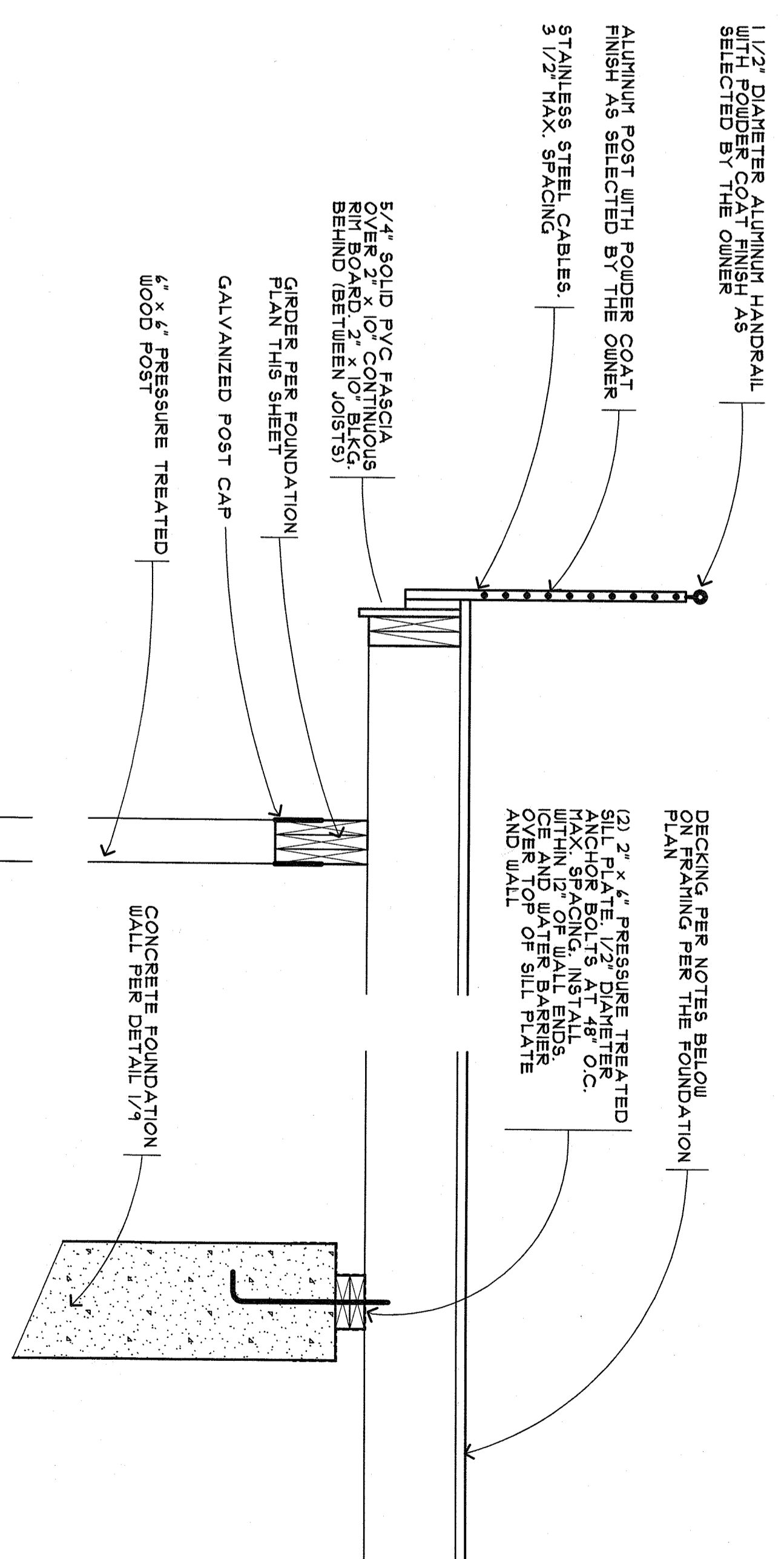


**FOUNDATION PLAN**  
SCALE: 1/4" = 1'-0"

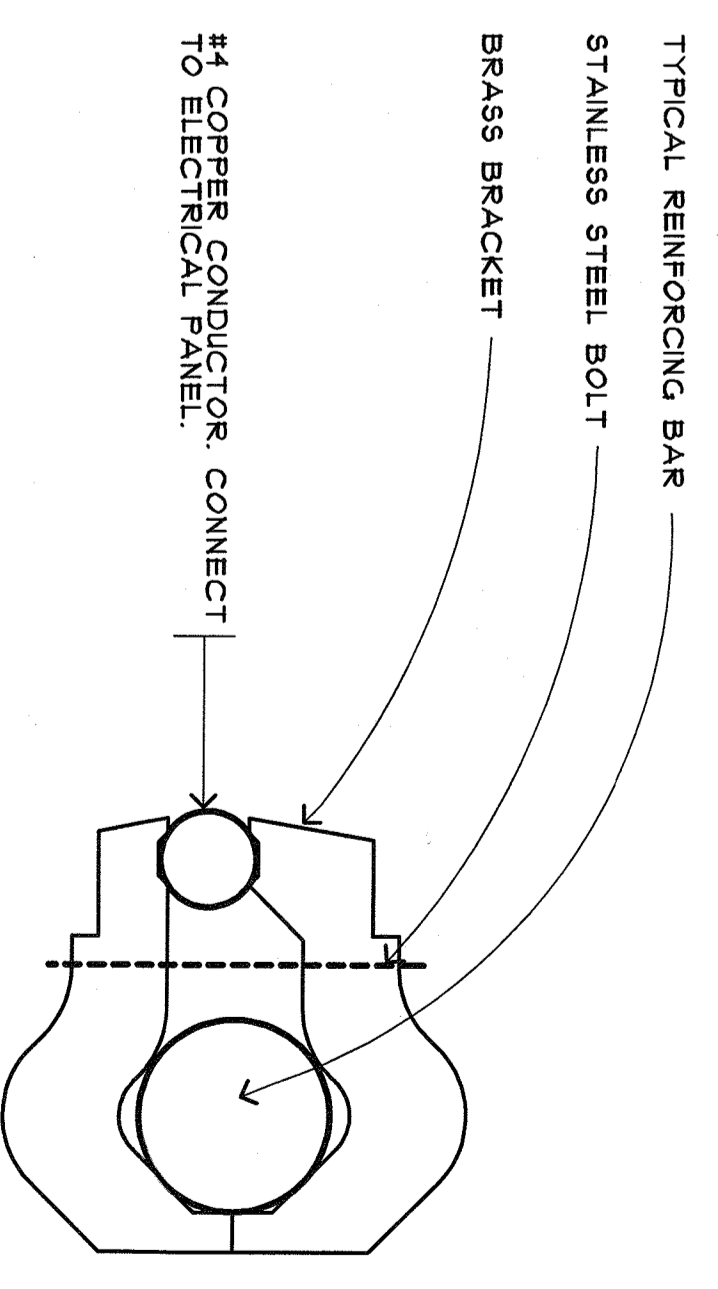
- FOUNDATION PLAN NOTES**
- EXISTING FOUNDATION WALL TO REMAIN.
  - NEW CONCRETE FOUNDATION WALL ON CONTINUOUS CONCRETE FOOTING PER THE REFERENCED DETAILS.
  - 1/2" DIAMETER CONCRETE FILLED SONOTUBE PIER FOOTING.

THIS DRAWING SET INCLUDES GENERAL NOTES, PAGES 1 OF 6 THRU 6 OF 6 INCLUSIVE, PRINTED ON 8 1/2" x 11" SHEETS AND STAPLED TO THE UPPER LEFT HAND CORNER OF THIS DRAWING SET. DO NOT PROCEED WITH ANY PART OF THE WORK IF ANY OR ALL OF THESE SHEETS ARE MISSING.



**TERRACE DETAIL**  
SCALE: 1" = 1'-0"

- NOTE: TERRACE CONSTRUCTION AS FOLLOWS:
- FRAMING:  
PRESSURE TREATED SOUTHERN YELLOW PINE.
- DECKING:  
5/4" x 6" TREX; COLOR AS SELECTED BY THE OWNER.
- RAILING AND GUARD:  
'CABLE RAIL' GUARD AND HANDRAIL SYSTEM AS MANUFACTURED BY 'VIEWRAIL'. HANDRAILS SHALL BE 1 1/2" DIAMETER ALUMINUM WITH POWDER COAT FINISH. COLOR AS SELECTED BY THE OWNER. POSTS SHALL BE ALUMINUM WITH POWDER COAT FINISH, COLOR AS SELECTED BY THE OWNER. CABLES SHALL BE 1/2" DIAMETER STAINLESS STEEL. 5/32" DIAMETER INCLUDE ALL REQUIRED HARDWARE FOR A COMPLETE INSTALLATION. REVIEW ALL COMPONENTS WITH OWNER PRIOR TO ORDERING.



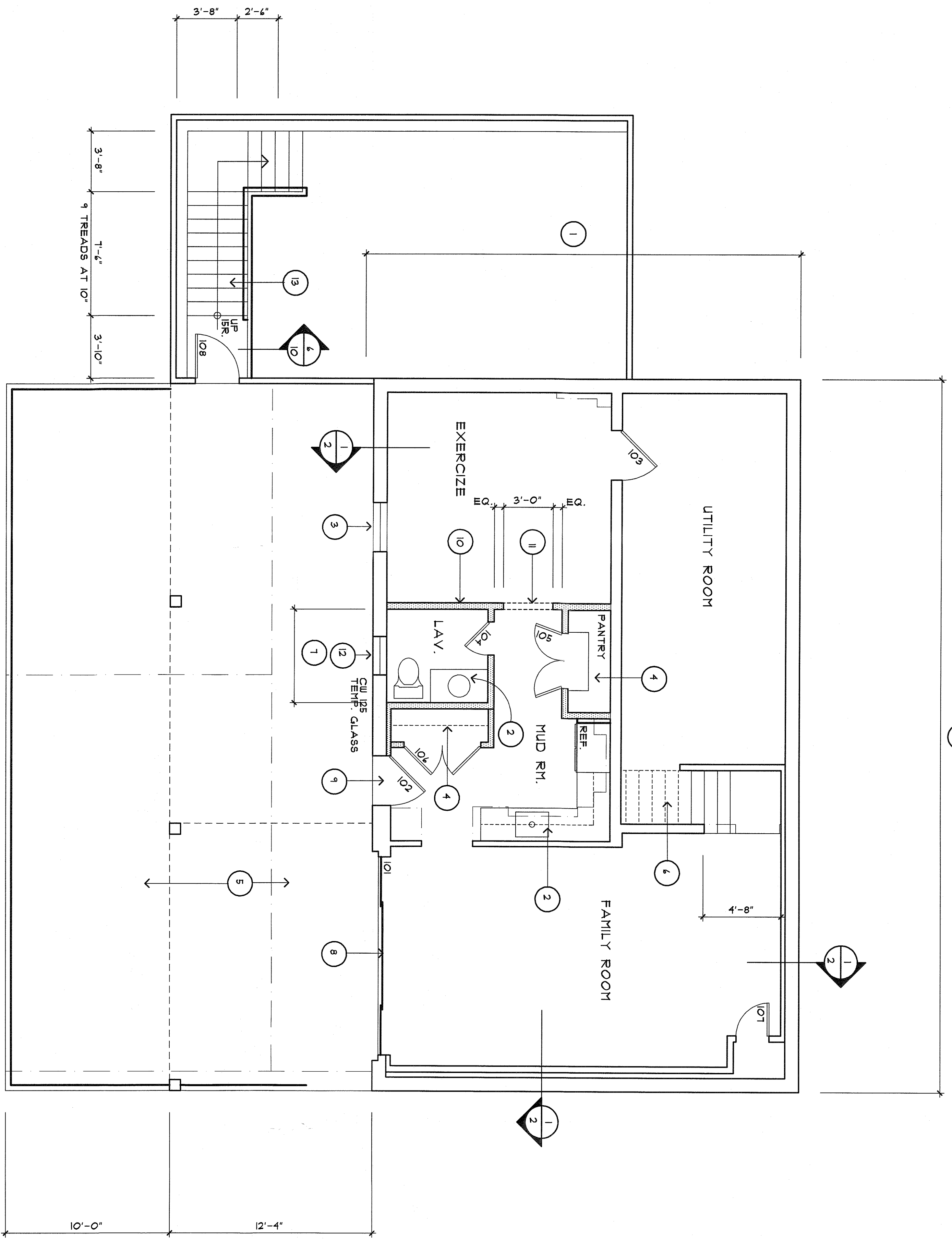
**FOOTING REINFORCEMENT BONDING DETAIL**  
NOT TO SCALE

ALTERATIONS TO THE  
**MAURO RESIDENCE**  
1019 ROUTE 9W SOUTH  
NYACK (ORANGETOWN) NEW YORK

**JOSEPH J. BRUNO, AIA**  
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NY ARCH LIC. 090582

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DATE: 02/10/21  
REVISIONS:  
SHEET NO: **A1** OF 13



**LOWER SECOND FLOOR PLAN**

SCALE: 1/4" = 1'-0"  
ALL WINDOW AND DOOR HEADERS SHALL BE (2) 2" x 12"  
UNLESS NOTED OTHERWISE.

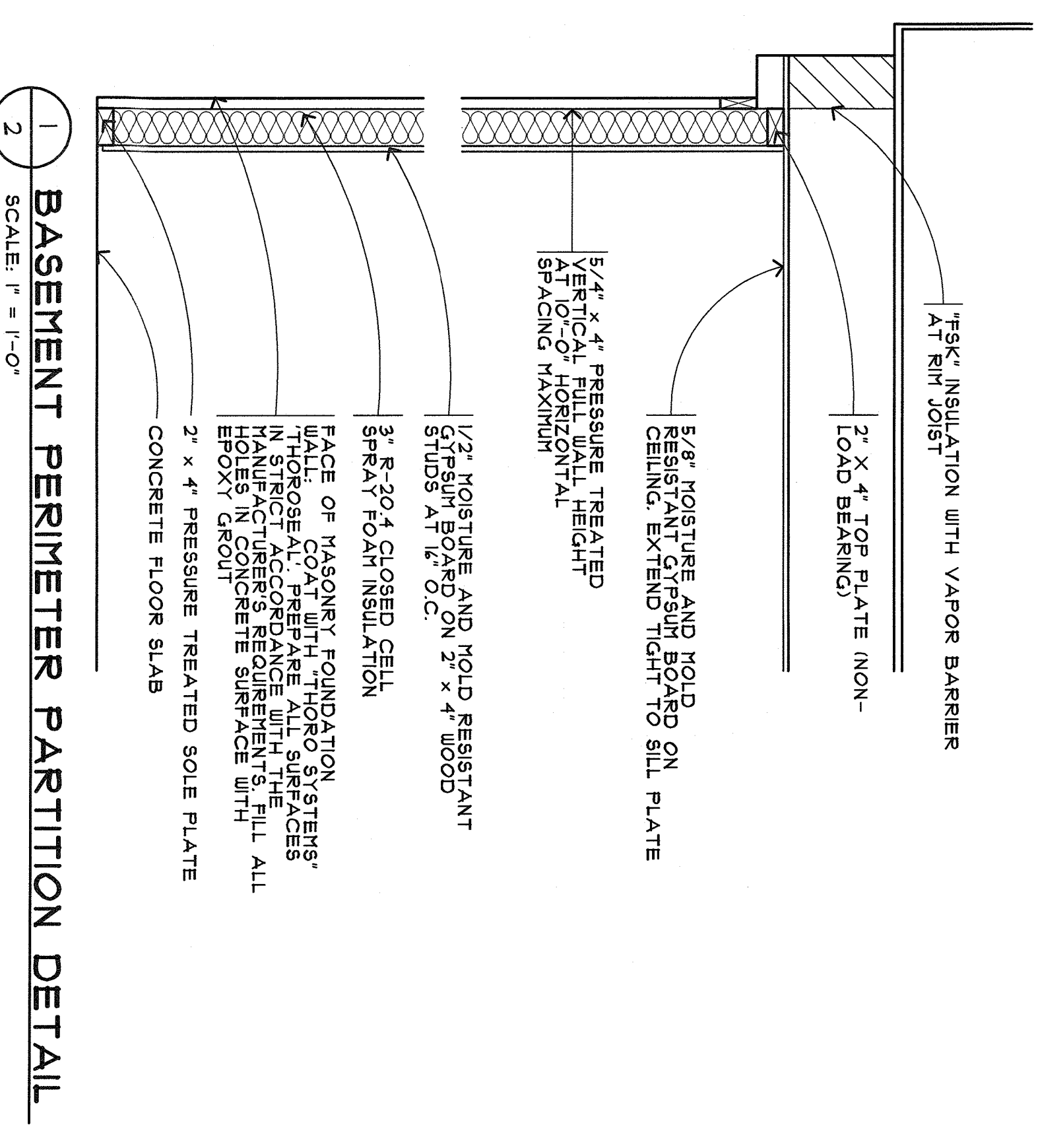
**LOWER SECOND FLOOR DOOR SCHEDULE**

101	FLUG 120411-4	ANDERSEN FRENCHWOOD GLIDING DOOR UNIT.
102	FLUG 9161	ANDERSEN FRENCHWOOD HINGED DOOR UNIT.
103	3'-0" x 6'-8" x 1 3/4"	PASSAGE LOCKSET.
104	2'-4" x 6'-8" x 1 3/8"	PRIVACY LOCKSET.
105	PAIR 1'-8" x 6'-8" x 1 3/8"	DUNN TRIM, BALL CATCHES.
106	PAIR 2'-4" x 6'-8" x 1 3/8"	DUNN TRIM, BALL CATCHES.
107	2'-0" x 6'-8" x 1 3/8"	PASSAGE LOCKSET.
108	2'-8" x 6'-8" x 1 3/4"	ENTRANCE UNIT AS SELECTED BY THE OWNER. ALLOW \$2500.00 FOR PURCHASE.

EXISTING CONSTRUCTION TO BE REMOVED.  
NEW CONSTRUCTION.

**LOWER SECOND FLOOR PLAN NOTES**

1. RE-CONSTRUCT PUMPING AND ELECTRICAL WORK TO SUIT THE NEW LAYOUT. REFER TO OTHER ASPECTS OF THESE DRAWINGS AND GENERAL NOTES FOR ADDITIONAL INFORMATION.
2. FINISH PERIMETER EXTERIOR MASONRY WALLS PER THE REFERENCED DETAILS.
3. INSULATE INTERIOR PERIMETER LAVATORY WALLS WITH 3/2" BATT SOUND INSULATION.
4. FINISH WALLS AND CEILING WITH 1/2" GYPSUM BOARD. SHIP CEILING LEVEL NOTES FOR ADDITIONAL INFORMATION.
5. FLOOR FINISHES AS DIRECTED BY THE OWNER FOR BIDDING PURPOSES. ASSUME THESE FINISHES ARE AS SELECTED BY THE OWNER. 100 COATS SATIN POLYURETHANE OVER.
6. HOLDINGS AS SELECTED BY THE OWNER.
7. CABINETRY PER THE GENERAL NOTES.
8. REMOVE EXISTING WINDOW UNIT IN ENTIRETY. FURNISH AND INSTALL NEW WINDOW SIZED TO FIT EXISTING MASONRY OPENING.
9. CLOSET ORGANIZER AS SELECTED BY THE OWNER.
10. REMOVE EXISTING WOOD STAIR GUARD AND HANDRAILS IN ENTIRETY. AS SELECTED BY THE OWNER.
11. LAVATORY INTERIOR FINISHES AS FOLLOWS:  
WALLS: TILE MANSCOT AS DIRECTED BY THE OWNER OVER 1/2" CEILING: 5/8" MOISTURE AND HOLD RESISTANT GYPSUM BOARD.  
FLOOR: TILE AS SELECTED BY THE OWNER. TILE SET OVER 1/2" THK. CURED AND SEALED WITH AN EPoxy FLOOR FINISH. METAL LATH FASTENED TO THE CONCRETE FLOOR SLAB.  
REMOVE THE EXISTING DOOR UNIT, MODIFY MASONRY WALL TO ACCOMMODATE THE NEW DOOR UNIT.  
CUT OPENING IN EXISTING MASONRY WALL TO ACCOMMODATE NEW DOOR UNIT. RESTORE ADJACENT AFFECTED CONSTRUCTION TO REMAIN.  
NEW FRAME PARTITION PER DETAIL 1/3.  
6'-8" HIGH TRIMMED OPENING.
12. CUT OPENING IN EXISTING MASONRY WALL TO ACCOMMODATE NEW WINDOW UNIT. RESTORE ADJACENT AFFECTED CONSTRUCTION TO REMAIN.
13. WOOD STAIR SIMILAR TO DETAIL 1/10. YELLOW PINE TREADS AND RISERS. HANDRAIL ALONG STAIR RUN.



