

OFFICE OF BUILDING, ZONING, PLANNING,
ADMINISTRATION AND ENFORCEMENT
TOWN OF ORANGETOWN
20 Greenbush Road
Orangeburg, N.Y. 10962

Jane Slavin, R.A.
Director

(845)359-8410

Fax: (845) 359-8526

DENIAL TO THE ZONING BOARD OF APPEALS

Date: April 6, 2021

Applicant: Zayac

Address: 87 Independence Ave. Tappan, NY

RE: Application Made at: same

Chapter 43, Table 3.12, Column 1 R-15 District, Column 2 Group M, Column 3 SFR, Column 10 Total Side Yd 50' with 44.17' proposed.
One variances required

Section: 74.18

Block: 2

Lot: 7

Dear Zayac:

Please be advised that the Building Permit Application, which you submitted on

April 5, 2021, has been denied. I have enclosed a Xerox copy of your application, where you will find at the bottom the reason for denial.


In Accordance with Zoning, Chapter 43 Section 10.322 the time to appeal a determination of a Building Inspector or Similar administrative office is thirty (30) days from the filing of such a determination with the Town Clerk.

The Clerk to the Zoning Board of Appeals, Debbie Arbolino, will assist you in the preparation necessary to appear before the board.

Sincerely,


Richard Oliver
Deputy Building Inspector

Signature of Director
NOTE: PLEASE KEEP FOR YOUR RECORDS
12-31-18-CCC


Date
CC: Rosanna Sfraga
Liz Decort
Debbie Arbolino

PERMIT EXPIRES TWO (2) YEARS FROM DATE OF ISSUANCE.
TWO SIX (6) MONTH EXTENSIONS MAY BE GRANTED PRIOR TO EXPIRATION DATE.

APPLICATION FOR BUILDING / DEMOLITION PERMIT

TOWN OF ORANGETOWN

20 Greenbush Road, Orangeburg, NY 10962 Phone: (845) 359-8410 Fax: (845) 359-8526

ZONE: <u>R-15</u>	OFFICIAL USE ONLY	ACREAGE: <u>.49</u>
Inspector: <u>Dom</u>	Date App Received: <u>4-5-2021</u>	Received By: <u>CCC</u>
Permit No. <u>51315</u>	Date Issued: _____	
CO No. _____	Date Issued: _____	
Permit Fee: <u>3,372</u>	Ck# <u>1388</u>	Paid By <u>Kilkenny</u>
GIS Fee: <u>20</u>	Ck# <u>1387</u>	Paid By <u>" "</u>
Stream Maintenance Fee	Ck # _____	Paid By _____
Additional Fee: _____	Ck# _____	Date Paid _____ Paid By _____
1 st 6 mo. Ext.: _____	Ck # _____	Exp. Date: _____ Paid By _____
2 nd 6 mo. Ext.: _____	Ck # _____	Exp. Date: _____ Paid By _____

APPLICANT COMPLETES:

Note: See inside for instructions for completing this application.
PAGES 2, 3 and PAGE 4 must be reviewed and PAGES 3 & 4 must signed by the applicant.

Property Location: 87 Independence Ave, Tappan, NY
 Section: 74.18 Block: 20 Lot: 5137
 Property Owner: Joseph and Meg Zayac
 Mailing Address: 87 Independence Ave, Tappan, NY
 Email: megzayac@gmail.com Phone: (646) 592-3763
 Lessee (Business Name): _____
 Mailing Address: _____
 Email: _____ Phone #: _____
 Type of Business /Use: _____
 Contact Person: Meg Zayac Relation to Project: homeowner
 Email: megzayac@gmail.com Phone#: (646) 592-3763
 Architect/Engineer: ROAM Architecture NYS Lic # 028285-1
 Address: 181 Old Tappan Rd, Tappan Phone# (845) 267-8479
 Builder/General Contractor: George Alatsas RC Lic # _____
 Address: 1 Phone#: _____
 Plumber: Smith Heating Cooling Refri. Services RC Lic # P-1680-P-H-C-R-SM
 Address: 25 W. Wash Ave, Pearl River, NY Phone# (845) 596-9221
 Electrician: TBD RC Lic #: _____
 Address: _____ Phone#: _____
 Heat/Cooling: Smith Heating Cooling Refri Services RC Lic#: P-1680-P-H-C-R-SM
 Address: 25 W. Wash Ave, Pearl River, NY Phone# (845) 596-9221
 Existing use of structure or land: residence
 Proposed Project Description: Kitchen renovation and 2nd story addition, DECK DECK
 Proposed Square Footage: 986 Estimated Construction Value (\$): 180,000
 BUILDING DEPARTMENT COMPLETES BELOW

PLANS REVIEWED: _____

PERMIT REFERRED/DENIED FOR:
Chapter 43, Table 3.12, Column 1 R-15 District, Column 2
Group 11, Column 3 8.22, Column 10 Total Side Yard 50' w/
44.17' proposed - One Variance Required

