

Project: 04/26/21 - 7:37 AM By: kmcghee Product: Ver: 24.0s (LMS Tech) Concept Plan - NO VEH. CIRC & ALT.
 File: \\TRAFFIC PROJECTS\2686 Arco Design_Build\Industrial NYC\09-013T_Orangetown_NY\Dwg\Concept\268699013Concept1.dwg

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REV	DATE	COMMENTS	BY
1	04/26/21	REV. PER INSDOT COMMENTS	KMS

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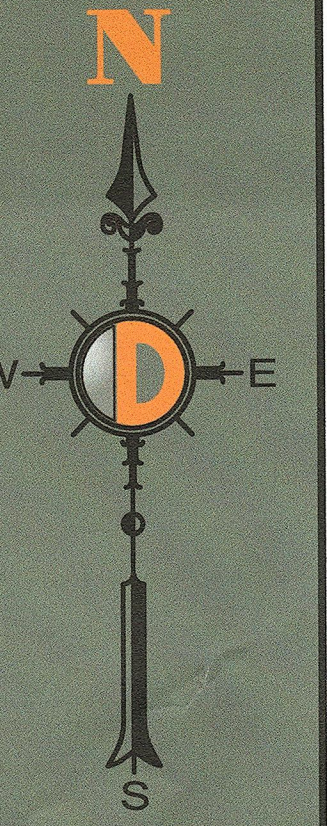
COREY M. CHASE
 PROFESSIONAL ENGINEER
 NEW YORK LICENSE No. 093631

WPT INDUSTRIAL REIT

CONCEPT PLAN
STRIPING IMPROVEMENTS
 SECTION 74.07, BLOCK 1, LOTS 2, 33 & 36
 13 MOUNTAINVIEW AVENUE
 TOWN OF ORANGETOWN, ROCKLAND COUNTY, NEW YORK

SCALE: 1"=50'	DRAWN BY: PCP	DESIGNED BY: PCP	CHECKED BY: KMS
PROJECT NUMBER: 2686-99-013T	DATE: 03/22/2021	REV. #:	1
SHEET NUMBER: 1		OF 1	

JOSEPH STAIGAR
 PROFESSIONAL ENGINEER
 NEW YORK LICENSE No. 63421



9 AL FOXIE WAY
APPROX. 144,000 SF WAREHOUSE (FEDEX-OPERATIONAL)

BIRCHWOOD LANE

700 BRADLEY HILL ROAD
REOCCUPIED 117,325 SF WAREHOUSE (UPS)

200-400 ORITANI DRIVE
PROPOSED AMAZON FACILITY

BRADLEY HILL ROAD

HUDSON RIVER

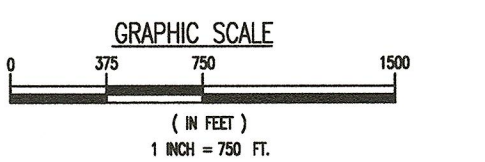
GLENSHAW STREET
APPROX. 111,000 SF WAREHOUSE

GLENSHAW STREET

MOUNTAIN VIEW AVENUE

SITE

125 AND 155 GREENBUSH ROAD
PROPOSED 543,000 SF WAREHOUSE



FOR SKETCH PURPOSES ONLY

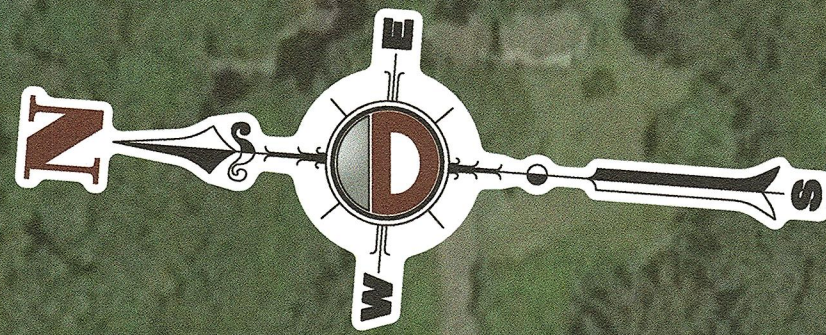
DYNAMIC TRAFFIC, LLC
245 Main Street, Suite 110
Chester, NJ 07930
T: 908.879.9229 | F: 908.879.0222

