

Name of Municipality: TOWN OF ORANGETOWN Date Submitted: _____

2018 LAND USE BOARD APPLICATION

Please check all that apply:

<input type="checkbox"/> Commercial	<input checked="" type="checkbox"/> Residential
<input checked="" type="checkbox"/> Planning Board	<input type="checkbox"/> Historical Board
<input checked="" type="checkbox"/> Zoning Board of Appeals	<input type="checkbox"/> Architectural Board
<input type="checkbox"/> Subdivision	<input type="checkbox"/> Consultation
<input type="checkbox"/> Number of Lots	<input type="checkbox"/> Pre-Preliminary/Sketch
<input type="checkbox"/> Site Plan	<input type="checkbox"/> Preliminary
<input type="checkbox"/> Conditional Use	<input type="checkbox"/> Final
<input type="checkbox"/> Special Permit	<input type="checkbox"/> Interpretation
<input checked="" type="checkbox"/> Variance	
<input type="checkbox"/> Performance Standards Review	
<input type="checkbox"/> Use Variance	
<input type="checkbox"/> Other (specify): _____	

PERMIT#: _____
ASSIGNED _____
INSPECTOR: _____

Referred from Planning Board: YES / NO
if yes provide date of Planning Board meeting: _____

Project Name: Alatzas site plans

Street Address: 11 Bergen Ave
Palisades N.Y

Tax Map Designation:
Section: 77.20 Block: 2 Lot(s): 85
Section: _____ Block: _____ Lot(s): _____

Directional Location:
On the North side of Scotti Ave, approximately 200 feet South of the intersection of Muroney Ave, in the Town of Orangetown in the hamlet/village of Palisades.

Acreage of Parcel <u>10,000 sq ft</u>	Zoning District <u>R-15</u>
School District <u>Orangetown</u>	Postal District <u>Orangetown</u>
Ambulance District <u>SOAC</u>	Fire District <u>Sparkill/Palisades</u>
Water District <u>Suez</u>	Sewer District <u>Orangetown</u>

Project Description: (If additional space required, please attach a narrative summary.)
Merge two pre-existing smaller lots to create one large lot and build a home more consistent to the neighborhood

The undersigned agrees to an extension of the statutory time limit for scheduling a public hearing.
Date: 6/2/21 Applicant's Signature: Alex Alatzas

APPLICATION REVIEW FORM

Applicant: George Altsas Phone # 914 403 8498

Address: 17 Bluefields Ln Blauvelt Ny 10913
Street Name & Number (Post Office) City State Zip Code

Property Owner: George Altsas Phone # Contract Purchaser

Address: _____
Street Name & Number (Post Office) City State Zip Code

Engineer/Architect/Surveyor: Jay Greenwell Phone # 845 357-0830

Address: 85 Lafayette Ave Suffern Ny 10901
Street Name & Number (Post Office) City State Zip Code

Attorney: _____ Phone # _____

Address: _____
Street Name & Number (Post Office) City State Zip Code

Contact Person: George Altsas Phone # 914 403 8498

Address: 17 Bluefields Ln Blauvelt Ny 10913
Street Name & Number (Post Office) City State Zip Code

GENERAL MUNICIPAL LAW REVIEW:

This property is within 500 feet of:
(Check all that apply)

IF ANY ITEM IS CHECKED, A REVIEW MUST BE DONE BY THE ROCKLAND COUNTY COMMISSIONER OF PLANNING UNDER THE STATE GENERAL MUNICIPAL LAW, SECTIONS 239 L, M, N, AND NN.

- | | |
|---|---|
| <input type="checkbox"/> State or County Road | <input type="checkbox"/> State or County Park |
| <input type="checkbox"/> Long Path | <input type="checkbox"/> County Stream |
| <input type="checkbox"/> Municipal Boundary | <input type="checkbox"/> County Facility |

List name(s) of facility checked above:

Referral Agencies:

- | | |
|--|--|
| <input type="checkbox"/> RC Highway Department | <input type="checkbox"/> RC Division of Environmental Resources |
| <input type="checkbox"/> RC Drainage Agency | <input type="checkbox"/> RC Dept. of Health |
| <input type="checkbox"/> NYS Dept. of Transportation | <input type="checkbox"/> NYS Dept. of Environmental Conservation |
| <input type="checkbox"/> NYS Thruway Authority | <input type="checkbox"/> Palisades Interstate Park Commission |
| <input type="checkbox"/> Adjacent Municipality _____ | |
| <input type="checkbox"/> Other _____ | |

77.20-2-86

Shella Prisco
Tax Map #: 77.20-2-86
146 Park Av
Palisades, NY 10964

Doris Burge
Tax Map #: 77.20-2-74
145 Park Ave
Palisades, NY 10964

✓(9)

~~John Hughes
Tax Map #: 77.20-2-3
26 Muroney Ave
Palisades, NY 10964~~

77.20-2-85

Shella Prisco
Tax Map #: 77.20-2-85
146 Park Ave
Palisades, NY 10964

Edmund Kalotkin
Tax Map #: 77.20-2-83
1 Scotti Av
Palisades, NY 10964

✓(10)

Richard D Adamo
Tax Map #: 77.20-2-72
45 Muroney Ave
Palisades, NY 10964

✓(17)

Kevin G Driscoll
Tax Map #: 77.20-2-87
5 Bergen Av
Palisades, NY 10964

✓(1)

Corrine E Perez
Tax Map #: 77.20-2-73
57 Muroney Ave
Palisades, NY 10964

✓(11)

~~Paul W Padial
Tax Map #: 77.20-1-29
40 Muroney Ave
Palisades, NY 10964~~

Helena Power
Tax Map #: 77.20-2-80
152 Park Ave
Palisades, NY 10964

✓(2)

Tae Hyun Whang
Tax Map #: 77.20-1-33
415 White Oak Rd
Palisades, NY 10968

✓(12)

~~Seen Peyton
Tax Map #: 77.20-2-3
166 Park Av
Palisades, NY 10964~~

Garcia James Gensel
Tax Map #: 77.20-2-84
PO BOX 158
Palisades, NY 10964

✓(3)

~~Joseph Savattieri
Tax Map #: 77.20-2-2
162 Park Av
Palisades, NY 10964~~

Richard Porpiglia
Tax Map #: 77.20-1-34
414 White Oak Rd
Palisades, NY 10964

✓(18)

Karl Tubo
Tax Map #: 77.20-2-81
146 Park Ave
Palisades, NY 10964

✓(4)

Keith Davan
Tax Map #: 77.20-2-82
5 Scotti Ave
Palisades, NY 10964

✓(13)

~~Eleanor F Gaynor
Tax Map #: 77.20-2-70
71 Concord Dr
Lappan, NY 10983~~

Richard Smith
Tax Map #: 77.20-2-79
156 Park Av
Palisades, NY 10964

✓(5)

~~Paul W Padial
Tax Map #: 77.20-2-1
40 Muroney Ave
Palisades, NY 10964~~

~~James J Beni
Tax Map #: 77.20-2-76
135 Park Av
Palisades, NY 10964~~

Joanne Connelly
Tax Map #: 77.20-2-89
13 Muroney Ave
Palisades, NY 10964

✓(6)

Thomas M Devine
Tax Map #: 77.20-1-30
418 White Oak Rd
Palisades, NY 10964

✓(14)

~~Joong Jo Yoo
Tax Map #: 77.20-2-6
20 Muroney Av
Palisades, NY 10964~~

Murickolil S Eappen
Tax Map #: 77.20-1-32
416 White Oak Rd
Palisades, NY 10964

✓(7)

Wade Scheurtzel
Tax Map #: 77.20-2-71
150 Broad Ave
Palisades, NY 10964

✓(15)

Marianna Voughioutkas
Tax Map #: 77.20-1-35
413 White Oak Rd
Palisades, NY 10964

✓(19)

John W Kim
Tax Map #: 77.20-1-31
417 White Oak Rd
Palisades, NY 10964

✓(8)

James J Beni
Tax Map #: 77.20-2-75
135 Park Ave
Palisades, NY 10964

✓(16)

Borough of Rockleigh
26 Rockleigh Rd,
Rockleigh, NJ 07647
Attn: Borough Clerk

✓(20)



OFFICE OF BUILDING, ZONING, PLANNING
ADMINISTRATION AND ENFORCEMENT
TOWN OF ORANGETOWN
20 GREENBUSH ROAD
ORANGETOWN, N.Y. 10962

Jane Slavin, RA
Director

(845) 359-8410

Fax: (845) 359-8526

Date: May 18, 2021

To: Cheryl Coopersmith, Chief Clerk
Planning Board

From: Jane Slavin, RA.,
Director O.B.Z.P.A.E.

Subject: **Alatsas Site Plan**
Prepreliminary/Preliminary/Final Site Plan
and SEQRA Review
9&11 Bergen Avenue, Palisades
77.20-2-85 & 86, R-15 zoning district



PB#21-33

Submission Reviewed:

Application, narrative and site plan as prepared Jay A. Greenwell, PLS and Stuart Strow, P.E. dated April 12, 2021.

- 1) Per table 3.12, R-15 district, Group M the following Bulk variances are required;
Column 4, maximum floor area ratio is 20% with 30% proposed.
Column 5, minimum lot area required is 15,000 square feet with 10,000 square feet proposed;
Column 11, minimum rear yard required is 35 feet with 26.5' feet proposed
- 2) Per Chapter 43, Article V, section 5.21(f); *"If two or more adjoining lots are substandard by the regulations of this code and were in single ownership on July 29, 1965, the total parcel of land shall then be subject to regulations as a mean average of those bulk and area dimensions of existing lots within 500 feet on both sides of the street and on both sides of the site in question. In no case shall the building be larger than if the lot were conforming to the zoning district regulations."* Town assessor records show that the two lots were in the same ownership in 1965, a variance is required.
- 3) A 280A variance is required as the lot fronts along an unimproved road.
- 4) ACABOR review and approval is required.
- 5) SEAF appears to be in order.

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Subject to Conditions/ Neg. Dec.**

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**TO: Jay Greenwell, 85 Lafayette Avenue, Suffern, New York 10901
FROM: Orangetown Planning Board**

RE: Alatsas Site Plan: The application of George Alatsas, applicant, for Sheila Prisco-Case, Executor for owner, for Prepreliminary/ Preliminary/ Final Site Plan Review at a site to be known as "**Alatsas Site Plan**", in accordance with Article 16 of the Town Law of the State of New York, the Land Development Regulations of the Town of Orangetown, Chapter 21A of the Code of the Town of Orangetown and to determine the environmental significance of the application pursuant to the requirements of the New York State Environmental Quality Review Act. The site is located at 9 & 11 Bergen Avenue, Palisades, Town of Orangetown, Rockland County, New York, and as shown on the Orangetown Tax Map as Section 77.20, Block 2, Lots 85 & 86 in the R-15 zoning district.

