



**OFFICE OF BUILDING, ZONING AND PLANNING  
ADMINISTRATION AND ENFORCEMENT  
TOWN OF ORANGETOWN  
20 GREENBUSH ROAD  
ORANGETOWN, N.Y 10962**

Jane Slavin R.A.  
Director

(845) 359-8410

FAX: (845) 359-8526

**ZONING BOARD OF APPEALS REFERRAL LETTER**

Date: April 12, 2021

Applicant: Jessica Santana

Address: 110 Margaret Keahon Dr, Pearl River

Re: Application made at: Same

Denial for: Ch. 43; Sec. 5.227, R-15, Required Rear Yard Pool Setback 20'/11.9' Proposed  
BASED ON REVISED PROPERTY SURVEY SUBMITTED 4/12/21

Section: 68.07

Block: 3

Lot: 50

Dear: Mrs. Santana

Please be advised that the Building Permit Application, which you submitted on June 4, 2020 has been denied. I have enclosed a copy of your application, where you will find noted the reason for denial.

**In accordance with Zoning, Chapter 43, Section 10.322, the time to appeal a determination of a Building Inspector or similar administrative office is thirty (30) days from the filing of such determination with the Town Clerk.**

The Clerk to the Zoning Board of Appeals will assist you in the preparations necessary to appear before this board.

Sincerely,

Assistant Building Inspector

Cc: Elizabeth DeCort  
Debbie Arbolino  
Rosanna Sfraga  
Homeowner

Director

Date

4-12-21

10/16/17

Name of Municipality: TOWN OF ORANGETOWN Date Submitted: \_\_\_\_\_

**2021 LAND USE BOARD APPLICATION**

*Please check all that apply:*

<input type="checkbox"/> Commercial	<input type="checkbox"/> Residential
<input checked="" type="checkbox"/> <b>Planning Board</b>	<input type="checkbox"/> <b>Historical Board</b>
<input checked="" type="checkbox"/> <b>Zoning Board of Appeals</b>	<input type="checkbox"/> <b>Architectural Board</b>
<input type="checkbox"/> Subdivision	<input type="checkbox"/> Consultation
<input type="checkbox"/> Number of Lots	<input type="checkbox"/> Pre-Preliminary/Sketch
<input type="checkbox"/> Site Plan	<input type="checkbox"/> Preliminary
<input type="checkbox"/> Conditional Use	<input type="checkbox"/> Final
<input type="checkbox"/> Special Permit	<input type="checkbox"/> Interpretation
<input checked="" type="checkbox"/> Variance	
<input type="checkbox"/> Performance Standards Review	
<input type="checkbox"/> Use Variance	
<input type="checkbox"/> Other (specify): _____	

PERMIT#: 50139  
ASSIGNED \_\_\_\_\_  
INSPECTOR: \_\_\_\_\_  
Referred from Planning Board: YES / NO  
If yes provide date of Planning Board meeting: \_\_\_\_\_

Project Name: SANTANA POOL

Street Address: 110 Margaret Keaton Drive  
Pearl River, NY 10965

Tax Map Designation:  
Section: 68.07 Block: 3 Lot(s): 50  
Section: \_\_\_\_\_ Block: \_\_\_\_\_ Lot(s): \_\_\_\_\_

Directional Location:  
On the north east side of Margaret Keaton Drive, approximately  
500 feet south of the intersection of Laurel Rd, in the  
Town of ORANGETOWN in the hamlet/village of Pearl River.

Acreage of Parcel <u>0.39</u>	Zoning District <u>R-15</u>
School District <u><del>ORANGETOWN</del> NANUET</u>	Postal District <u>Pearl River</u>
Ambulance District <u>Pearl River</u>	Fire District <u>Pearl River</u>
Water District <u>SUEZ</u>	Sewer District <u>Orangetown</u>

Project Description: (If additional space required, please attach a narrative summary.)  
above ground pool - 21' round

The undersigned agrees to an extension of the statutory time limit for scheduling a public hearing.  
Date: 4/14/21 Applicant's Signature: [Signature]

