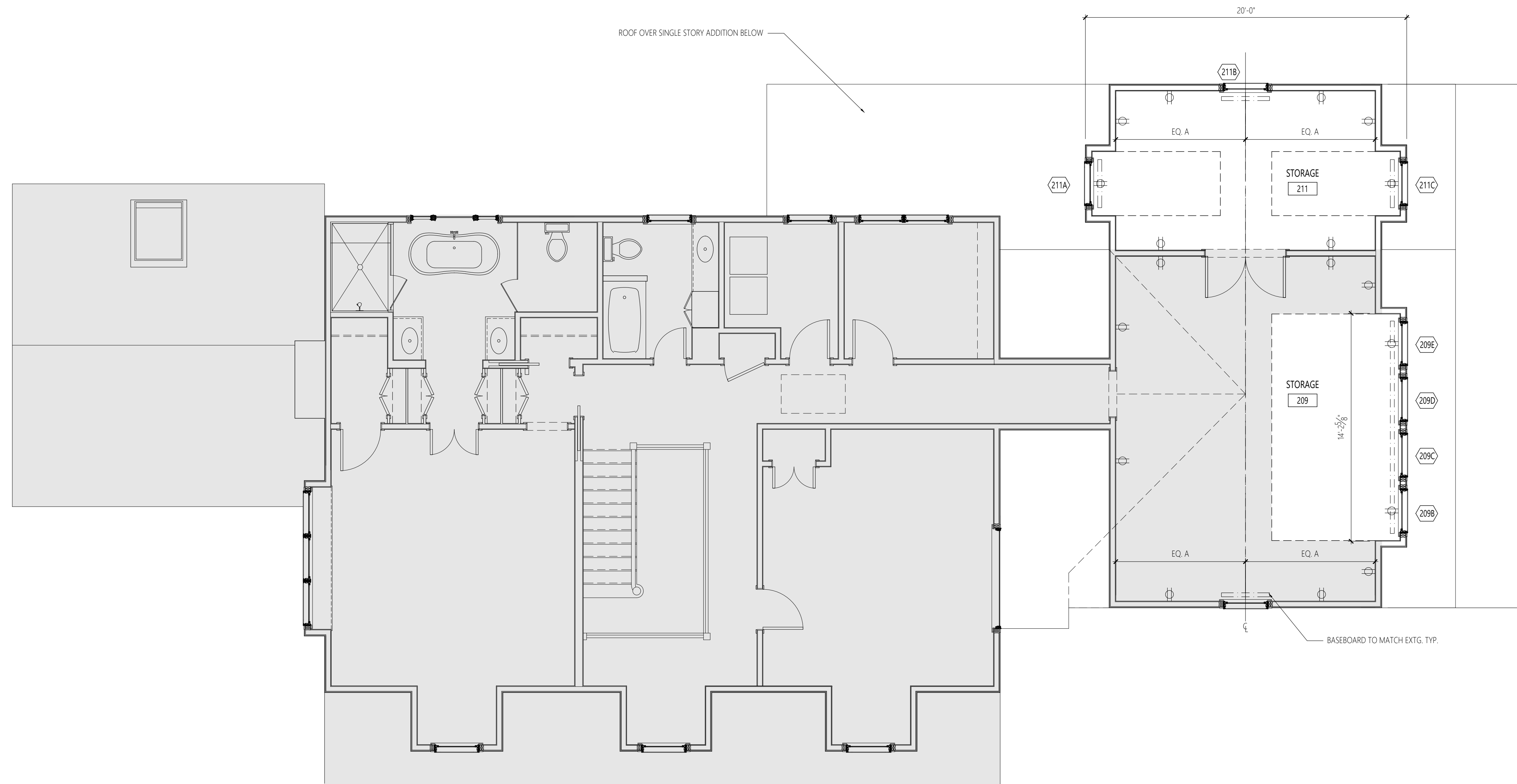
WINDOW INFORMATION			
ITEM	MANUFACTURER	TYPE	MODEL
209A	ANDERSEN	DOUBLE HUNG	400 SERIES
209B	ANDERSEN	DOUBLE HUNG	400 SERIES
209C	ANDERSEN	DOUBLE HUNG	400 SERIES
209D	ANDERSEN	DOUBLE HUNG	400 SERIES
209E	ANDERSEN	DOUBLE HUNG	400 SERIES
211A	ANDERSEN	DOUBLE HUNG	400 SERIES
211B	ANDERSEN	DOUBLE HUNG	400 SERIES
211C	ANDERSEN	DOUBLE HUNG	400 SERIES