Heard by the Planning Board of the Town of Orangetown at a virtual meeting held **Wednesday, May 26, 2021**, the Board made the following determinations:

Jay Greenwell and George Alatsas appeared and testified.

The Board received the following communications:

1. Project Review Committee Report dated May 19, 2021.
2. Interdepartmental memorandum from the Office of Building, Zoning, Planning Administration and Enforcement (OBZPAE), Town of Orangetown, signed by Jane Slavin, R.A., AIA, Director, dated May 18, 2021.
3. Interdepartmental memorandum from the Department of Environmental Management and Engineering (DEME), Town of Orangetown, signed by Bruce Peters, P.E., May 10, 2021.
4. Letter from Maser Consulting, signed by Jesse Cokeley, PE., dated February 24, 2021.
5. Letter from Rockland County Department of Planning, from Arlene Miller, Principal Planner, dated January 29, 2021.
6. Notice from Rockland County Department of Highway, signed by Dyan Rajasingham, Engineer III, dated May 6, 2021.
7. Letter and notice from Rockland County Department of Health, signed by Elizabeth Mello, PE, dated May 24, 2021
8. Email from Orange and Rockland Utilities from Alfred Gaddi, PE, dated May 4, 2021.
9. Notices from the Town of Orangetown Zoning Board of Appeals signed by Dan Sullivan, Chair, dated May 5, 2021.
10. Project Summary prepared by Jay Greenwell, PLS, dated April 14, 2021.
11. A Short Environmental Assessment Form signed by George Alatsas, dated April 12, 2021.

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12. Letter from Lauren Lucanera, property owner, dated April 16, 2021.
13. Copy of PB#21-12, Alatsas Final Resubdivision Plan Approval Subject to Conditions, dated February 24, 2021.
14. Site Plan of Land for Alatsas dated April 12, 2021:
 - Sheet 1 of 2: Site Plan
 - Sheet 2 of 2: Detail Sheet
15. Architectural Plans prepared by John Perkins, RA, dated November 16, 2020, last revised April 3, 2021:
 - Sheet 1 of 2: Floor Plans
 - Sheet 2 of 2: Elevations
16. Email from Murickolil & Aleykutty Eappen, received May 26, 2021.
17. Email from Terence Foxe & Helena Power, 152 Park Avenue, received May 25, 2021.

The Board reviewed the plan. The meeting was open to the public.

Public Comment:

Terry Fox, 152 Park Avenue, raised concerns that all of the houses in the area are on wells and the project site is on an undedicated road. The existing lots are wet and the removal of trees will only increase the drainage impact to the area. He also noted that there are no houses in the neighborhood that touch his lot that are 3,000 square feet.

There being no one else to be heard from the public, a motion was made to close the Public Hearing portion of the meeting by Andrew Andrews and second by Michael Mandel and carried as follows: Thomas Warren - Chairman, aye; William Young- Vice Chairman, aye; Michael Mandel, aye; Robert Dell, aye; Michael McCrory, aye; Andrew Andrews, aye; Bruce Bond, abstain and Stephen Sweeney, aye.

The proposed action is classified as an "unlisted action" as defined by Section 617.2 (a) of the New York State Environmental Quality Review Regulations (SEQRR). No agency, other than the Orangetown Planning Board will have any significant involvement in the review process, pursuant to Section 617.6 of SEQRA. On motion by Michael Mandel and seconded by Andrew Andrews and carried as follows: Thomas Warren - Chairman, aye; William Young - Vice Chairman, aye; Michael Mandel, aye; Robert Dell, aye; Michael McCrory, aye; Bruce Bond, abstain; Andrew Andrews, aye; and Stephen Sweeney, aye, the Board declared itself Lead Agency.

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Pursuant to New York Code, Rules & Regulations (NYCRR) Section 617.7, the Town of Orangetown Planning Board, as lead agency, for the reasons articulated in this Board's analysis of all of the submissions by the applicant, interested agencies, departments and the public, with respect to this project including the Environmental Assessment Form, which reasons are summarized in the motion, hereby determines that the proposed action will not have a significant impact on the environment and a Draft Environmental Impact Statement (DEIS) will not be prepared.

After having identified the relevant areas of environmental concern, namely drainage, surface water runoff, land clearing, vegetation, fauna, traffic and noise levels, and after having taken a hard look at said environmental issues, and after having deliberated regarding such concerns, and having heard from the applicant, the applicant's professional representatives, namely Jay Greenwell, PLS and having heard from the following offices, officials and/or Departments: (Town of Orangetown): Project Review Committee, Office of Building, Zoning, Planning Administration and Enforcement and Department of Environmental Management and Engineering; and having heard from the following involved and interested agencies: Town of Orangetown Zoning Board of Appeals, Rockland County Department of Highway, Rockland County Sewer District No.1, , and having reviewed a proposed Subdivision plan by prepared by Jay Greenwell, PLS, a summary of the reasons supporting this determination are, and the Planning Board finds, that the proposed action:

- Will not significantly affect existing air quality or noise levels;
- Will not significantly affect existing surface water quality or quantity or drainage;
- Will not significantly affect existing ground water quality or quantity;
- Will not significantly affect existing traffic levels;
- Will not create a substantial increase in solid waste production;
- Will not create a potential for erosion, flooding, leaching or drainage problems;
- Will not have a significant adverse impact on the environmental characteristics of our critical environmental area or environmentally sensitive sites or features;
- Will not have an impairment of the character or quality of important historical, archeological or architectural resources;
- Will not have an impairment of the character or quality of important aesthetic resources;
- Will not have an impairment of existing community or neighborhood character;

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- Will not remove or destroy large quantities of vegetation or fauna;
- Will not remove or destroy large quantities of wildlife species or migratory fish;
- Will not have a significant adverse impact to natural resources;
- Is consistent with the Town of Orangetown Comprehensive/Master Plan;
- Will not have adverse economic or social impacts upon the Town;
- Will not create a hazard to human health; and
- Will not create a substantial change in the use of land, open space or recreational resources.

On motion by Andrew Andrews and seconded by William Young- Vice Chairman and carried as follows: Thomas Warren - Chairman, aye; William Young- Vice Chairman, aye; Michael Mandel, nay; Robert Dell, nay; Michael McCrory, nay; Bruce Bond, abstain; Andrew Andrews, aye; and Stephen Sweeney, aye, the Board made a Negative Declaration pursuant to SEQRA.

DECISION: In view of the foregoing and the testimony before the Board, the application was granted **Preliminary Site Plan Approval Subject to the Following Conditions:**

1. The following note shall be placed on the subdivision plan: "At least one week prior to the commencement of any work, including the installation of erosion control devices or the removal of trees and vegetation, a Pre-construction meeting must be held with the Town of Orangetown Department of Environmental Management and Engineering, Superintendent of Highways and the Office of Building, Zoning and Planning Administration and Enforcement. It is the responsibility and obligation of the property owner to arrange such a Meeting."
2. Stormwater Management Phase II Regulations: Additional certification, by an appropriate licensed or certified design professional shall be required for all matters before the Planning Board indicating that the drawings and project are in compliance with the Stormwater Management Phase II Regulations.
3. All outdoor construction activities, including site clearing operations if applicable, shall take place between the hours of 7:00 a.m. and 7:00 p.m., Monday through Saturday. No such activities shall take place on Sunday or a legal holiday. The same criteria shall apply to indoor construction activities, except that such activities may take place between the hours of 7:00 a.m. and 10:00 p.m.

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4. Per table 3.12, R-15 district, Group M the following Bulk variances are required from the Town of Orangetown Zoning Board of Appeals;

- Column 4, maximum floor area ratio is 20% with 30% proposed.
- Column 5, minimum lot area required is 15,000 square feet with 10,000 square feet proposed;
- Column 11, minimum rear yard required is 35 feet with 26.5' feet proposed

5. Per Chapter 43, Article V, section 5.21(f); *"If two or more adjoining lots are substandard by the regulations of this code and were in single ownership on July 29, 1965, the total parcel of land shall then be subject to regulations as a mean average of those bulk and area dimensions of existing lots within 500 feet on both sides of the street and on both sides of the site in question. In no case shall the building be larger than if the lot were conforming to the zoning district regulations."* Town assessor records show that the two lots were in the same ownership in 1965, a variance is required.

6. A 280A variance is required from the Town of Orangetown Zoning Board of appeals for as the lot fronts along an unimproved road.

7. The application shall be reviewed by the Town of Orangetown Architecture and Community Appearance Board of Review.

8. The Short Environmental Assessment Form appears to be in order.

9. The applicant shall research the possibility of connecting the proposed sanitary house connection to the sanitary main on Scotti Avenue.

10. The drainage calculations provided are under review. However, because the Perc Rate is assumed, soil borings, perc tests and determination of groundwater elevations shall be performed at the subsurface detention system location. These tests shall be performed **PRIOR** to this proposal receiving **Final Approval** to ensure the adequacy of the proposed design. This information shall be added to the drainage calculations. The tests shall be performed in the spring or fall when the ground water table is typically at its highest. DEME shall be notified 48 hours prior to these tests so they can be witnessed.

11. (Sizing, calculations for proposed 12-inch DIP replacement pipe under Bergen Avenue) The existing 15 CMP drainage pipe, currently just south of the existing macadam pavement in Bergen Avenue, has an invert on the east side of 38.7 This means that the top of the pipe is at ± 39.95 . The spot elevation shown at the southernmost end of the existing macadam pavement in Bergen Avenue is listed at 39.5. This in turn means that the top of pipe is higher than the existing pavement and will be higher than the proposed extension. The applicant's engineer shall redesign this drainage crossing in order to allow vehicular crossing of the drainage line. The engineer shall also provide calculations for sizing the replacement piping. The calculations shall include the year storm the new pipe shall carry.

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12. Flared end sections and riprap at both end of the proposed new drainage crossing under Bergen Avenue.

13. Profiles for all proposed drainage piping facilities are required and shall be added to the plans.

14. A profile, that shows all existing underground utilities, for the proposed Bergen Avenue Roadway extension shall be added to the plans.

15. A profile for the proposed sanitary house connection shall be added to the plans.

16. Details, including elevations for the proposed drywell system shall be added to the drawings. Also, an overflow shall be designed and depicted for the proposed drywell system.

17. A note shall be added to the site plan stating that "No sanitary connections in the basement of the proposed home. This includes but is not limited to Toilets, showers, sinks, slop/utility sinks, floor drains, clothes washers, dish washer, etc."

18. A post construction stormwater maintenance agreement for the proposed stormwater systems shall be submitted to DEME and the Orangetown Town Attorney's Office for review and approval. Said agreement shall include a maintenance and management schedule, inspection check list, contact person with a telephone number, yearly report to be submitted to DEME, etc.