**BASEMENT PERIMETER PARTITION DETAIL**

SCALE: 1" = 1'-0"

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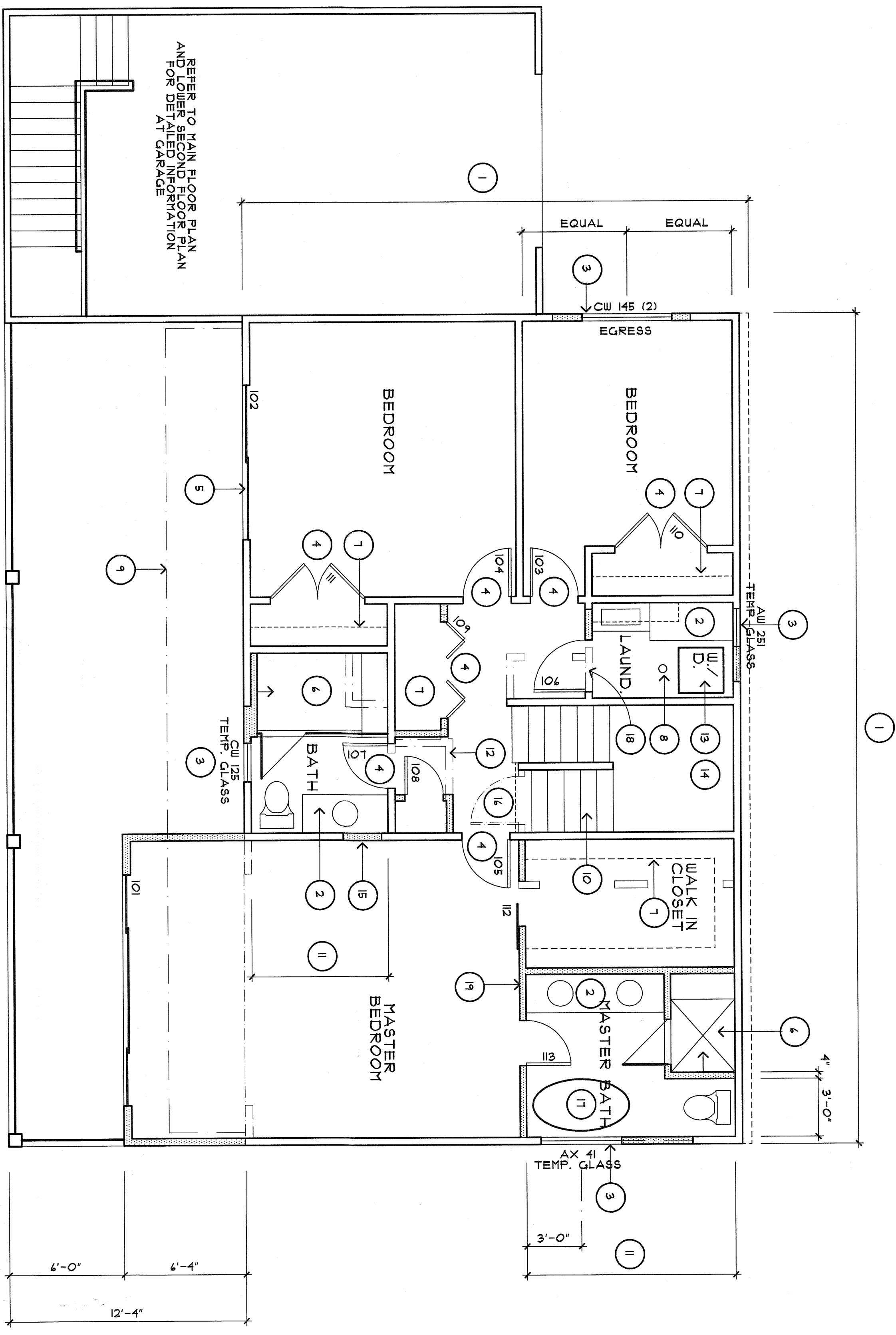
JOSEPH J. BRUNO, AIA  
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TELEPHONE/ FACSIMILE 201-301-1115

ALTERATIONS TO THE  
**MAURO RESIDENCE**  
1019 ROUTE 9W SOUTH  
NYACK (ORANGETOWN) NEW YORK

REVISIONS:  
DATE: 02/10/21  
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**A2** OF 13

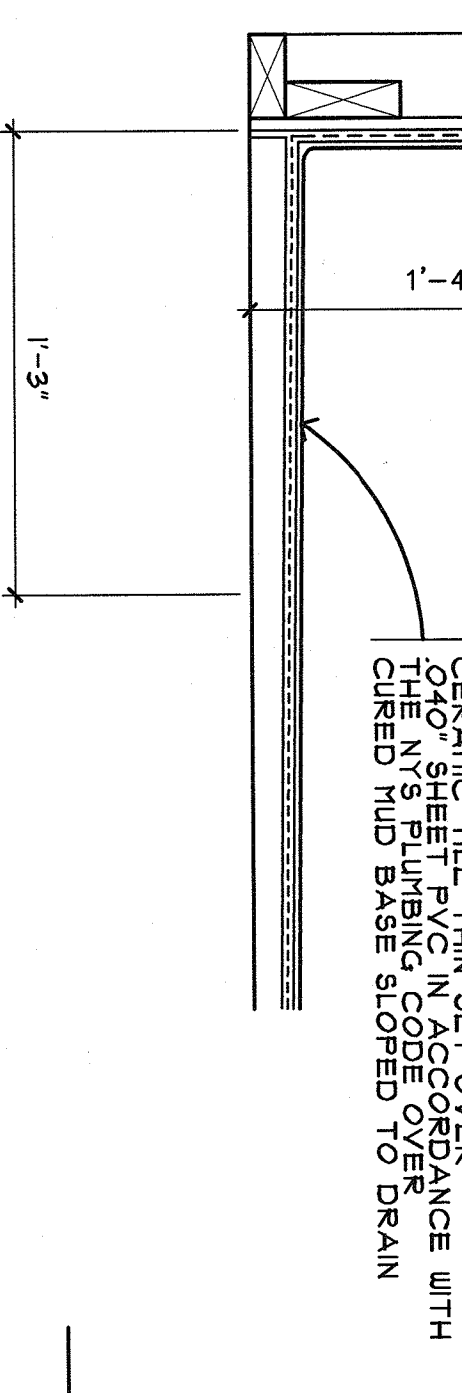
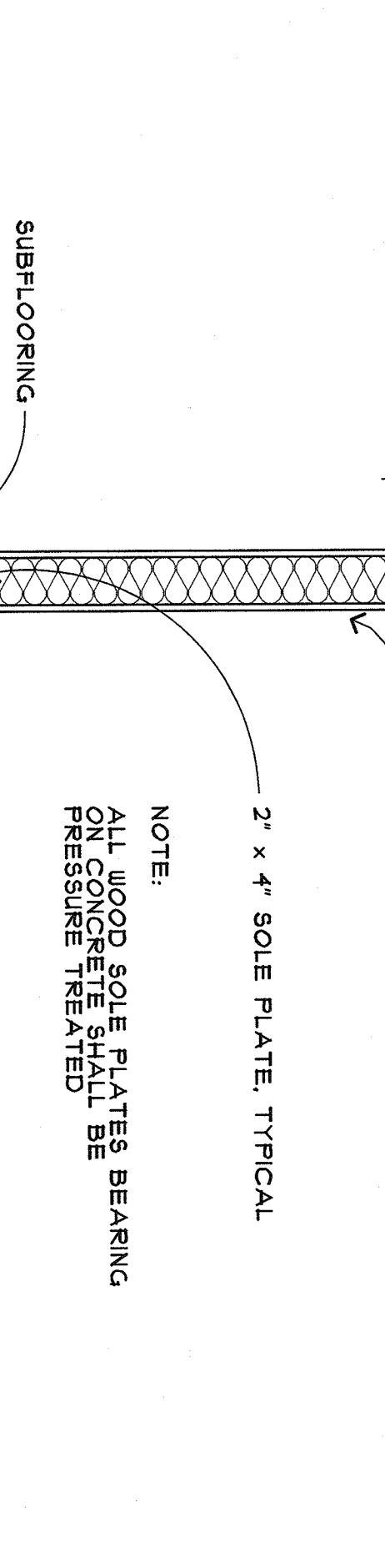
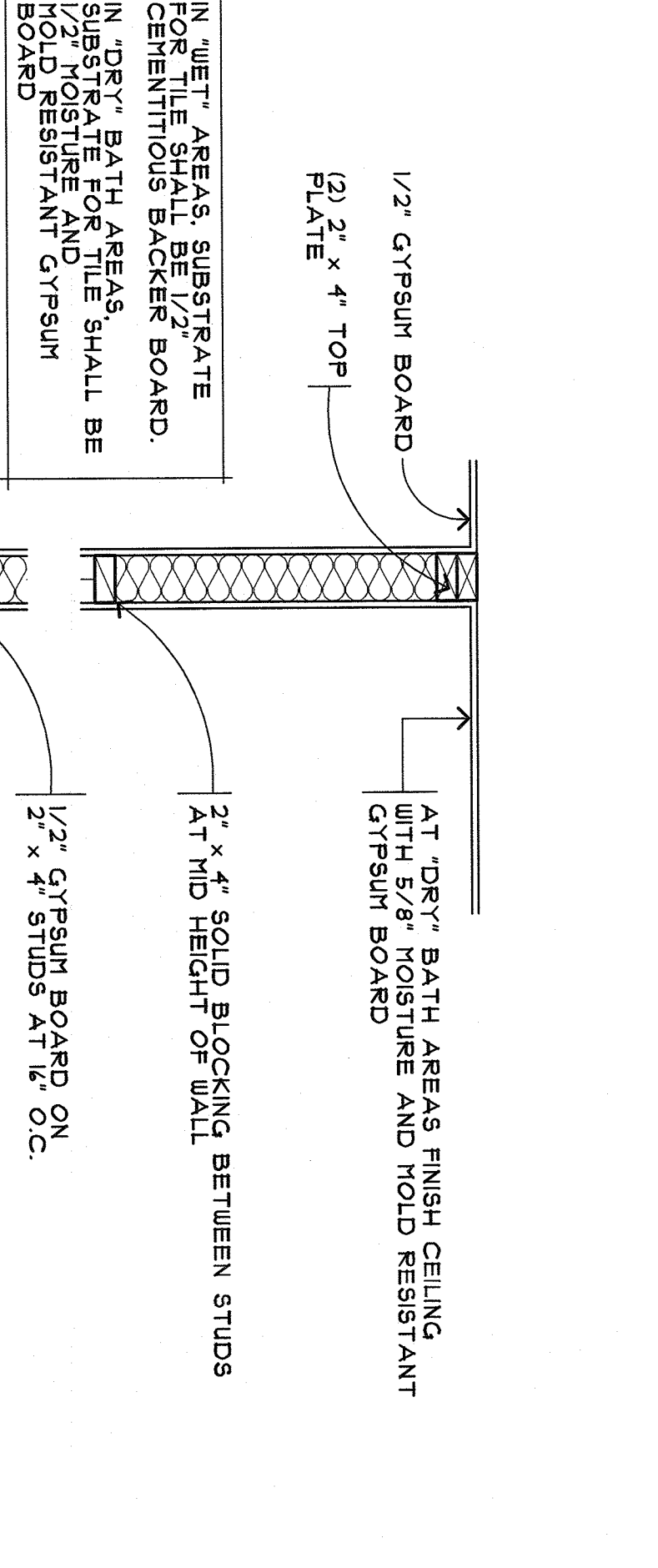
**LOWER FLOOR PLAN NOTES**

1. RE-CONFIGURE PLUMBING AND ELECTRICAL WORK TO SUIT THE NEW LAYOUT. REFER TO OTHER SECTIONS OF THESE DRAWINGS AND GENERAL NOTES FOR ADDITIONAL INFORMATION.
2. INSULATE EXTERIOR WALLS WITH 5" R-34 CLOSED CELL SPRAY FOAM INSULATION.
3. INSULATE INTERIOR PERIMETER LAVATORY AND BEDROOM WALLS WITH 3 1/2" BATT SOUND INSULATION.
4. FINISH WALLS AND CEILING WITH 1/2" GYPSUM BOARD. SHIM CEILING LEVEL AS MAY BE REQUIRED BY FIELD CONDITIONS. REFER TO BATH FINISH NOTES FOR ADDITIONAL INFORMATION. FURR EXTERIOR WALLS TO ACCOMMODATE INSULATION.
5. FLOOR FINISHES AS DIRECTED BY THE OWNER. FOR BIDDING PURPOSES ASSUME 4" SELECT RED OAK STAIN AS SELECTED BY THE OWNER. TWO COATS SATIN POLYURETHANE OVER.
6. HOLDINGS AS SELECTED BY THE OWNER.
7. CABINETRY PER THE GENERAL NOTES.
8. REMOVE EXISTING WINDOW UNIT IN ENTIRETY. MODIFY FRAMING TO ACCOMMODATE THE NEW WINDOW UNIT.
9. REMOVE THE EXISTING DOOR UNIT. MODIFY FRAMING TO ACCOMMODATE THE NEW DOOR UNIT.
10. REMOVE THE EXISTING WINDOW UNIT. MODIFY FRAMING TO ACCOMMODATE THE NEW WINDOW UNIT.
11. SHOWER STALL PER DETAIL 2/3. TEMPERED GLASS DOOR AS SELECTED BY OWNER.
12. FLOOR DRAIN WITH TRAP PRIMER. REFER TO DETAIL 3/3 FOR FLOOR WATERPROOFING.
13. FLOOR ORGANIZER AS SELECTED BY THE OWNER.
14. EXISTING BALCONY TO BE REMOVED.
15. REMOVE EXISTING WOOD STAIR GUARD AND HANDRAILS IN ENTIRETY. PROVIDE NEW WOOD STAIR PER DETAILS 1/10 AND 2/10. GUARD AND HANDRAIL AS SELECTED BY THE OWNER.
16. BATH INTERIOR FINISHES AS FOLLOWS:  
SHOWER WALLS AND CEILING: TILE AS SELECTED BY THE OWNER. THIN SET OVER 1/2" CEMENTITIOUS BACKER BOARD.  
BALANCE OF WALLS: TILE WANSKOT AS DIRECTED BY THE OWNER OVER 1/2" CEMENTITIOUS BACKER BOARD.  
BALANCE OF CEILING: 5/8" MOISTURE AND MOLD RESISTANT GYPSUM BOARD.  
FLOOR: REFER TO DETAIL 1/4.
17. REMOVE EXISTING FRAME WALL TO EXTENT SHOWN.
18. GAS CLOTHES DRYER VENT TO EXTERIOR WITH GALVANIZED DUCT. PROVIDE HOODED CAP WITH BACKDRAFT DAMPER.
19. CLOTHES WASHER. PROVIDE RECESSED WALL STATION WITH HOT AND COLD WATER SUPPLIES, DRAIN AND VENT CONNECTIONS.
20. REMOVE EXISTING DOOR UNIT IN ENTIRETY. CLOSE OPENING WITH CONSTRUCTION TO HATCH EXISTING.
21. FREE STANDING TUB AS SELECTED BY THE OWNER.
22. CUT OPENING IN EXISTING FRAME WALL AND FRAME TO ACCOMMODATE NEW DOOR UNIT.
23. NEW FRAME PARTITION PER DETAIL 1/3.



**LOWER FIRST FLOOR PLAN NOTES**

SCALE: 1/4" = 1'-0"



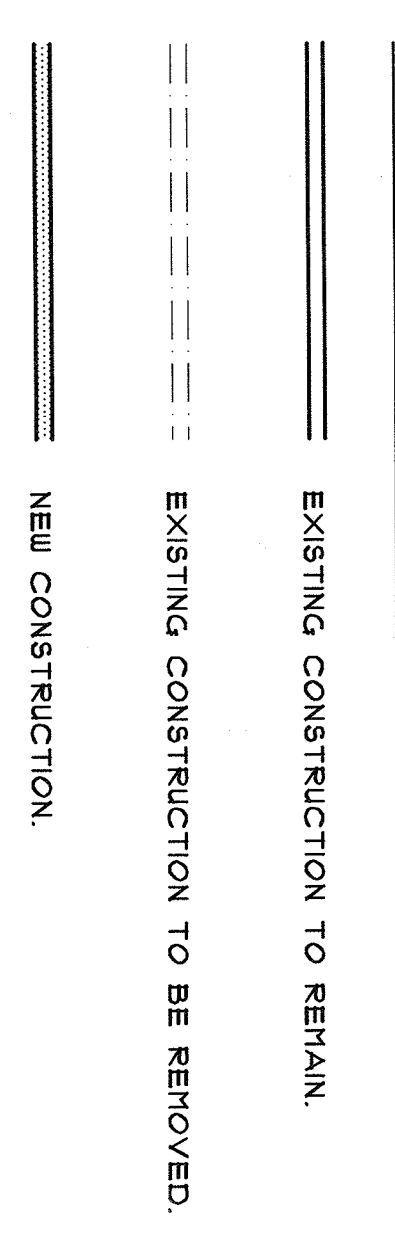
**LOWER FIRST FLOOR DOOR SCHEDULE**

101	FUG 120411-4	ANDERSEN FRENCHWOOD GLIDING DOOR UNIT.
102	FUG 80411	ANDERSEN FRENCHWOOD GLIDING DOOR UNIT.
103	2'-6" x 6'-8" x 1 3/8"	PRIVACY LOCKSET.
104	2'-6" x 6'-8" x 1 3/8"	PRIVACY LOCKSET.
105	2'-8" x 6'-8" x 1 3/8"	PRIVACY LOCKSET.
106	2'-8" x 6'-8" x 1 3/8"	PASSAGE LOCKSET. LOUVER DOOR.
107	2'-4" x 6'-8" x 1 3/8"	PASSAGE LOCKSET.
108	2'-0" x 6'-8" x 1 3/8"	PASSAGE LOCKSET.
109	5'-0" x 6'-8" x 1 3/8"	BI FOLD DOOR UNIT.
110	PAIR 2'-8" x 6'-8" x 1 3/8"	DUPNY TRIM. BALL CATCHES.
111	PAIR 2'-8" x 6'-8" x 1 3/8"	DUPNY TRIM. BALL CATCHES.
112	2'-4" x 6'-8" x 1 3/8"	SURFACE SLIDING DOOR UNIT. NOTE #1 BELOW.
113	2'-8" x 6'-8" x 1 3/8"	PRIVACY LOCKSET.

**LOWER FLOOR DOOR SCHEDULE NOTES**

1. SURFACE SLIDING DOOR UNIT HARDWARE AS SELECTED BY THE OWNER.

**FLOOR PLAN LEGEND**



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 NY ARCH LIC. 030562

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 PARK RIDGE, NEW JERSEY 07654  
 TELEPHONE/ FACSIMILE 201-307-1115

ALTERATIONS TO THE  
**MAURO RESIDENCE**  
 1079 ROUTE 9E SOUTH  
 NYACK (ORANGETOWN) NEW YORK

DESIGN BY: JJB  
 CHECKED BY: ME  
 DATE: 02/10/21

REVISIONS:

SHEET NO:  
**A3**  
 OF 13

# MAIN FLOOR PLAN NOTES

1. RE-CONFIGURE PLUMBING AND ELECTRICAL WORK TO SUIT THE NEW LAYOUT. REFER TO OTHER ASPECTS OF THESE DRAWINGS AND GENERAL NOTES FOR ADDITIONAL INFORMATION.
2. INSULATE EXTERIOR WALLS WITH 5" R-34 CLOSED CELL SPRAY FOAM INSULATION. WALL BETWEEN GARAGE AND LIVING SPACE INCLUDED.
3. INSULATE INTERIOR PERIMETER LAYATORY AND BEDROOM WALLS WITH 3 1/2" BATT SOUND INSULATION.
4. FINISH WALLS AND CEILING WITH 1/2" GYPSUM BOARD. SHIM CEILING LEVEL.
5. FINISH FLOOR WITH 3/4" T&G OSB. REFER TO OTHER DRAWINGS FOR ADDITIONAL INFORMATION. FURR EXTERIOR WALLS TO ACCOMMODATE INSULATION.
6. ASSUME 4" SELECT RED OAK STAIN AS SELECTED BY THE OWNER. TWO COATS SATIN POLYURETHANE OVER.
7. HOULDINGS AS SELECTED BY THE OWNER.
8. CABINETRY PER THE GENERAL NOTES.
9. REMOVE EXISTING WINDOW UNIT IN ENTIRETY. MODIFY FRAMING TO ACCOMMODATE THE NEW WINDOW UNIT INDICATED.
10. REMOVE THE EXISTING DOOR UNIT. MODIFY FRAMING TO ACCOMMODATE THE NEW DOOR UNIT. RESUME ADJACENT CONSTRUCTION TO REMAIN.
11. REMOVE THE EXISTING WINDOW UNIT. MODIFY FRAMING TO ACCOMMODATE THE NEW DOOR UNIT. RESUME ADJACENT CONSTRUCTION TO REMAIN.
12. EXISTING EXTERIOR STAIR TO BE REMOVED.
13. REMOVE EXISTING BALCONY. NEW BALCONY PER PLAN AND DETAILS.
14. REMOVE EXISTING WOOD STAIR GUARD AND HANDRAILS IN ENTIRETY. PROVIDE NEW WOOD STAIR PER DETAILS 1/10 AND 2/10. GUARD AND HANDRAIL AS SELECTED BY THE OWNER.
15. L.A.V. INTERIOR FINISHES AS FOLLOWS:
  1. WALLS: TILE WAINGCOT AS DIRECTED BY THE OWNER OVER 1/2" FLOORING AND HOLD RESISTANT GYPSUM BOARD.
  2. CEILING: 5/8" MOISTURE AND MOLD RESISTANT GYPSUM BOARD.
  3. FLOOR: TILE AS SELECTED BY THE OWNER. TRIM SET OVER 1/4" THICK CEMENTITIOUS BACKER BOARD SCREWED THROUGH THE SUBFLOORING INTO THE FLOOR FRAMING. FLUSH TRANSITION AT DOORWAY. FLOOR PER DETAIL 1/4 TO REMAIN.
  4. REMOVE EXISTING DOORWAY WALL IN ENTIRETY.
  5. GARAGE INTERIOR FINISHES AS FOLLOWS:
    1. WALLS: 5/8" TYPE 'X' MOISTURE AND MOLD RESISTANT GYPSUM BOARD.
    2. CEILING: 2 LAYERS 5/8" TYPE 'X' GYPSUM BOARD. EXPOSED L.A.V. SHALL BE MOISTURE AND MOLD RESISTANT.
    3. SQUARE COLUMN ENCLOSURE AS SELECTED BY THE OWNER.
    4. STONE FINISH ON CONCRETE PLATFORM PER THE REFERENCED DETAIL.
    5. REMOVE EXISTING SING AND WALL SHEATHING. FINISH WALL WITH 5/8" TYPE 'X' MOISTURE AND MOLD RESISTANT GYPSUM BOARD.
    6. REMOVE EXISTING DOOR UNIT IN ENTIRETY. TRIM OPENING AS DIRECTED BY THE OWNER.
    7. WOOD BURNING STOVE AS SELECTED BY THE OWNER WITH HEAT SHIELD. INSULATED METAL FLUE. PROVIDE BASE AS FOLLOWS:
      1. 1/4" CEMENTITIOUS BACKER BOARD. SIMILAR TO DETAIL 1/4.
      2. 1/4" THICK STONE VENEER AS SELECTED OVER 1/2" CEMENTITIOUS BACKER BOARD. HORIZONTAL TO WALL WITH GALVANIZED FLASHINGS AT 8" O.C.
      3. HORIZONTAL TO WALL WITH GALVANIZED FLASHINGS AT 8" O.C.