ADJACENT DEVELOPMENTS EXHIBIT
03/22/2021
1" = 750'

WPT INDUSTRIAL REIT
PROPOSED WAREHOUSE
SECTION 7A.07, BLOCK 1, LOTS 33 & 36
13 MOUNTAIN VIEW AVENUE
TOWN OF ORANGETOWN, ROCKLAND COUNTY, NEW YORK

PREPARED BY:
KSAVAGE@DYNAMICTRAFFIC.COM

DYNAMIC PROJECT NUMBER: 2686-99-013T



LIO ZONE

CC ZONE

LI ZONE

LO ZONE

R-15 ZONE

R-40 ZONE

NY ROUTE 303

MOUNTAINVIEW AVENUE

BLOCK 1, LOT 2
N/F LANDS OF
EASTCOAST BLR 1993 LLC
INSTRUMENT NO.
2019-00020589

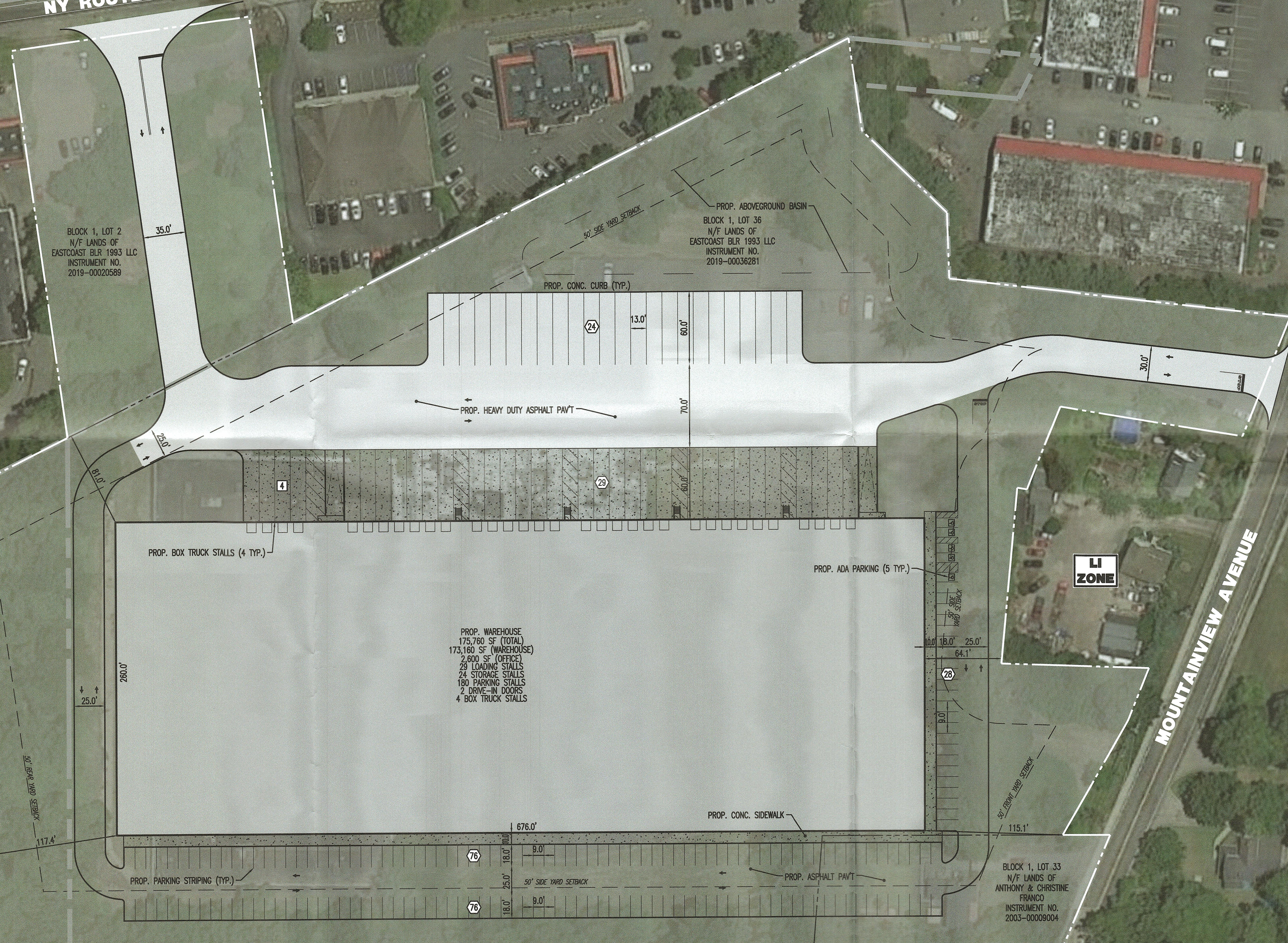
PROP. ABOVEGROUND BASIN
BLOCK 1, LOT 35
N/F LANDS OF
EASTCOAST BLR 1993 LLC
INSTRUMENT NO.
2019-00036281