19. The Town of Orangetown Bureau of Fire Prevention reviewed the plans and offered the following comments:

- Driveway should be at least 12' wide.
- Driveway shall be designed to support fire apparatus in all weather conditions.

20. The Drainage Consultant to the Planning Board, Maser Consulting reviewed the application and found that overall, the proposed stormwater management plan meets the intent of the regulations, and therefore, Maser Consulting recommends the Resubdivision of Land for Alatsas be approved for drainage subject to the following project comments.

1. Based on the plans that were submitted, the applicant intends to treat stormwater runoff through the installation of two (2) underground drywells in a gravel bed.

- a. Details shall be provided for the proposed drywells.
- b. Details for the inlet grates on the drywells shall also be provided.
- c. A Zero Net increase study shall be provided for review.
- d. Elevations for the drywells shall be provided.
- e. Infiltration testing shall be performed at the location of the drywells

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Continuation of Condition #20...

2. While the roof drains are shown connecting to the drywells, the footing drain discharges off the southwest corner of the property in the right-of-way for Bergen Avenue. Is this permissible by the Town?

3. There is a proposed trench drain in the proposed driveway at the property line which appears to discharge to the drywells, again, elevations shall be provided to confirm. What is the plan for stormwater mitigation for the portion of the driveway/roadway area within Bergen Avenue?

4. 50' separation from the proposed well to the proposed drywell gravel bed is depicted on the plans. Please include separation distance to any neighboring wells.

5. Behind the building only has two spot elevations shown, 40.4 and 40.5 and they are about 40 feet apart. This would be too flat and additional grading information shall be provided to ensure adequate drainage exists around the rear and sides of the property.

6. Silt fence is being shown installed across existing gravel area in Bergen Avenue but will that gravel area be removed?

7. Are there any erosion control measures proposed for the proposed utility trenching that will be needed going north in Bergen Avenue? Has the neighbor been informed that their driveway will be disturbed for this trenching

21. The Rockland County Department of Health (RCDOH) reviewed the information and offered the following comments:

A permit for the proposed well will need to be obtained from the RCDOH. Application is to be made to RCDOH for review of the stormwater management system for compliance with the County Mosquito Code.

22. Orange and Rockland Utilities (O&R) reviewed the information and noted that O&R does not have a gas service feeding the property.

25. The following agencies do not object to the Town of Orangetown Planning Board assuming responsibilities of lead agency for SEQRA purposes:

- Rockland County Department of Highways
- Rockland County Department of Health
- Town of Orangetown Zoning Board of Appeals

26. The applicant shall comply with all pertinent items in the Guide to the Preparation of Site Plans prior to signing the final plans.

27. All reviews and approvals from various governmental agencies must be obtained prior to stamping of the Site Plan.

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28. All of the conditions of this decision, shall be binding upon the owner of the subject property, its successors and /or assigns, including the requirement to maintain the property in accordance with the conditions of this decision and the requirement, if any, to install improvements pursuant to Town Code §21A-9. Failure to abide by the conditions of this decision as set forth herein shall be considered a violation of Site Plan Approval pursuant to Town Code §21A-4.

29. TREE PROTECTION: The following note shall be placed on the Subdivision Plan: The Tree Protection and Preservation Guidelines adopted pursuant to Section 21-24 of the Land Development Regulations of the Town of Orangetown will be implemented in order to protect and preserve both individual specimen trees and buffer area with many trees. Steps that will be taken to reserve and protect existing trees to remain are as follows:

- a. No construction equipment shall be parked under the tree canopy.
- b. There will be no excavation or stockpiling of earth underneath the trees.
- c. Trees designated to be preserved shall be marked conspicuously on all sides at a 5 to 10-foot height.
- d. The Tree Protection Zone for trees designated to be preserved will be established by one of the following methods:

- One (1) foot radius from trunk per inch DBH
- Drip line of the Tree Canopy. The method chosen should be based on providing the maximum protection zone possible. A barrier of snow fence or equal is to be placed and maintained one yard beyond the established tree protection zone. If it is agreed that the tree protection zone of a selected tree must be violated, one of the following methods must be employed to mitigate the impact:

- Light to Heavy Impacts – Minimum of eight inches of wood chips installed in the area to be protected. Chips shall be removed upon completion of work.

- Light Impacts Only – Installation of ¾ inch of plywood or boards, or equal over the area to be protected.

The builder or its agent may not change grade within the tree protection zone of a preserved tree unless such grade change has received final approval from the Planning Board. If the grade level is to be changed more than six (6) inches, trees designated to be preserved shall be welled and/or preserved in a raised bed, with the tree well a radius of three (3) feet larger than the tree canopy.

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30. All landscaping shown on the subdivision plan shall be maintained in a vigorous growing condition throughout the duration of the use of this site. Any plants not so maintained shall be replaced with new plants at the beginning of the next immediately following growing season.

31. Prior to the commencement of any site work, including the removal of trees, the applicant shall install the soil erosion and sedimentation control as required by the Planning Board. Prior to the authorization to proceed with any phase of the site work, the Town of Orangetown Department of Environmental Management and Engineering (DEME) shall inspect the installation of all required soil erosion and sedimentation control measures. The applicant shall contact DEME at least 48 hours in advance for an inspection.

32. The contractor's trailer, if any is proposed, shall be located as approved by the Planning Board.

33. If the applicant, during the course of construction, encounters such conditions as flood areas, underground water, soft or silty areas, improper drainage, or any other unusual circumstances or conditions that were not foreseen in the original planning, such conditions shall be reported immediately to DEME. The applicant shall submit their recommendations as to the special treatment to be given such areas to secure adequate, permanent and satisfactory construction. DEME shall investigate the condition(s), and shall either approve the applicant's recommendations to correct the condition(s), or order a modification thereof. In the event of the applicant's disagreement with the decision of DEME, or in the event of a significant change resulting to the subdivision plan or site plan or any change that involves a wetland regulated area, the matter shall be decided by the agency with jurisdiction in that area (i.e. Wetlands - U.S. Army Corps of Engineers).

34. Permanent vegetation cover of disturbed areas shall be established on the site within thirty (30) days of the completion of construction.

35. Prior (at least 14 days) to the placing of any road sub-base, the applicant shall provide the Town of Orangetown Superintendent of Highways and DEME with a plan and profile of the graded road to be paved in order that these departments may review the drawings conformance to the approved construction plans and the Town Street Specifications

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**Town of Orangetown Planning Board Decision
May 26, 2021
Page 10 of 10**

36. The Planning Board shall retain jurisdiction over lighting, landscaping, signs and refuse control.

The foregoing Resolution was made and moved by William Young, Vice-Chairman and seconded by Andrew Andrews and carried as follows: Thomas Warren – Chairman, aye; William Young, Vice-Chairman, aye; Michael Mandel nay; Andrew Andrews, aye; Bruce Bond, abstain; Stephen Sweeney, aye; Robert Dell, nay and Mike McCrory, nay.

The Clerk to the Board is hereby authorized, directed and empowered to sign this **DECISION** and file a certified copy in the Office of the Town Clerk and the Office of the Planning Board.

Dated: May 26, 2021
Cheryl Coopersmith
Town of Orangetown Planning Board
attachment

**State Environmental Quality Review Regulations
NEGATIVE DECLARATION
Notice of Determination of Non-Significance**

Draft

**Alatsas Site Plan
Preliminary Site Plan Approval
Subject to Conditions/ Neg. Dec.**

**Town of Orangetown Planning Board Decision
May 26, 2021**

This notice is issued pursuant to Part 617 of the implementing regulations pertaining to Article 8 (State Environmental Quality Review Regulation) of the Environmental Conservation Law.

The PLANNING BOARD, TOWN OF ORANGETOWN, as Lead Agency, has determined that the proposed action described below will not have a significant impact on the environment and a Draft Environmental Impact Statement will not be prepared.

**NAME OF ACTION: Alatsas Site Plan
Preliminary Site Plan Approval Subject to Conditions/ Neg. Dec.**

SEQR STATUS: Type I _____ Unlisted XXXXXX
CONDITIONED NEGATIVE DECLARATION: Yes _____ No XXXXXX

DESCRIPTION OF ACTION: Site Plan

LOCATION: The site is located at 9 & 11 Bergen Avenue, Palisades, Town of Orangetown, Rockland County, New York, and as shown on the Orangetown Tax Map as Section 7 7.20, Block 2, Lots 85 & 86 in the R-15 zoning district.

REASONS SUPPORTING THIS DETERMINATION:

The Orangetown Planning Board, as Lead Agency, determined that the proposed action will not have a significant impact on the environment and a Draft Environmental Impact Statement (DEIS) will not be prepared. The reasons supporting this determination are as follows:

The project will not have a significant impact upon the environment and a DEIS need not be prepared because the proposed action does not significantly affect air quality, surface or ground water quality, noise levels or existing external traffic patterns. In addition, it will have no impact upon the aesthetic, agricultural or cultural resources of the neighborhood. No vegetation, fauna or wildlife species will be affected as a result of this proposed action. The proposed action is consistent with the Town of Orangetown Master Plan and will not have any adverse economic or social impacts upon the Town or its businesses or residences.

If Conditioned Negative Declaration, the specific mitigation is provided on an attachment.