# FLOOR PLAN LEGEND

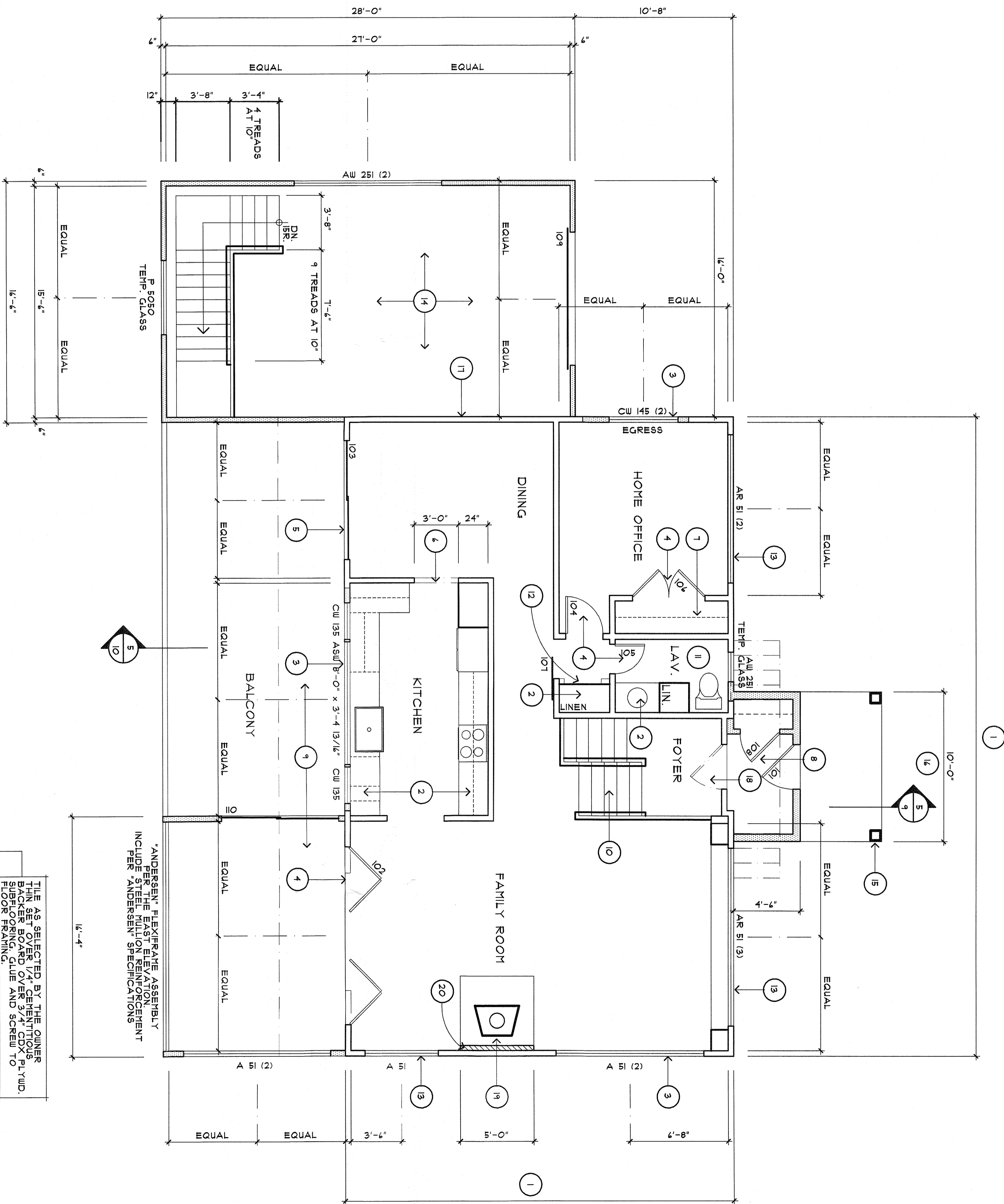
- EXISTING CONSTRUCTION TO REMAIN.
- EXISTING CONSTRUCTION TO BE REMOVED.
- NEW CONSTRUCTION.

# MAIN FLOOR DOOR SCHEDULE

NO.	DESCRIPTION	NOTES
101	3'-0" x 7'-0" x 1 3/4"	ENTRANCE UNIT AS SELECTED BY THE OWNER. ALLOW \$5,000.00 FOR PURCHASE.
102	12'-0" x 6'-8" x 1 3/4" BI FOLD DOOR UNIT.	ONE LITE SAFETY GLASS.
103	FLUG BOULI	ANDERSEN FRENCHWOOD GLIDING DOOR UNIT.
104	2'-4" x 6'-8" x 1 3/8"	PRIVACY LOCKSET.
105	2'-0" x 6'-8" x 1 3/8"	PRIVACY LOCKSET.
106	PAIR 2'-8" x 6'-8" x 1 3/8"	DUPHY TRIM, BALL CATCHES.
107	2'-8" x 6'-8" x 1 3/8"	SURFACE SLIDING DOOR UNIT. NOTE #1 BELOW.
108	2'-8" x 6'-8" x 1 3/8"	PASSAGE LOCKSET.
109	4'-0" WIDE x 8'-0" HIGH	SECTIONAL OVERHEAD DOOR UNIT. NOTE #2 BELOW.
110	FLUG BOULI	ANDERSEN FRENCHWOOD GLIDING DOOR UNIT.

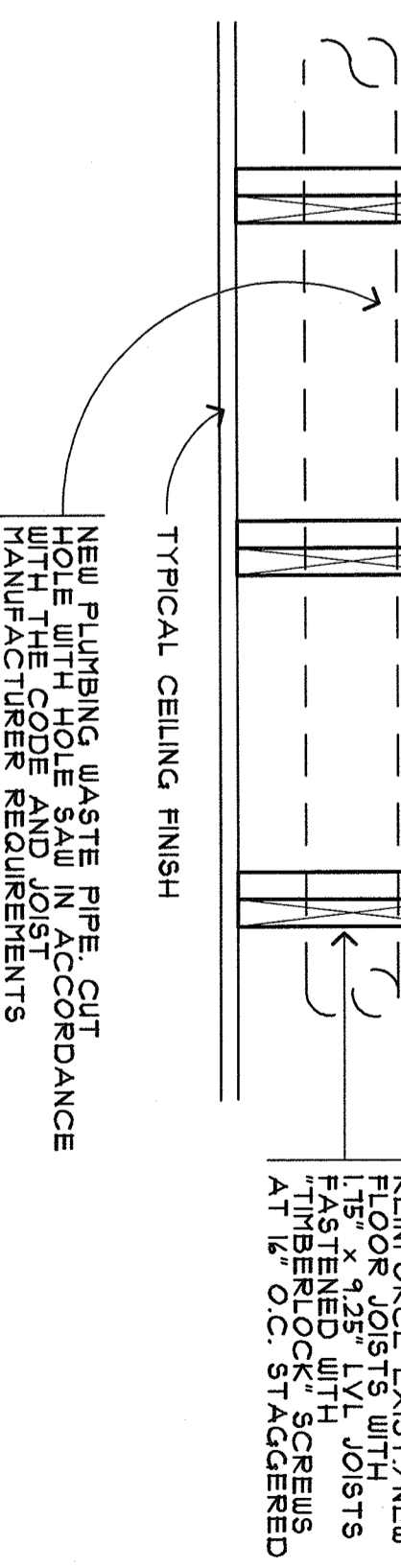
# MAIN FLOOR DOOR SCHEDULE NOTES

1. SURFACE SLIDING DOOR UNIT HARDWARE AS SELECTED BY THE OWNER.
2. INSULATED SECTIONAL OVERHEAD DOOR UNIT WITH ELECTRIC MOTOR OPERATOR. INCLUDE ALL REQUIRED SAFETY CONTROLS AND OPENED WITH 1/2" THICK PVC SHEET.



# MAIN FLOOR PLAN

SCALE: 1/4" = 1'-0"



# FLOOR FRAMING DETAIL

1. SCALE: 1" = 1'-0"
2. NOTE: THE EXISTING FLOOR FRAMING IS ASSUMED TO BE NOMINAL MATERIAL.

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ALTERATIONS TO THE

**MAURO RESIDENCE**

1079 ROUTE 9W SOUTH  
NYACK (ORANGETOWN) NEW YORK

REVISIONS:

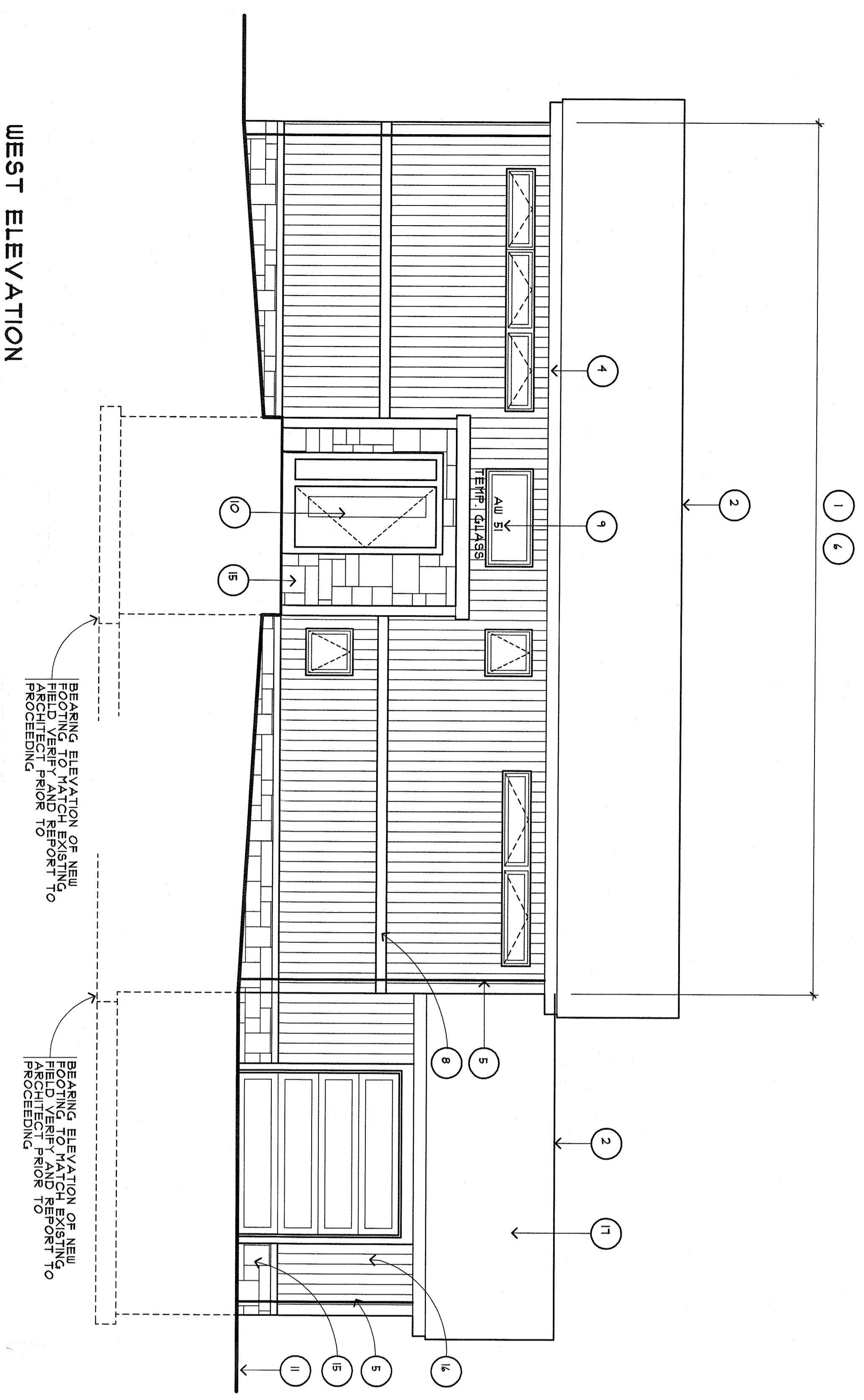
DATE: 02/10/21

DRAWN BY: JUB  
CHECKED BY: HE

SHEET NO:  
**A 4**  
OF 13

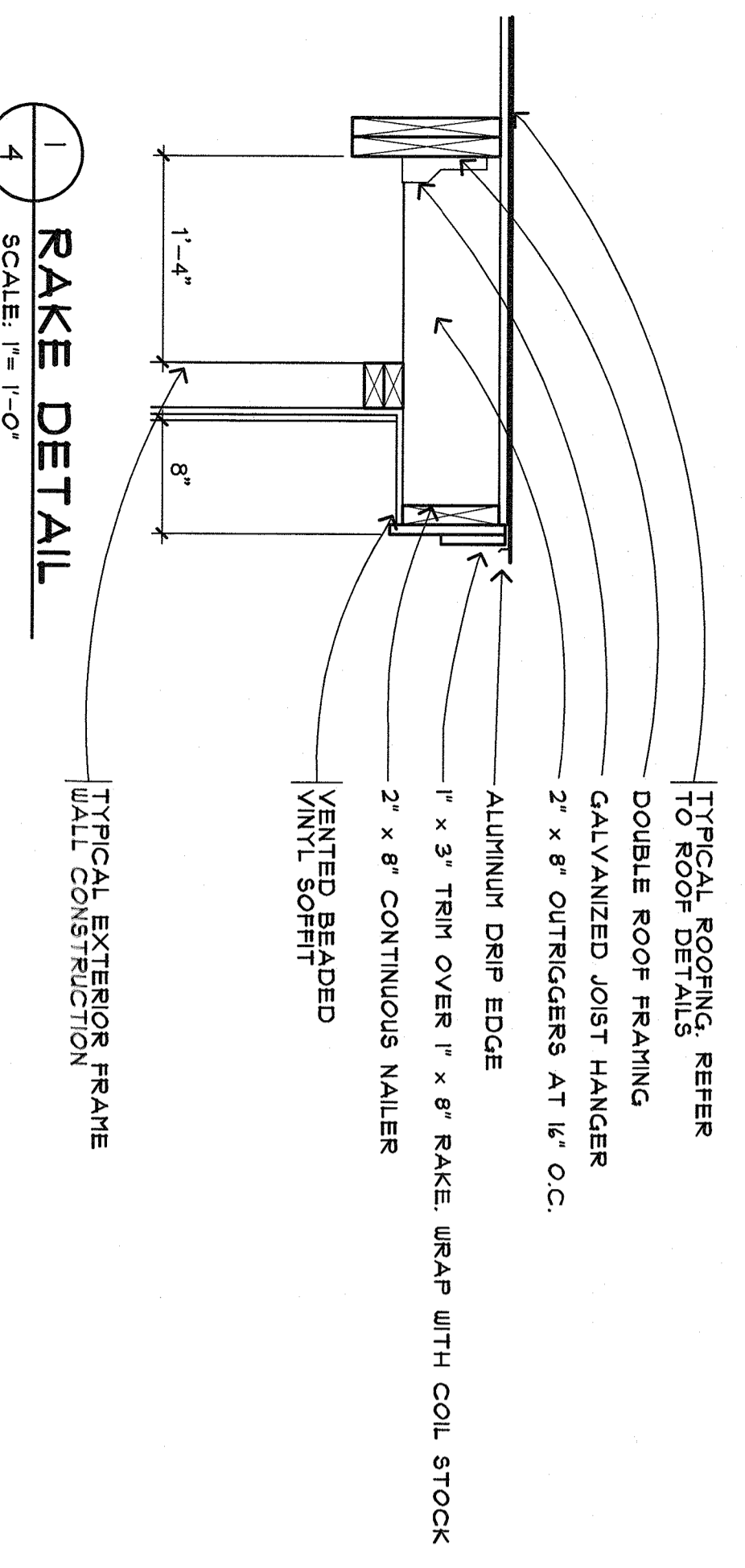
**ELEVATION NOTES**

1. REMOVE EXISTING ROOFING IN ENTIRETY. FURNISH AND INSTALL NEW ASPHALT RAKES.
2. RIDGE VENT WITH CAP SHINGLES OVER.
3. RAKE PER DETAIL 1/4.
4. ALUMINUM CUTTER ON FASCIA WRAPPED WITH SOLID STOCK. REFER TO THE REFERENCED DETAILS FOR ADDITIONAL INFORMATION.
5. ALUMINUM DOWNSPOUT.
6. STRIP SIDING FROM ALL EXTERIOR WALL SURFACES. REMOVAL SHALL INCLUDE SOLID BRICK AND INSULATION. REFER TO THE REFERENCED DETAILS FOR ADDITIONAL INFORMATION AND FINISHES TO REMAIN.
7. ALUMINUM BLIND FLASHING. STEP ALONG ROOF RAKE.
8. 5/4" x 8" SOLID PVC WATER TABLE BOARD.
9. WINDOW UNIT. REFER TO FLOOR PLANS AND GENERAL NOTES.
10. DOOR UNIT. REFER TO FLOOR PLANS AND GENERAL NOTES.
11. APPROXIMATE EXISTING FINISHED GRADE TO REMAIN.
12. REPLACE FLUE WITH SPARK ARRESTOR AND RAIN CAP.
13. COLUMN PER THE PLAN AND SCHEDULE. WRAP WITH SOLID PVC SHEET OVER 1/2" CDX PLYWOOD SHEATHING ON WOOD BLOCKING.
14. GUARD AND HANDRAIL PER THE REFERENCED BALCONY DETAIL.
15. THIN STONE VENEER AS SELECTED BY THE OWNER. ALLOW 1500 S.F. FOR PURCHASE OF STONE.
16. SIDING AS SELECTED BY THE OWNER.
17. ASPHALT SHINGLE ROOFING AS SELECTED BY THE OWNER.
18. 1 1/2" DIAMETER PAINTED STEEL PIPE HANDRAIL. WALL MOUNTED.



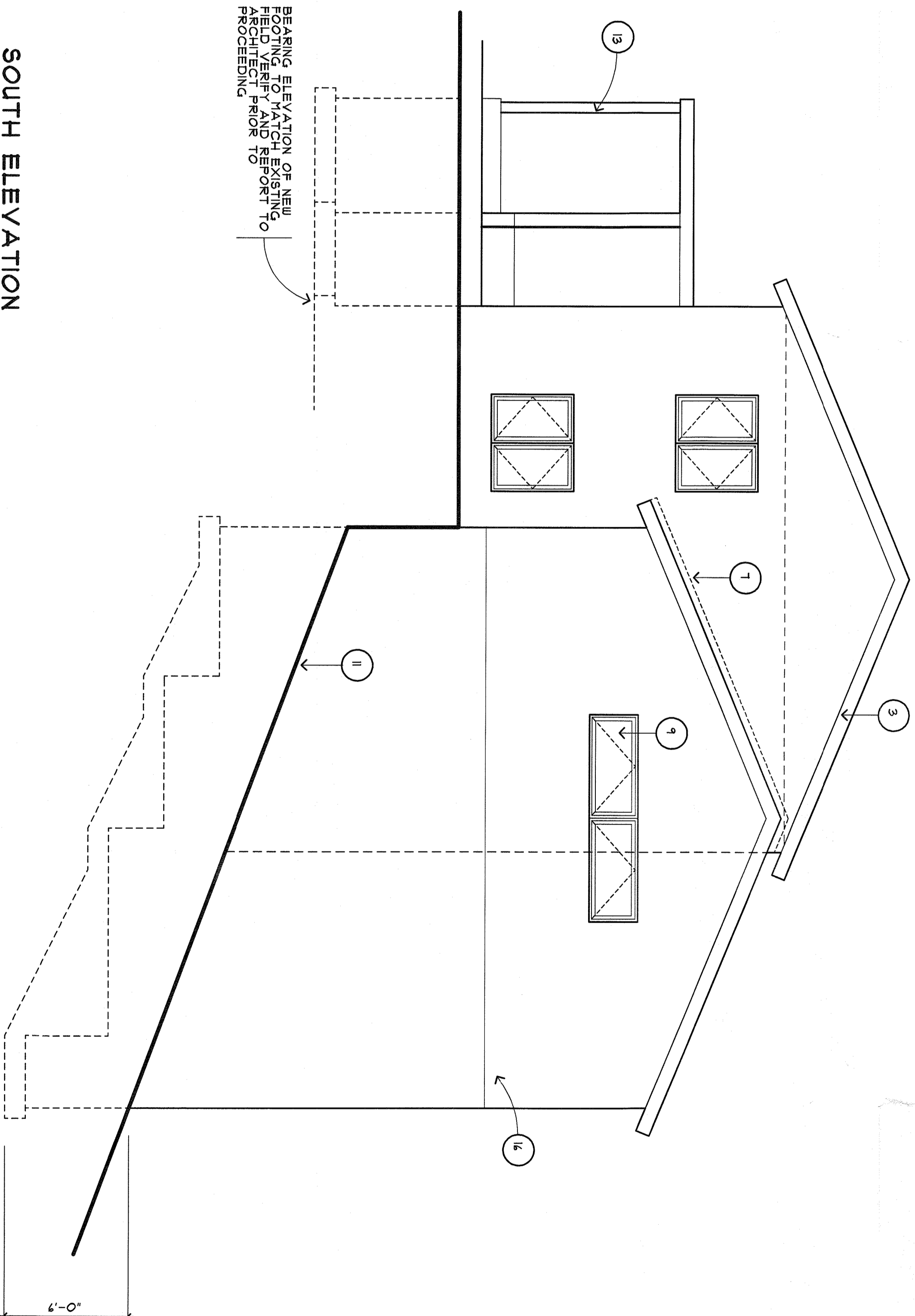
**WEST ELEVATION**

SCALE: 1/4" = 1'-0"



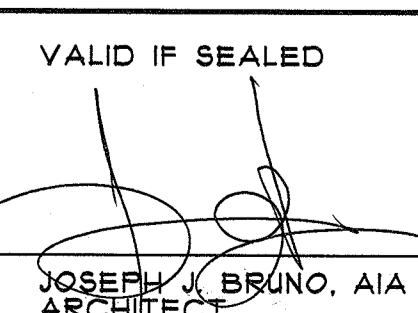
**RAKE DETAIL**

SCALE: 1" = 1'-0"