LEGEND:

- NOT IN SCOPE
- NEW WALL
- CEILING ABOVE

NOTES:

1. ALL INTERIOR DOORS TO BE 1-3/4" THICK, TYP.
2. WINDOWS IN STORAGE 209 AND STORAGE 211 DORMERS TO MATCH WINDOW 209A
3. EXISTING RECEPTACLES NOT SHOWN, TYP.



- 06/15/2021 PERMIT FILING R2
- 05/28/2021 PERMIT FILING R1
- 05/14/2021 PERMIT FILING

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GOLDBERG RESIDENCE

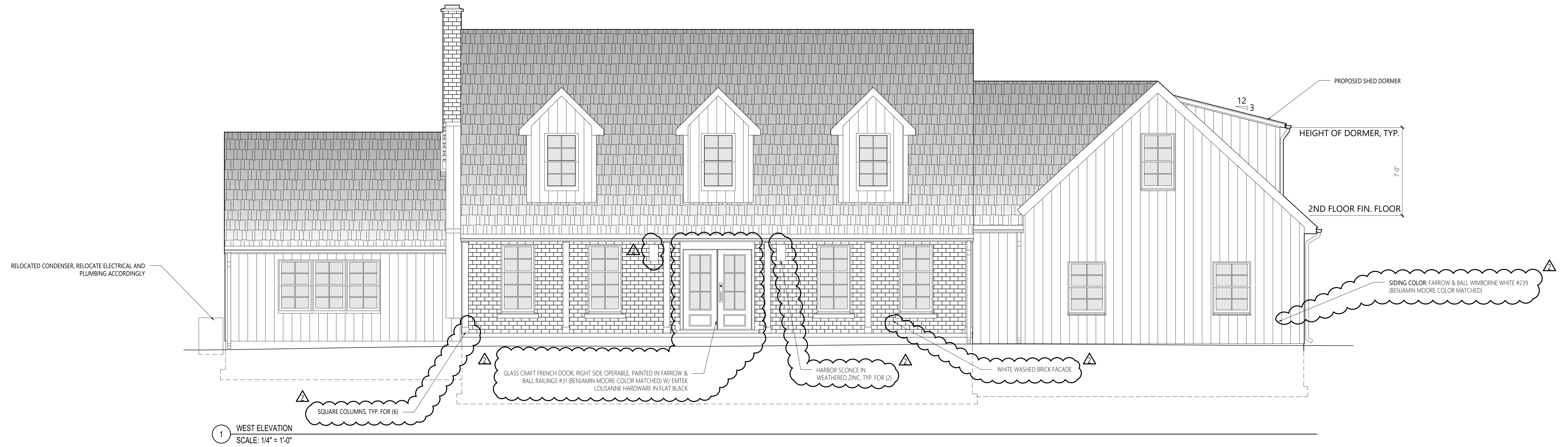
1 PRIOR CT
 PALISADES, NY

SECOND FLOOR PLAN

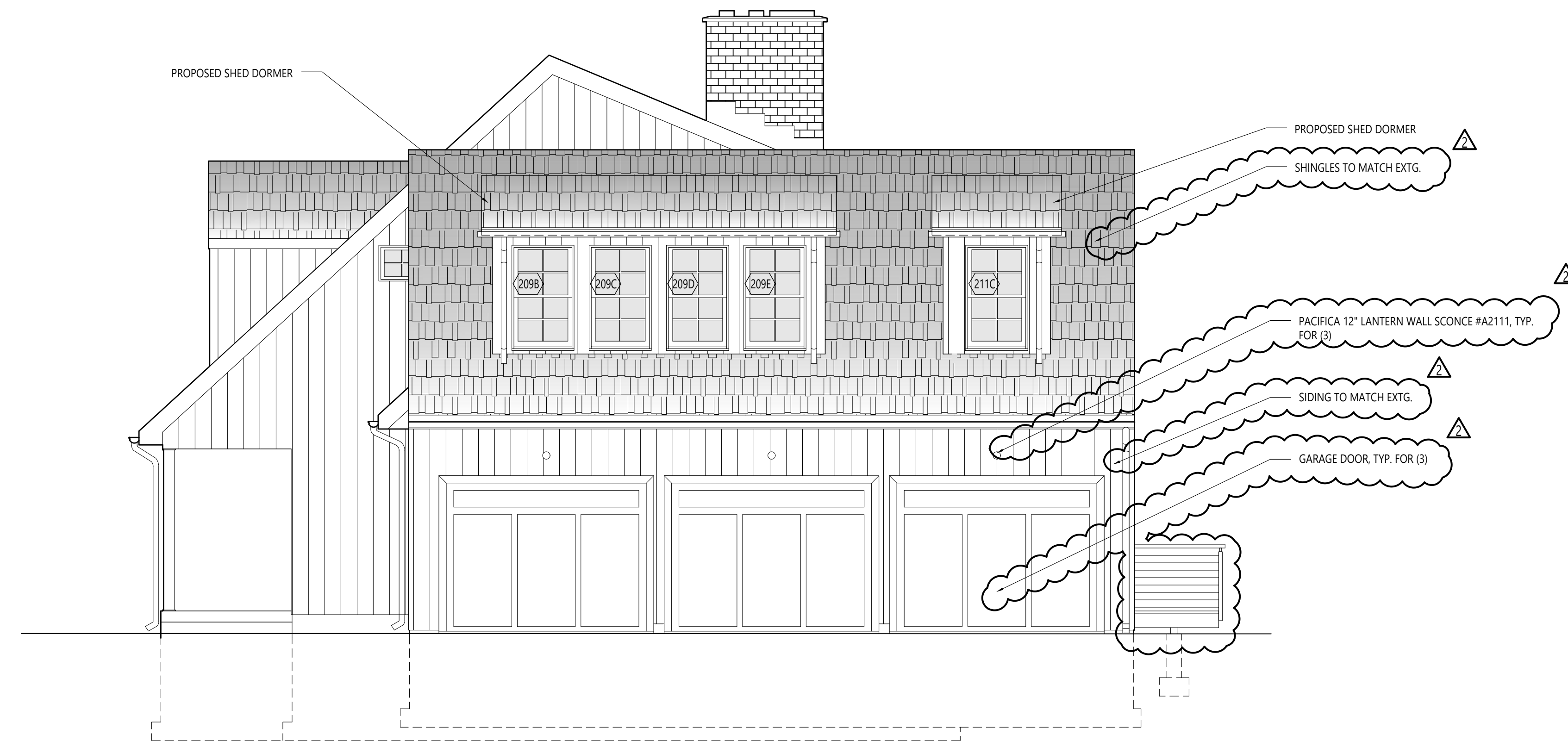
1 SECOND FLOOR PLAN
 SCALE: 1/4" = 1'-0"