For Further Information contact:

Office of Building, Zoning and Planning Administration and Enforcement
Town of Orangetown, 20 Greenbush Road, Orangeburg, NY 10962
Telephone Number: 845-359-5100

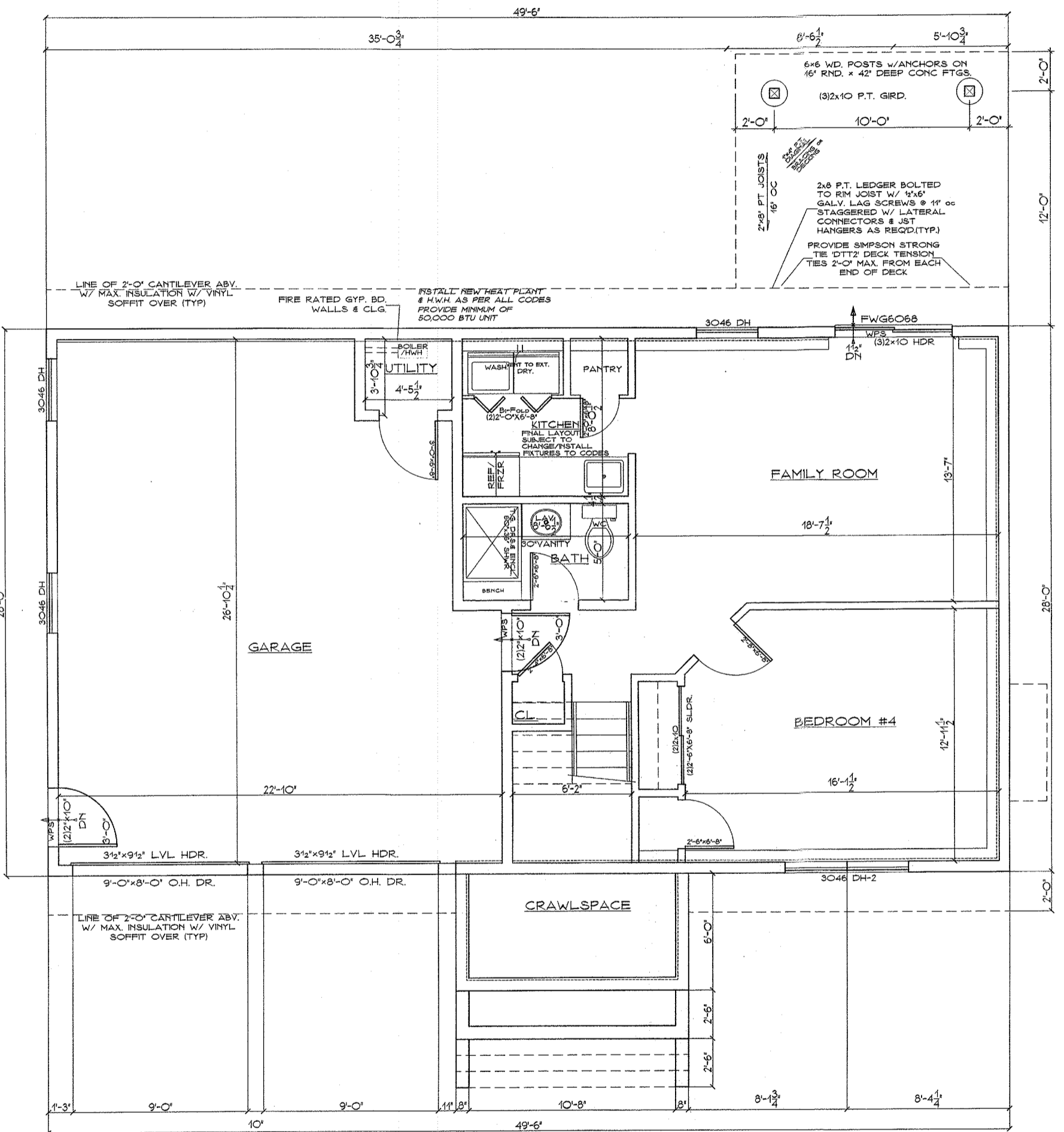
For Type I Actions and Conditioned Negative Declarations, a copy of this notice is sent: - Commissioner, New York State Department of Environmental Conservation, - Region 3 Headquarters, Town Supervisor, Applicant, Involved Agencies

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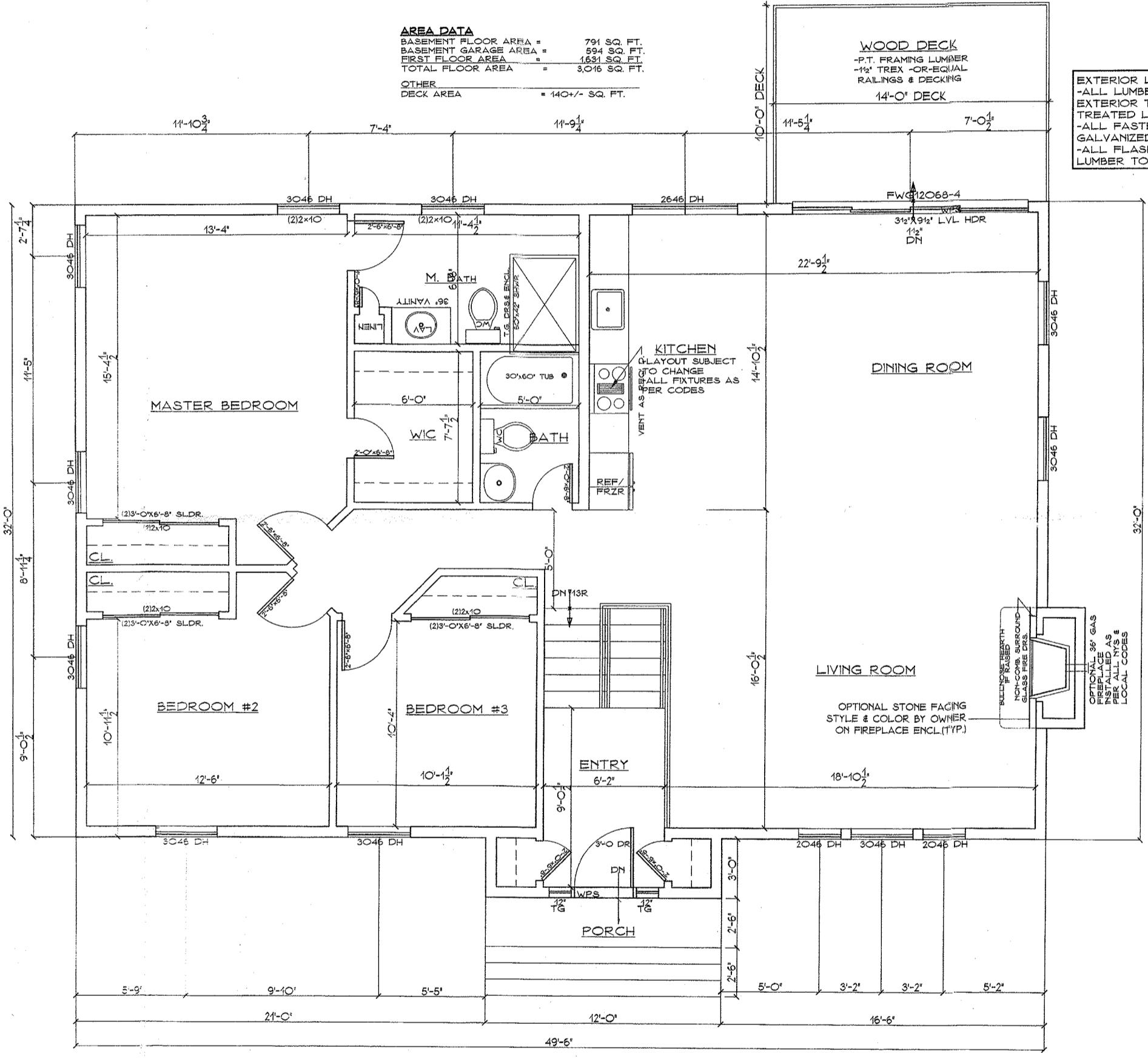
ISSUE FOR ZBA REVIEW ONLY - NOT FOR CONSTRUCTION

RECEIVED
APR 9 2021
TOWN OF ORANGETOWN
LAND USE BOARDS

ZONING BOARD OF APPEALS
Meeting 06
JUL 7 2021
TOWN OF ORANGETOWN



PROPOSED BASEMENT FLOOR PLAN SCALE: 1/4"=1'-0"



PROPOSED FIRST FLOOR PLAN SCALE: 1/4"=1'-0"

AREA DATA
BASEMENT FLOOR AREA = 791 SQ. FT.
BASEMENT GARAGE AREA = 594 SQ. FT.
FIRST FLOOR AREA = 1681 SQ. FT.
TOTAL FLOOR AREA = 3066 SQ. FT.
OTHER DECK AREA = 140 +/- SQ. FT.

WOOD DECK
-P.T. FRAMING LUMBER
-1 1/2" TREX OR EQUAL
RAILINGS & DECKING
14'-0" DECK

EXTERIOR LUMBER NOTES:
-ALL LUMBER EXPOSED TO EXTERIOR TO BE ACQ PRESSURE TREATED LUMBER.
-ALL FASTENERS TO BE HOT DIP GALVANIZED.
-ALL FLASHING USED WITH ACQ LUMBER TO BE COPPER.

ISSUE FOR ZBA REVIEW ONLY - NOT FOR CONSTRUCTION

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John Perkins ARCHITECT.
Professional Limited Liability Company
NYS ARCH. No. 13027
191 Lewis St. #100
Orangetown, NY 10986
(845) 429-4225 www.JPerkinsArchitect.com

FLOOR PLANS

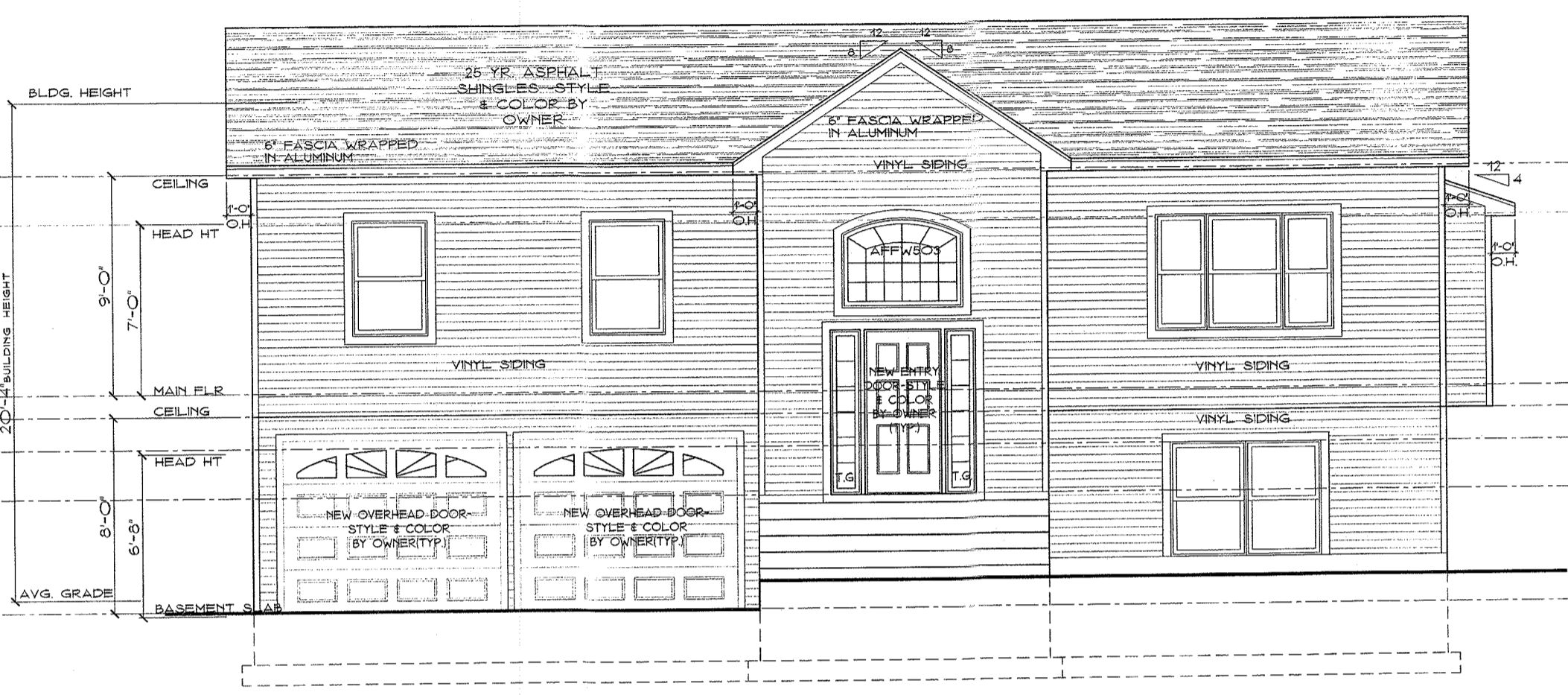
PROPOSED SINGLE FAMILY HOME
FOR
BBB CONSTRUCTION
98-89 BEGAN AVENUE
HAMILLET OF PALISADES
TOWN OF ORANGETOWN, NEW YORK