**SOUTH ELEVATION**

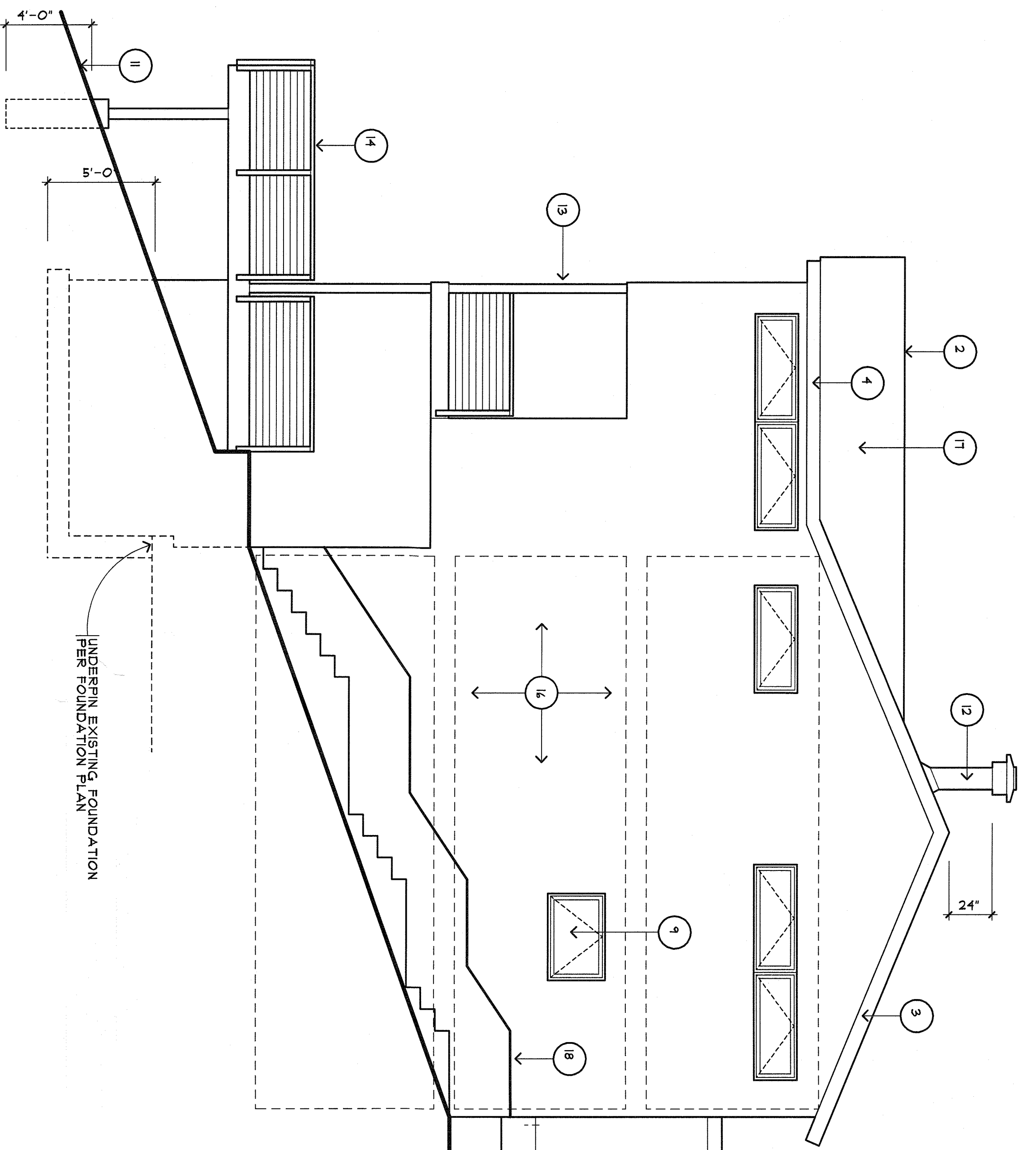
SCALE: 1/4" = 1'-0"

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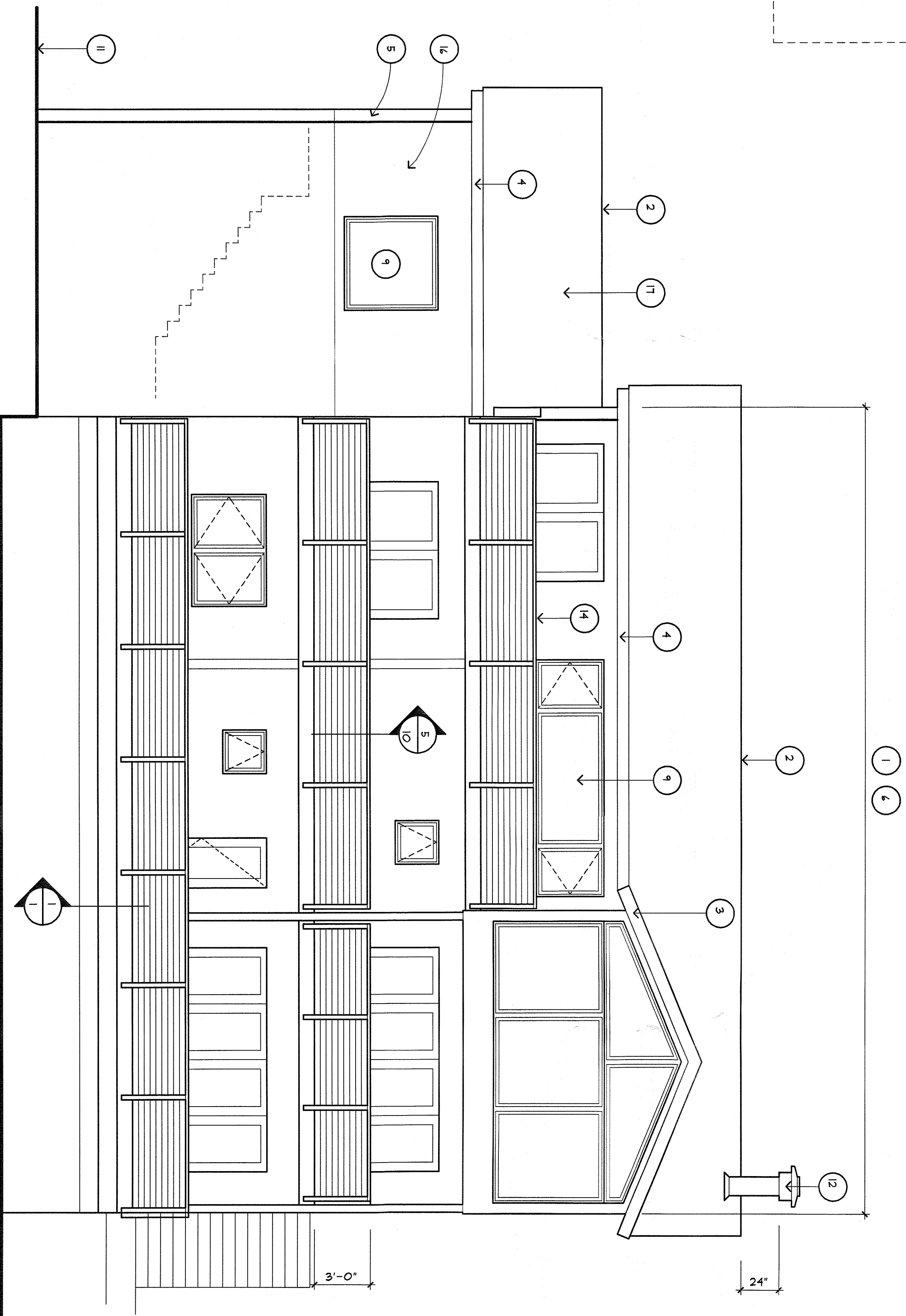
DEMOLITION OF INTERIOR FINISHES  
**MAURO RESIDENCE**  
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 DRAWN BY: JIB  
 SHEET NO:  
**A5** OF 4



NORTH ELEVATION

SCALE: 1/4" = 1'-0"



EAST ELEVATION

SCALE: 1/4" = 1'-0"

ELEVATION NOTES

1. REMOVE EXISTING ROOFING IN ENTIRETY. PURCHASE AND INSTALL NEW ASPHALT SHINGLE ROOFING OVER 1/2" FELT (ICE AND WATER BARRIER AT EAVES) AND RAKES.
2. RIDGE VENT WITH CAP SHINGLES OVER.
3. RAKE PER DETAIL 1/4.
4. ALUMINUM GUTTER ON FASCIA WRAPPED WITH COIL STOCK. REFER TO THE REFERENCED DETAILS FOR ADDITIONAL INFORMATION.
5. ALUMINUM DOWNSPOUT.
6. STRIP SIDING FROM ALL EXTERIOR WALL SURFACES. REMOVE. SHALL INCLUDE RIGID INSULATION AND NYLON RIBBON SIDING OVER RIGID INSULATION OVER 1/2" VEEK BUILDING WRAP. RESTORE ADJACENT AFFECTED CONSTRUCTION AND FINISHES TO REMAIN.
7. ALUMINUM BLIND FLASHING. STEP ALONG ROOF RAKE.
8. 5/4" x 8" SOLID PVC WATER TABLE BOARD.
9. WINDOW UNIT. REFER TO FLOOR PLANS AND GENERAL NOTES.
10. DOOR UNIT. REFER TO FLOOR PLANS AND GENERAL NOTES.
11. APPROXIMATE EXISTING FINISHED GRADE TO REMAIN.
12. REPLACE TILE WITH SPARK ARRESTOR AND RAIN CAP.
13. PROVIDE TILE WITH FLASHING COLLAR AT ROOF.
14. COLUMN PER THE PLAN AND SCHEDULE. WRAP WITH SOLID PVC SHEET OVER 1/2" CDX PLYWOOD SHEATHING ON WOOD BLOCKING.
15. GUARD AND HANDRAIL PER THE REFERENCED BALCONY DETAIL.
16. THIN STONE VENEER AS SELECTED BY THE OWNER. ALLOW 1500/ SF FOR PURCHASE OF STONE.
17. SIDING AS SELECTED BY THE OWNER.
18. ASPHALT SHINGLE ROOFING AS SELECTED BY THE OWNER.
19. 1 1/2" DIAMETER PAINTED STEEL PIPE HANDRAIL. WALL MOUNTED.

VALID IF SEALED

JOSEPH J. BRUNO, AIA  
ARCHITECT  
NY ARCH LIC. 020582

JOSEPH J. BRUNO, AIA  
ARCHITECT

29 PASCACK ROAD  
PARK RIDGE, NEW JERSEY 07654  
TELEPHONE/ FACSIMILE 201-301-1115

DEMOLITION OF INTERIOR FINISHES

MAURO RESIDENCE

1079 ROUTE 9W SOUTH  
NYACK (ORANGETOWN) NEW YORK

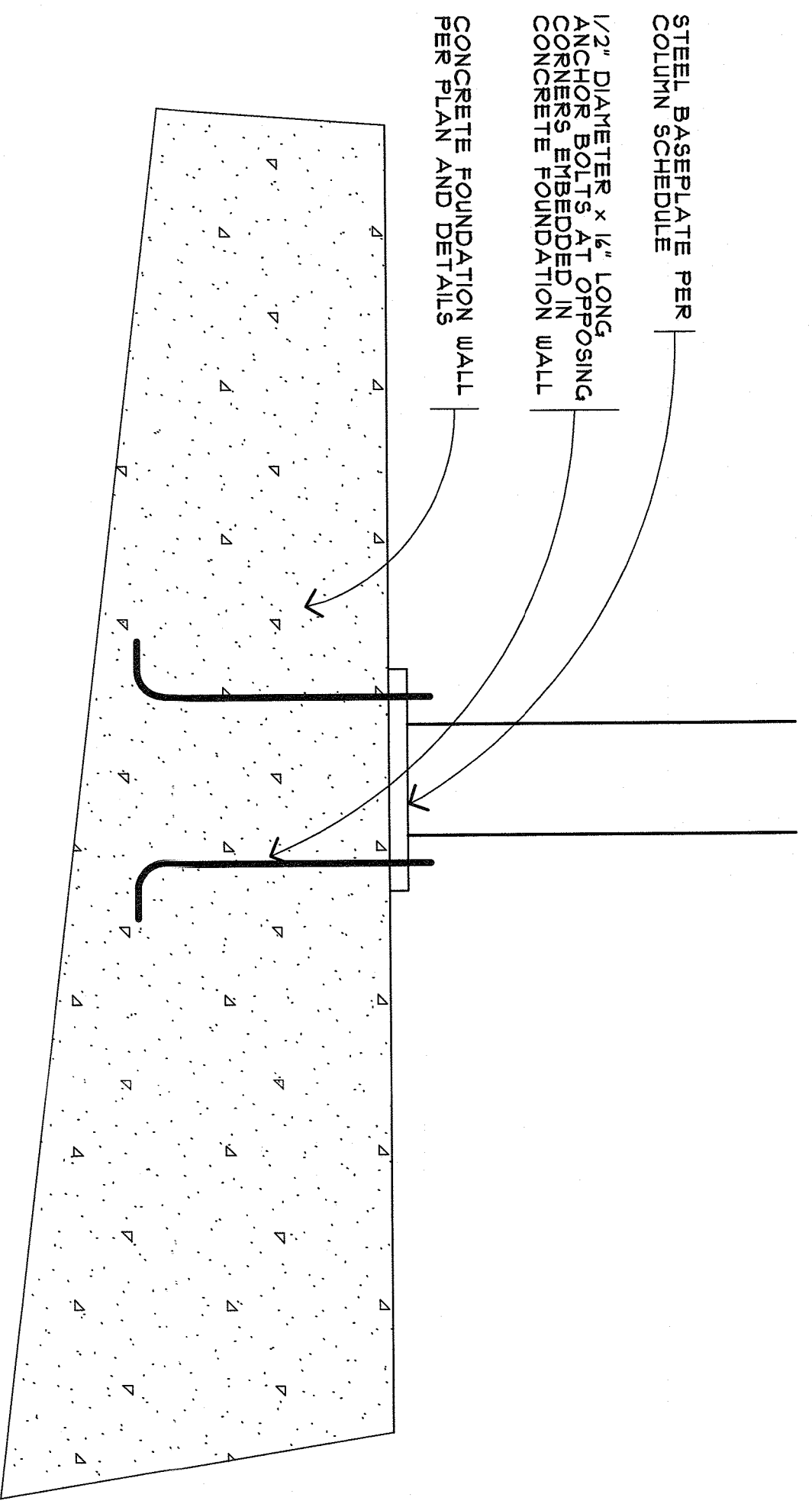
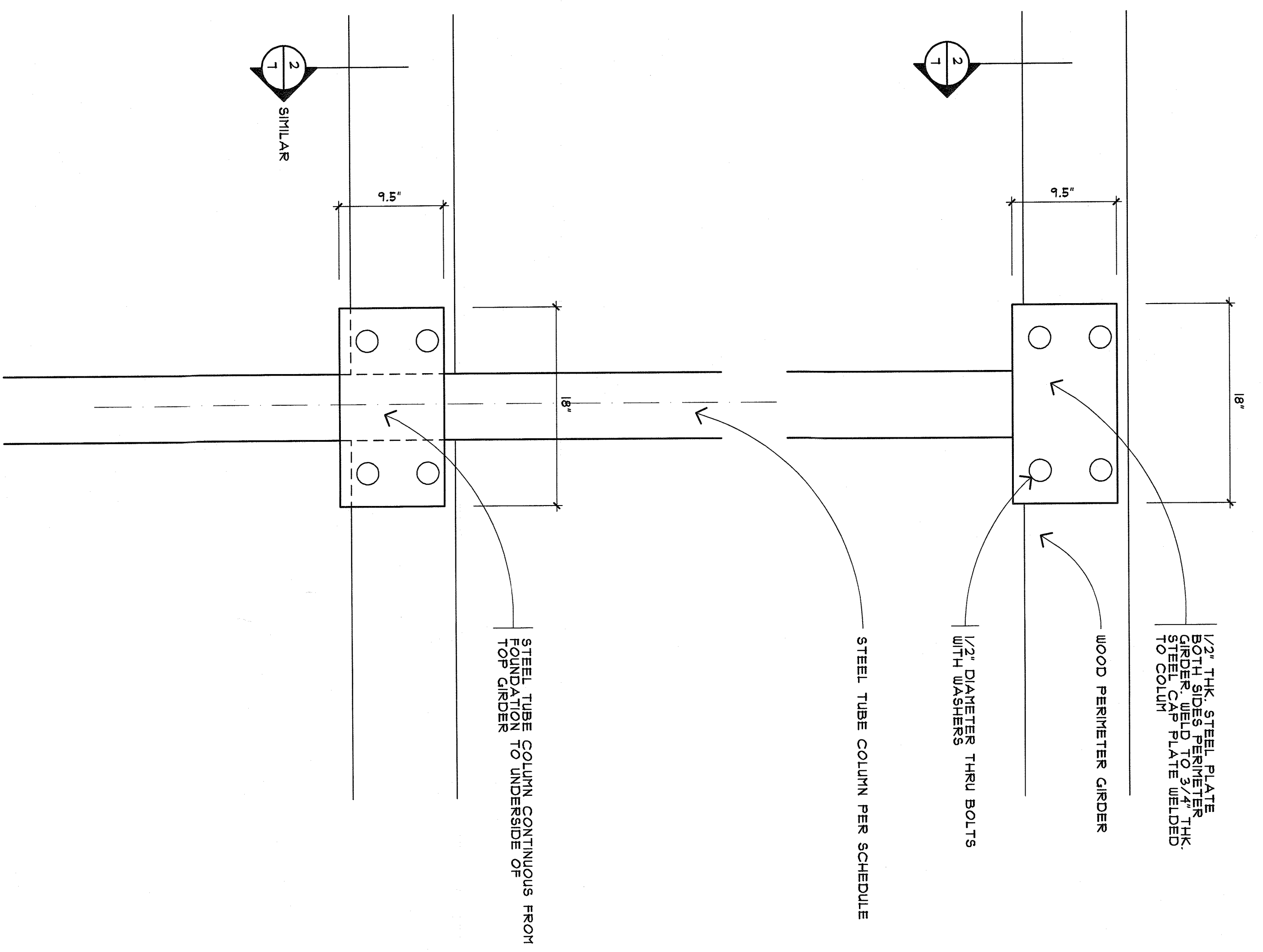
DRAWN BY: JJB  
CHECKED BY: ME

DATE: 02/10/21

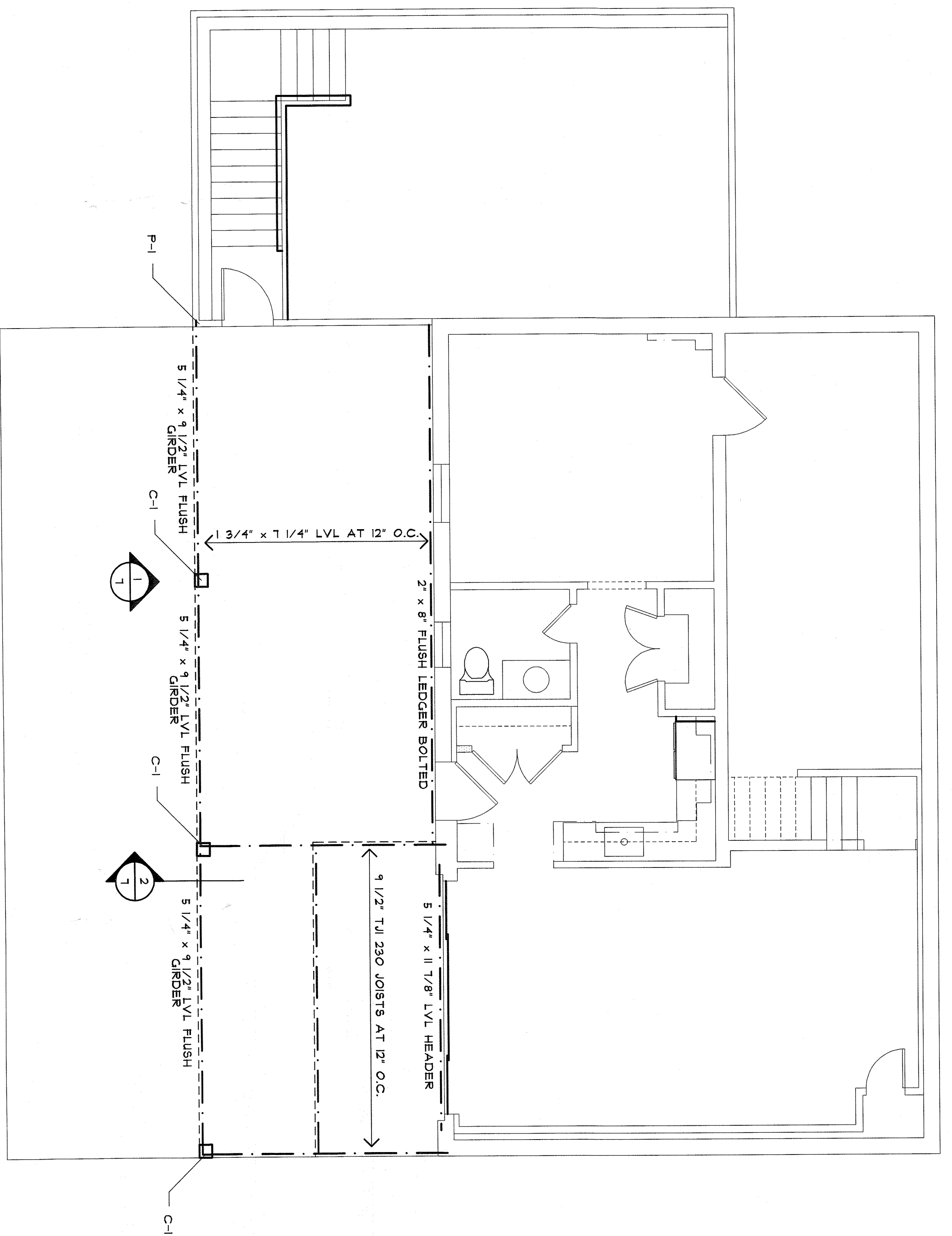
REVISIONS:

SHEET NO.