PROJECT NO. 184
 GOL
A-102

NOTES:
 1. EXTG. WINDOWS SHOWN WITHOUT WINDOW TAGS



1 WEST ELEVATION
 SCALE: 1/4" = 1'-0"



2 SOUTH ELEVATION
 SCALE: 1/4" = 1'-0"

06/15/2021 PERMIT FILING R2
 05/28/2021 PERMIT FILING R1
 05/14/2021 PERMIT FILING

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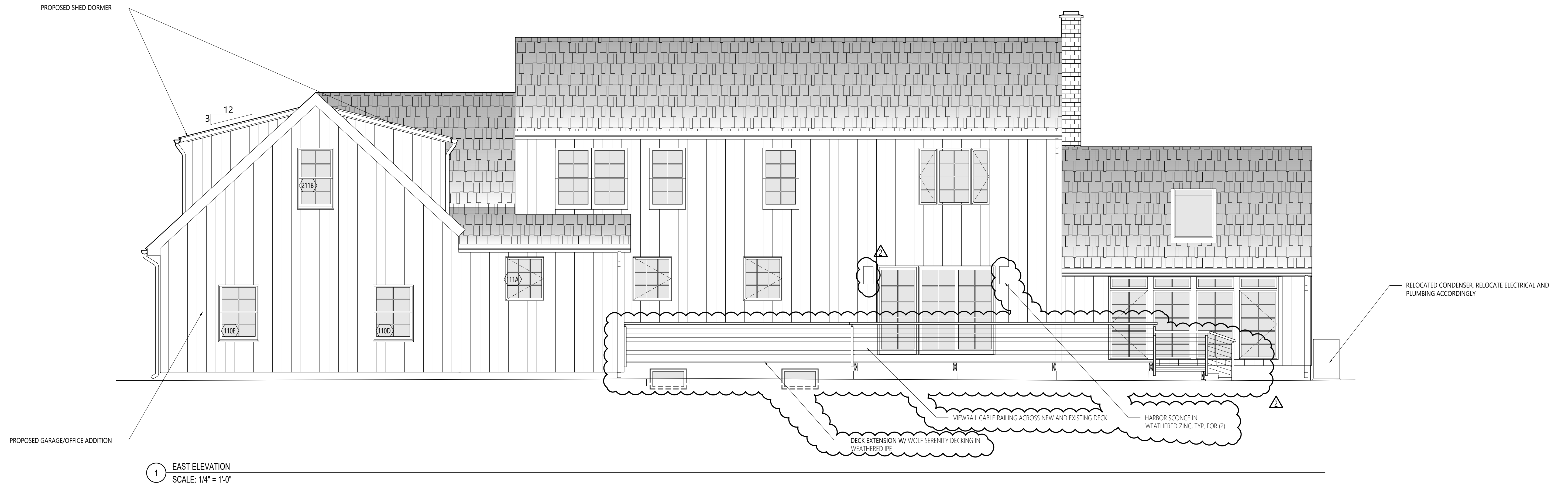
GOLDBERG RESIDENCE
 1 PRIOR CT
 PALISADES, NY

