

VICINITY MAP
 SCALE: 1 IN = 100 FT.
 DENOTES FIRE HYDRANT LOCATION

DRAWING LIST

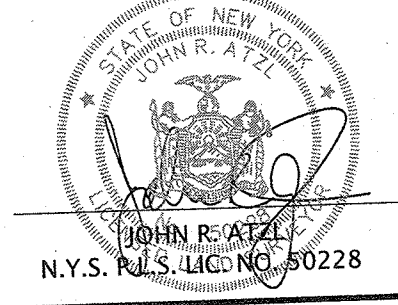
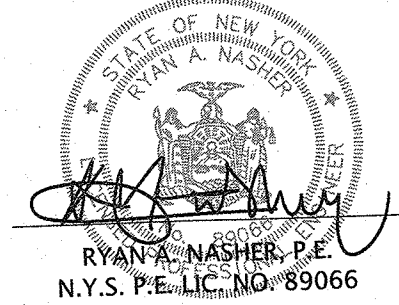
DRAWING No.	TITLE
DRAWING 1	EXISTING SITE
DRAWING 2	SITE DEVELOPMENT PLAN
DRAWING 3	EROSION AND SEDIMENT CONTROL PLAN
DRAWING 4	DETAILS

LEGEND

- 362 --- EXISTING 2' CONTOUR
- 360 --- EXISTING 10' CONTOUR
- CBG EXISTING CATCH BASIN GRATE
- + 360.0 EXISTING SPOT ELEVATION
- UP EXISTING UTILITY POLE
- EXISTING WOOD FENCE
- EXISTING RAILROAD TIE RETAINING WALL



UNAUTHORIZED ALTERATIONS OR ADDITIONS TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S EMBOSSED SEAL IS A VIOLATION OF SECTION 7209, SUBDIVISION 2, OF THE NEW YORK STATE EDUCATION LAW. ONLY COPIES FROM THE ORIGINAL TRACING OF THIS SURVEY MAP MARKED WITH THE LAND SURVEYOR'S EMBOSSED SEAL SHALL BE CONSIDERED TO BE VALID TRUE COPIES.



REVISION	DATE	DESCRIPTION
7	4-5-21	PER PB SUBMISSION
6	8-7-20	REMOVE MIDDLE RET. WALL
5	7-2-20	REMOVE PROP. GARAGE & EAST RET. WALL
4	2-10-20	RESUBMISSION
3	8-29-19	ADD PROPOSED FINISHED GRADES
2	7-18-19	REVISED SUBMISSION
1	6-16-17	REV. BULK TABLE FOR ZBA SUBMISSION

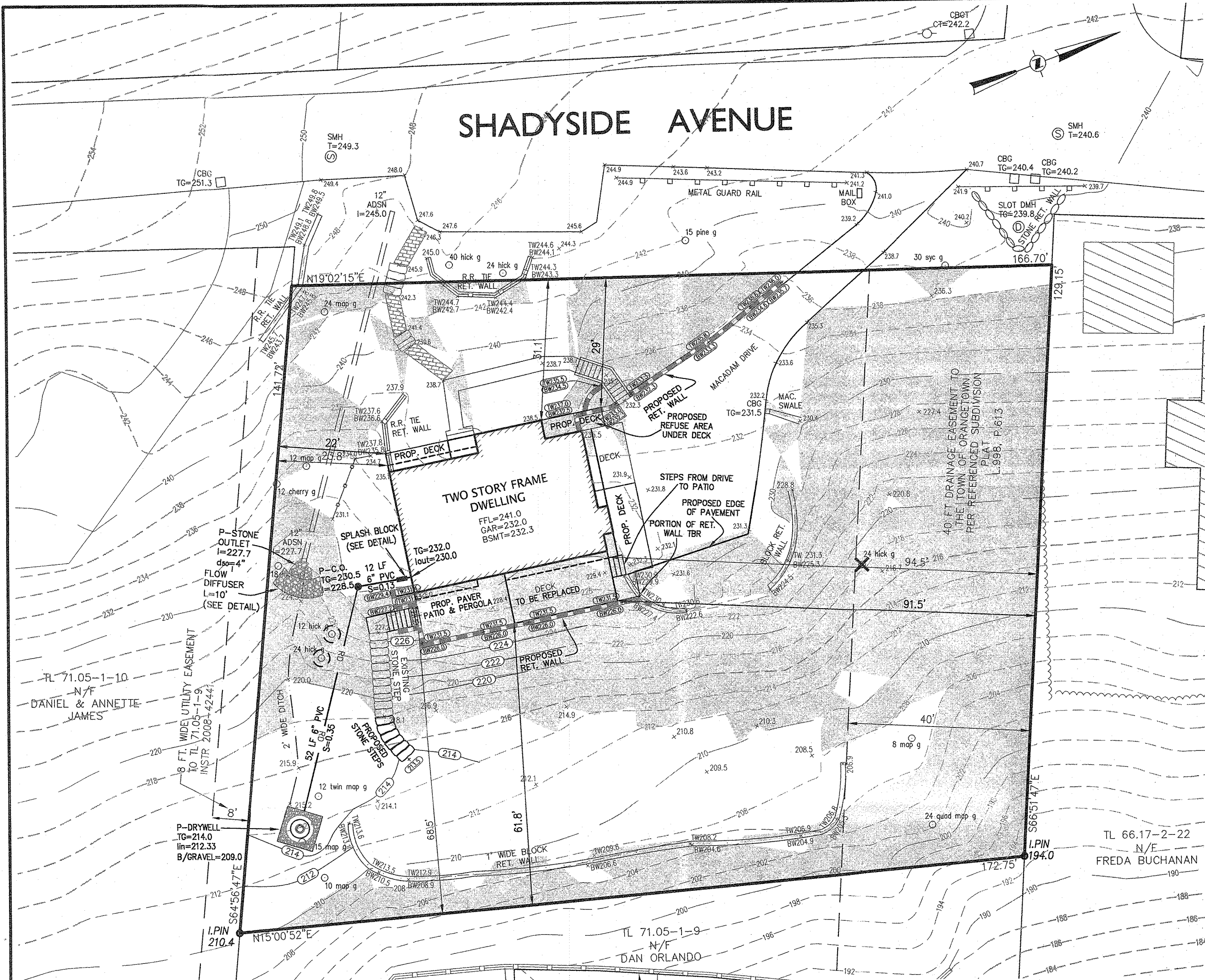
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PROJECT:
MANDELL RESIDENCE