DRAWING TITLE: FLOOR PLANS

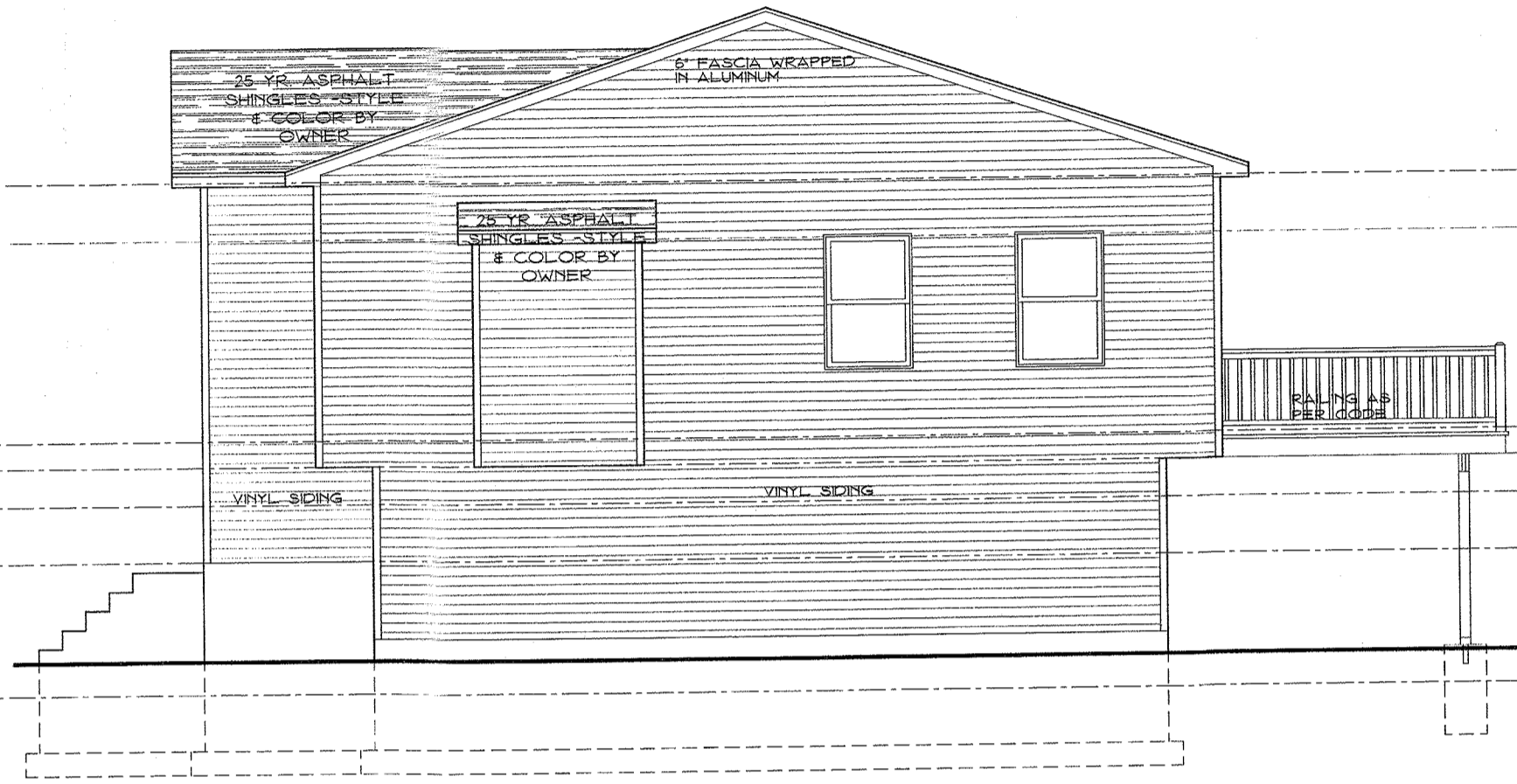
DATE:	NOVEMBER 16, 2020
ISSUE FOR ZBA REVIEW:	DECEMBER 4, 2020
DATE:	APRIL 3, 2021

SHEET: 1 OF 2

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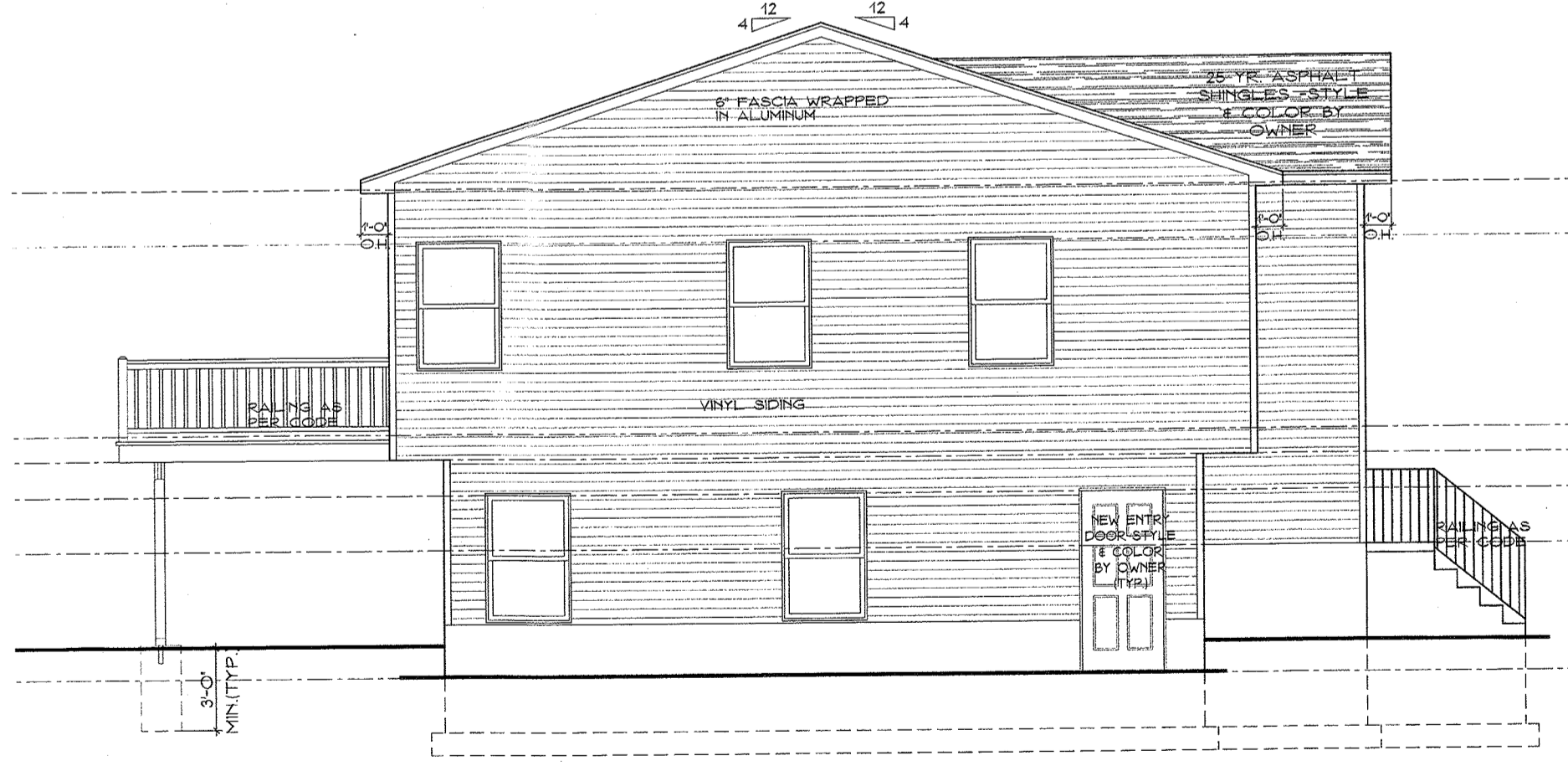
PROPOSED FRONT ELEVATION SCALE: 1/4"=1'-0"



PROPOSED RIGHT ELEVATION SCALE: 1/4"=1'-0"



PROPOSED REAR ELEVATION SCALE: 1/4"=1'-0"