BLOCK 1, LOT 33
N/F LANDS OF
ANTHONY & CHRISTINE
FRANCO
INSTRUMENT NO.
2003-00009004

PROP. BOX TRUCK STALLS (4 TYP.)

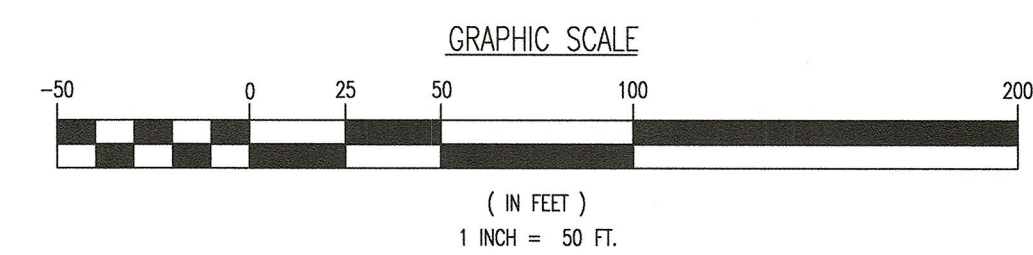
PROP. ADA PARKING (5 TYP.)

PROP. WAREHOUSE
175,760 SF (TOTAL)
173,160 SF (WAREHOUSE)
2,600 SF (OFFICE)
23 LOADING STALLS
24 STORAGE STALLS
180 PARKING STALLS
2 DRIVE-IN DOORS
4 BOX TRUCK STALLS