TOWN OF ORANGETOWN
 ROCKLAND COUNTY, NEW YORK

TITLE:
EXISTING SITE

DRAWN BY: LF	CHECKED BY: JRA
DATE: APRIL 17, 2017	SCALE: 1 IN. = 20 FT.
PROJECT NO: 4326	DRAWING NO: 1



NOTES:

- PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL FOLLOW UNDERGROUND UTILITIES CALL CENTER GUIDELINES.
- ALL UTILITIES, INCLUDING ELECTRIC AND TELEPHONE SERVICE SHALL BE INSTALLED UNDERGROUND.
- NO BUILDING PERMIT WILL BE ISSUED UNTIL SEWAGE DISPOSAL ARRANGEMENTS HAVE BEEN APPROVED BY THE ROCKLAND COUNTY HEALTH DEPARTMENT AND/OR THE TOWN OF ORANGETOWN.
- LOT DRAINAGE ON THIS PLAN SHALL CONSTITUTE EASEMENTS RUNNING WITH THE LAND AND SHALL NOT BE DISTURBED.
- ANY EXISTING UTILITIES (POLES, HYDRANTS, ETC.) AFFECTED BY CONSTRUCTION OF THIS SITE PLAN SHALL BE RELOCATED AT THE DEVELOPERS EXPENSE PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY.
- NO OPEN BURNING DURING CONSTRUCTION WITHOUT SPECIFIC PERMISSION FROM NEW YORK STATE DEPARTMENT OF HEALTH.
- DATUM: U.S.G.S.—BENCHMARK—CBG WEST SIDE ROUTE 9W, 75± FT. SOUTH OF SITE.
- NO BUILDING PERMIT SHALL BE ISSUED UNTIL RESULTS OF TEST PITS HAVE BEEN SUBMITTED TO THE BUILDING DEPARTMENT.
- DURING THE COURSE OF CONSTRUCTION, ALL STORM DRAIN INLETS SHALL BE PROTECTED WITH A HAY BALE FILTER (SEE DETAIL).
- ALL AREAS DISTURBED BY ONSITE GRADING SHOULD BE LIMED AND FERTILIZED PRIOR TO SEEDING.
- THE NEW CORNERS OF ALL LOTS SHALL BE MARKED WITH METAL RODS 3/4" IN DIAMETER, AND AT LEAST 30" IN LENGTH (TO BE INSTALLED AFTER FINAL GRADING). SAID PINS SHOWN THIS:
- THIS SITE PLAN IS SUBJECT TO DETAILS OF GRADING, ROADS AND UTILITIES AS SHOWN ON CONSTRUCTION DRAWINGS APPROVED BY THE PLANNING BOARD AND FILED WITH THE TOWN CLERK.
- SIDEWALKS AND CURBS SHALL BE INSTALLED IN ACCORDANCE WITH HIGHWAY DEPARTMENT SPECIFICATIONS.
- TEMPORARY SEDIMENT ENTRAPMENT AREAS SHALL BE PROVIDED AS SHOWN TO INTERCEPT AND CLARIFY SILT LADEN RUNOFF FROM THE SITE. THESE MAY BE EXCAVATED OR MAY BE CREATED UTILIZING EARTHEN BERMS, RIP-RAP OR CRUSHED STONE DAMS, HAY BALES, OR OTHER SUITABLE MATERIALS. DIVERSION SWALES, BERMS OR THE CHANNELIZATION SHALL BE CONSTRUCTED TO INSURE THAT ALL SILT LADEN WATERS ARE DIRECTED INTO THE ENTRAPMENT AREAS, WHICH SHALL NOT BE PERMITTED TO FILL IN, BUT SHALL BE CLEANED PERIODICALLY DURING THE COURSE OF CONSTRUCTION. THE COLLECTED SILT SHALL BE DEPOSITED IN AREAS SAFE FROM FURTHER EROSION.
- ALL DISTURBED AREAS, EXCEPT ROADWAYS, WHICH WILL REMAIN UNFINISHED FOR MORE THAN THIRTY (30) DAYS SHALL BE TEMPORARILY SEEDDED WITH 1/2 LB. OF RYE GRASS OR MULCH WITH 100 LBS. OF STRAW OR HAY PER 1,000 SQUARE FEET. ROADWAYS SHALL BE STABILIZED AS RAPIDLY AS PRACTICABLE BY THE INSTALLATION OF THE BASE COURSE.
- SILT THAT LEAVES THE SITE IN SPITE OF THE REQUIRED PRECAUTIONS SHALL BE COLLECTED AND REMOVED AS DIRECTED BY APPROPRIATE MUNICIPAL AUTHORITIES.
- AT THE COMPLETION OF THE PROJECT ALL TEMPORARY SILTATION DEVICES SHALL BE REMOVED AND THE AFFECTED AREAS REGRADED, PLANTED, OR TREATED IN ACCORDANCE WITH THE APPROVED SITE PLANS.
- PERMANENT VEGETATION COVER SPECIFICATIONS:
LAWN AREA - PER 1,000 S.F.
15 LBS. 10-6-4 50% SLOW RELEASE FERTILIZER
70 LBS. GRANULATE LIMESTONE
4 LBS. SEED MIXTURE
40% KENTUCKY BLUE
40% RED FESCUE
20% PERENNIAL RYEGRASS
- THIS PLAN DOES NOT CONFLICT WITH THE COUNTY OFFICIAL MAP AND HAS BEEN APPROVED IN THE MANNER SPECIFIED BY SECTION 239 L&M OF THE GENERAL MUNICIPAL LAW.
- CERTIFICATE OF OCCUPANCY SHALL NOT BE REQUESTED FROM THE TOWN OF ORANGETOWN BUILDING DEPARTMENT UNTIL RESULTS OF INFILTRATION AND EXFILTRATION TESTS FOR SANITARY SEWERS ARE CERTIFIED BY A NEW YORK STATE LICENSED PROFESSIONAL ENGINEER AND APPROVED BY THE DIRECTOR, DIVISION OF SEWERS.
- AT LEAST ONE WEEK PRIOR TO THE COMMENCEMENT OF ANY WORK, INCLUDING THE INSTALLATION OF EROSION CONTROL DEVICES OR THE REMOVAL OF TREES AND VEGETATION, A PRECONSTRUCTION MEETING MUST BE HELD WITH THE TOWN OF ORANGETOWN DEPARTMENT OF ENVIRONMENTAL MANAGEMENT AND ENGINEERING, SUPERINTENDENT OF HIGHWAYS AND THE OFFICE OF BUILDING, ZONING AND PLANNING ADMINISTRATION AND ENFORCEMENT. IT IS THE RESPONSIBILITY AND OBLIGATION OF THE PROPERTY OWNER TO ARRANGE SUCH A MEETING.