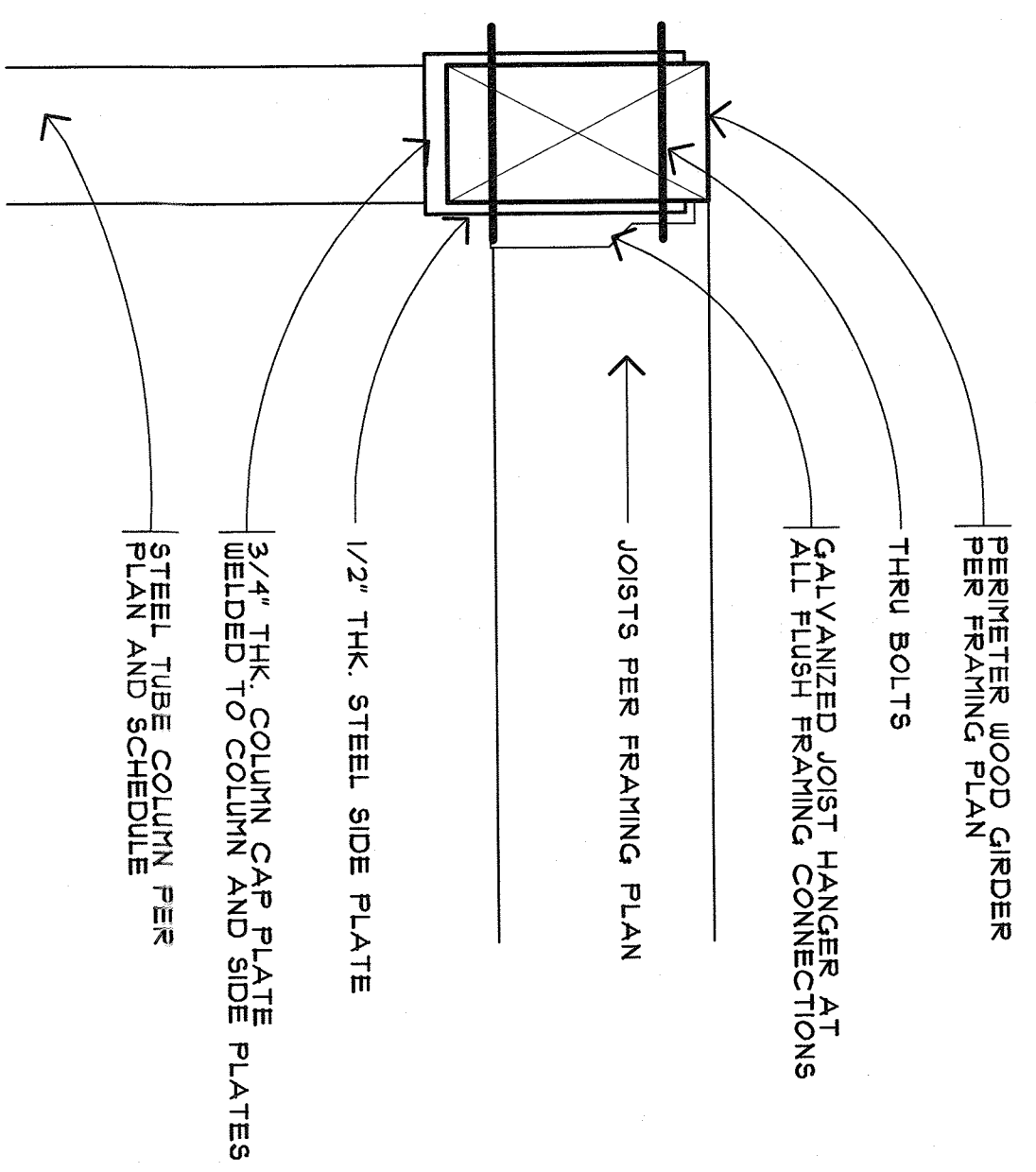
A6 OF 4



1 COLUMN ELEVATION DETAIL  
SCALE: 1 1/2" = 1'-0"



LOWER FIRST FLOOR FRAMING PLAN  
SCALE: 1/4" = 1'-0"

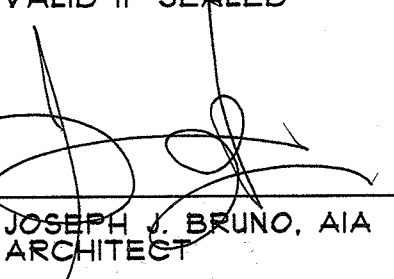


2 SECTION THRU PERIMETER GIRDER at COLUMN  
SCALE: 1 1/2" = 1'-0"

- LOWER FIRST FLOOR FRAMING PLAN**
- SCALE: 1/4" = 1'-0"
- COLUMN SCHEDULE**
- C-1 4" x 4" x 1/2" THK SQUARE STRUCTURAL TUBE COLUMN PER PLAN AND SCHEDULE. 3/4" THK STEEL PLATE CONTINUOUS FROM FOUNDATION TO UNDERSIDE OF UPPER TERRACE FRAMING. 2 COAT EPOXY PAINT OVER PRIMER.
- POST SCHEDULE**
- P-1 5 1/4" x 5 1/4" LVL POST
- HEADER SCHEDULE**
- ALL HEADERS SHALL BE AS FOLLOWS UNLESS NOTED OTHERWISE:
- (1) 2" x 10" (2" x 4" STUD WALLS)
- (2) 2" x 10" (2" x 4" STUD WALLS)
- (3) 2" x 10" (2" x 4" STUD WALLS)

ALTERATIONS TO THE  
**MAURO RESIDENCE**  
1079 ROUTE 9W SOUTH  
NYACK (ORANGETOWN) NEW YORK

**JOSEPH J. BRUNO, AIA**  
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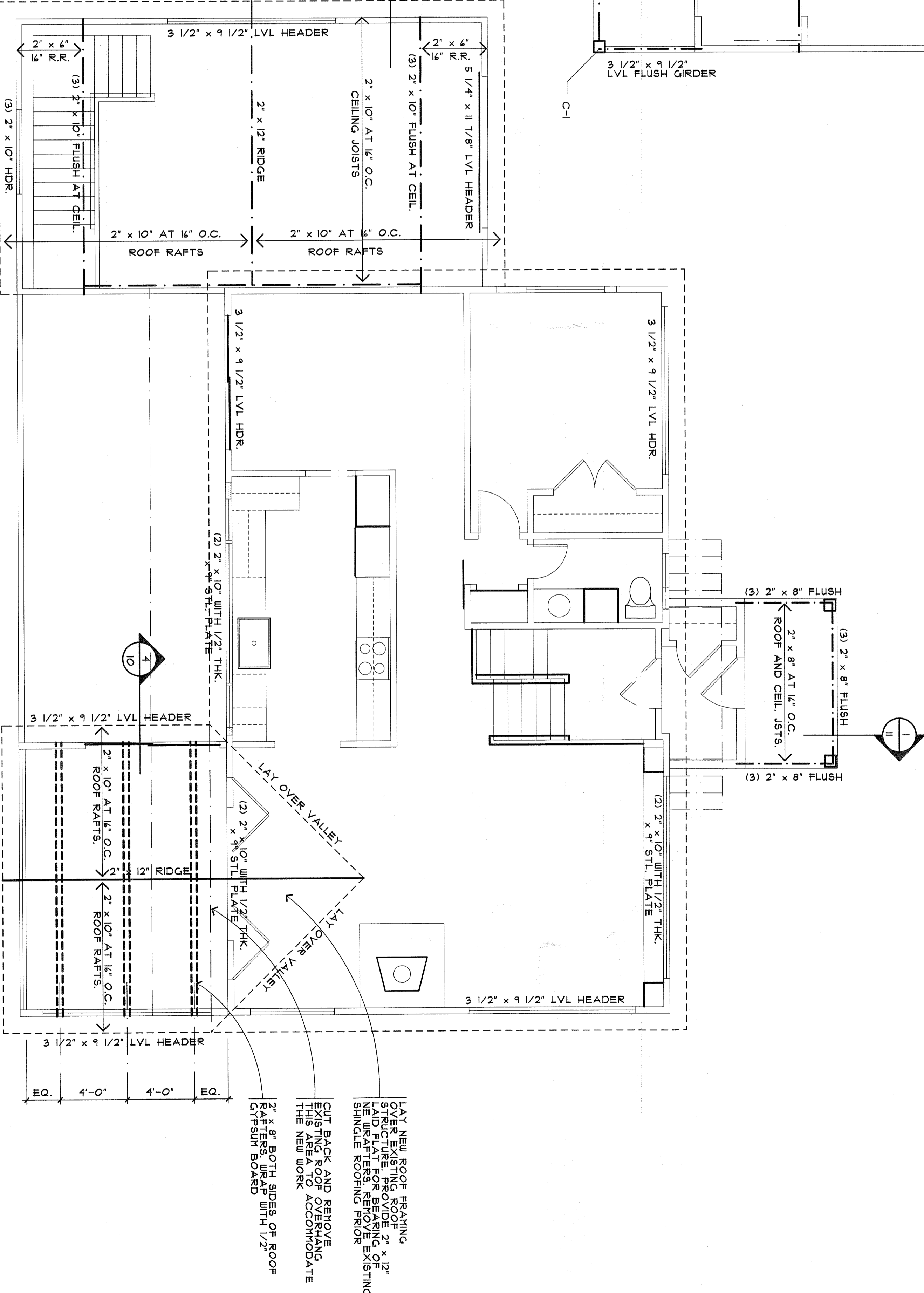
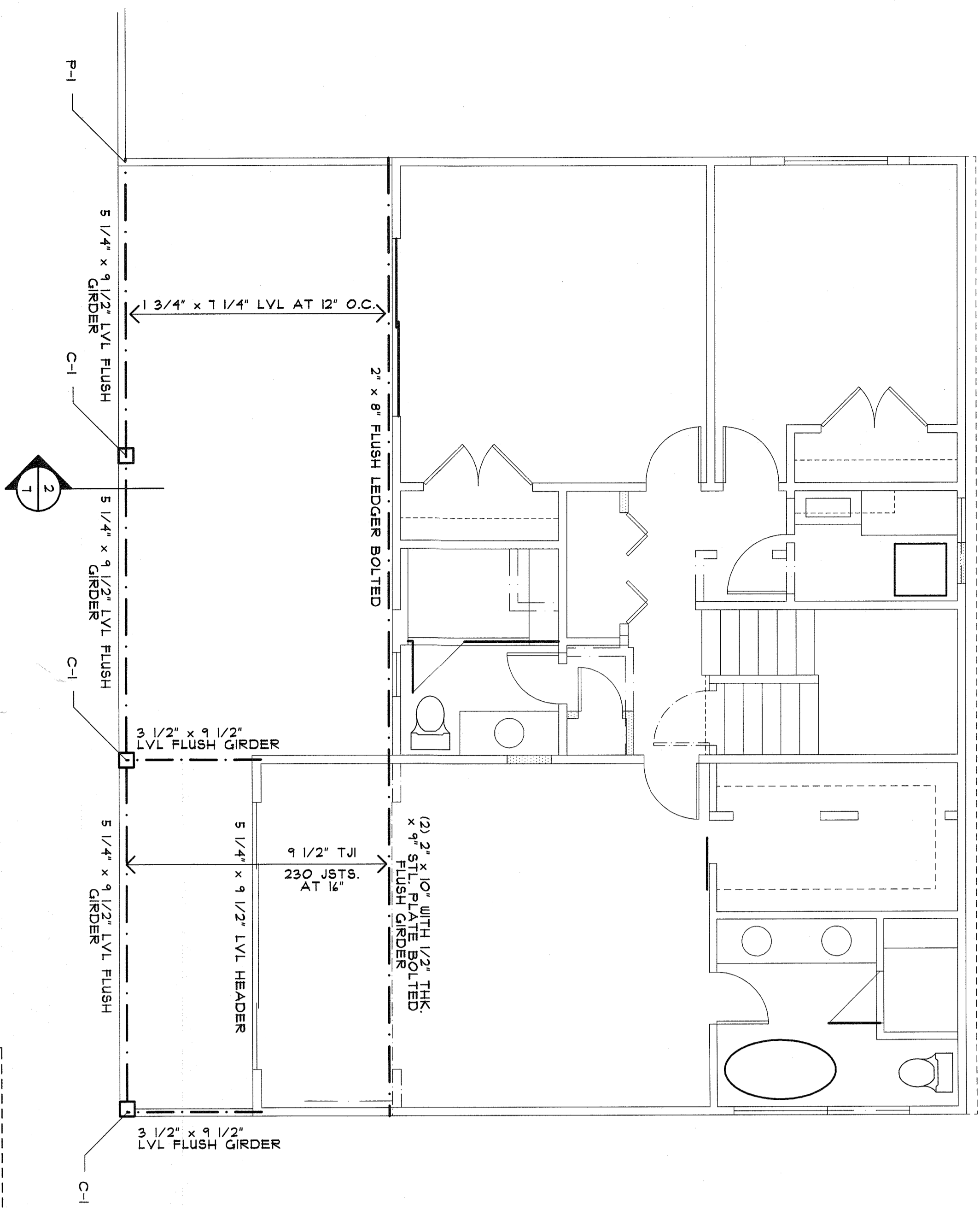
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NY ARCH LIC. 030582

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A7 OF 13



LAY NEW ROOF FRAMING OVER EXISTING ROOF. 2" x 12" RIGIDURE PROVIDE FOR NEW RAFTERS. REMOVE EXISTING SHINGLE ROOFING PRIOR TO THIS WORK.

CUT BACK AND REMOVE EXISTING ROOF ACCORDING TO THIS AREA TO ACCOMMODATE THE NEW WORK.

2" x 8" BOLTS SIDES OF ROOF RAFTERS TO BE ATTACHED TO CYPRESS BOARD.

ALTERATIONS TO THE  
**MAURO RESIDENCE**  
 1019 ROUTE 9W SOUTH  
 NYACK (ORANGETOWN) NEW YORK

**JOSEPH J. BRUNO, AIA**  
 ARCHITECT

29 PASCACK ROAD  
 PARK RIDGE, NEW JERSEY 07654  
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*(Signature)*

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 ARCHITECT

NY ARCH LIC. 030562

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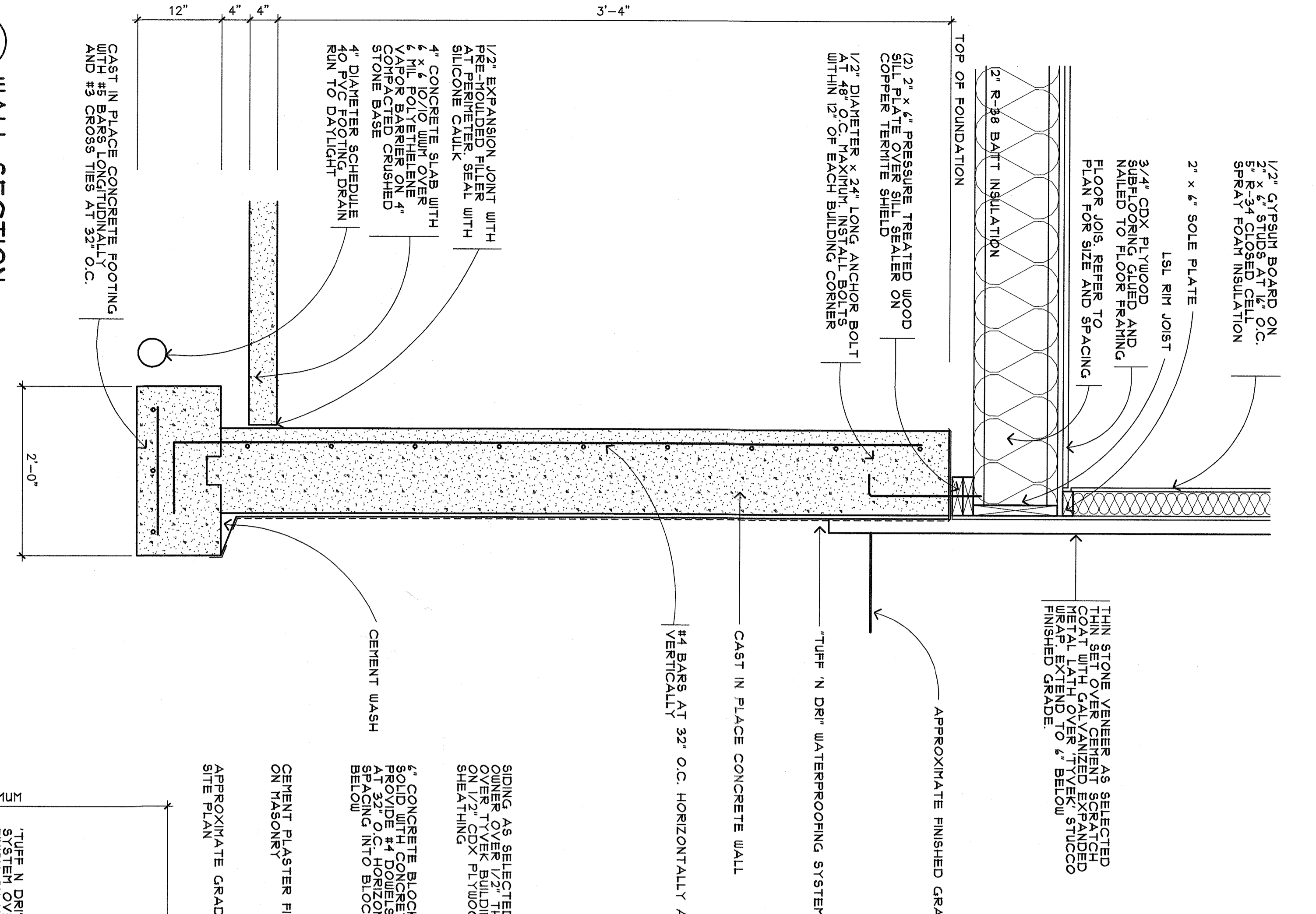
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CHECKED BY: NE

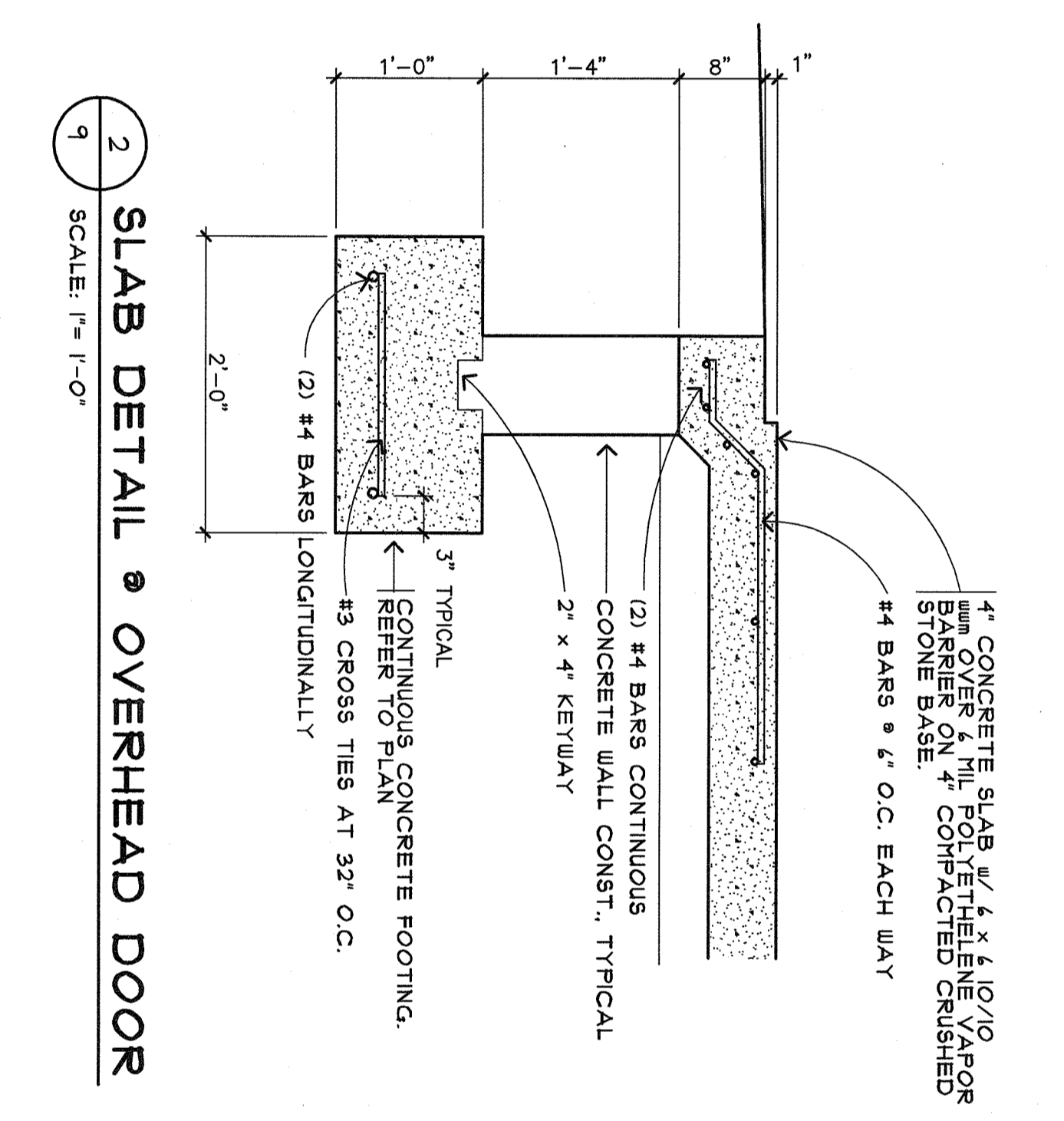
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SHEET NO. **A8** OF 13