**APPLICATION REVIEW FORM**

**Applicant:** JESSICA SANTANA Phone # 347-446-2490

**Address:** 110 Margaret Keaton Drive Pearl River NY 10965  
Street Name & Number (Post Office) City State Zip Code

**Property Owner:** JESSICA SANTANA Phone # 347-446-2490

**Address:** 110 Margaret Keaton Drive Pearl River NY 10965  
Street Name & Number (Post Office) City State Zip Code

**Engineer/Architect/Surveyor:** JAMES DRUMM Phone # 845-357-0211

**Address:** 22 Steep Hill Rd Nanuet NY 10954  
Street Name & Number (Post Office) City State Zip Code

**Attorney:** \_\_\_\_\_ Phone # \_\_\_\_\_

**Address:** \_\_\_\_\_  
Street Name & Number (Post Office) City State Zip Code

**Contact Person:** \_\_\_\_\_ Phone # \_\_\_\_\_

**Address:** \_\_\_\_\_  
Street Name & Number (Post Office) City State Zip Code

**GENERAL MUNICIPAL LAW REVIEW:**

This property is within 500 feet of:  
(Check all that apply)

**IF ANY ITEM IS CHECKED, A REVIEW MUST BE DONE BY THE ROCKLAND COUNTY COMMISSIONER OF PLANNING UNDER THE STATE GENERAL MUNICIPAL LAW, SECTIONS 239 L, M, N, AND NN.**

- |   |   |
|---|---|
| <input type="checkbox"/> State or County Road | <input type="checkbox"/> State or County Park |
| <input type="checkbox"/> Long Path            | <input type="checkbox"/> County Stream        |
| <input type="checkbox"/> Municipal Boundary   | <input type="checkbox"/> County Facility      |

List name(s) of facility checked above:

\_\_\_\_\_

**Referral Agencies:**

- |  |  |
|--|--|
| <input type="checkbox"/> RC Highway Department       | <input type="checkbox"/> RC Division of Environmental Resources  |
| <input type="checkbox"/> RC Drainage Agency          | <input type="checkbox"/> RC Dept. of Health                      |
| <input type="checkbox"/> NYS Dept. of Transportation | <input type="checkbox"/> NYS Dept. of Environmental Conservation |
| <input type="checkbox"/> NYS Thruway Authority       | <input type="checkbox"/> Palisades Interstate Park Commission    |
| <input type="checkbox"/> Adjacent Municipality _____ |  |
| <input type="checkbox"/> Other _____                 |  |

**APPLICATION REVIEW FORM**

**FILL IN WHERE APPLICABLE.**

**( IF THE FOLLOWING DOES NOT APPLY PLEASE MOVE ON TO THE NEXT PAGE )**

**If subdivision:**

- 1) Is any variance from the subdivision regulations required? \_\_\_\_\_
- 2) Is any open space being offered? \_\_\_\_ If so, what amount? \_\_\_\_\_
- 3) Is this a standard or average density subdivision? \_\_\_\_\_

**If site plan:**

- 1) Existing square footage \_\_\_\_\_
- 2) Total square footage \_\_\_\_\_
- 3) Number of dwelling units \_\_\_\_\_

**If special permit**, list special permit use and what the property will be used for.

\_\_\_\_\_  
\_\_\_\_\_

**Environmental Constraints:**

Are there **slopes greater than 25%**? If yes, please indicate the amount and show the gross and net area \_\_\_\_\_ NO

Are there **streams** on the site? If yes, please provide the names. \_\_\_\_\_ NO

Are there **wetlands** on the site? If yes, please provide the names and type:  
\_\_\_\_\_ NO

**Project History:**

Has this project ever been reviewed before? \_\_\_\_\_ NO

If so, provide a narrative, including the list case number, name, date, and the board(s) you appeared before, and the status of any previous approvals.

\_\_\_\_\_  
\_\_\_\_\_

List tax map section, block & lot numbers for all other abutting properties in the same ownership as this project.

\_\_\_\_\_  
\_\_\_\_\_

110 Margaret Keahon 68.07-3-50

13 Envelopes

4 signs

Jessica L Santana  
Tax Map #: 68.07-3-50  
110 Margaret Keahon Dr  
Pearl River, NY 10965

APP

Elaine Gallagher  
Tax Map #: 68.07-3-56  
7421 Sparkling Ct  
Reunion, FL 34747

10

Jean M Leote  
Tax Map #: 68.07-3-40  
50 Graney Ct  
Pearl River, NY 10965

Michael J Fahy  
Tax Map #: 68.07-3-49  
106 Margaret Keahon Dr  
Pearl River, NY 10965

1

Nicholas J Marrazzo  
Tax Map #: 68.07-3-47  
98 Margaret Keahon Dr  
Pearl River, NY 10965