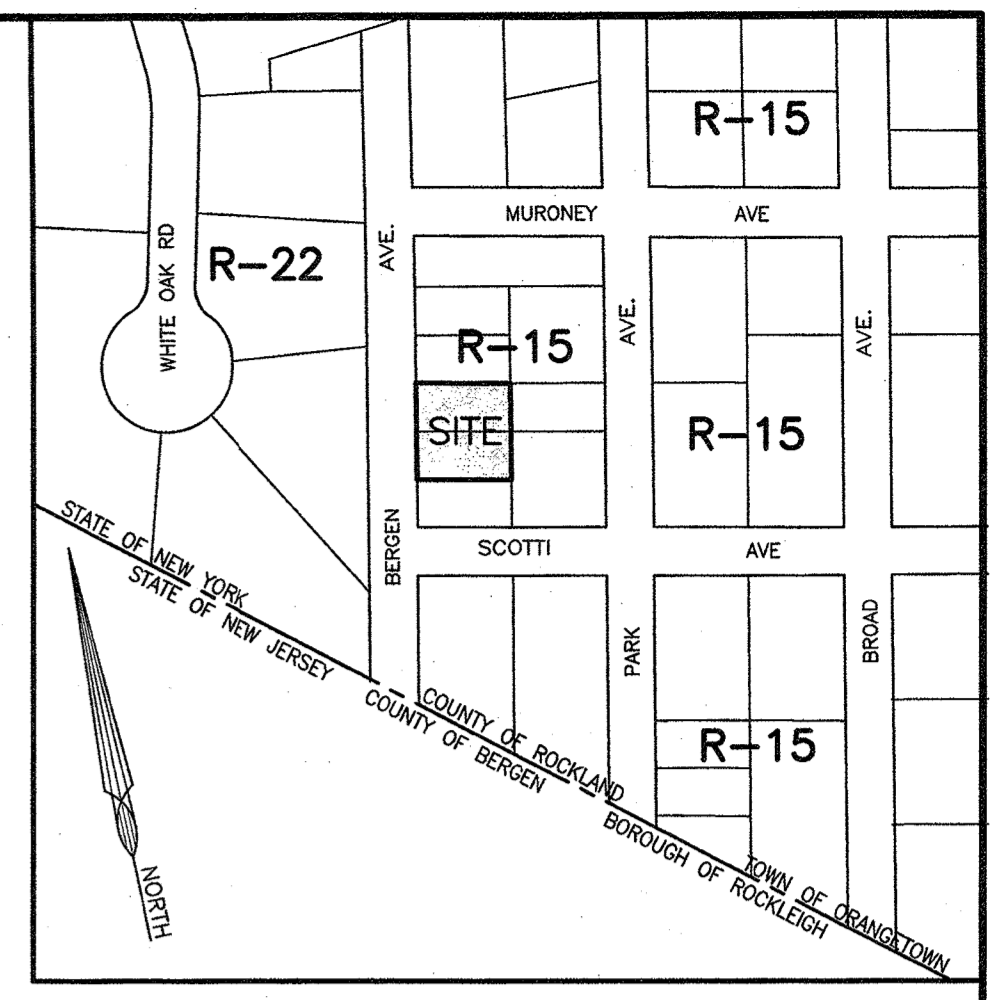


PROPOSED LEFT ELEVATION SCALE: 1/4"=1'-0"

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REVISION ISSUE FOR ZBA REVIEW ONLY - NOT FOR CONSTRUCTION	DRAWING TITLE: ELEVATIONS	PROPOSED SINGLE FAMILY HOME	DATE: NOVEMBER 16, 2020	SHEET: 2 OF 2
		FOR BBB CONSTRUCTION 98-99 BEGAN AVENUE HAMLET OF PALISADES TOWN OF ORANGETOWN, NEW YORK	Issue For ZBA REVIEW DECEMBER 4, 2020	Issue For ZBA REVIEW APRIL 3, 2021

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 www.JPerkinsArchitect.com



VICINITY MAP
SCALE: 1"=200'

NOTES:

- THIS IS A SITE PLAN OF TAX LOTS 77.20-2-85 & 86 AS SHOWN ON THE TOWN OF ORANGETOWN TAX MAPS TO BE COMBINED BY RESUBDIVISION AS TAX LOT 77.20-2-85.
- RECORD OWNER: SHEILA PRISCO
148 PARK AVENUE
PALISADES, NEW YORK 10964
- APPLICANT: GEORGE ALATSAS
17 BLUE FIELD ROAD
BLAUVELT, NEW YORK 10913
- OMITTED
- AREA = 10,000 SF TOTAL
- ZONE: R-15
- THIS PLAT DOES NOT CONFLICT WITH THE COUNTY OFFICIAL MAP, AND 8. THIS PLAT DOES NOT CONFLICT WITH THE COUNTY OFFICIAL MAP, AND HAS BEEN APPROVED IN THE MANNER SPECIFIED BY SECTION 239 L&M OF THE GENERAL MUNICIPAL LAW OF THE STATE OF NEW YORK.
- ALL UTILITIES, INCLUDING ELECTRIC AND TELEPHONE SERVICE SHALL BE INSTALLED UNDERGROUND.
- THIS PLAT IS SUBJECT TO DETAILS OF GRADING, ROADS AND UTILITIES AS SHOWN ON CONSTRUCTION PLANS APPROVED BY THE PLANNING BOARD AND FILED WITH THE TOWN CLERK. LOT DRAINAGE SHOWN ON SUCH PLANS SHALL CONSTITUTE EASEMENTS RUNNING WITH THE LAND & SHALL NOT BE DISTURBED.
- ANY EXISTING UTILITIES (POLES, HYDRANTS, ETC.) AFFECTED BY CONSTRUCTION OF THIS SITE PLAN SHALL BE RELOCATED AT THE DEVELOPERS EXPENSE PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY.
- NO BUILDING PERMIT SHALL BE ISSUED UNTIL SITE PLANS HAVE BEEN APPROVED BY ACABOR.
- NO BUILDING PERMIT SHALL BE ISSUED UNTIL RESULTS OF TEST PITS HAVE BEEN SUBMITTED TO THE BUILDING DEPT.
- OMITTED
- WATER SUPPLY: PRIVATE WELL
- DATUM: NAVD 29
- THE NEW CORNERS OF ALL LOTS SHALL BE MARKED WITH METAL RODS 3/4" IN DIAMETER & AT LEAST 30" IN LENGTH, TO BE INSTALLED AFTER FINAL GRADING.
- PLANS COMPLY WITH STORMWATER MANAGEMENT PHASE II REGULATIONS.

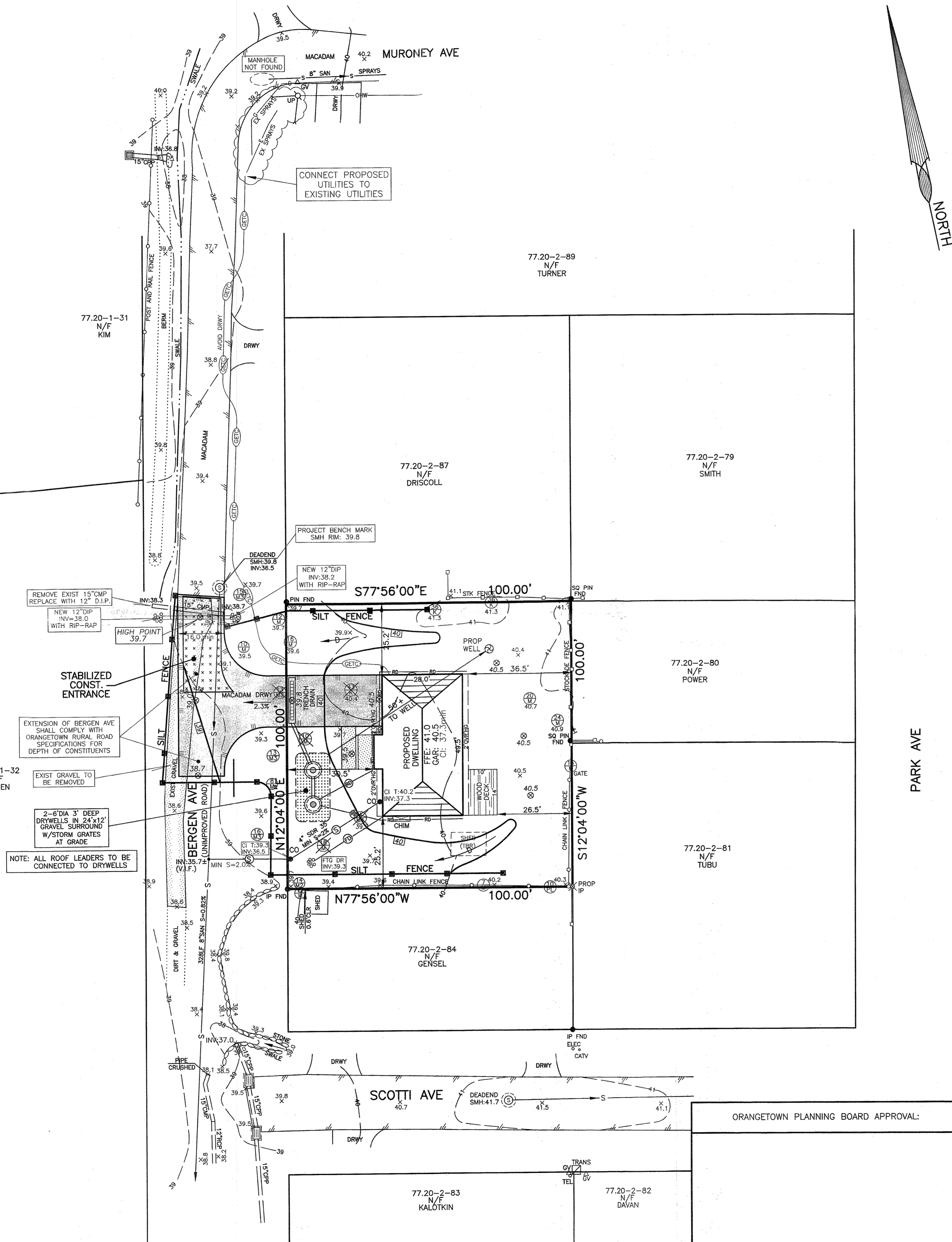
BULK TABLE - ZONE R-15

ITEM	REQUIRED	PROVIDED
MAX. FAR	0.20	0.30 *
STREET FRONTAGE	75 FT	☆ 100.0' *
MIN AREA	15,000 SF	⊕ 10,000 SF *
MIN LOT WIDTH	100'	100.0'
FRONT YARD	30 FT	30.5'
SIDE YARD	20 FT	25.2'
TOTAL SIDE YARD	50 FT	50.4'
MIN REAR YARD	35 FT	(36.5' TO BLDG) 26.5' TO DECK *
BUILDING HT.	12' / FT (MAX 30.0')	25'±

⊕ = EXISTING NON-CONFORMING
☆ = EXISTING FRONTAGE ALONG UNIMPROVED MAPPED STREET
* = VARIANCE REQUIRED

IMPERVIOUS BREAKDOWN
EXIST IMPERVIOUS AREA=100 SF
PROP IMPERVIOUS AREA=2,200 SF
AREA TO BE MITIGATED: 2,100 SF

APPROVED BY THE TOWN OF ORANGETOWN
JUL 7 2021
Town of Orangetown



- TREE LEGEND
- 12" K2 - SIZE IN INCHES (LARGEST DIA SHOWN IN TWIN/TRIPLE)
LETTER INDICATES TREE TYPE (SEE BELOW)
SECOND NUMBER (2), (3) INDICATES TWIN/TRIPLE
 - K = OAK
 - M = MAPLE
 - PL = POPLAR
 - ⊗ - TREE TO BE REMOVED