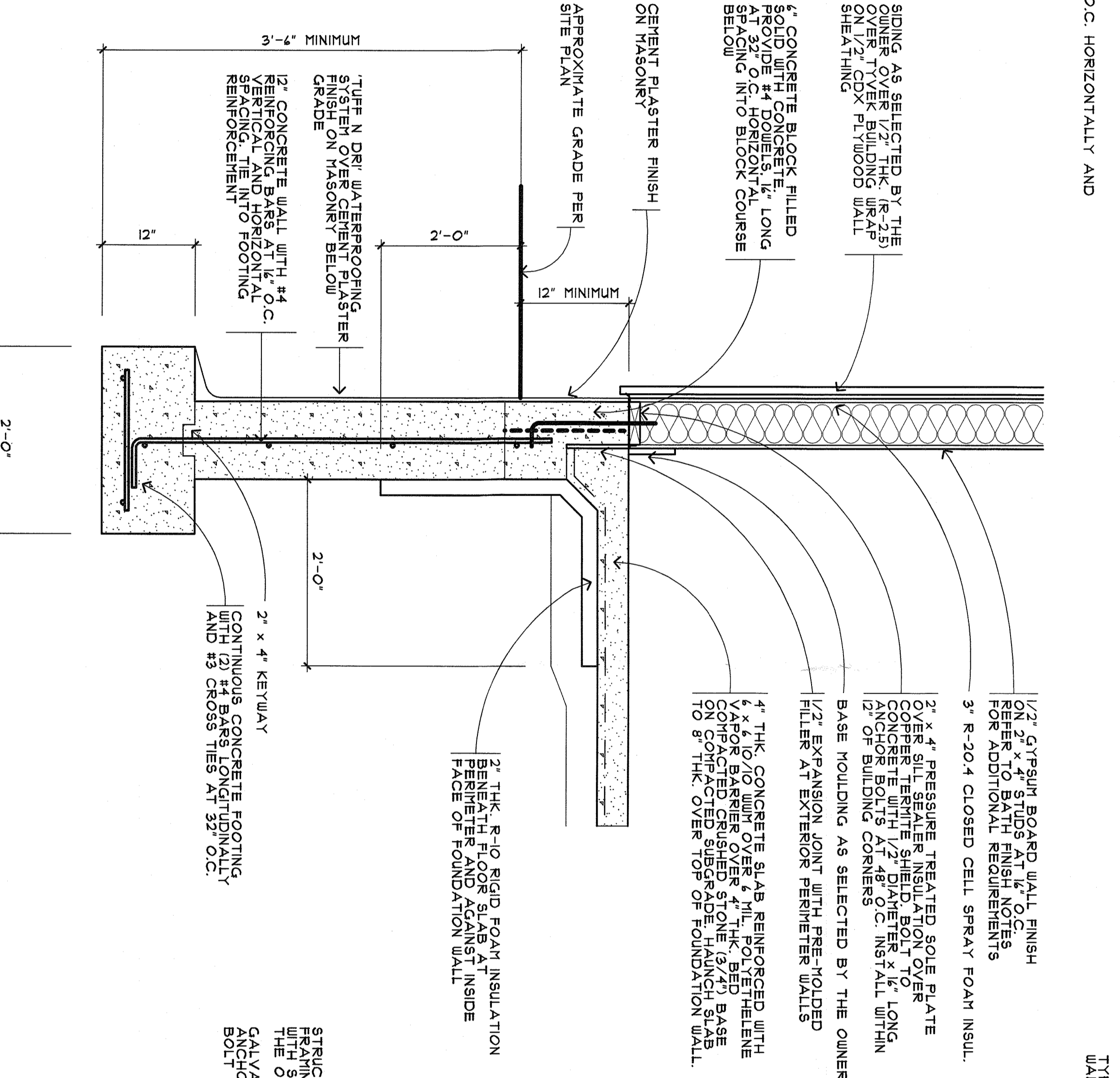




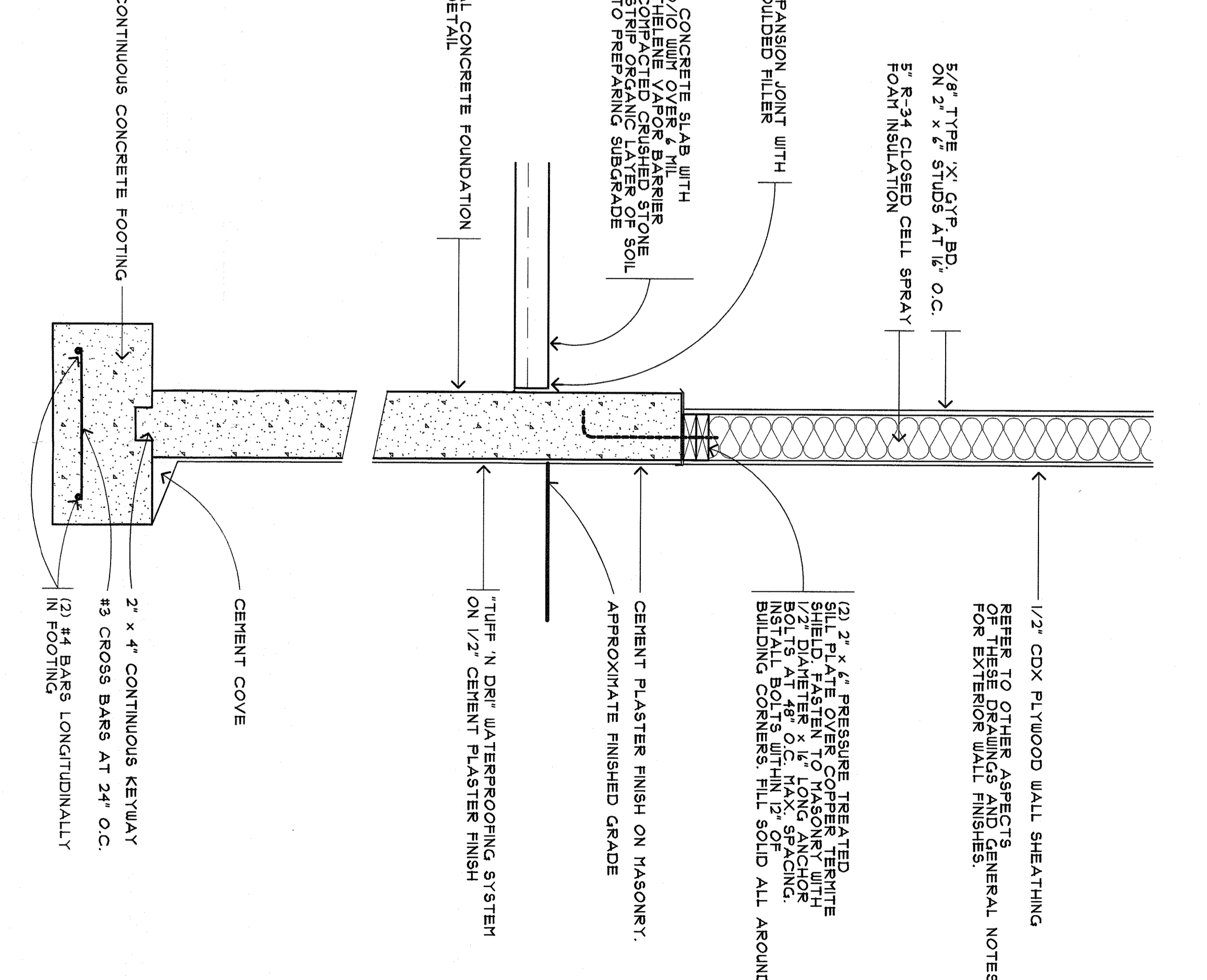
1 WALL SECTION  
SCALE: 1" = 1'-0"



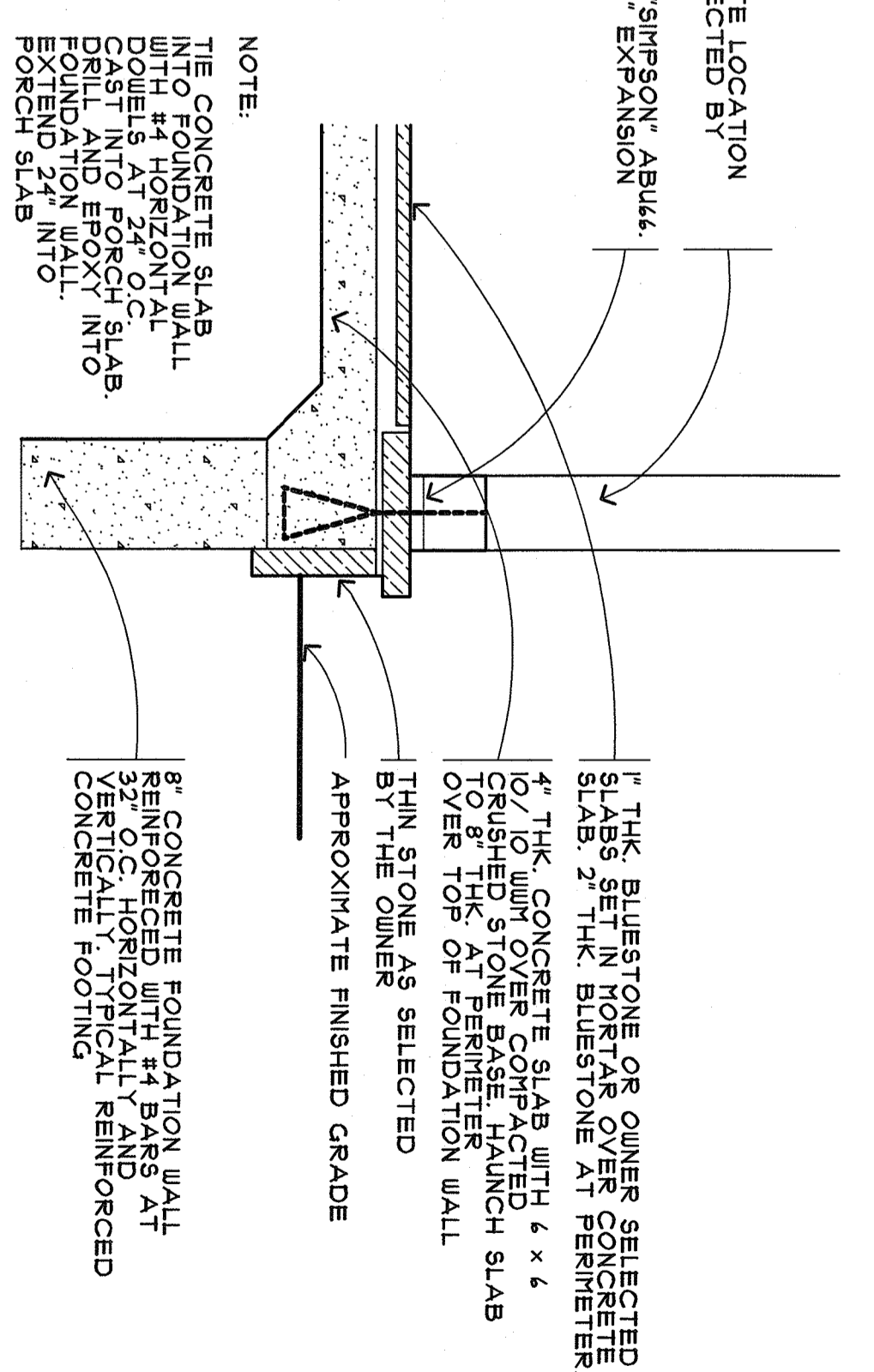
2 SLAB DETAIL 2 OVERHEAD DOOR  
SCALE: 1" = 1'-0"



3 PERIMETER WALL SECTION at FOUNDATION  
SCALE: 1" = 1'-0"



4 GARAGE FOUNDATION WALL DETAIL  
SCALE: 1" = 1'-0"



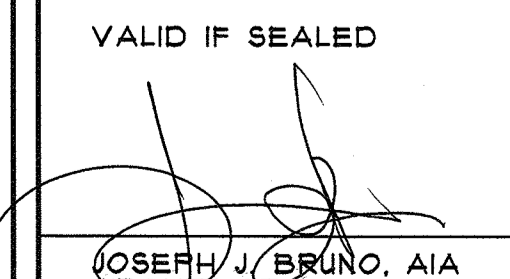
5 PORCH FLOOR DETAIL  
SCALE: 1" = 1'-0"

NOTE:  
THE CONCRETE SLAB INTO FOUNDATION WALL SHALL BE CAST INTO THE WALL. THE 4\"/>

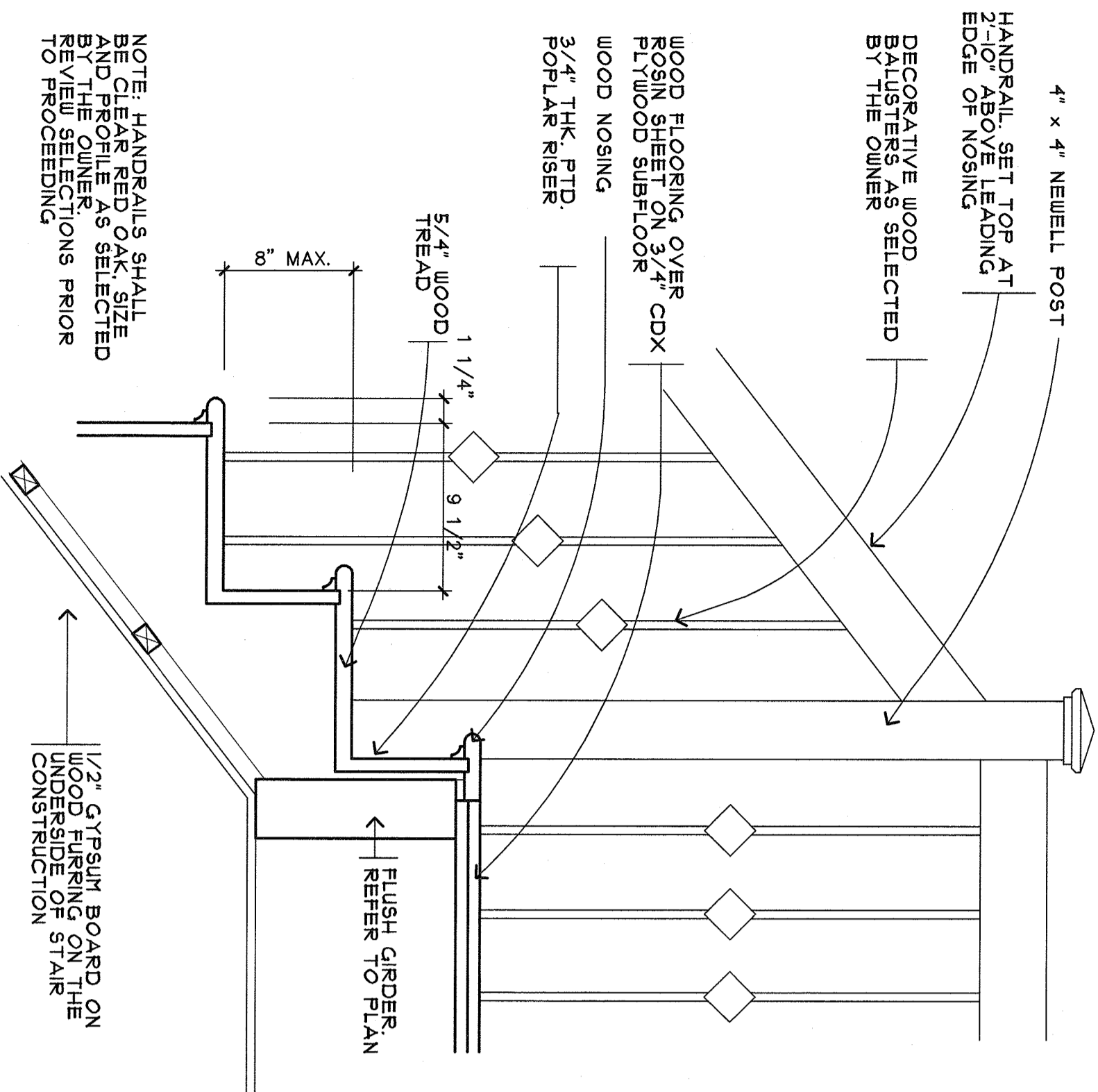
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ALTERATIONS TO THE  
**MAURO RESIDENCE**  
1079 ROUTE 9W SOUTH  
NYACK (ORANGETOWN) NEW YORK

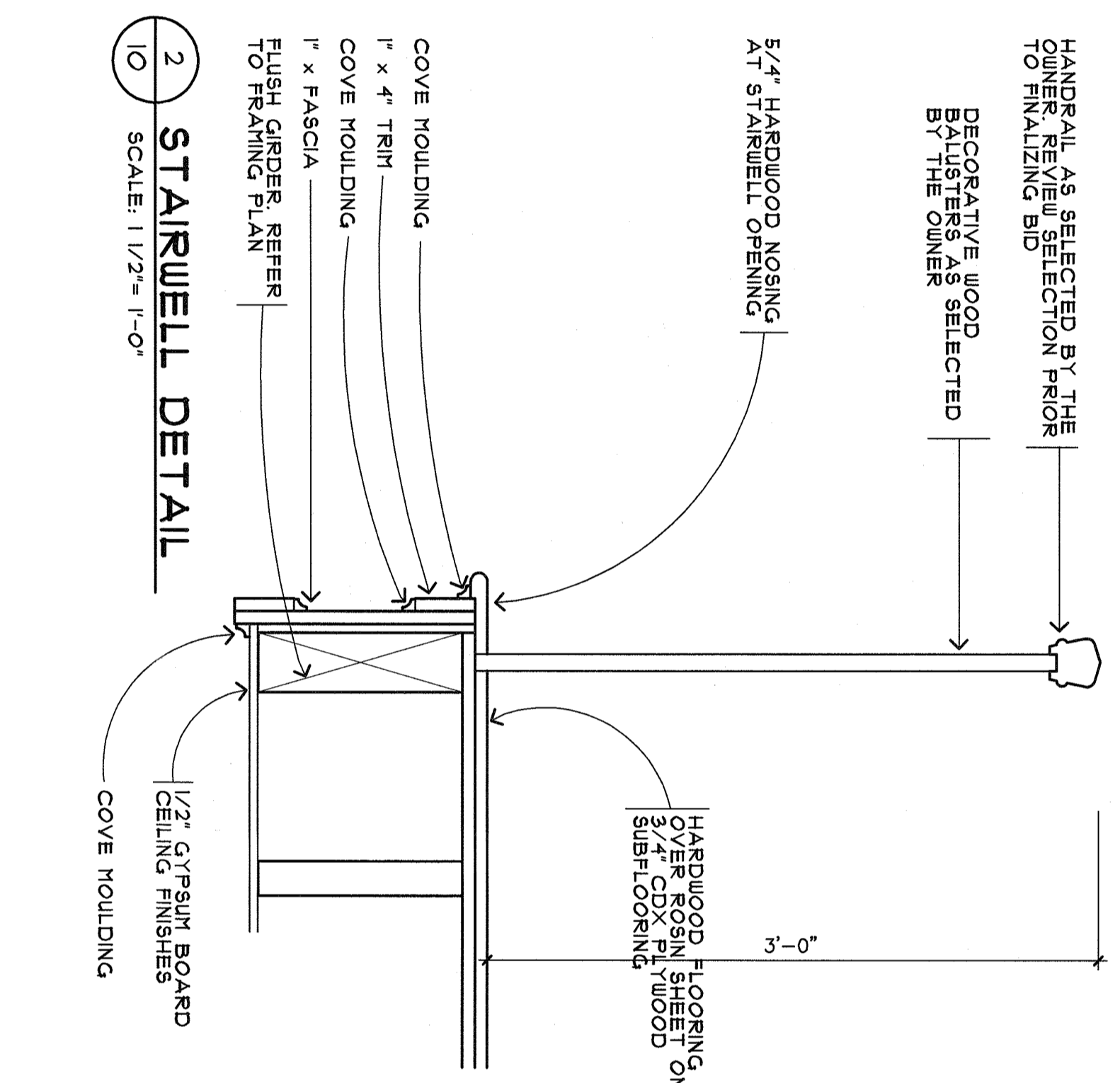
**J O S E P H J . B R U N O , A I A**  
ARCHITECT  
24 PASCACK ROAD  
PARK RIDGE, NEW JERSEY 07454  
TELEPHONE/ FACSIMILE 201-301-1115

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ARCHITECT  
NY ARCH LIC. 030582

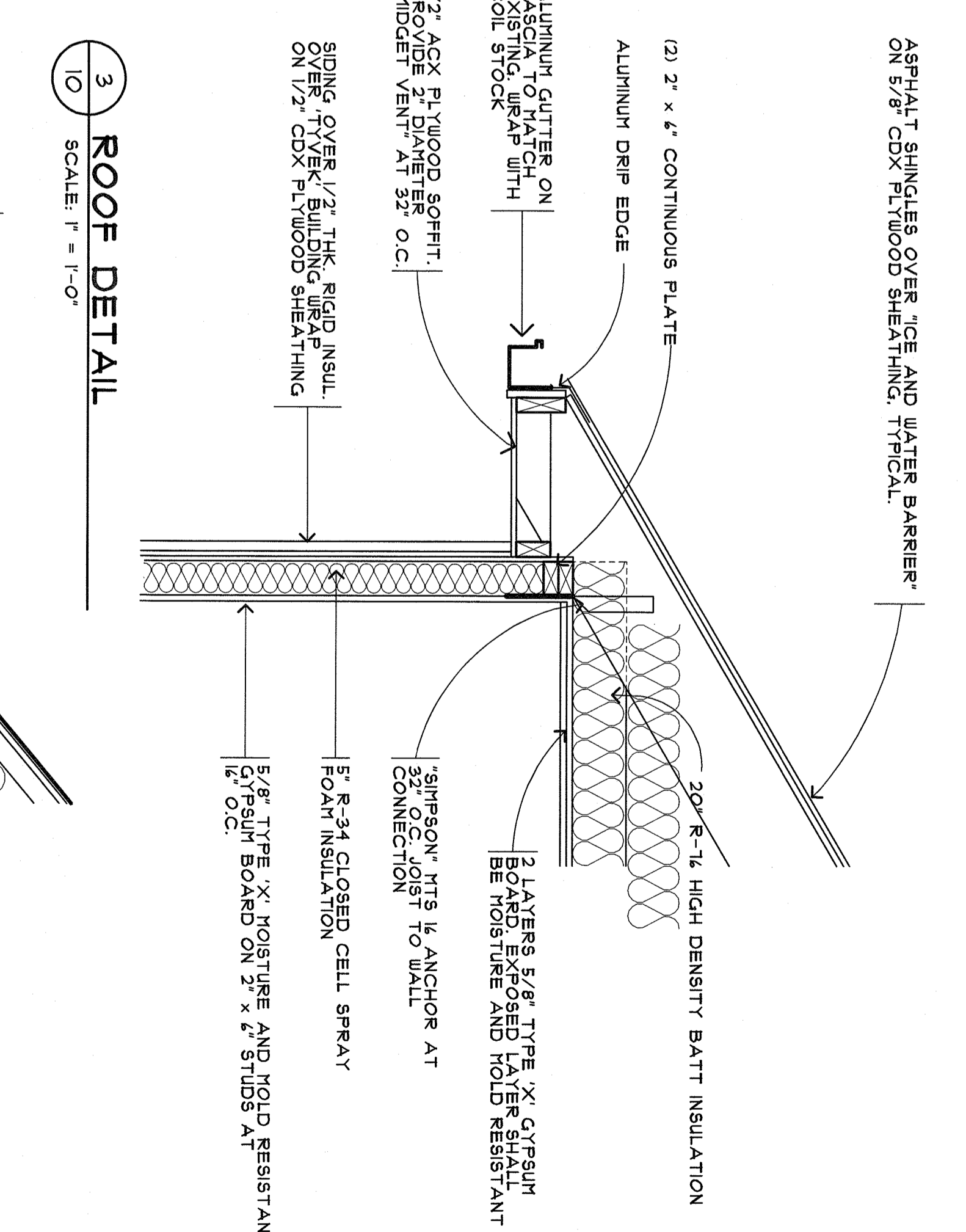
SHEET NO.  
**A 9** OF 6  
DATE: 02/10/21  
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REVISIONS:



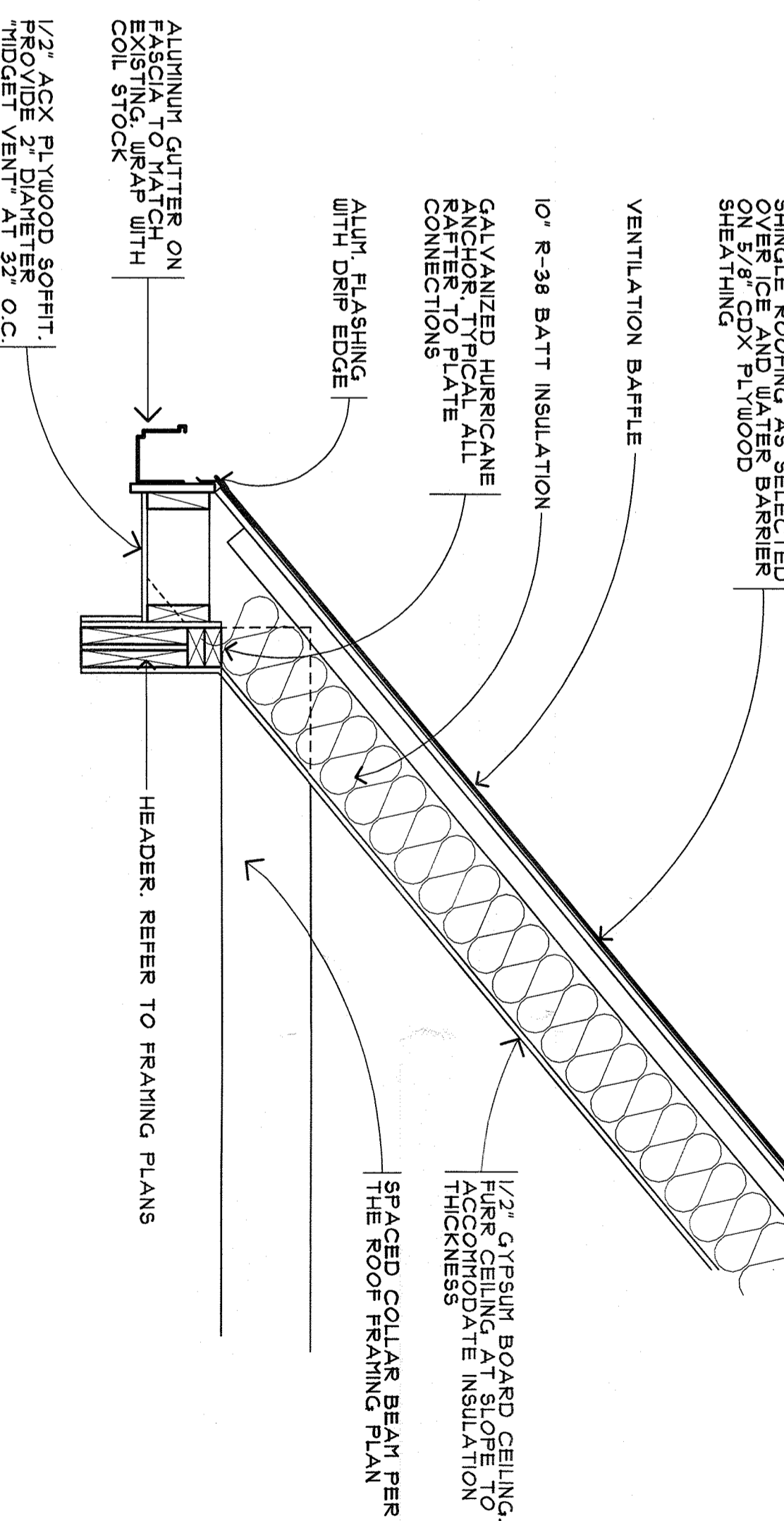
1 STAIR DETAIL  
SCALE: 1/2" = 1'-0"



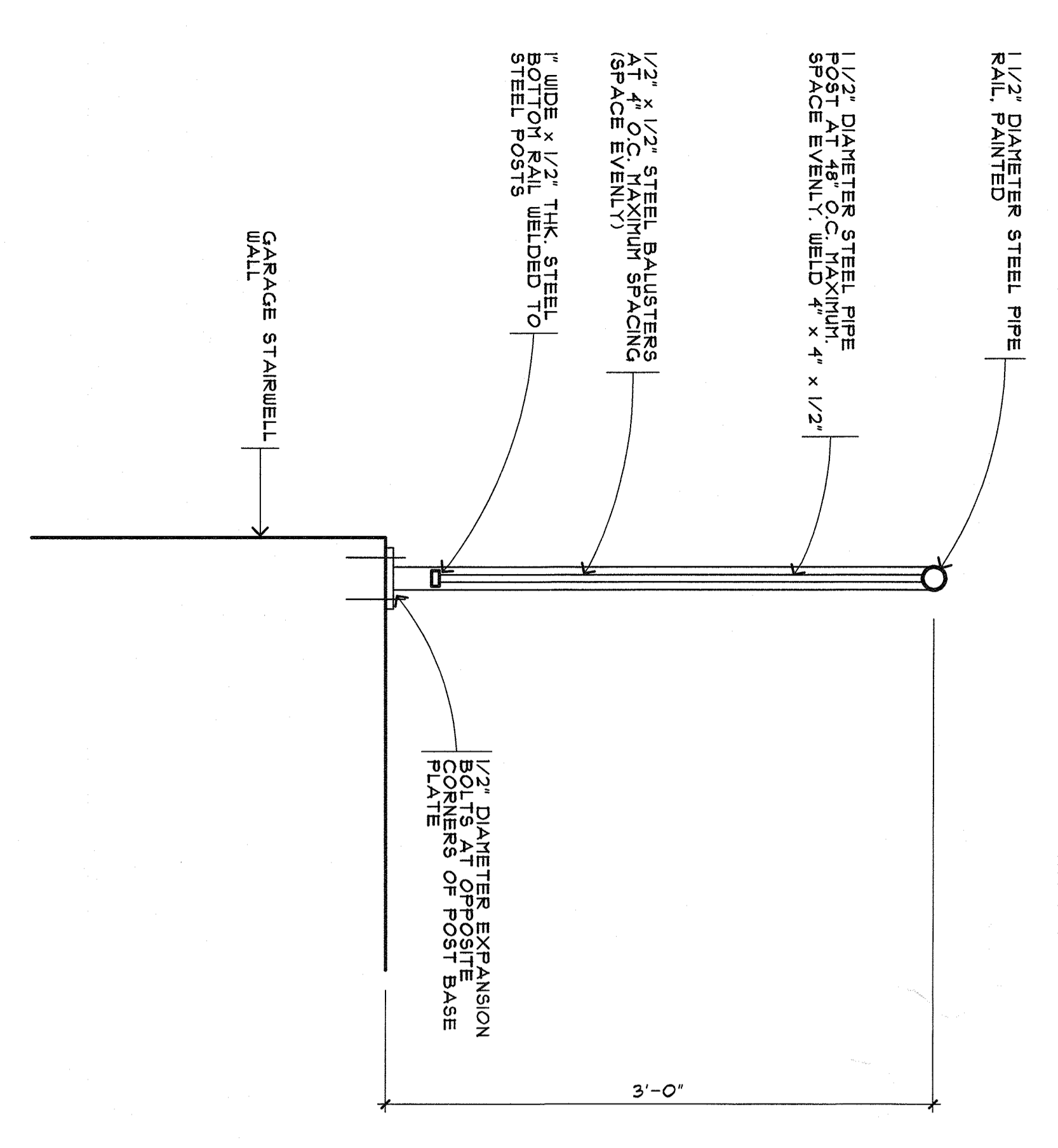
2 STAIRWELL DETAIL  
SCALE: 1/2" = 1'-0"



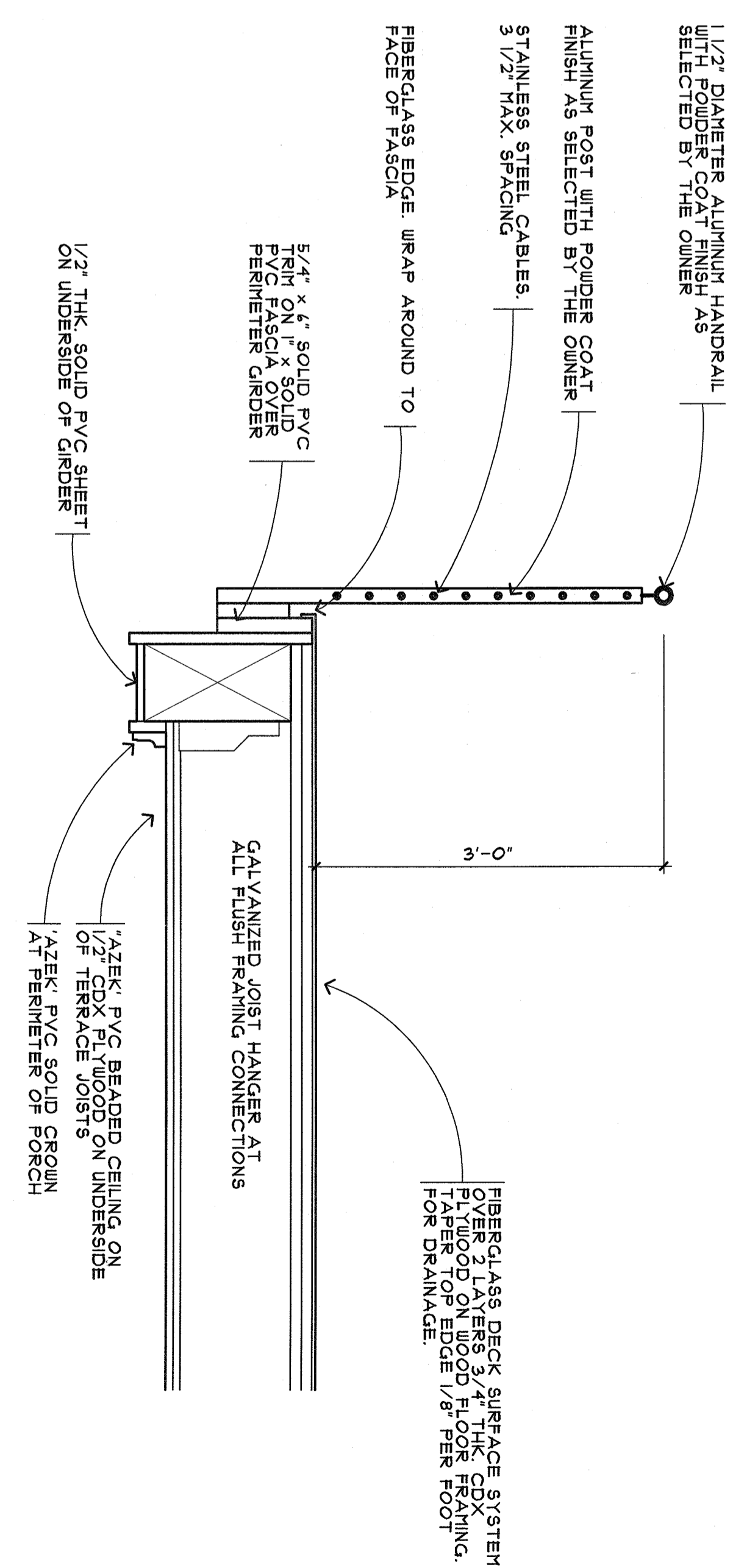
3 ROOF DETAIL  
SCALE: 1" = 1'-0"



4 ROOF DETAIL at VAULTED CEILING  
SCALE: 1" = 1'-0"



5 GUARD DETAIL at GARAGE STAIRWELL  
SCALE: 1/2" = 1'-0"



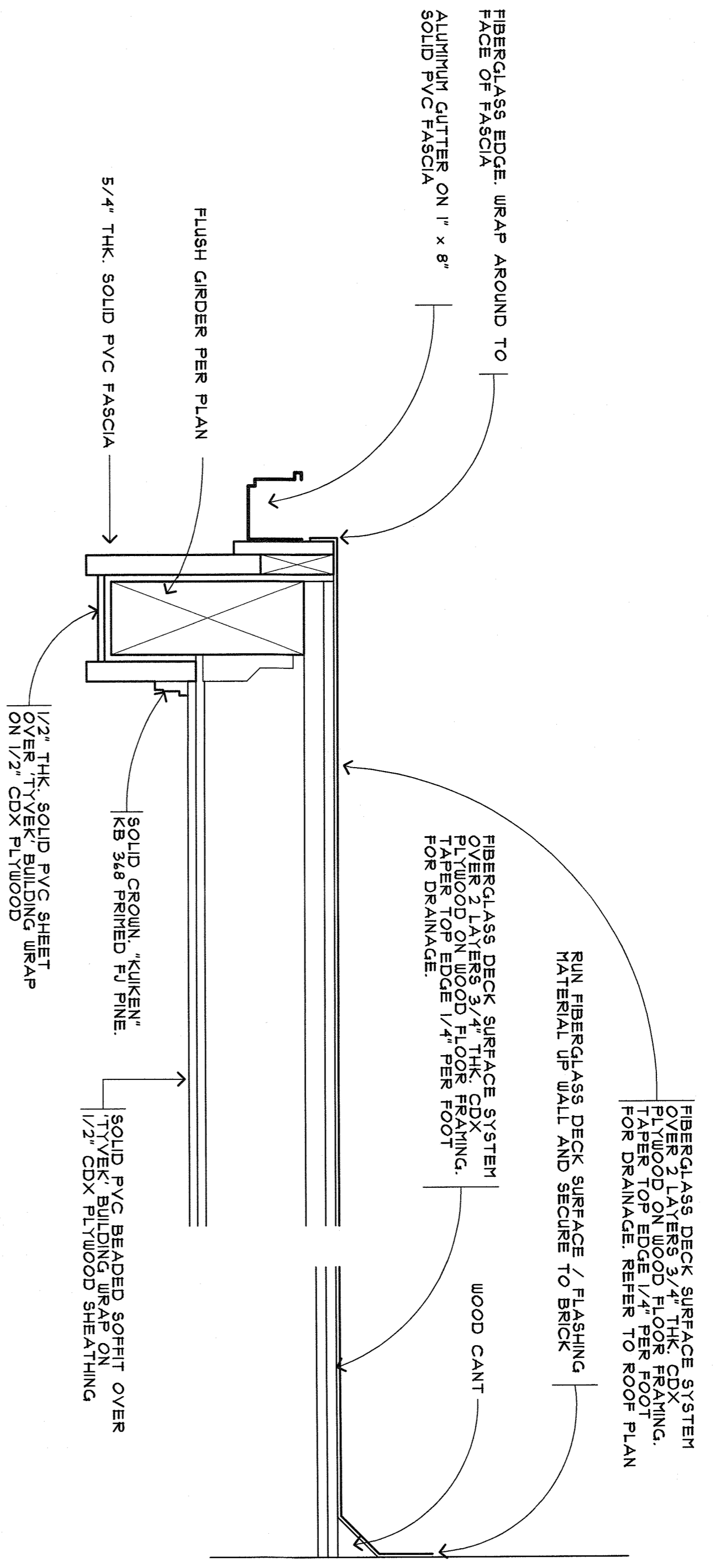
5 BALCONY EDGE DETAIL  
SCALE: 1/2" = 1'-0"

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ARCHITECT  
NY ARCH LIC. 030582

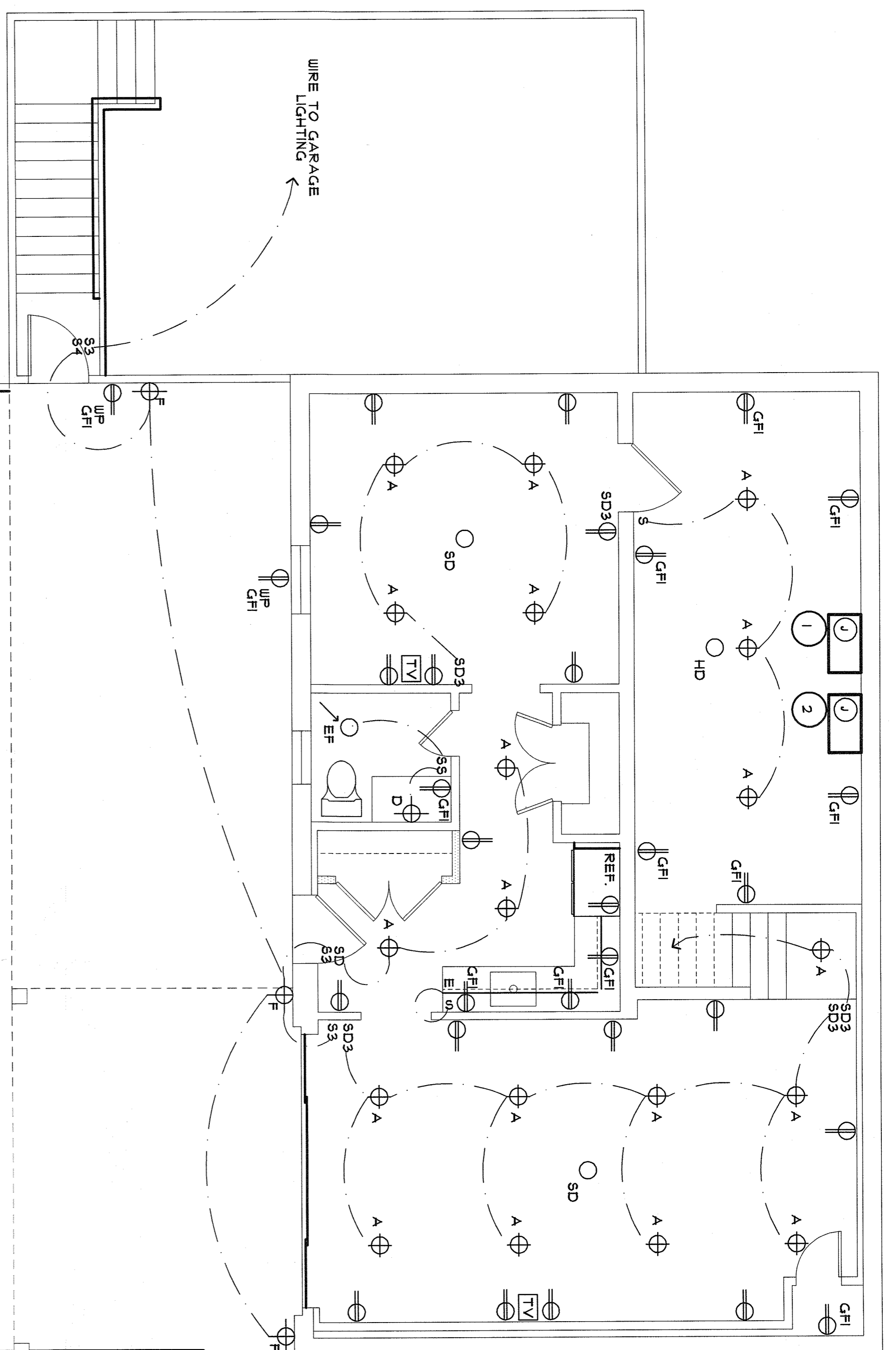
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PARK RIDGE, NEW JERSEY 07654  
TELEPHONE/ FACSIMILE 201-307-1185

ALTERATIONS TO THE  
**MAURO RESIDENCE**  
1079 ROUTE 9W SOUTH  
NYACK (ORANGETOWN) NEW YORK

REVISIONS:  
DATE: 02/10/21  
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SHEET NO. 10 OF 13



1 ROOF TERRACE DETAIL  
SCALE: 1/2" = 1'-0"

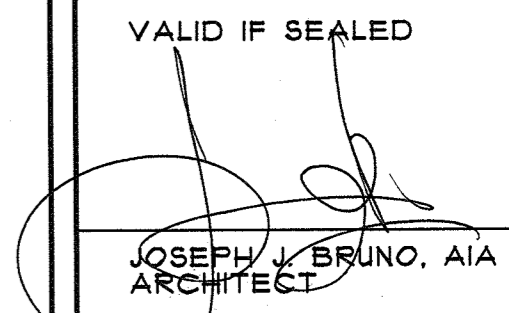


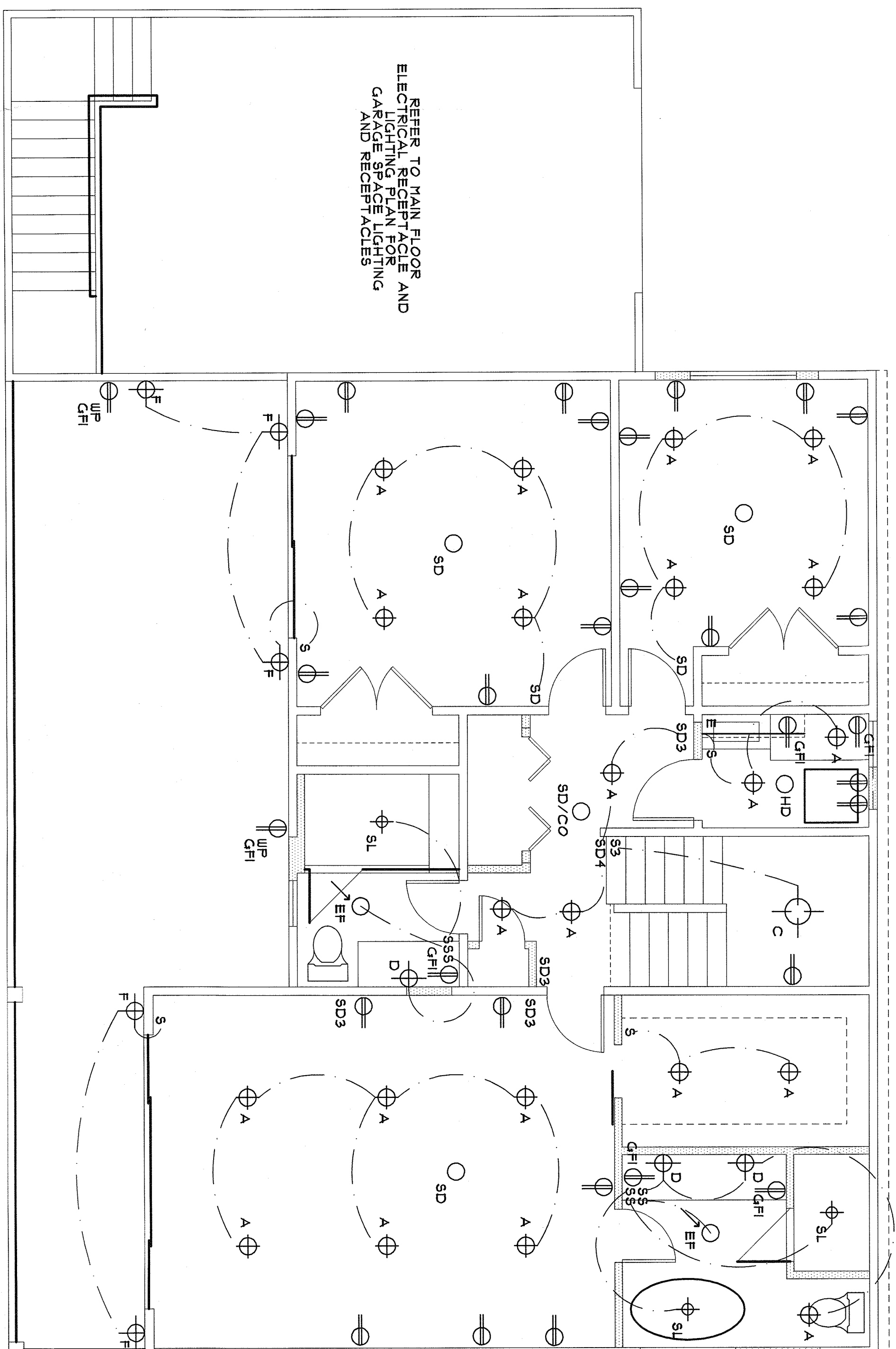
- 1 GAS FIRED HIGH EFFICIENCY (95% AFUE) DIRECT VENT HOT WATER BOILER WALL MOUNTED.
- 2 DEMAND HIGH EFFICIENCY ON WALL MOUNTED.