11

Joan Zerasky  
Tax Map #: 68.11-2-26  
95 Margaret Keahon Dr  
Pearl River, NY 10965

Kevin Deitrich  
Tax Map #: 68.07-3-51  
114 Margaret Keahon Dr  
Pearl River, NY 10965

2

~~Nancy J Nawoichyk  
Tax Map #: 68.07-3-39  
46 Graney Ct  
Pearl River, NY 10965~~

John Jasinski  
Tax Map #: 68.07-3-57  
350 Laurel Rd  
Pearl River, NY 10965

Jacob Vormittag  
Tax Map #: 68.07-3-15  
394 Laurel Rd  
Pearl River, NY 10965

3

Edward M Brady  
Tax Map #: 68.07-3-55  
99 Margaret Keahon Dr  
Pearl River, NY 10965

12

Richard Pineiro  
Tax Map #: 68.07-3-34  
45 Graney Ct  
Pearl River, NY 10965

Matthew Mulligan  
Tax Map #: 68.07-3-54  
103 Margaret Keahon Dr  
Pearl River, NY 10965

4

Gerald Flanagan  
Tax Map #: 68.07-3-53  
372 Laurel Rd  
Pearl River, NY 10965

13

Brian Pacifico  
Tax Map #: 68.07-3-25  
80 Graney Ct  
Pearl River, NY 10965

Jose Mendez  
Tax Map #: 68.07-3-52  
118 Margaret Keahon Dr  
Pearl River, NY 10965

5

~~Thomas Collins  
Tax Map #: 68.07-3-36  
34 Graney Ct  
Pearl River, NY 10965~~

Klara Neginsky  
Tax Map #: 68.07-3-45  
90 Margaret Keahon Dr  
Pearl River, NY 10965

Henry J Mansfield  
Tax Map #: 68.07-3-37  
38 Graney Ct  
Pearl River, NY 10965

6

~~American Cyanamid Co  
Tax Map #: 68.07-3-16  
100 Route 206 North  
Peapack, NJ 07977~~

?

William Quigley  
Tax Map #: 68.11-2-27  
91 Margaret Keahon Dr  
Pearl River, NY 10965

Timothy Townsend  
Tax Map #: 68.07-3-38  
40 Graney Ct  
Pearl River, NY 10965

7

~~Michael Burke  
Tax Map #: 68.07-3-13  
382 Laurel Rd  
Pearl River, NY 10965~~

Giuseppe Deangelis  
Tax Map #: 68.07-3-26  
21 Graney Ct  
Pearl River, NY 10965

Peter Clancy  
Tax Map #: 68.07-3-48  
102 Margaret Keahon Dr  
Pearl River, NY 10965

8

~~Jose Bravo  
Tax Map #: 68.07-3-46  
94 Margaret Keahon Dr  
Pearl River, NY 10965~~