LEGEND FOR EROSION CONTROL DURING CONSTRUCTION

- CONSTRUCTION ENTRANCE DIMENSIONS 12' x 50'
- SILT FENCE

- LEGEND
- DRAINAGE INLET W/PIPES
 - DRAIN MANHOLE/ WITH PIPES
 - TOP CURB @ CATCH BASIN
 - TOP GRATE FIELD INLET
 - REINFORCED CONCRETE PIPE
 - CORRUGATED PLASTIC PIPE
 - UTILITY POLE
 - UTILITY POLE WITH LIGHT
 - WATER VALVE
 - HYDRANT
 - GAS VALVE
 - OVERHEAD WIRES
 - GAS LINE
 - GAS, ELEC, TEL
 - WATER LINE
 - CONTOUR LINE

- DISTRICTS
- SCHOOL- SOUTH ORANGETOWN
 - FIRE- PALISADES
 - LIBRARY- PALISADES
 - AMBULANCE- SOUTH ORANGETOWN
 - SEWER- ORANGETOWN
 - WATER- SUEZ NY

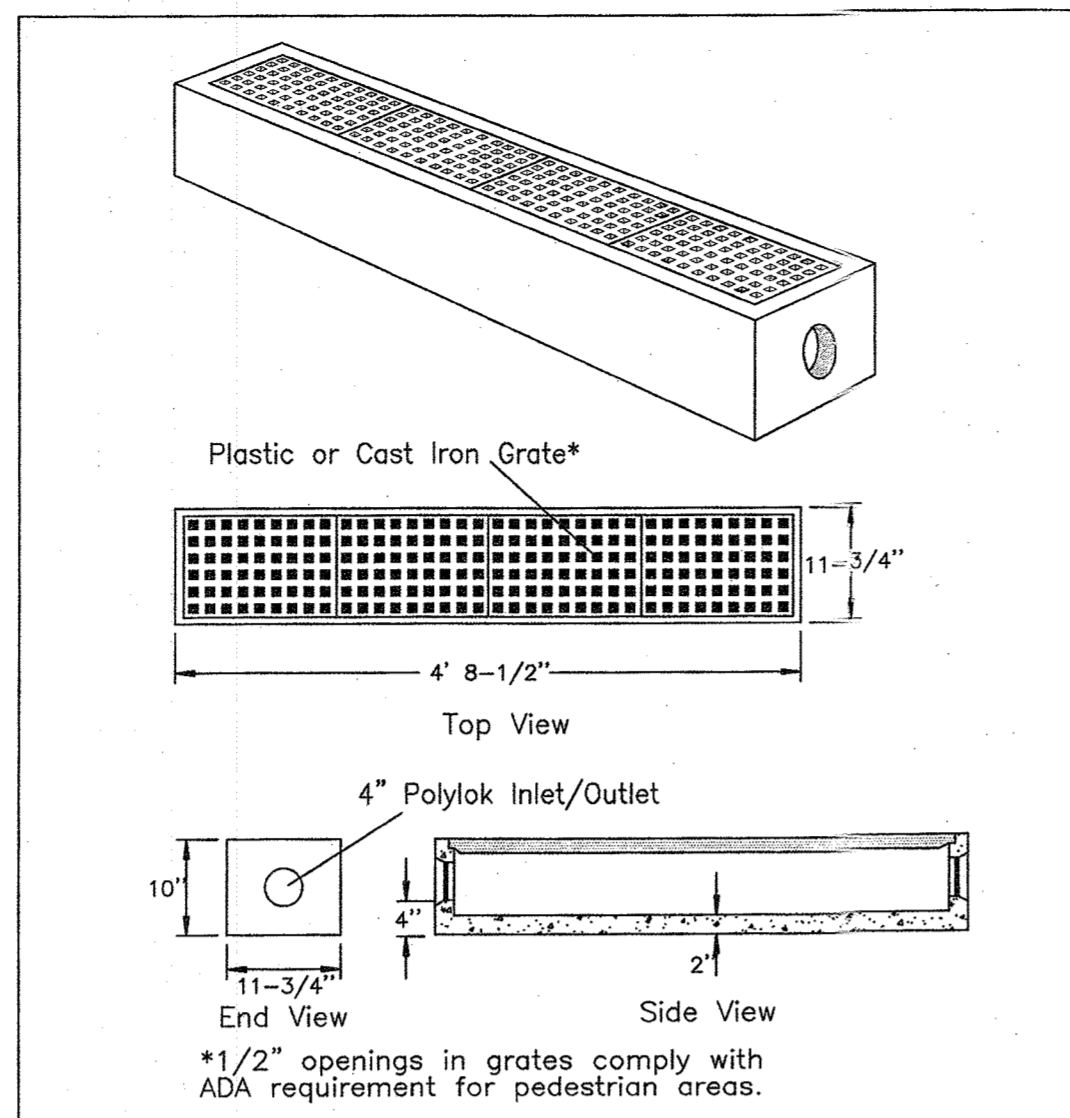
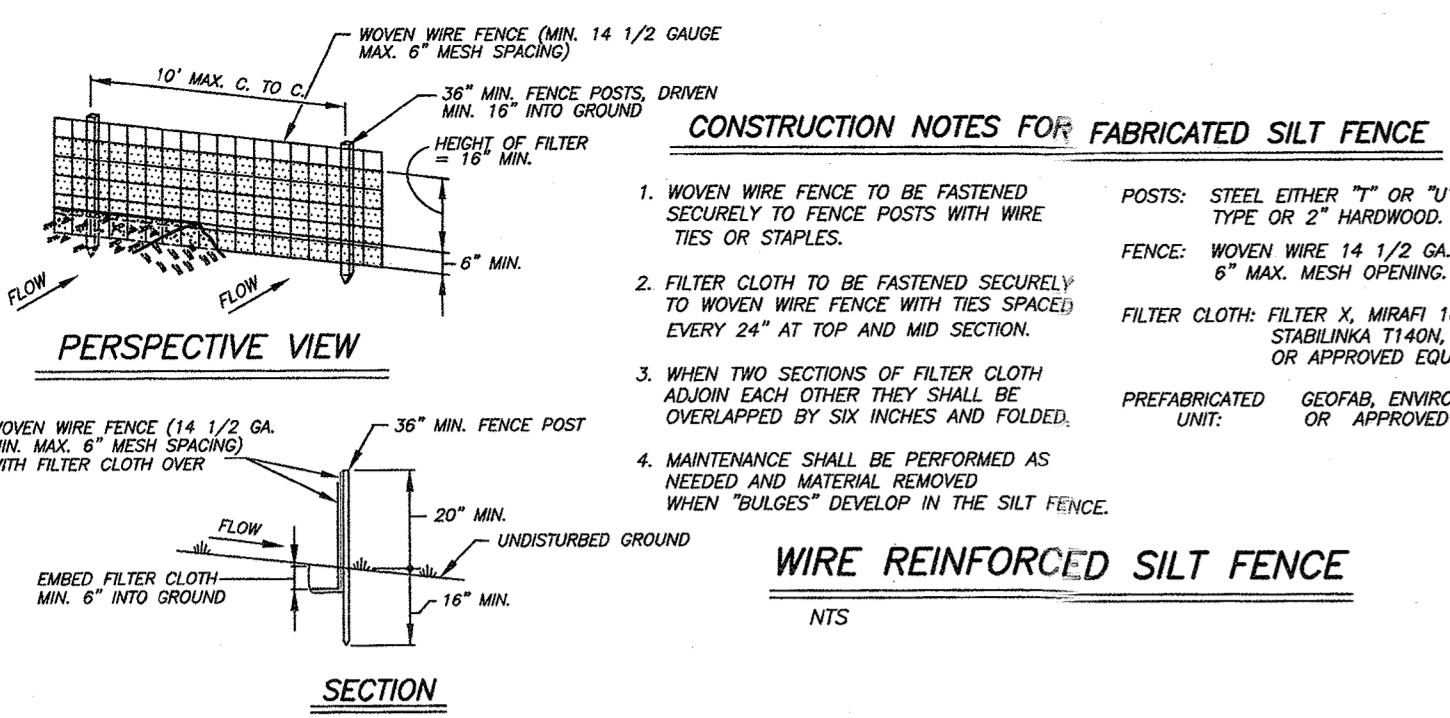
ORANGETOWN PLANNING BOARD APPROVAL:

STUART STROW P.E.
N.Y. Lic. No. 066876

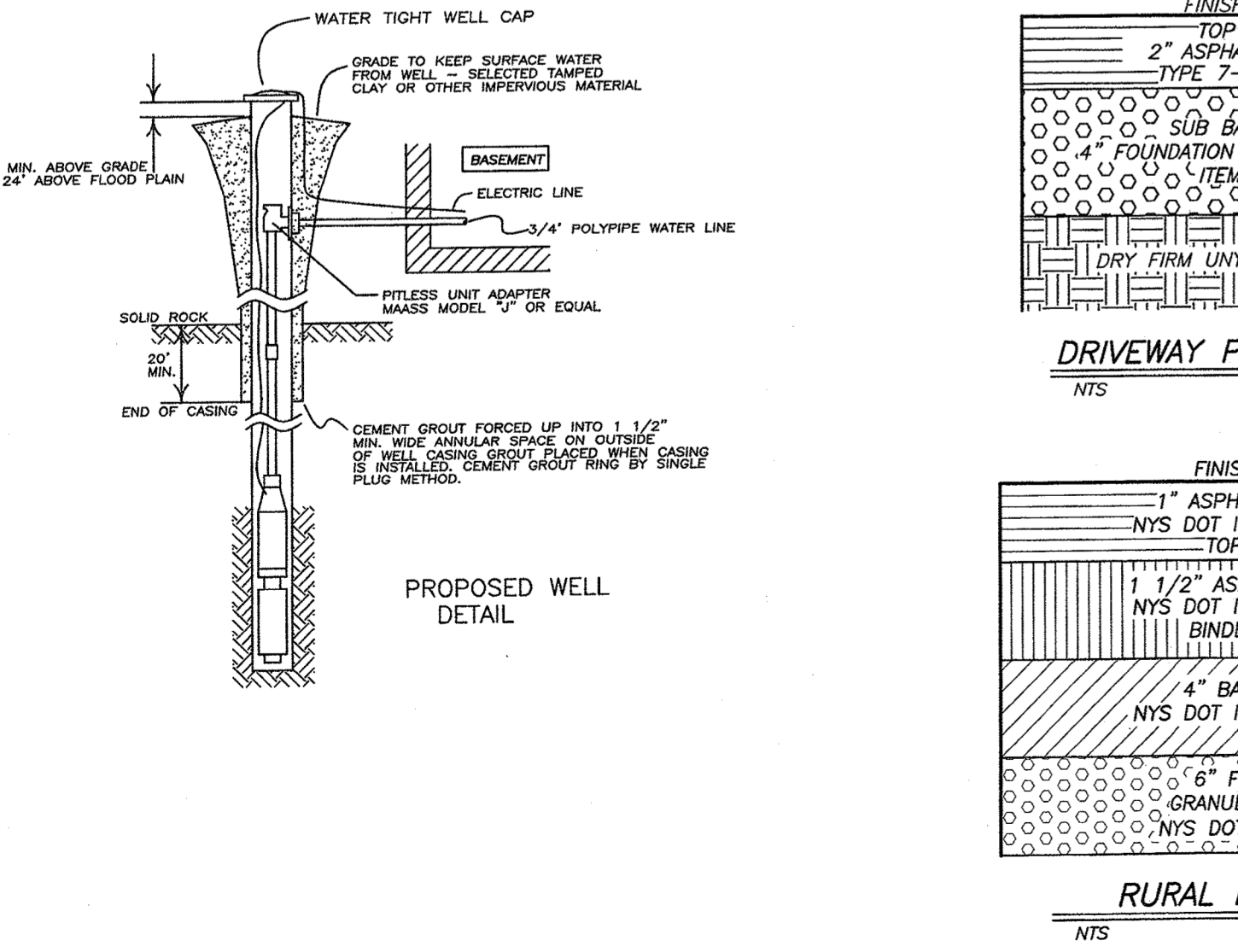
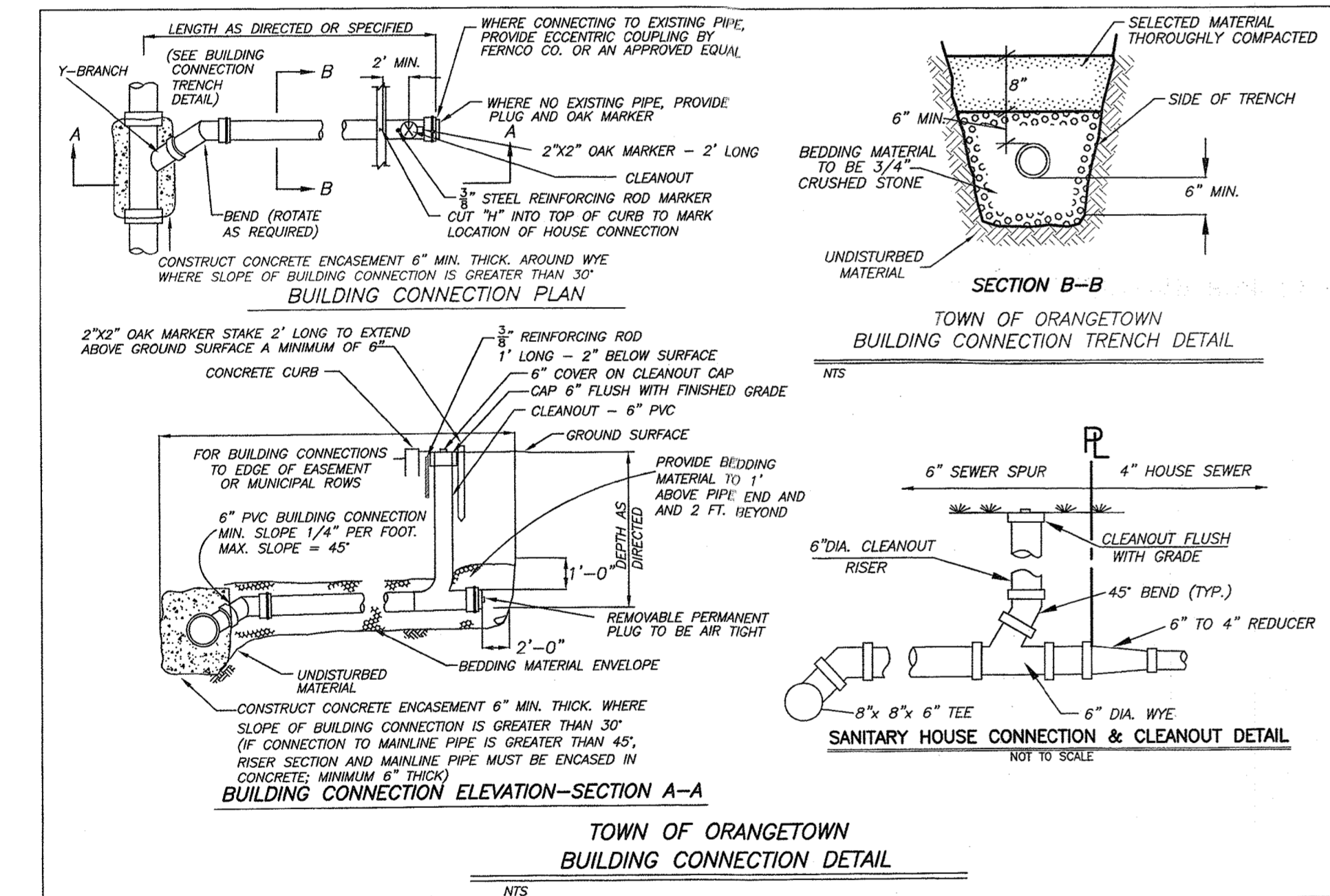
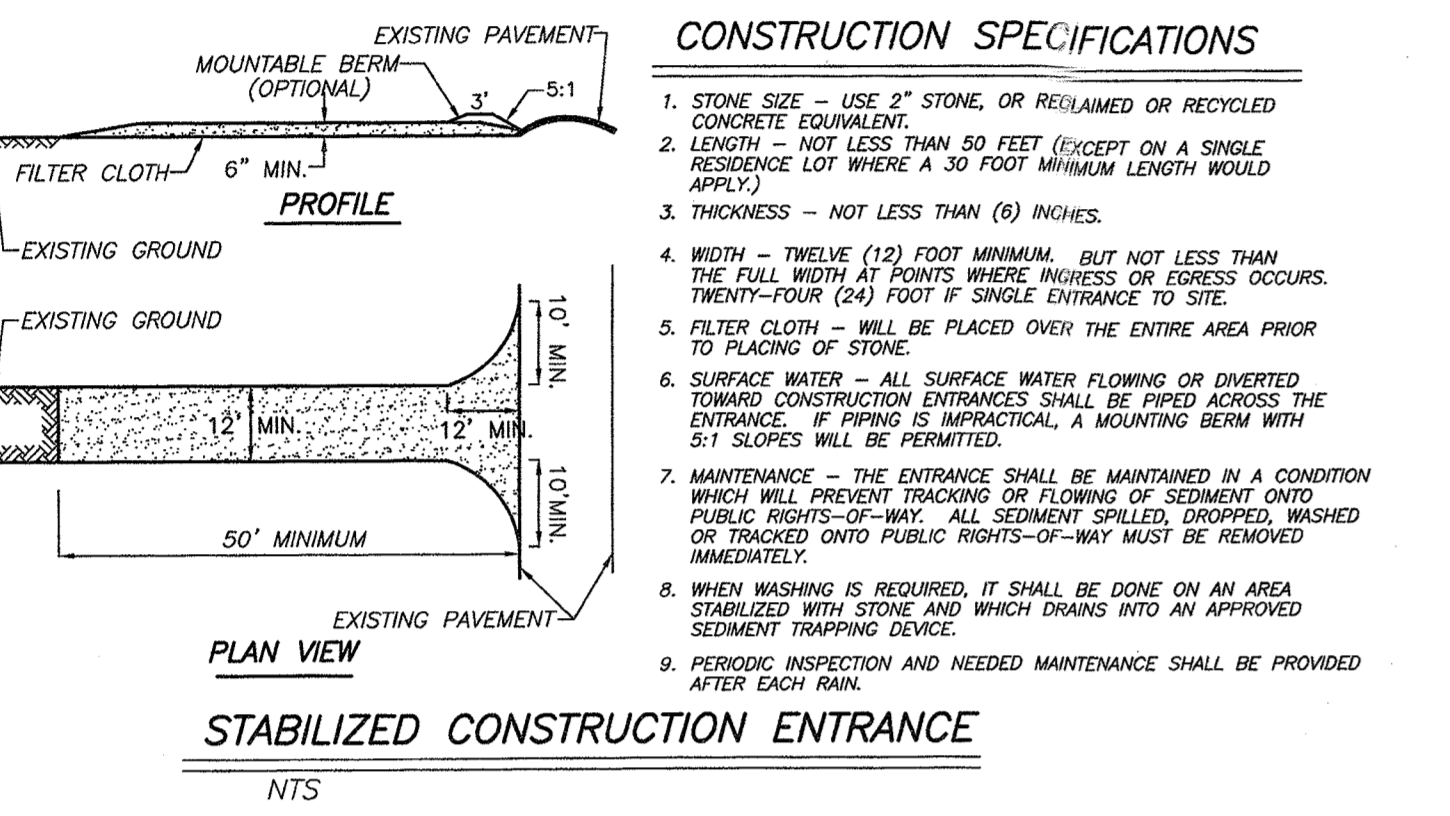
JAY A. GREENWELL, PLS, LLC
NYS LIC.# 49676

SITE PLAN FOR
ALATSAS
TOWN OF ORANGETOWN, ROCKLAND COUNTY
STATE OF NEW YORK
JAY A. GREENWELL, PLS, LLC
SURVEYING - LAND PLANNING
85 LAFAYETTE AVENUE, SUFFERN, NEW YORK, 10901
PHONE 845-357-0830 FAX 845-357-0756
© 2021 JAY A. GREENWELL, PLS, LLC

NEW TAX LOT #
77.20-2-85
AREA
10,000 SF
FILE
22044 SITE
SCALE
1"= 20'
DATE
04/12/21
JOB NO.
22044



PRECAST CATCH BASIN - MODEL TD-1X5 / TRENCH DRAIN
 SPECIFICATIONS
 Concrete Min. Strength: 4,000 psi at 28 days
 Reinforcement: Fiber, #4 Rebar
 Air Entrainment: 5%
 Pipe Connection: Polylok Seal (patented)
 Weight = 250 lbs
 Load Rating: Light Traffic
 Woodward's Concrete Products, Inc.
 629 Lybott Road, Bullville, NY 10915
 (845) 361-3471 / Fax 361-1050



<p>STUART STROW P.E. N.Y. Lic. No. 066876</p>	<p>JAY A. GREENWELL, PLS NYS Lic. # 49676</p>	DETAIL SHEET ALATSAS		NEW TAX LOT # 77.20-2-85
		TOWN OF ORANGETOWN, ROCKLAND COUNTY STATE OF NEW YORK		FILE 22044 DETAIL
		JAY A. GREENWELL, PLS, LLC SURVEYING LAND PLANNING 85 LAFAYETTE AVENUE, SUFFERN, NEW YORK, 10901 PHONE 845-357-0830 FAX 845-357-0756 © 2021 JAY A. GREENWELL, PLS, LLC		SCALE 1" = 20' DATE 04/12/2021
		JOB NO. 22044		SHEET 2