Ref Deputy 4.6.2021

FOR OFFICE USE ONLY SECTION BLOCK LOT NAME PERMIT #

Name of Municipality: **TOWN OF ORANGETOWN** Date Submitted: 4/19/21

2021 LAND USE BOARD APPLICATION

Please check all that apply:

<input checked="" type="checkbox"/> Planning Board	<input checked="" type="checkbox"/> Residential
<input checked="" type="checkbox"/> Zoning Board of Appeals	<input type="checkbox"/> Historical Board
<input type="checkbox"/> Subdivision	<input type="checkbox"/> Architectural Board
<input type="checkbox"/> Number of Lots	<input type="checkbox"/> Consultation
<input type="checkbox"/> Site Plan	<input type="checkbox"/> Pre-Preliminary/Sketch
<input type="checkbox"/> Conditional Use	<input type="checkbox"/> Preliminary
<input type="checkbox"/> Special Permit	<input type="checkbox"/> Final
<input checked="" type="checkbox"/> Variance	<input type="checkbox"/> Interpretation
<input type="checkbox"/> Performance Standards Review	
<input type="checkbox"/> Use Variance	
<input type="checkbox"/> Other (specify): _____	

PERMIT#: _____
ASSIGNED: _____
INSPECTOR: _____

Referred from Planning Board: YES / NO
if yes provide date of Planning Board meeting: _____

Project Name: Zayac Residence

Street Address: 87 Independence Avenue
Tappan, NY 10983

Tax Map Designation:
Section: 74.18 Block: 28 Lot(s): 7
Section: _____ Block: _____ Lot(s): _____

Directional Location:
On the west side of Independence, approximately 1000 feet south of the intersection of Lowell Lane, in the Town of ORANGETOWN in the hamlet/village of Tappan

Acreage of Parcel _____	Zoning District <u>SO</u>
School District <u>SO</u>	Postal District <u>Tappan</u>
Ambulance District <u>SO</u>	Fire District <u>Tappan</u>
Water District <u>Rockland</u>	Sewer District <u>Rockland</u>

Project Description: (If additional space required, please attach a narrative summary.)
extension, addition, deck, kitchen Reno

The undersigned agrees to an extension of the statutory time limit for scheduling a public hearing.
Date: 4/19/21 Applicant's Signature: [Signature]

APPLICATION REVIEW FORM

Applicant: Meg Zayac Phone # 646-592-3763
Address: 87 Independence Ave Tappan NY 10983
Street Name & Number (Post Office) City State Zip Code

Property Owner: Joseph M Zayac III Phone # 845-642-1888
Address: 87 Independence Ave Tappan NY 10983
Street Name & Number (Post Office) City State Zip Code

Engineer/Architect/Surveyor: ROAM ACOB Phone # 207-8479
Address: 81 Old Tappan Rd Tappan NY 10983
Street Name & Number (Post Office) City State Zip Code

Attorney: _____ Phone # _____
Address: _____
Street Name & Number (Post Office) City State Zip Code

Contact Person: Meg Zayac Phone # 646-592-3763
Address: 87 Independence Avenue Tappan NY 10983
Street Name & Number (Post Office) City State Zip Code

GENERAL MUNICIPAL LAW REVIEW:

This property is within 500 feet of:
(Check all that apply)

IF ANY ITEM IS CHECKED, A REVIEW MUST BE DONE BY THE ROCKLAND COUNTY COMMISSIONER OF PLANNING UNDER THE STATE GENERAL MUNICIPAL LAW, SECTIONS 239 L, M, N, AND NN.

- | | |
|---|---|
| <input type="checkbox"/> State or County Road | <input type="checkbox"/> State or County Park |
| <input type="checkbox"/> Long Path | <input type="checkbox"/> County Stream |
| <input type="checkbox"/> Municipal Boundary | <input type="checkbox"/> County Facility |