ELEVATIONS

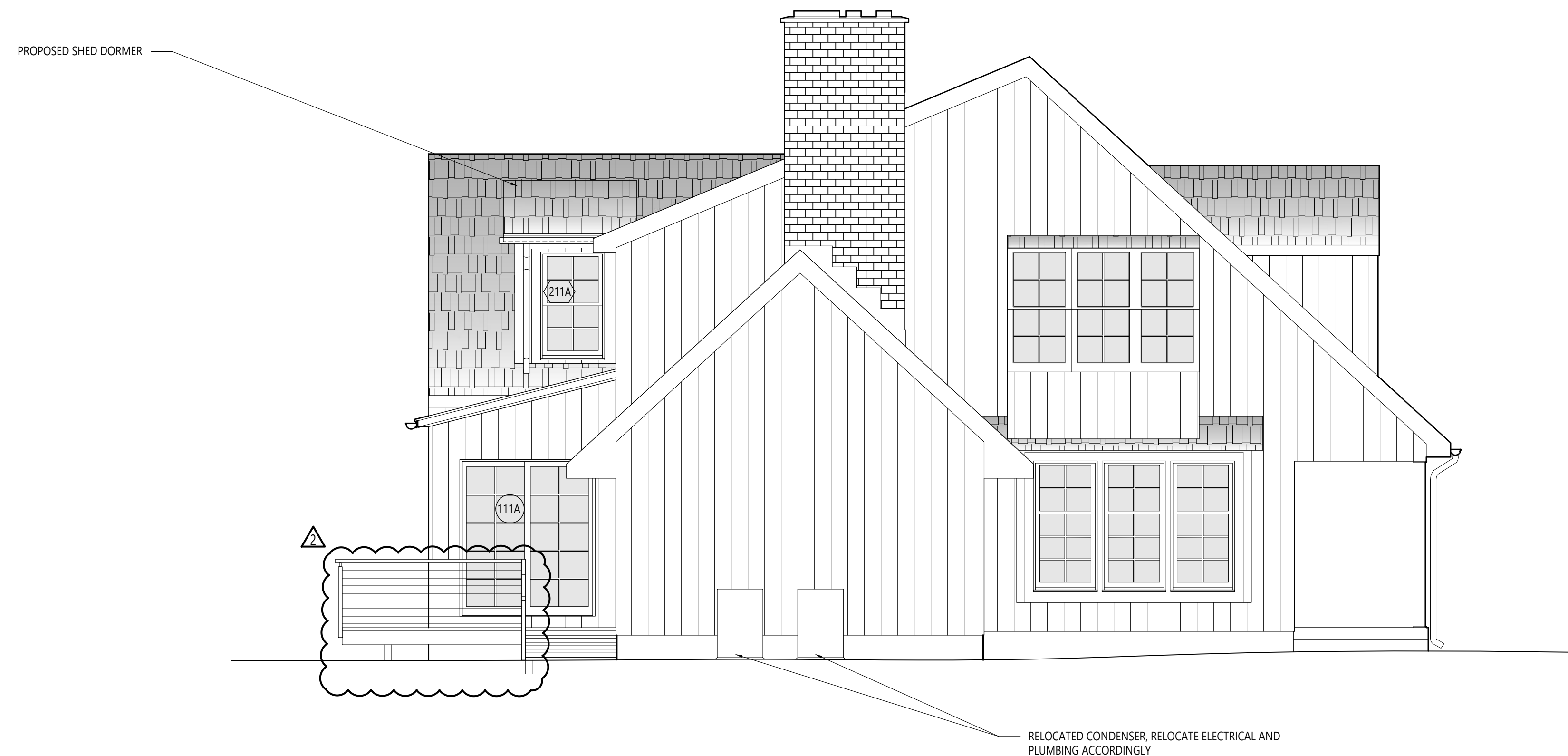


PROJECT NO.
 184
 GOL
A-200

NOTES:
 1. EXTG. WINDOWS SHOWN WITHOUT WINDOW TAGS



1 EAST ELEVATION
 SCALE: 1/4" = 1'-0"



2 NORTH ELEVATION
 SCALE: 1/4" = 1'-0"

06/15/2021 PERMIT FILING R2
 05/28/2021 PERMIT FILING R1
 05/14/2021 PERMIT FILING

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GOLDBERG RESIDENCE
 1 PRIOR CT
 PALISADES, NY

ELEVATIONS



PROJECT NO. 184 GOL
A-201

LEGEND:

NOT IN SCOPE

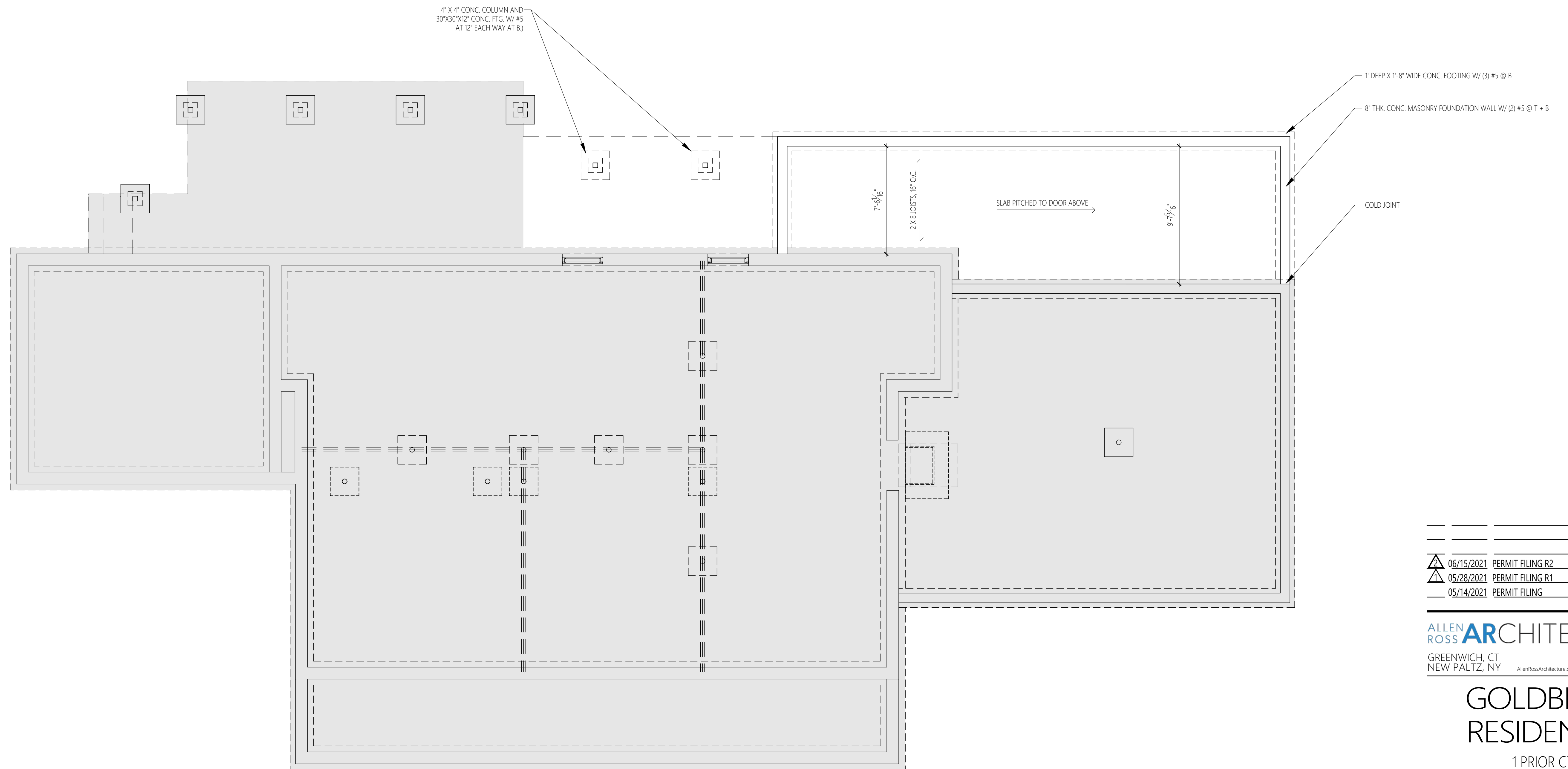
STRUCTURAL LEGEND:

- COLUMN BELOW
- COLUMN ABOVE

STRUCTURAL NOTES:

1. MAINTAIN MIN. 2" CLEARANCE BETWEEN ALL WD. FRAMING

BEAM/HEADER SCHEDULE:



06/15/2021	PERMIT FILING R2
05/28/2021	PERMIT FILING R1
05/14/2021	PERMIT FILING

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GOLDBERG RESIDENCE

1 PRIOR CT
 PALISADES, NY

FIRST FLOOR FRAMING PLAN

1 FIRST FLOOR FRAMING PLAN SHOWN ON THE FOUNDATION PLAN
 SCALE: 1/4" = 1'-0"



PROJECT NO.
184 GOL
S-100

LEGEND:

NOT IN SCOPE

STRUCTURAL LEGEND:

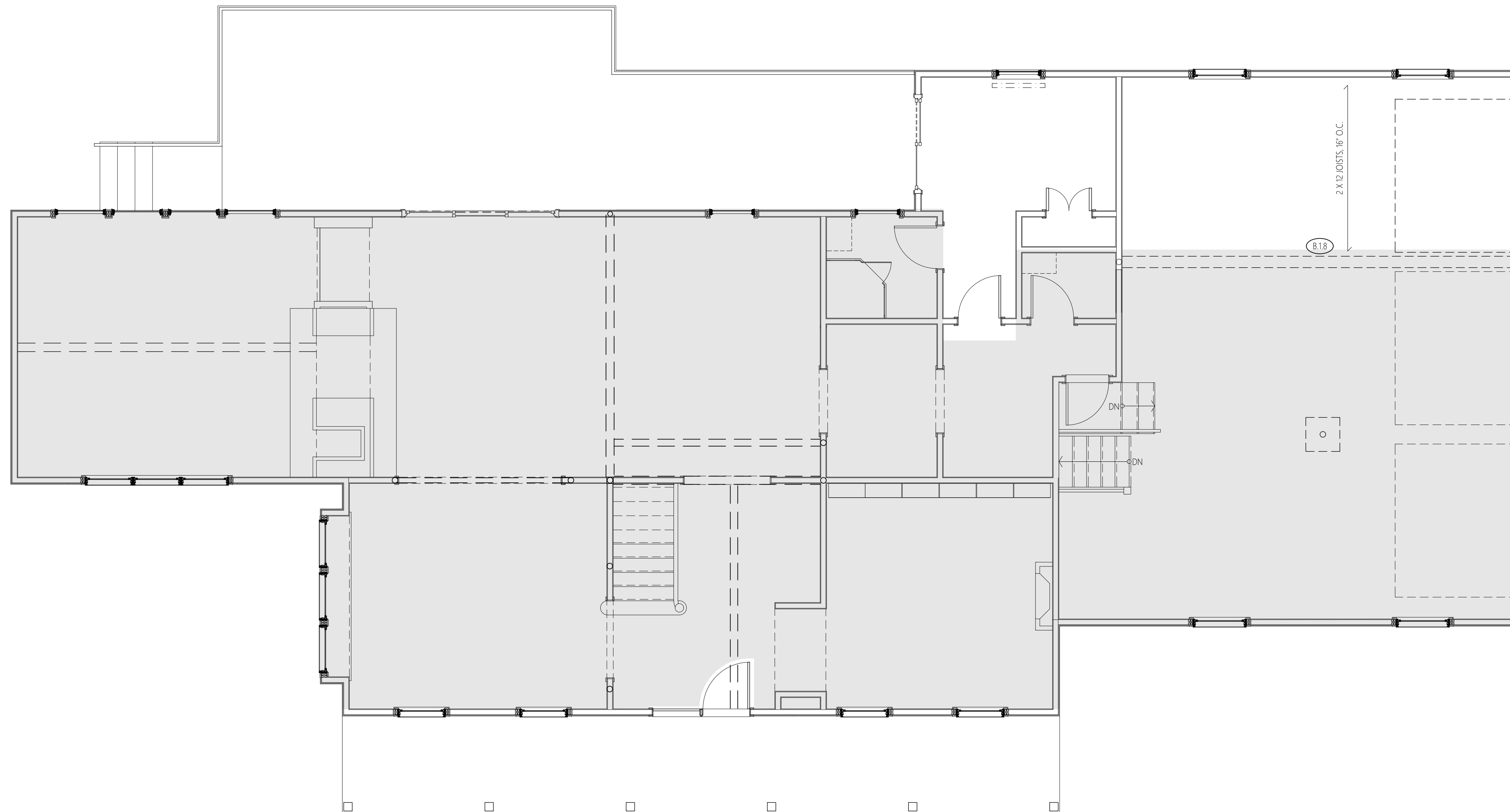
- COLUMN BELOW
- COLUMN ABOVE

STRUCTURAL NOTES:

1. MAINTAIN MIN. 2" CLEARANCE BETWEEN ALL WD. FRAMING

BEAM/HEADER SCHEDULE:

- 8.18 (3) LVLS W/ STEEL FLITCH PLATES - FLUSH FRAMED



- 06/15/2021 PERMIT FILING R2
- 05/28/2021 PERMIT FILING R1
- 05/14/2021 PERMIT FILING

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GOLDBERG RESIDENCE

1 PRIOR CT
 PALISADES, NY

SECOND FLOOR FRAMING PLAN

1 SECOND FLOOR FRAMING SHOWN ON FIRST FLOOR PLAN
 SCALE: 1/4" = 1'-0"



PROJECT NO.
 184
 GOL

S-101