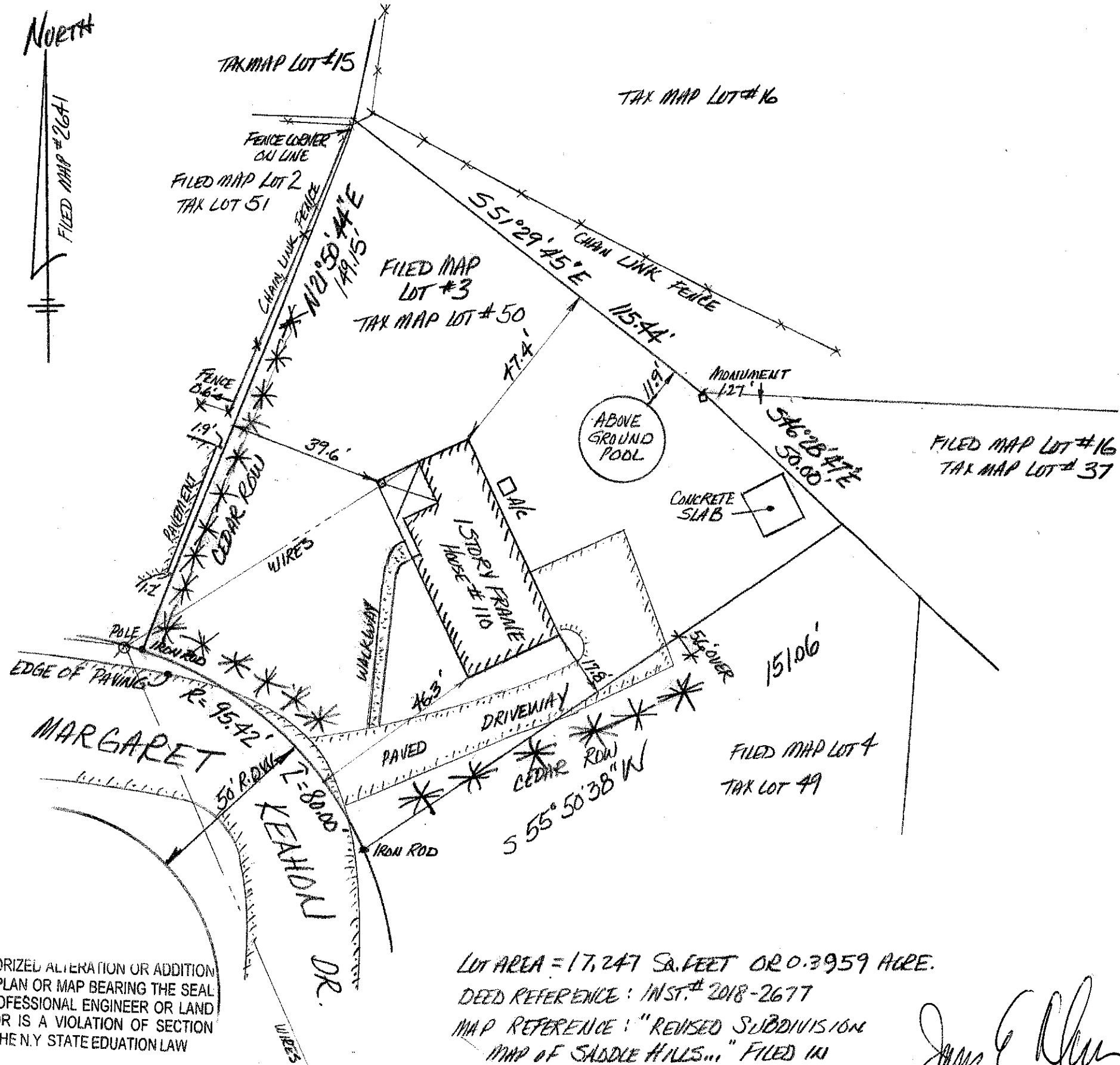
Thomas Moore  
Tax Map #: 68.11-2-24  
344 Laurel Rd  
Pearl River, NY 10965

Dmytro Chornobryvets  
Tax Map #: 68.07-3-14  
388 Laurel Rd  
Pearl River, NY 10965

9

~~John Cashell  
Tax Map #: 68.07-3-35  
39 Graney Ct  
Pearl River, NY 10965~~

Frances Clinton  
Tax Map #: 68.07-3-41  
54 Graney Ct  
Pearl River, NY 10965



JUN 2 2021  
TOWN OF ORANGETOWN

UNAUTHORIZED ALTERATION OR ADDITION TO ANY PLAN OR MAP BEARING THE SEAL OF A PROFESSIONAL ENGINEER OR LAND SURVEYOR IS A VIOLATION OF SECTION 7209 OF THE N.Y. STATE EDUCATION LAW

LOT AREA = 17,247 SQ. FEET OR 0.3959 ACRE.  
 DEED REFERENCE: INST. # 2018-2677  
 MAP REFERENCE: "REVISED SUBDIVISION MAP OF SADDLE HILLS" FILED IN THE ROCKLAND COUNTY CLERK'S OFFICE ON MARCH 10, 1959 AS MAP #2641.

<b>JAMES E. DRUMM</b> LAND SURVEYOR 22 STEEP HILL ROAD NANUET, NEW YORK 10954 845-357-0211      JIMDRUMM@DRUMMSURVEY.COM			
SURVEY OF <b>SECTION 68.07- BLOCK 3</b> <b>LOT 50</b> HAMLET OF PEARL RIVER TOWN OF ORANGETOWN- ROCKLAND COUNTY - NEW YORK			
JAMES E. DRUMM N.Y.L.S. #49952-N.J.L.S. #35360	DRAWN BY: TS CHECKED BY: JED	SCALE: 1"=20' DATE: MAR. 12, 2021	JOB 2729 DWG 2729