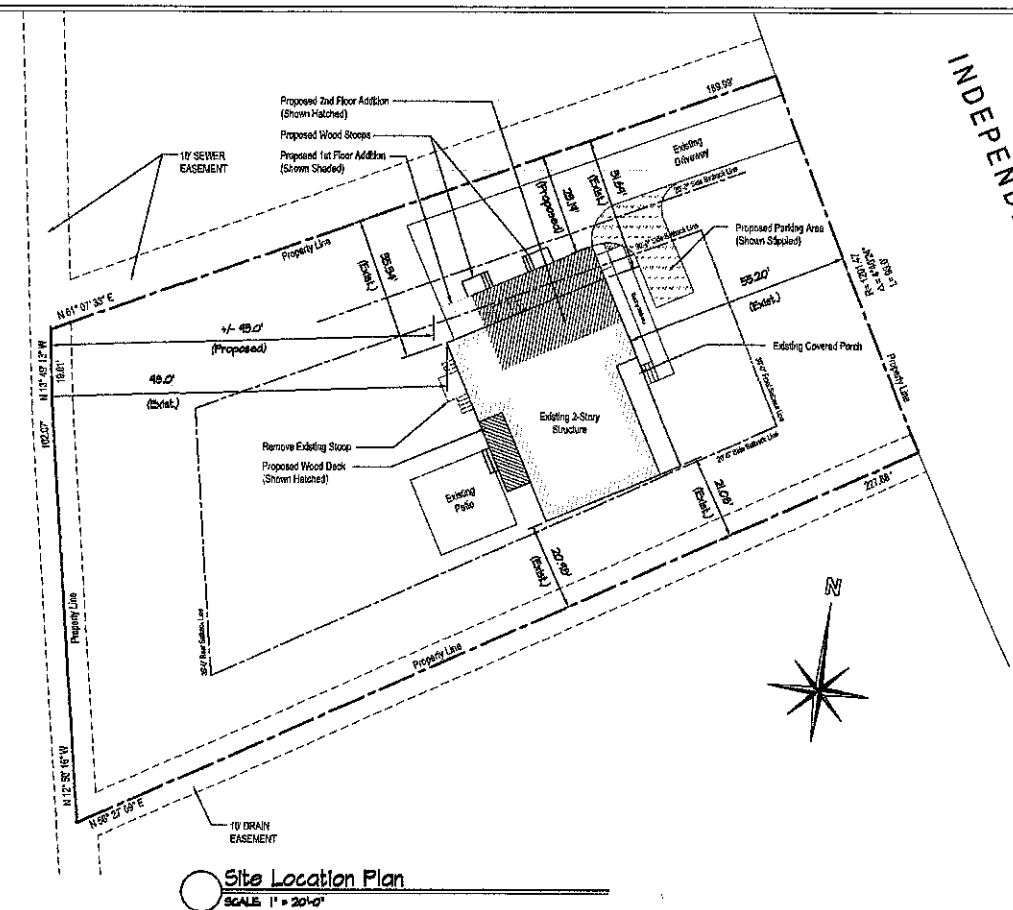
List name(s) of facility checked above:

Referral Agencies:

- | | |
|--|--|
| <input type="checkbox"/> RC Highway Department | <input type="checkbox"/> RC Division of Environmental Resources |
| <input type="checkbox"/> RC Drainage Agency | <input type="checkbox"/> RC Dept. of Health |
| <input type="checkbox"/> NYS Dept. of Transportation | <input type="checkbox"/> NYS Dept. of Environmental Conservation |
| <input type="checkbox"/> NYS Thruway Authority | <input type="checkbox"/> Palsades Interstate Park Commission |
| <input type="checkbox"/> Adjacent Municipality | |
| <input type="checkbox"/> Other | |

SWIS	PRINT KEY	NAME	ADDRESS
392489	74.18-2-5	Michael Reiss	101 Independence Ave, Tappan, NY 10983
392489	74.18-2-6	Roy Thomas	93 Independence Av, Tappan, NY 10983
392489	74.18-2-7	Joseph W Zayac III	87 Independence Ave, Tappan, NY 10983
392489	74.18-2-8	Aram Gozubuyukian	81 Independence Ave, Tappan, NY 10983
392489	74.18-2-9	Marilyn Shimkowitz	73 Independence Av, Tappan, NY 10983
392489	74.18-2-11	Djina Blaskovic	20 Amy Ct, Tappan, NY 10983
392489	74.18-2-65	Jae Hun Lee	81 Lester Dr, Tappan, NY 10983
392489	74.18-2-66	Huei-Fun Huang	79 Lester Dr, Tappan, NY 10983
392489	74.18-2-67	Dina R Rocano	77 Lester Dr, Tappan, NY 10983
392489	74.18-2-68	Giuseppe Gristina	75 Lester Dr, Tappan, NY 10983
392489	74.18-3-42	Joyce Mathew	84 Independence Ave, Tappan, NY 10983
392489	74.18-3-43	Renjith Y Koshy	92 Independence Ave, Tappan, NY 10983