LOT AREA CALCULATION:

GROSS AREA	- 50% OF 25%+ SLOPE	NET AREA
22,790 SQ.FT.	6,300 SQ.FT.	16,490 SQ.FT.

OWNER & APPLICANT

EDUARD MANDELL
26 SHADYSIDE AVE.
NYACK, NY 10960

TAX MAP REFERENCE

TOWN OF ORANGETOWN
SECTION 71.05, BLOCK 1, LOT 8

LOT AREA:

22,790 SQ.FT. (GROSS)
(NET)

SUBDIVISION REFERENCE:

SUBDIVISION ENTITLED "MARK VANDERBILT" FILED IN ROCKLAND COUNTY CLERK'S OFFICE ON FEBRUARY 20, 1973, BOOK 85, PAGE 26, MAP NO. 4373.

SLOPE LEGEND:

SLOPE = 25%+

TREE LEGEND

- DENOTES TREE TO REMAIN
- X DENOTES TREE TO BE REMOVED
- DENOTES TREE PROTECTION

DISTRICTS:

- SCHOOL DISTRICT - NYACK UNION FREE
- SCHOOL DISTRICT - SCHOOL DISTRICT
- FIRE DISTRICT - UPPER GRANDVIEW
- WATER DISTRICT - UPPER GRANDVIEW
- SEWER DISTRICT - ORANGETOWN SEWER DISTRICT
- LIGHTING DISTRICT - UPPER GRANDVIEW

EXISTING IMPERVIOUS COVERAGE TABLE:

BUILDING:	1,232 SQ. FT.
MACADAM PAVEMENT:	1,492 SQ. FT.
PATIO, STEPS & WALK:	354 SQ. FT.
RETAINING WALLS:	298 SQ. FT.
TOTAL COVERAGE:	3,376 SQ. FT.

PROPOSED IMPERVIOUS COVERAGE TABLE:

BUILDING:	1,232 SQ. FT.
MACADAM PAVEMENT:	1,649 SQ. FT.
PATIO, STEPS & WALK:	917 SQ. FT.
RETAINING WALLS:	305 SQ. FT.
TOTAL COVERAGE:	4,103 SQ. FT.