GENERAL NOTES

- THIS PLAN HAS BEEN PREPARED BASED ON REFERENCES INCLUDING:
SURVEY OF PROPERTY
JAY A. GREENWELL, PLS
85 LAFAYETTE AVENUE
SUFFERN, NY 10901
SURVEYOR FILE NO. 21926
 - APPLICANT: ARCO DESIGN/BUILD INDUSTRIAL
44 SOUTH BROADWAY, SUITE 7003
WHITE PLAINS, NY 10607
 - OWNER: TBD
 - PARCEL DATA: SECTION 74.07, BLOCK 1, LOTS 2, 33 & 36
TOWN OF ORANGETOWN
ROCKLAND COUNTY, NEW YORK
 - ZONE: LIGHT INDUSTRIAL DISTRICT (LI ZONE)
RETAIL COMMERCE DISTRICT (CC ZONE)
LABORATORY OFFICE DISTRICT (LO ZONE)
 - EXISTING USE: RELIGIOUS USE (**NON-PERMITTED USE**) (§ 43-3.1)
 - PROPOSED USE: WAREHOUSE (**PERMITTED USE**) (LI ZONE) (§ 43-3.1)
 - SCHEDULE OF ZONING REQUIREMENTS (§ SECTION NUMBER)
- | ZONE REQUIREMENT | LI ZONE | EXISTING | PROPOSED |
|-----------------------------|--|-----------------------|-----------------------|
| MINIMUM LOT AREA | 2 Ac. | 546,826 SF (12.55 AC) | 546,826 SF (12.55 AC) |
| MINIMUM LOT FRONTAGE | 150 FT | 403.6 FT | 403.6 FT |
| MINIMUM LOT WIDTH | 150 FT | 522.6 FT | 522.6 FT |
| MINIMUM FRONT YARD | 50 FT | 395.8 FT | 115.1 FT |
| MINIMUM REAR YARD | 50 FT | 142.3 FT | 117.4 FT |
| MINIMUM SIDE YARD | 50 FT | 50.7 FT | 64.1 FT |
| MAXIMUM BUILDING HEIGHT | 6 INCHES/FOOT FROM FRONT LOT LINE* (57.6 FT) | < 50 FT | < 57.6 FT |
| MAXIMUM FLOOR AREA RATIO | 0.50 | 0.19 | 0.32 |
| MAXIMUM IMPERVIOUS COVERAGE | 80% | 48.9% (267,392 SF) | 51.37% (313,417 SF) |
- * 1/2 OF FRONT YARD SETBACK
- N/S: NO STANDARD N/A: NOT APPLICABLE (E): EXISTING NON-CONFORMANCE (V): VARIANCE
 - PARKING REQUIREMENTS
 - A. A PARKING SPACE SHALL BE CONSIDERED A SPACE NINE FEET WIDE AND 18 FEET LONG, EXCLUSIVE OF STANDING AREA AND AISLES FOR MANEUVERING. (§ 43-6.34)
 - B. AISLE WIDTH SHALL NOT BE LESS THAN 20 FEET FOR 60° OR 22 FEET FOR 90° PARKING. (§ 43-6.34)
 - C. OFF-STREET PARKING SPACES SHALL BE SO LAID OUT THAT IT SHALL NOT BE NECESSARY FOR A VEHICLE PARKED THEREON TO BACK INTO ANY PUBLIC HIGHWAY. (§ 43-6.33)
 - D. WAREHOUSE USES SHALL PROVIDE ONE (1) PARKING SPACE FOR EVERY TWO (2) EMPLOYEES, OR ONE (1) PARKING SPACE PER 300 FEET OF GROSS FLOOR AREA (§ 43-3.1) $(175,760 \text{ SF}) \div (1 \text{ PARKING SPACE} / 300 \text{ SF}) = 586 \text{ SPACES REQUIRED}$
 $180 \text{ SPACES PROPOSED (V)}$
 - LOADING REQUIREMENTS
 - A. LOADING BERTHS SHALL BE AT LEAST 12 FEET WIDE AND 45 FEET LONG, WITH A CLEAR HEIGHT OF 15 FEET. (§ 43-6.42)
 - B. UNOBSTRUCTED ACCESS TO REQUIRED LOADING BERTHS, AT LEAST 12 FEET WIDE, TO AND FROM A STREET SHALL BE PROVIDED. SUCH ACCESS MAY BE COMBINED WITH ACCESS TO A PARKING LOT, PROVIDED THAT SAID DRIVEWAY HAS A MINIMUM WIDTH OF 25 FEET. (§ 43-6.43)
 - C. FOR MANUFACTURING, WHOLESALE AND STORAGE USES AND FOR DRY-CLEANING AND RUG-CLEANING ESTABLISHMENTS AND LAUNDRIES, ONE LOADING BERTH SHALL BE PROVIDED FOR EACH 10,000 SQUARE FEET OF FLOOR AREA OR LESS AND ONE ADDITIONAL BERTH FOR EACH ADDITIONAL 20,000 SQUARE FEET OF FLOOR AREA, OR MAJOR FRACTION THEREOF, SO USED. (§ 43-6.41) $1 + (165,760 \text{ SF}) \div (1 \text{ LOADING SPACE} / 20,000 \text{ SF}) = 10 \text{ SPACES REQUIRED}$
 $29 \text{ SPACES PROPOSED}$
 - DRIVEWAY REQUIREMENTS
 - A. UNOBSTRUCTED ACCESS TO AND FROM STREETS SHALL BE PROVIDED. SUCH ACCESS SHALL CONSIST OF NOT MORE THAN ONE TWENTY-FOOT LANE FOR PARKING AREA WITH LESS THAN 20 SPACES AND NOT MORE THAN FOUR TWENTY-FOOT LANES FOR PARKING AREAS WITH 20 SPACES OR MORE, EXCEPT ALONG STATE HIGHWAYS THE WIDTH OF ACCESS SHALL NOT EXCEED 35 FEET. (§ 43-6.35)
 - B. NO ENTRANCE OR EXIT FOR ANY ACCESSORY OFF-STREET PARKING AREA WITH OVER 10 PARKING SPACES, NOR ANY LOADING BERTH, SHALL BE LOCATED WITHIN 50 FEET OF THE INTERSECTION OF ANY TWO STREET LINES. (§ 43-6.51)
 - C. ACCESS LANES SHALL BE SEPARATED FROM ANY OTHER ACCESS LANE BY CURBING OF SUFFICIENT HEIGHT TO PREVENT TRAFFIC OVER THE SAME AND SEPARATING THE ACCESS LANES BY A DISTANCE OF AT LEAST 50 FEET. (§ 43-6.36)
 - BUFFER REQUIREMENTS
 - A. WHERE THE SIDE OR REAR LOT LINE OF A LOT IN THE LI DISTRICT ADJAINS OR LIES WITHIN TWENTY-FIVE (25) FEET OF ANY R DISTRICT, A 100 FOOT WIDE BUFFER SHALL BE REQUIRED. (§ CHAPTER 43 ATTACHMENT 18)