ZONING BOARD OF APPEALS
 Meeting
JUN 2 2021
 Town Of Orangetown



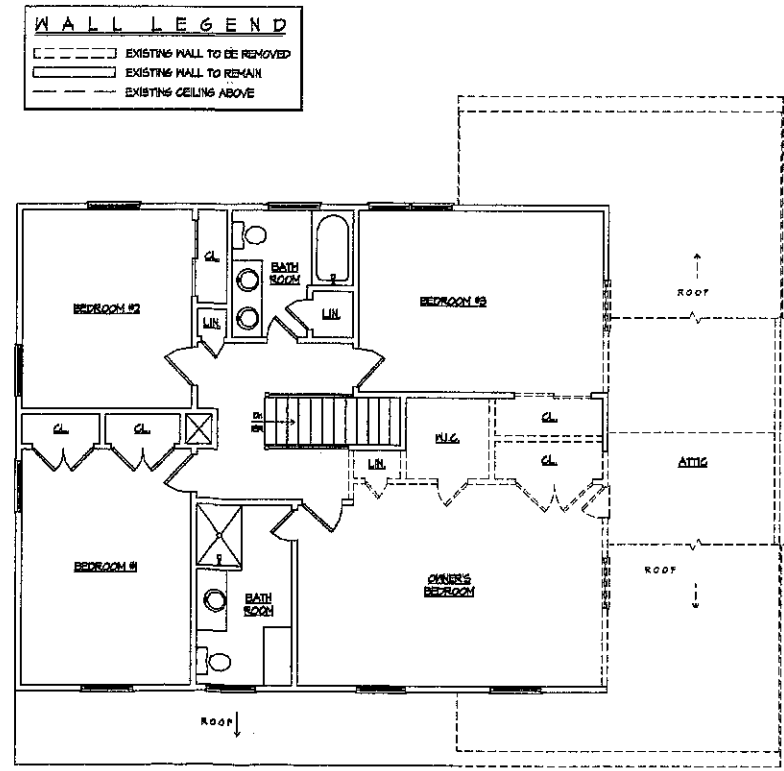
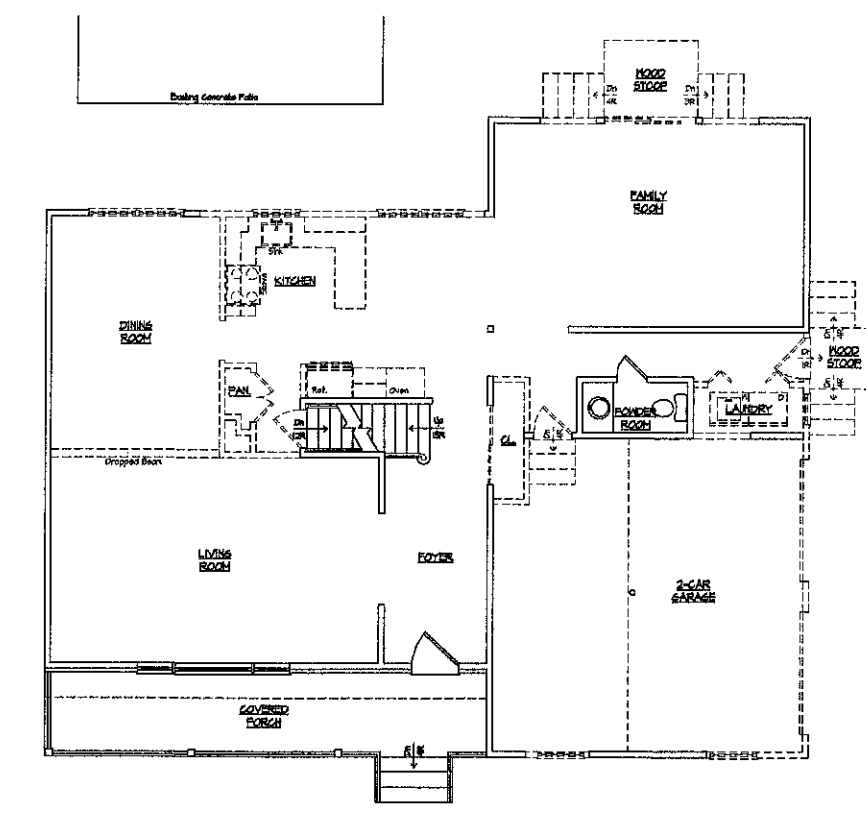
INDEPENDENCE AVENUE

ZONING DATA
87 INDEPENDENCE AVENUE, TAPPAN, NY, 10983
RESIDENTIAL DISTRICT: R-1S (SINGLE FAMILY DETACHED RESIDENCES), GROUP M

CATEGORY	REQUIRED/ALLOWED	EXISTING	PROPOSED	COMMENTS	FAR Calculations
MINIMUM LOT AREA	15,000 SQ. FT.	21,344 SQ.FT.	NO CHANGE		Calculated
MINIMUM LOT WIDTH	100 FEET	102.07 FEET	NO CHANGE		Color: (Not Included) 1,316 Sq.Ft.
MINIMUM STREET FRONTAGE	76 FEET	88 FEET	NO CHANGE		First Floor: 1,816 Sq.Ft.
MAXIMUM FLOOR AREA RATIO	0.20 (20%)	0.148 (14.8%)	0.184 (18.4%)		Second Floor: 1,235 Sq.Ft.
FRONT YARD SETBACK	30 FEET MINIMUM	58.2 FEET	55.2 FEET		Total: 3,053 Sq.Ft.
SIDE YARD SETBACK	20 FEET MINIMUM	20.89 + 31.69 FEET	20.98 + 23.19 FEET		Proposed: 4,130 / 21,344 = 0.194 (19.4%) *
TOTAL SIDE YARD SETBACK	50 FEET MINIMUM	52.87 FEET	44.17 FEET	VARIANCE APPROVAL REQUIRED	First Floor: 2,271 Sq.Ft.
REAR YARD SETBACK	35 FEET MINIMUM	88 FEET	53.92 FEET		Second Floor: 1,863 Sq.Ft.
BUILDING HEIGHT	12 FEET MAX. (35 FEET MAX.)	23.33 FEET	23.33 FEET		Total: 4,130 Sq.Ft.