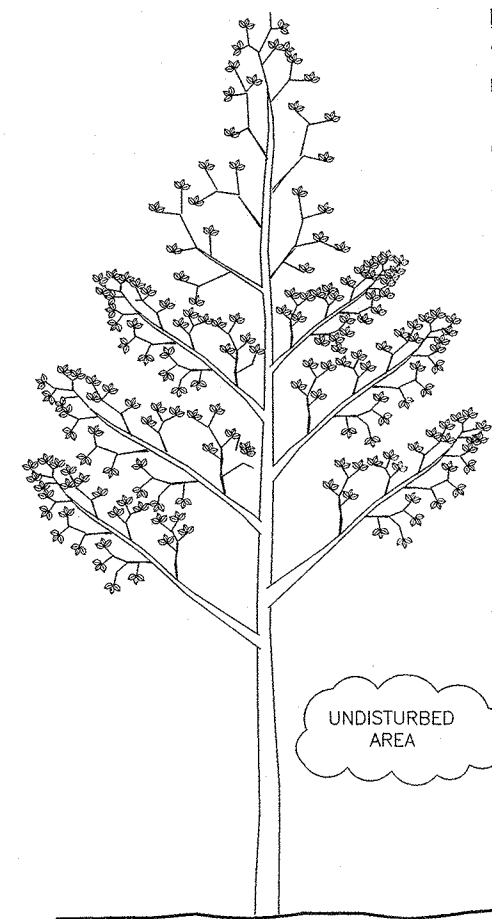
BULK REQUIREMENTS:

ZONE R-22	USE GROUP "I"	REQUIRED	EXISTING	PROPOSED
MAXIMUM FLOOR AREA RATIO		0.20	0.15	0.15
MINIMUM LOT AREA		22,500 SQ.FT.	22,790 SQ.FT. G 16,490 SQ.FT. N *	22,790 SQ.FT. G 16,490 SQ.FT. N *
MINIMUM LOT WIDTH		125 FT.	166 FT.	166 FT.
MINIMUM STREET FRONTAGE		75 FT.	168 FT.	168 FT.
MINIMUM FRONT YARD		40 FT.	31.1 FT. *	29 FT. **
MINIMUM SIDE YARD		25 FT.	23.8 FT. *	22 FT. **
MINIMUM TOTAL SIDE YARD		60 FT.	119.1 FT.	113.5 FT.
MINIMUM REAR YARD		45 FT.	61.8 FT.	70 FT. GARAGE
MAXIMUM BUILDING HEIGHT		9 IN./FT. FROM DESIGNATED STREET LINE	29 FT.	29 FT. TO HIGHEST POINT OF ROOF

* EXISTING NON-COMFORMING
** VARIANCE GRANTED BY ZONING BOARD OF APPEALS ON JUNE 17, 2020, AS ZBA#20-25.

LEGEND

- 362 --- EXISTING 2' CONTOUR
- 360 --- EXISTING 10' CONTOUR
- CBG EXISTING CATCH BASIN GRATE
- + 360.0 EXISTING SPOT ELEVATION
- UP EXISTING UTILITY POLE
- — — EXISTING WOOD FENCE
- — — EXISTING RAILROAD TIE RETAINING WALL
- — — PROPOSED CONTOUR
- — — PROPOSED ROOF DRAIN
- — — PROPOSED SILT FENCE
- — — PROPOSED RETAINING WALL



NOTES:

- NO CONSTRUCTION EQUIPMENT SHALL BE PARKED UNDER THE TREE CANOPY.
- THERE WILL BE NO EXCAVATION OR STOCKPILING OF EARTH UNDERNEATH THE TREES.
- TREES TO BE PRESERVED SHALL BE MARKED CONSPICUOUSLY ON ALL SIDES.
- TREES TO BE SAVED ARE TO BE PROTECTED WITH A 4 FOOT HIGH ORANGE SNOW FENCE PLACED AT THE DRIP LINE OR AT 80% CRITICAL ROOT MASS WHICHEVER IS GREATER.
- NO EARTH FILLS GREATER THAN 6" IN DEPTH WILL BE MADE BENEATH TREES TO BE PRESERVED.
- IN FILL AREAS, TREES WILL BE PRESERVED IN TREE WELLS OR THROUGH THE USE OF RETAINING WALLS PLACED AT THE DRIP LINE OR AT 80% CRITICAL ROOT MASS WHICHEVER IS GREATER.
- IN CUT AREAS, TREES WILL BE PRESERVED WITH RETAINING WALLS AT THE DRIP LINE OR AT 80% CRITICAL ROOT MASS WHICHEVER IS GREATER.

TREE PROTECTION DETAIL
N.T.S.

A TREE PROTECTION PROGRAM WILL BE IMPLEMENTED IN ORDER TO PROTECT AND PRESERVE BOTH INDIVIDUAL SPECIMEN TREES AND BUFFER AREAS WITH MANY TREES. STEPS WHICH WILL BE TAKEN TO PRESERVE AND PROTECT EXISTING TREES, ARE AS FOLLOWS:

OWNER OR REPRESENTATIVES APPROVAL FOR FILING

OWNER OR REPRESENTATIVE _____ DATE _____

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RYAN A. NASHER, P.E.
N.Y.S. P.E. LIC. NO. 89066