THIS PLAN SET IS FOR PERMITTING PURPOSES ONLY AND MAY NOT BE USED FOR CONSTRUCTION

DYNAMIC ENGINEERING
LAND DEVELOPMENT CONSULTING • PERMITTING • GEOTECHNICAL • ENVIRONMENTAL • SURVEY • PLANNING & ZONING

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T: 518.274.0138
F: 518.274.0521
www.dynamiceng.com

TITLE: **CONCEPTUAL SITE PLAN 'A'**

PROJECT: **ARCO DESIGN BUILD INDUSTRIAL**
PROPOSE WAREHOUSE
SECTION 74.07, BLOCK 1, LOTS 2, 33 & 36
13 MOUNTAINVIEW AVENUE
TOWN OF ORANGETOWN, ROCKLAND COUNTY, NEW YORK

JOB No: 2686-99-013 DATE: 12/18/2020

DRAWN BY: RAU SCALE: (H) 1"=50'
DESIGNED BY: KCK (V)

CHECKED BY: JMS SHEET No:

CHECKED BY: -

JOHN A. PALUS **JOSHUA M. SEWALD**

PROFESSIONAL ENGINEER PROFESSIONAL ENGINEER
NEW YORK LICENSE No. 087602 NEW YORK LICENSE No. 097639

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1 OF 1
Rev. # 1

Plotbook: 04/21/21 - 3:15 PM - R: Ref: arcosubmitt - Product: Ver: 24.0s (LMS Tech) -
 File: P:\ARCO\PROJECTS\2686 ARCO Design - Build Industrial\NYC\99-013 Orangetown, NY\Dwg\Concept\0268699013CA1.dwg, ----> CONCEPTUAL SITE PLAN 'A'
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