*** INFORMATION FOR THIS ZONING DATA TAKEN FROM THE SURVEY OF THE PROPERTY PREPARED BY FABIAN C. ADLER & ASSOCIATES, DATED: AUGUST 3RD, 1987, REVISED FEBRUARY 7TH, 1988.

* Color: Crowspace Area, Moh. Hills & Garage Area Not Included in FAR Calculations As Noted in Explanations. (Chapter 43, Article XI, Section 11-2)

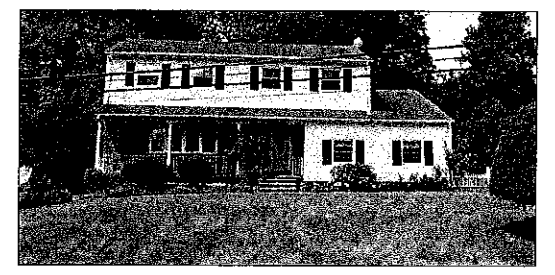


WALL LEGEND

- EXISTING WALL TO BE REMOVED
- - - EXISTING WALL TO REMAIN
- EXISTING CEILING ABOVE



PROPERTY ON LEFT SIDE
SCALE: N.T.S. 81 Independence Ave.



PROPERTY ON RIGHT SIDE
SCALE: N.T.S. 49 Independence Ave.



PROPERTY ACROSS STREET
SCALE: N.T.S. 84 Independence Ave.



PROPERTY ACROSS STREET
SCALE: N.T.S. 42 Independence Ave.

ROAM ARCHITECTURE
181 OLD TAPPAN RD., TAPPAN, NY 10983
L 845.267.8479 www.roamarch.com

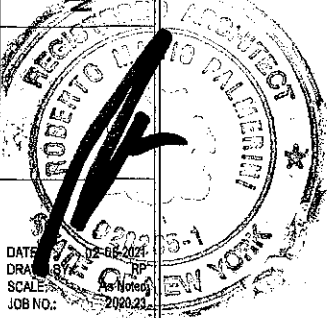
NOTE: Owners of this drawing and their successors, DO NOT SCALE dimensions directly off of this drawing. All dimensions and locations on this drawing shall be controlled by the field notes and plat of the survey and shall prevail over any dimensions shown on this drawing.

RECORD OF ISSUES

ISSUE	DATE	DESCRIPTION
1	02-08-2021	For Zoning Approval

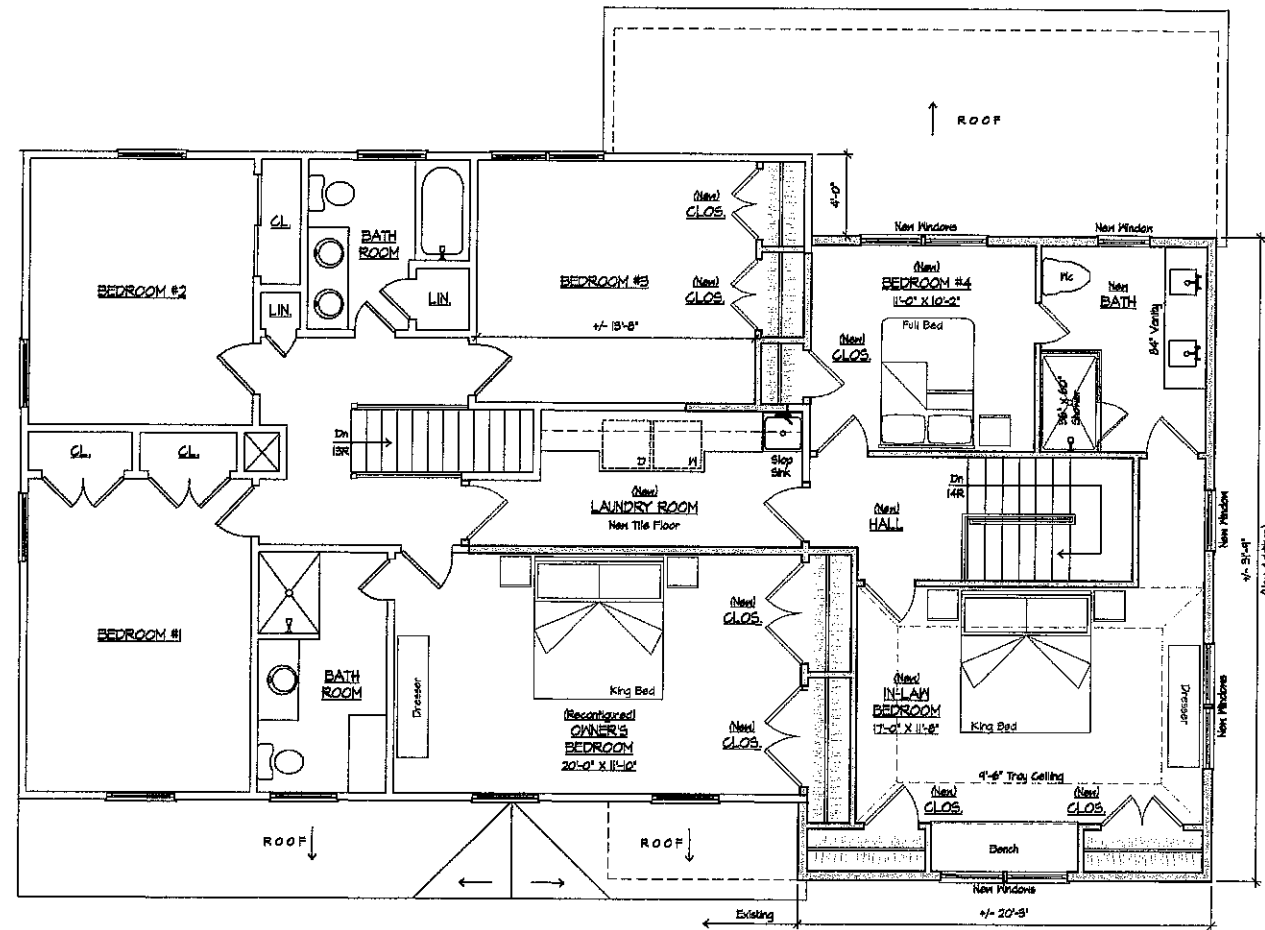
Renovation & Addition For:
ZAYAC RESIDENCE
 87 INDEPENDENCE AVENUE
 TAPPAN, NY 10983