JOHN R. ATZL
N.Y.S. P.L.S. LIC. NO. 50228

ATZL, NASHER & ZIGLER P.C.
ENGINEERS-SURVEYORS-PLANNERS

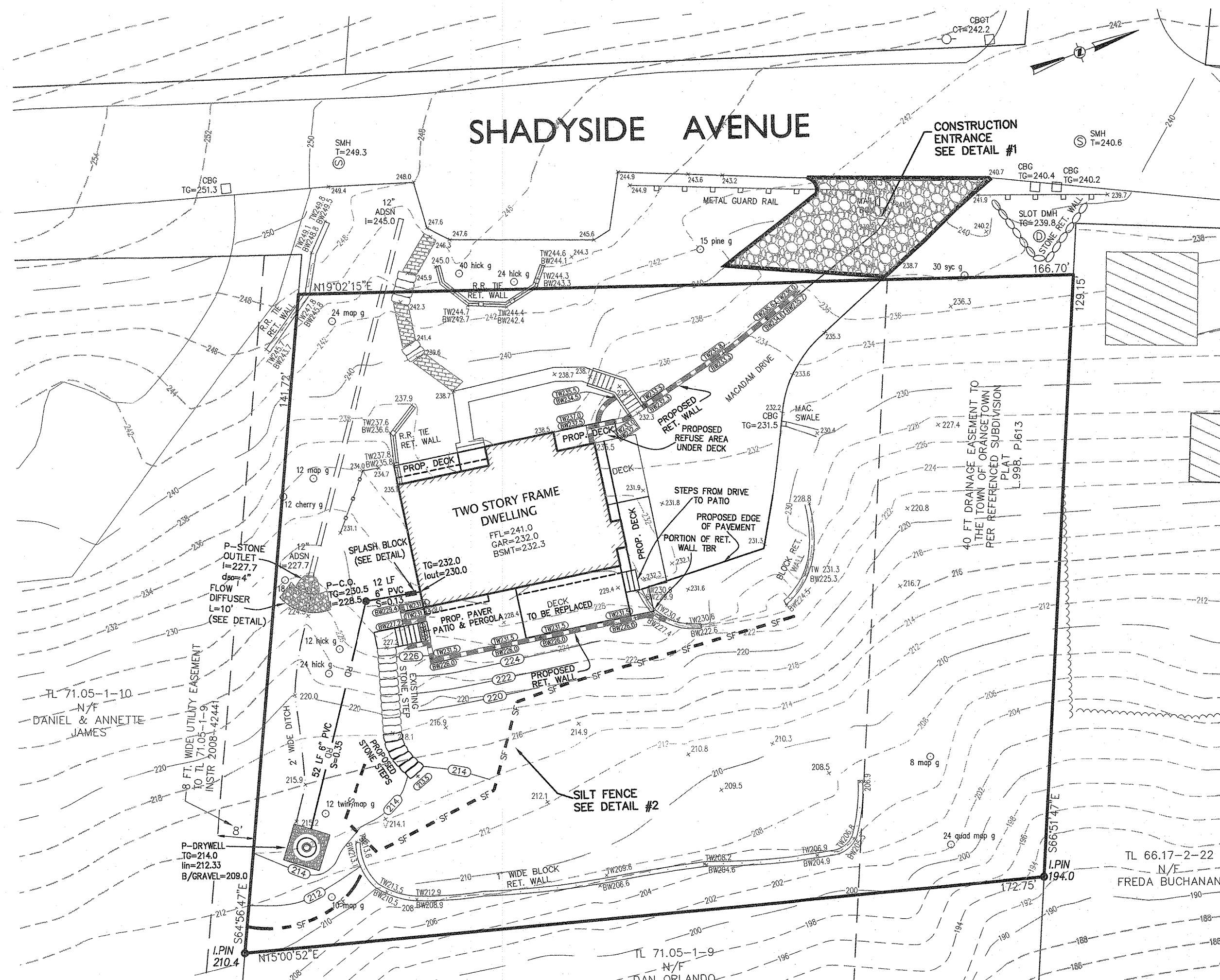
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MANDELL RESIDENCE