Demolition Plans, Existing Neighbors Elevations, Zoning Info & Site Location Plan



DATE: 02-08-2021
 DRAWN BY: [Signature]
 SCALE: As Noted
 JOB NO.: 2020.23

ZB-1



2 Proposed Second Floor Plan
SCALE: 1/4"=1'-0"



EXIST. FRONT ELEVATION
SCALE: N.T.S. EAST FACADE



EXIST. RIGHT SIDE ELEVATION
SCALE: N.T.S. NORTH FACADE



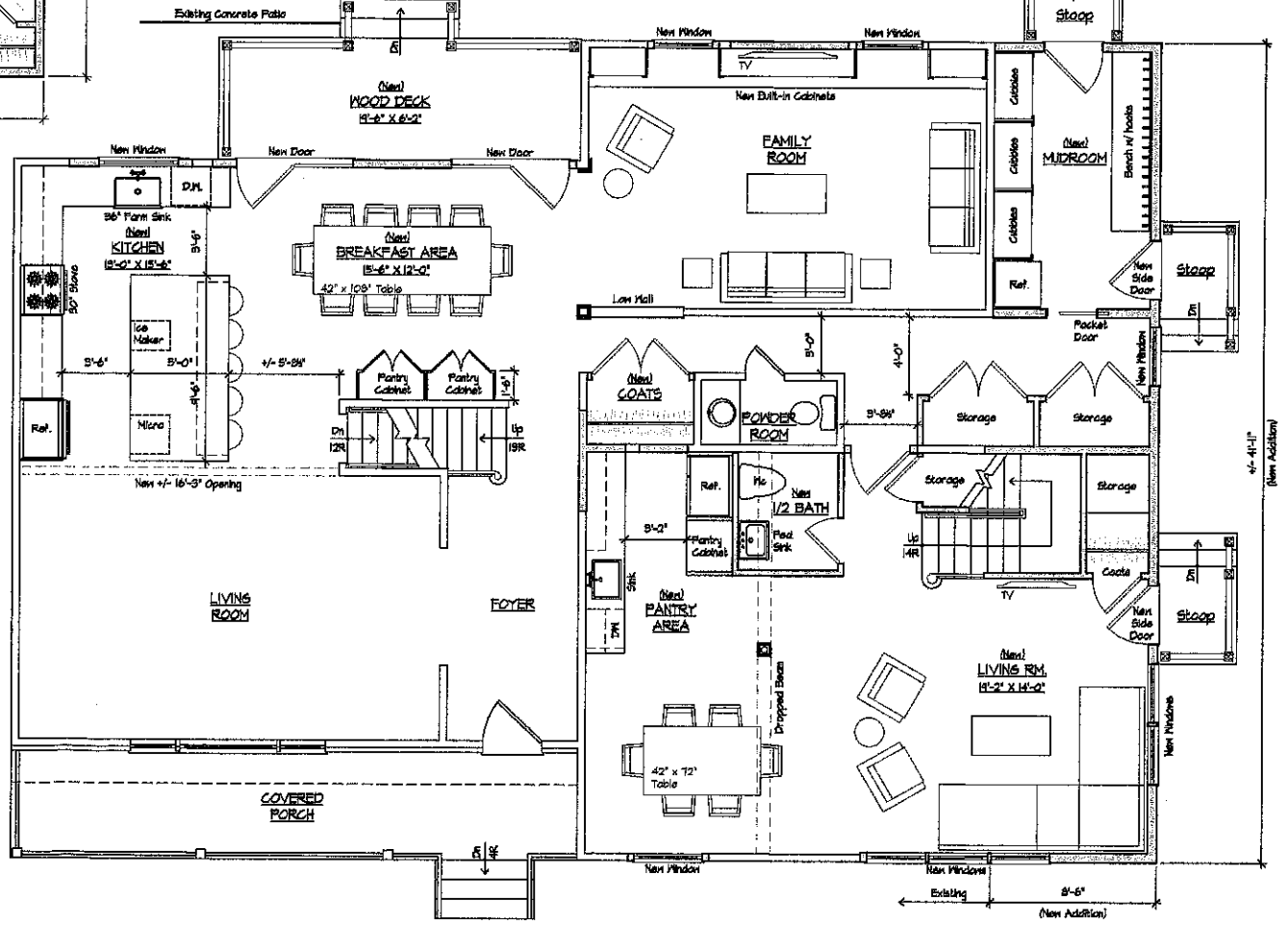
EXIST. REAR ELEVATION
SCALE: N.T.S. WEST FACADE



EXIST. LEFT SIDE ELEVATION
SCALE: N.T.S. SOUTH FACADE

WALL LEGEND

- EXISTING WALL TO REMAIN
- EXISTING CEILING ABOVE
- NEW CEILING ABOVE
- NEW STED HALL
- NEW FOUNDATION WALL
- NEW LOW WALL



1 Proposed First Floor Plan
SCALE: 1/4"=1'-0"

ROAM ARCHITECTURE
181 OLD TAPPAN RD. - TAPPAN, NY 10983
T. 845.267.8478 www.roamarch.com

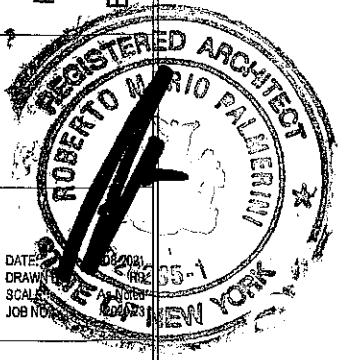
NOTE: When drawings on this sheet are used for construction, the contractor shall be responsible for all dimensions and conditions on the drawings shall be the responsibility of the contractor.

DO NOT SCALE DRAWINGS. DIMENSIONS SHALL BE TAKEN FROM THE DIMENSIONS AND CONDITIONS ON THE DRAWINGS.

ISSUE	DATE	DESCRIPTION
1	02-08-2021	Final Drawing Approved

Renovation & Addition For:
ZAYAC RESIDENCE
87 INDEPENDENCE AVENUE
TAPPAN, NY 10983

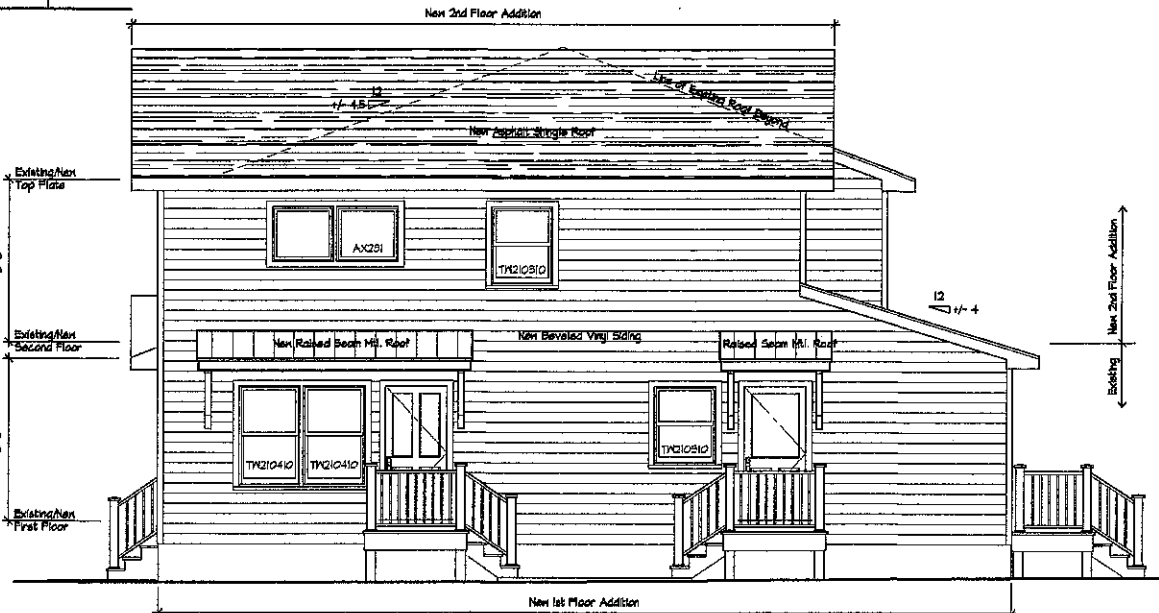
Proposed First Floor Plan,
Second Floor Plan &
Existing Exterior Elevations