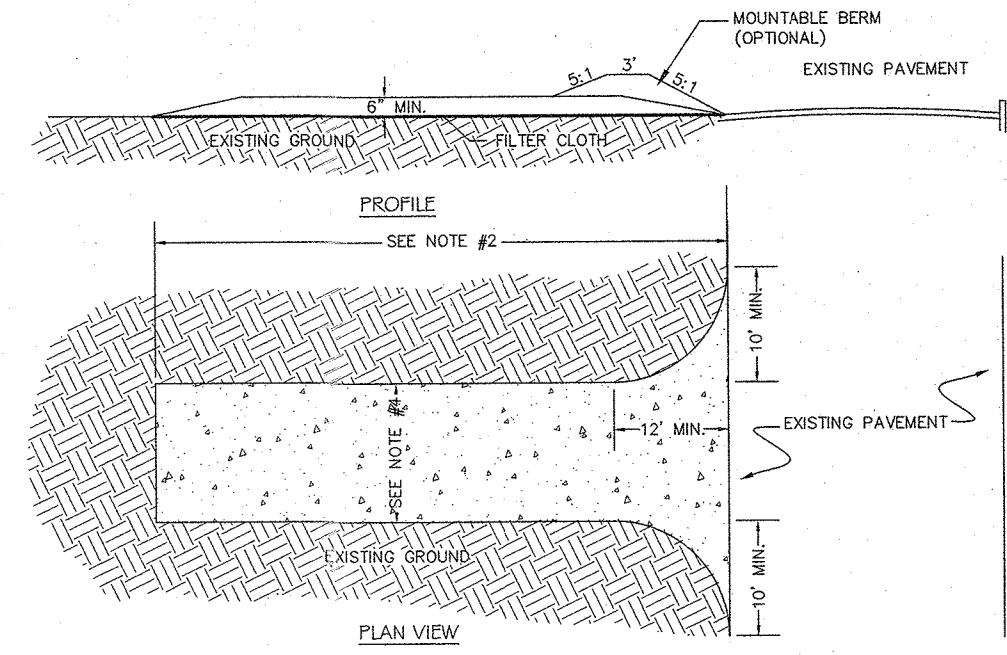
TOWN OF ORANGETOWN
ROCKLAND COUNTY, NEW YORK

SITE DEVELOPMENT PLAN

DRAWN BY: LF	CHECKED BY: JRA
DATE: APRIL 17, 2017	SCALE: 1 IN. = 20 FT.
PROJECT NO: 4326	DRAWING NO: 2



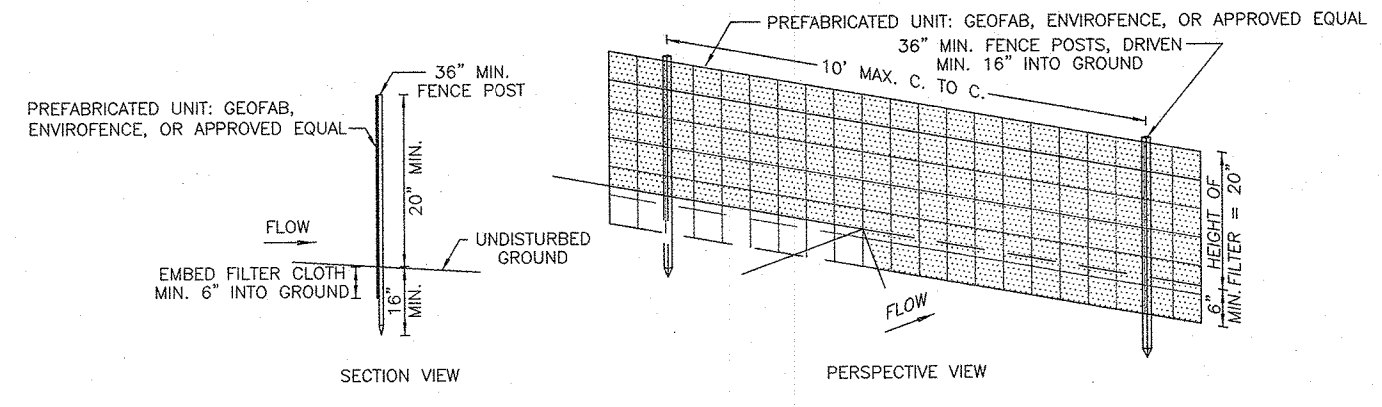
- SPECIFICATIONS FOR CONSTRUCTION ENTRANCE**
- STONE SIZE - USE 2" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
 - LENGTH - NOT LESS THAN 50 FT. (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FT. MINIMUM LENGTH WOULD APPLY).
 - THICKNESS - NOT LESS THAN 6 IN.
 - WIDTH - 12 FT. MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS AND EGRESS OCCUR. 24 FT. IF SINGLE ENTRANCE TO SITE.
 - FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO THE PLACEMENT OF STONE.
 - SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
 - MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAYS. ALL SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO PUBLIC RIGHT-OF-WAYS MUST BE REMOVED IMMEDIATELY.
 - WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS TO AN APPROVED SEDIMENT TRAPPING DEVICE.
 - PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.



DETAIL #1 CONSTRUCTION ENTRANCE
N.T.S.

CONSTRUCTION NOTES FOR PRE FABRICATED SILT FENCE

- PREFABRICATED UNIT: GEOFAB, ENVIROFENCE, OR APPROVED EQUAL
- WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED.
 - MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

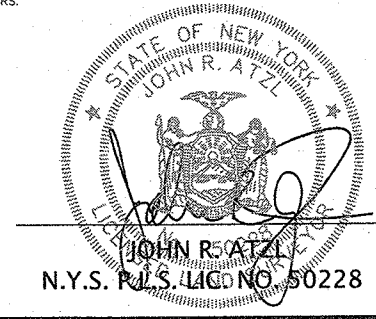
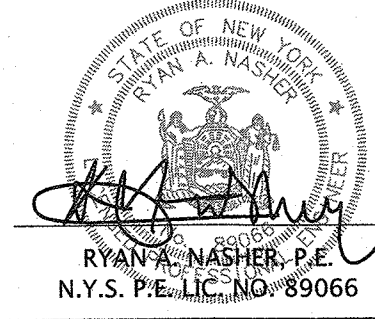


DETAIL #2 SILT FENCE
N.T.S.

LEGEND

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- UP EXISTING UTILITY POLE
- ○ ○ EXISTING WOOD FENCE
- ==== EXISTING RAILROAD TIE RETAINING WALL
- 362 --- PROPOSED CONTOUR
- 362 --- PROPOSED ROOFRAIN
- 362 --- PROPOSED SILT FENCE
- 362 --- PROPOSED RETAINING WALL