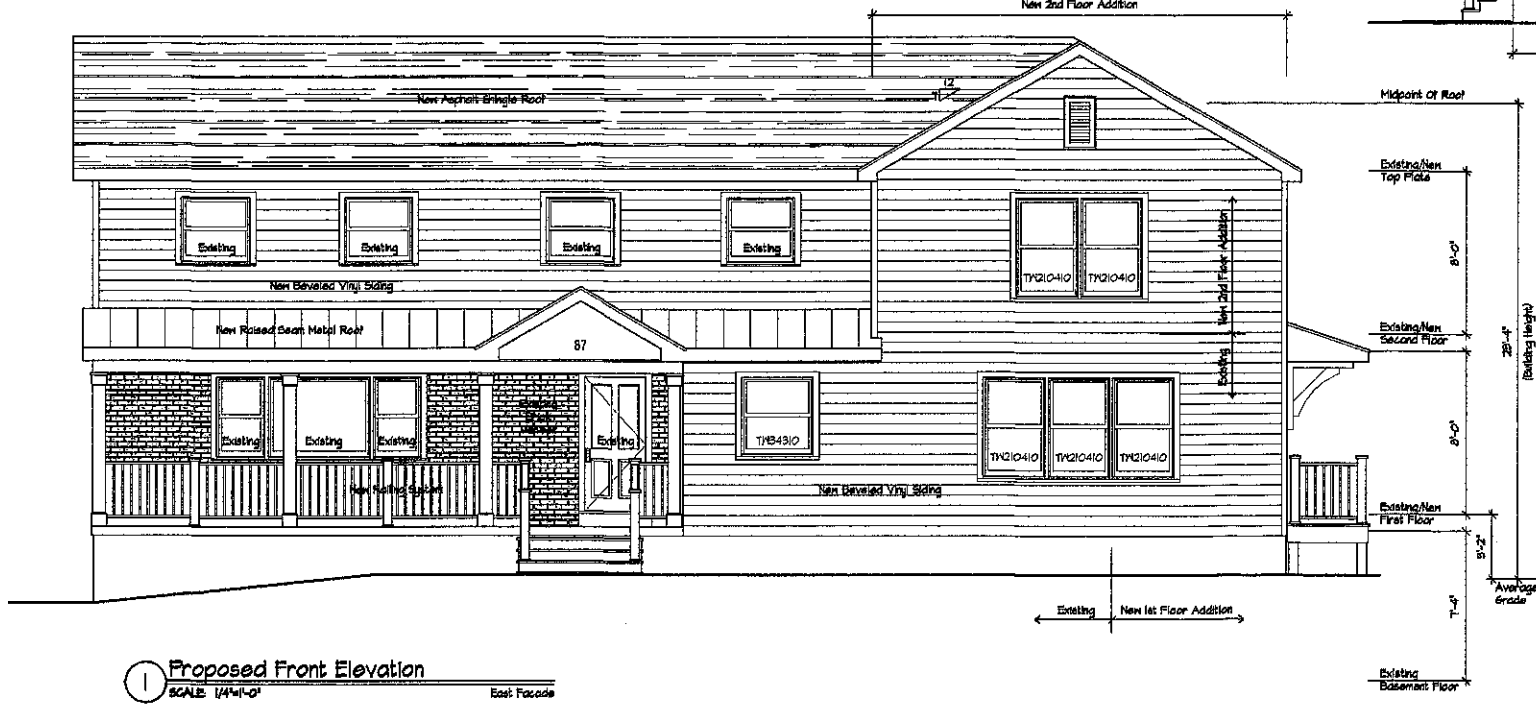
ZB-2



3 Proposed Rear Elevation
SCALE: 1/4"=1'-0"
West Facade



2 Proposed Right Side Elevation
SCALE: 1/4"=1'-0"
North Facade



1 Proposed Front Elevation
SCALE: 1/4"=1'-0"
East Facade

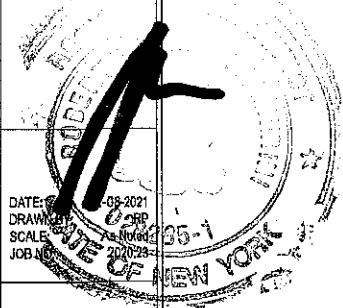
PROAM
ARCHITECTURE
181 OLD TAPPAN RD., TAPPAN, NY 10983
T. 845.267.8479 www.proamarch.com

NOTE: Review drawings on this drawing with care. Do NOT make any changes without the written consent of the architect. The architect is not responsible for all dimensions and conditions on the drawing. ALL work shall be subject to the verification from the drawings and conditions shown on this drawing.

ISSUE	DATE	DESCRIPTION
1	02-09-2021	For Zoning Approval

Renovation & Addition For:
ZAYAC RESIDENCE
87 INDEPENDENCE AVENUE
TAPPAN, NY 10983

Proposed Exterior Elevations



DATE: 02-09-2021
DRAWN BY: [Signature]
SCALE: 1/4"=1'-0"
JOB: ZB-3

ZB-3