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AN&Z ATZL, NASHER & ZIGLER P.C.
ENGINEERS-SURVEYORS-PLANNERS

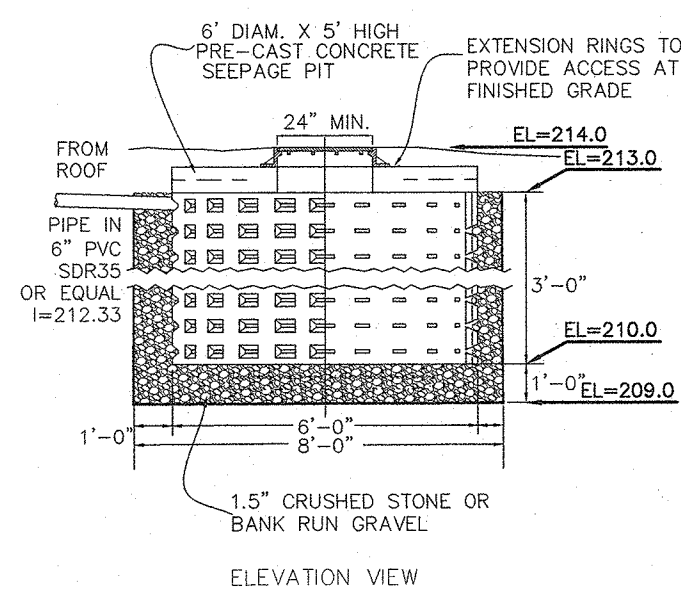
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PROJECT: **MANDELL RESIDENCE**

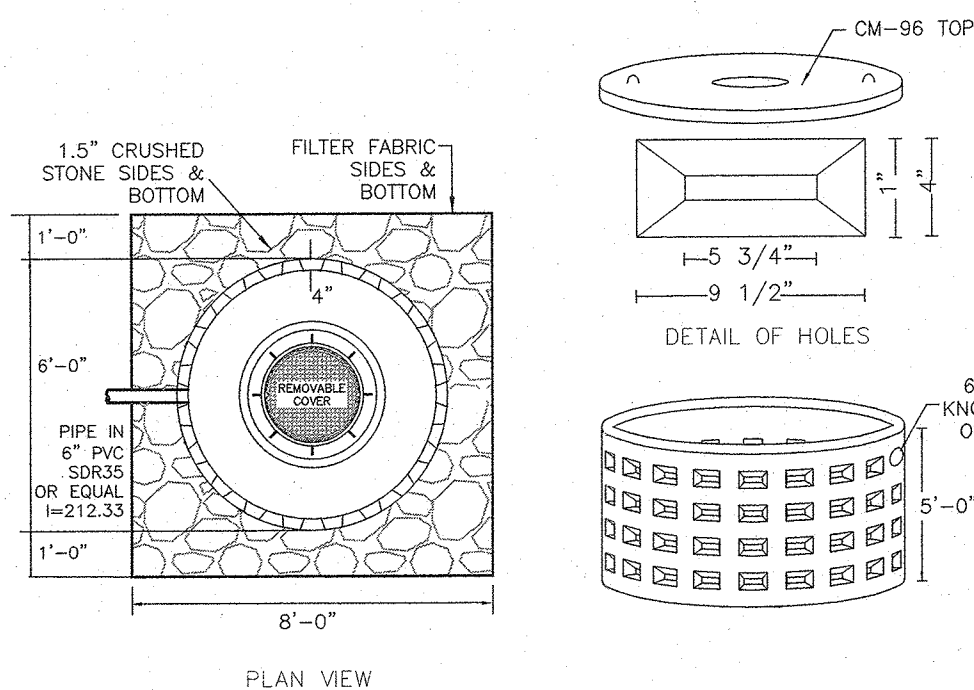
TOWN OF ORANGETOWN
ROCKLAND COUNTY, NEW YORK

EROSION AND SEDIMENT CONTROL PLAN

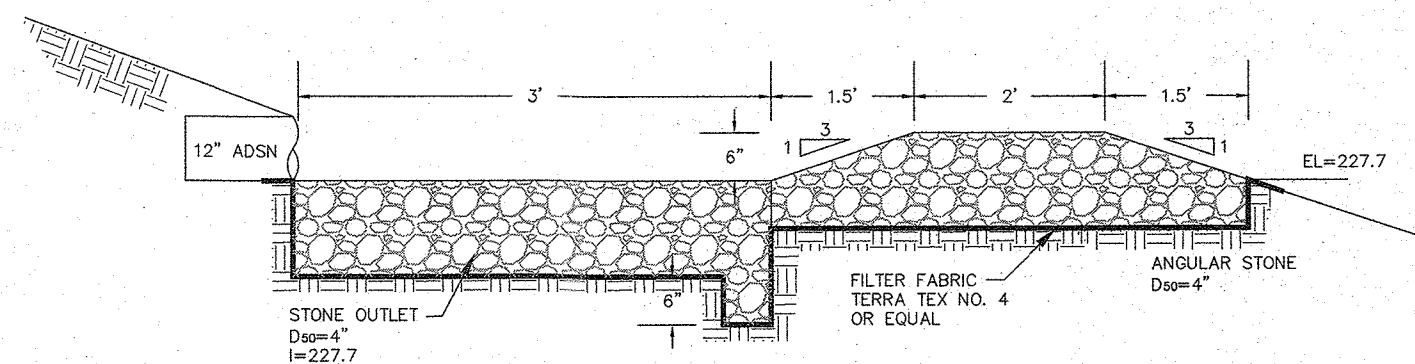
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ELEVATION VIEW



PLAN VIEW



FLOW DIFFUSER DETAIL

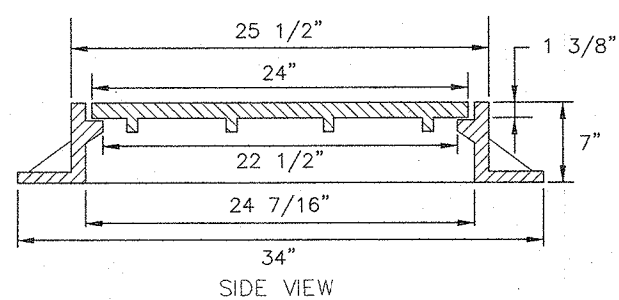
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DRYWELL NOTE:

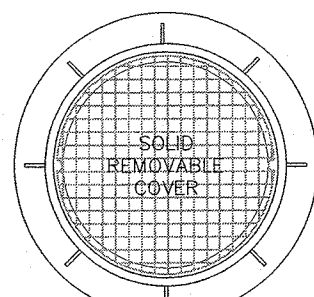
1. ALL ROOF DRAIN PIPES SHALL BE MIN. 6" HDPE (DOUBLE WALL) OR EUEAL AND MAINTAIN MIN. 1 FOOT COVER.
2. A PERCOLATION TEST SHALL BE PERFORMED AT EL. 209.0 PRIOR TO THE INSTALLATION OF THE PROPOSED DRYWELL SYSTEM. MINIMUM ACCEPTABLE PERCOLATION RATE IS 2.5 IN./HR AS PER DESIGN.
3. A DEEP TEST SHALL BE PERFORMED TO A DEPTH OF EL. 206.0 PRIOR TO THE INSTALLATION OF THE PROPOSED DRYWELL SYSTEM. MAXIMUM ACCEPTABLE GROUND WATER ELEVATION IS 206.0.

DRYWELL DETAIL

N.T.S.



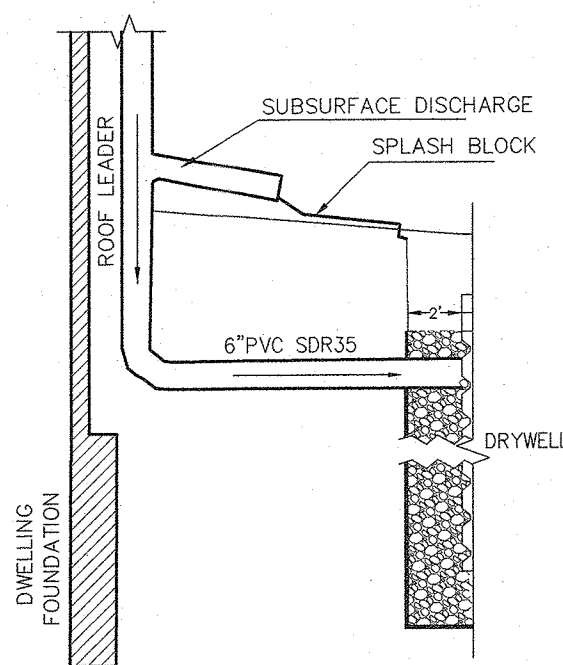
SIDE VIEW



PLAN VIEW

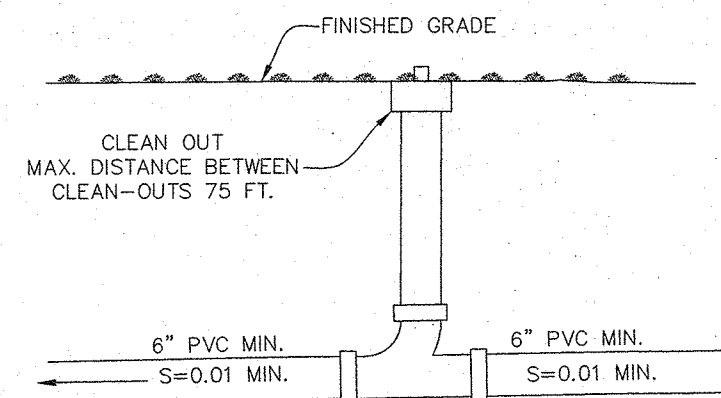
DRYWELL MANHOLE SOLID COVER DETAIL

N.T.S.



SPLASH BLOCK DETAIL

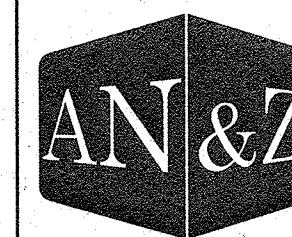
N.T.S.



CLEAN OUT DETAIL

N.T.S.

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MANDELL RESIDENCE

TOWN OF ORANGETOWN
ROCKLAND COUNTY, NEW YORK

TITLE:

DETAILS

DRAWN BY: LF	CHECKED BY: JRA
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"ONLY COPIES FROM THE ORIGINAL TRACING OF THIS SURVEY MAP MARKED WITH THE LAND SURVEYOR'S EMBOSSED SEAL SHALL BE CONSIDERED TO BE VALID TRUE COPIES."
"CERTIFICATION INDICATED HERE ON SIGNIFY THAT THIS SURVEY WAS PREPARED IN ACCORDANCE WITH THE EXISTING CODE OF PRACTICE FOR LAND SURVEYORS ADOPTED BY THE DELAWARE - HUDSON LAND SURVEYORS ASSOCIATION. SAID CERTIFICATIONS SHALL RUN ONLY TO THOSE NAMED INDIVIDUALS AND/OR INSTITUTIONS FOR WHOM THE SURVEY WAS PREPARED. CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INDIVIDUALS, INSTITUTIONS, THEIR SUCCESSORS AND/OR ASSIGNS OR SUBSEQUENT OWNERS."