LOWER SECOND FLOOR ELECTRICAL RECEPTACLE and LIGHTING PLAN  
SCALE: 1/4" = 1'-0"

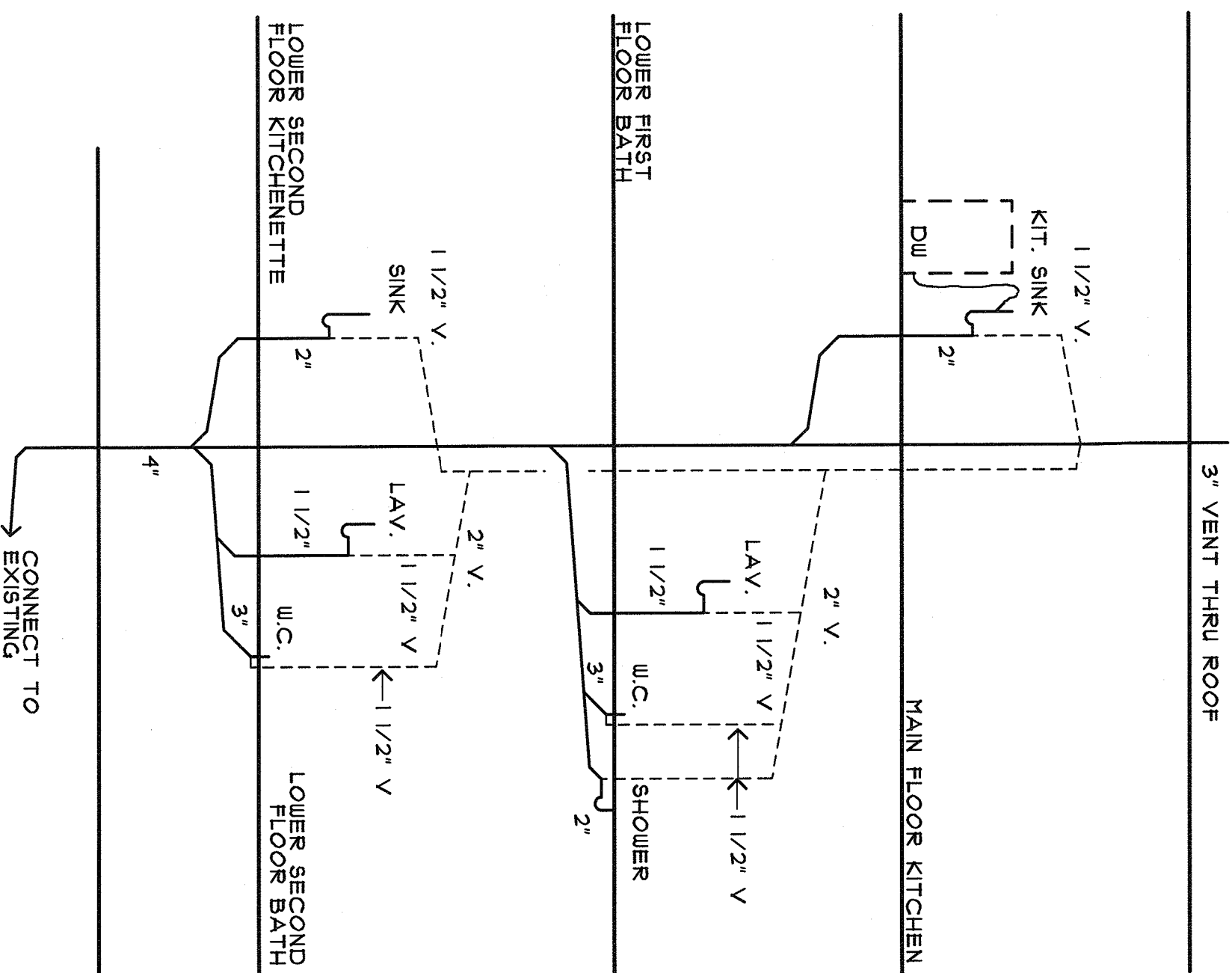
**ELECTRICAL LEGEND**

- ⊕ A RECESSED LED DOWNLIGHT 4" APERTURE, 2100K, DL = DAMP LOCATION.
- ⊕ B RECESSED LED ADJUSTABLE DOWNLIGHT
- ⊕ C SURFACE MOUNTED CEILING FIXTURE BY OWNER
- ⊕ D CEILING FAN MOUNTING
- ⊕ P WALL SCONCE BY OWNER
- ⊕ E LED UNDERCABINET LIGHT
- ⊕ F EXTERIOR WALL SCONCE RATED FOR WET LOCATION, BY OWNER.
- ⊕ G LED CLOSET LIGHT #/ LENS, REFER TO PLAN FOR LENGTH
- ⊕ H DUAL HEAD ADJUSTABLE FLOODLIGHT #/ MOTION SENSOR.
- ⊕ 24" x 48" SURFACE MOUNTED LED FIXTURE
- HD HEAT DETECTOR
- SD SMOKE DETECTOR
- CO CARBON MONOXIDE DETECTOR
- TV CABLE TELEVISION JACK, COORD. LOCATIONS WITH OWNER.
- T TELEPHONE JACK
- J JUNCTION BOX
- 1 ALARM KEYPAD
- KP ALARM KEYPAD
- C CABLE MODEM JACK
- CH DOOR CHIME BY OWNER.
- B CHIME BUTTON BY OWNER, CONNECT TO EXISTING CHIME.
- ⊕ SL RECESSED LED SHOWER LIGHT, 2100 K
- ⊕ FORC. PORCELAIN LAMP HOLDER
- PL PENDANT LIGHT BY OWNER
- ⊕ CL RECESSED CLOSET LIGHT WITH LENS.
- ⊕ EF 225 CFM EXHAUST FAN VENT TO EXTERIOR, PROVIDE HOODED CAP WITH BACKDRAFT DAMPER.
- ⊕ DUPLX ELECTRICAL RECEPTACLE
- ⊕ QUADRUPLEX ELECTRICAL RECEPTACLE
- ⊕ DUPLX ELECTRICAL RECEPTACLE, GROUND FAULT INTERRUPTER (GFI) INDICATES WEATHERPROOF
- S SINGLE POLE SWITCH
- S3 THREE WAY SWITCH
- S4 FOUR WAY SWITCH
- S9 SINGLE POLE SWITCH #/ PILOT LIGHT
- S3D DIMMER SWITCH
- S3D FAN CONTROL SWITCH

SHEET NO: <b>A11</b> of 13	ALTERATIONS TO THE <b>MAURO RESIDENCE</b> 1079 ROUTE 9W SOUTH NYACK (ORANGETOWN) NEW YORK	<b>JOSEPH J. BRUNO, AIA</b> ARCHITECT 29 PASCACK ROAD PARK RIDGE, NEW JERSEY 07654 TELEPHONE/ FACSIMILE 201-307-1115	VALID IF SEALED  JOSEPH J. BRUNO, AIA ARCHITECT NY ARCH LIC. 030582
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**SANITARY RISER DIAGRAM**

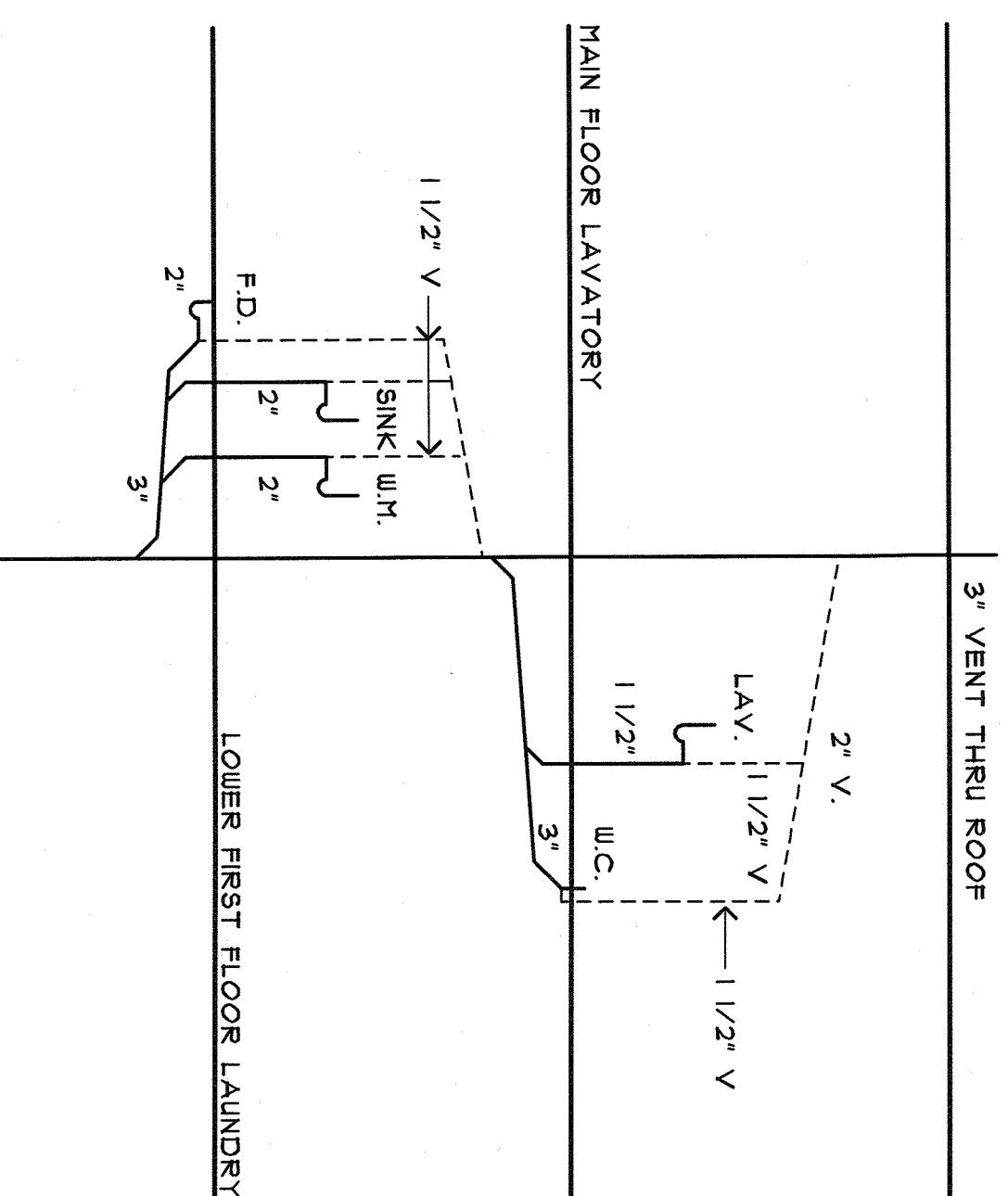
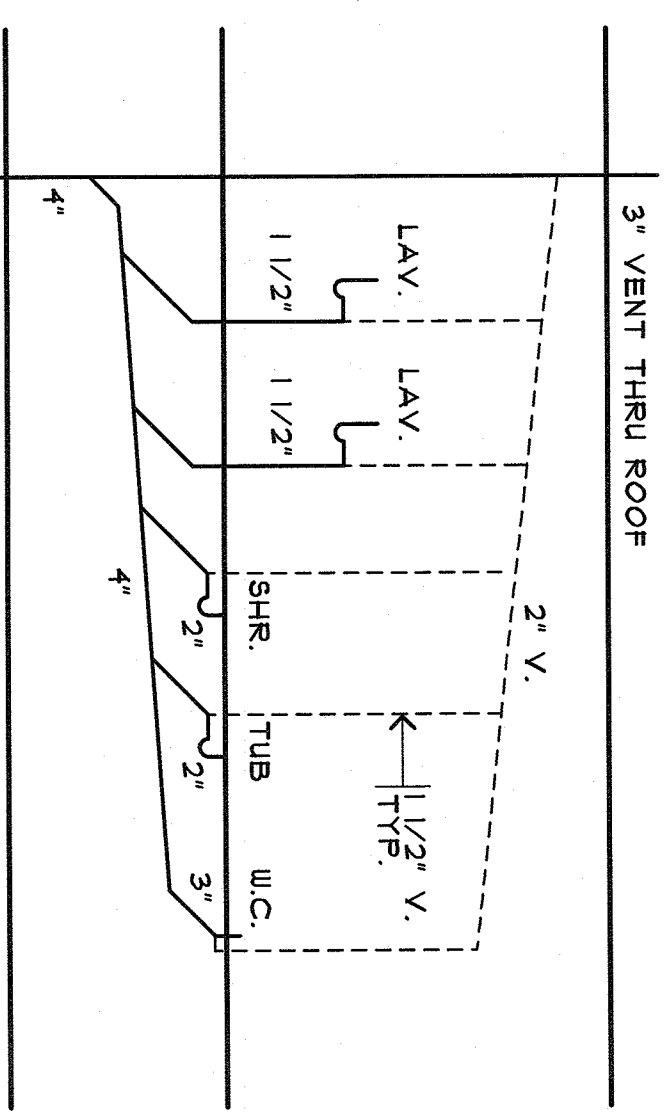


**LOWER FIRST FLOOR ELECTRICAL RECEPTACLE AND LIGHTING PLAN**

SCALE: 1/4" = 1'-0"

**ELECTRICAL LEGEND**

- ⊕ A RECESSED LED DOWNLIGHT 4" APERTURE, 2100K. DL = DAMP LOCATION.
- ⊕ B RECESSED LED ADJUSTABLE DOWNLIGHT
- ⊕ C SURFACE MOUNTED CEILING FIXTURE BY OWNER
- ⊕ D SURFACE MOUNTED CEILING FIXTURE BY OWNER
- ⊕ E LED UNDERCABINET LIGHT
- ⊕ F EXTERIOR WALL SCONCE RATED FOR WET LOCATION BY OWNER.
- ⊕ G LED CLOSET LIGHT w/ LENS, REFER TO PLAN FOR LENGTH
- ⊕ H MOTION DUAL HEAD ADJUSTABLE FLOODLIGHT w/ MOTION SENSOR
- ⊕ I 24" x 48" SURFACE MOUNTED LED FIXTURE
- HD HEAT DETECTOR
- SD SMOKE DETECTOR
- CO CARBON MONOXIDE DETECTOR
- TV CABLE TELEVISION JACK. COORD. LOCATIONS WITH OWNER.
- T TELEPHONE JACK
- J JUNCTION BOX
- KP ALARM KEYPAD
- C CABLE MODERN JACK
- CH DOOR CHIME BY OWNER.
- B CHIME BUTTON BY OWNER. CONNECT TO EXISTING CHIME.
- ⊕ SL RECESSED LED SHOWER LIGHT, 2100 K
- ⊕ P PORC. PORCELAIN LAMP HOLDER
- ⊕ PL PENDANT LIGHT BY OWNER
- ⊕ CL RECESSED CLOSET LIGHT WITH LENS.
- EF 225 CFM EXHAUST FAN, VENT TO EXTERIOR, PROVIDE HOODED CAP WITH BACKDRAFT DAMPER.
- QD DUPLEX ELECTRICAL RECEPTACLE
- QP QUADRUPLIX ELECTRICAL RECEPTACLE
- RECYCLED ELECTRICAL RECEPTACLE (INDICATES WEATHERPROOF)
- S SINGLE POLE SWITCH
- S3 THREE WAY SWITCH
- S4 FOUR WAY SWITCH
- SP SINGLE POLE SWITCH w/ PILOT LIGHT
- SD DIMMER SWITCH
- FCS FAN CONTROL SWITCH

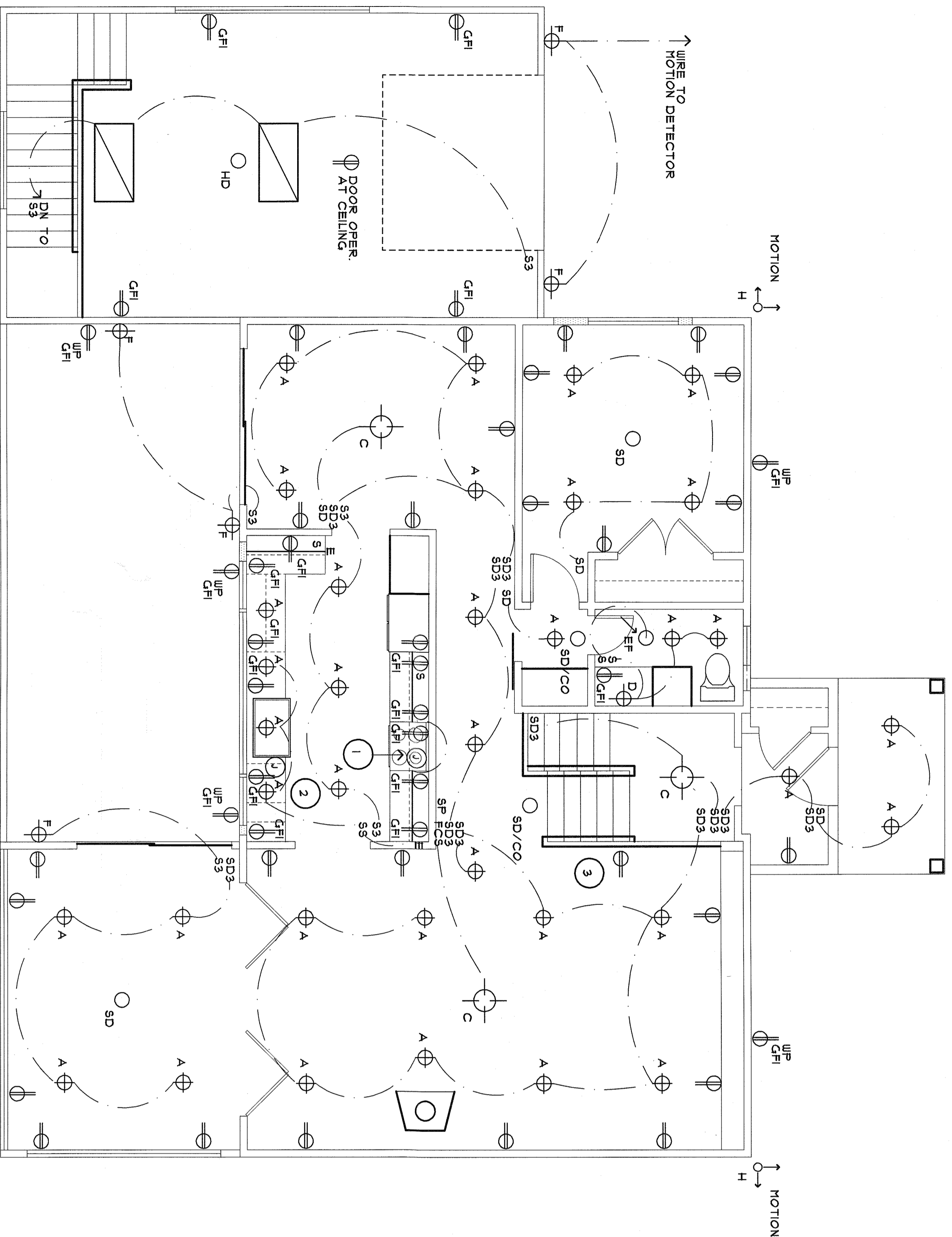


**JOSEPH J. BRUNO, AIA**  
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 29 PASCAK ROAD  
 PARK RIDGE, NEW JERSEY 07654  
 TELEPHONE/ FACSIMILE 201-301-1115

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 ARCHITECT  
 NY ARCH LIC. 030582

ALTERATIONS TO THE  
**MAURO RESIDENCE**  
 1019 ROUTE 9W SOUTH  
 NYACK (ORANGETOWN) NEW YORK

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 DATE: 02/10/21  
 REVISIONS:  
 SHEET NO. **A12** OF 13



**MAIN FLOOR ELECTRICAL RECEPTACLE and LIGHTING PLAN**

SCALE: 1/4" = 1'-0"

- 1 VENT KITCHEN EXHAUST TO EXTERIOR. PROVIDE HOODED CAP WITH BACKDRAFT DAMPER. PROVIDE MAKEUP AIR IF FAN EXCEEDS 400 CFM.
- 2 POWER SUPPLY BELOW COUNTERTOP FOR DISHWASHER.
- 3 RECESSED FLOOR RECEPTACLE WITH FLUSH COVER.

**ELECTRICAL LEGEND**

- ⊕ A RECESSED LED DOWNLIGHT 4" APERTURE. 2100K. DL = DAMP LOCATION.
  - ⊕ B RECESSED LED ADJUSTABLE DOWNLIGHT
  - ⊕ C SURFACE MOUNTED CEILING FIXTURE BY OWNER
  - ⊕ D CEILING FAN MOUNTING
  - ⊕ E WALL SCONCE BY OWNER
  - ⊕ F LED UNDERCABINET LIGHT
  - ⊕ G EXTERIOR WALL SCONCE RATED FOR WET LOCATION BY OWNER.
  - ⊕ H LED CLOSET LIGHT w/ LENS. REFER TO PLAN FOR LENGTH.
  - ↕ DUAL HEAD ADJUSTABLE FLOODLIGHT w/ MOTION SENSOR.
  - ⊕ 24" x 48" SURFACE MOUNTED LED FIXTURE
- 
- HD HEAT DETECTOR
  - SD SMOKE DETECTOR
  - CO CARBON MONOXIDE DETECTOR
  - TV CABLE TELEVISION JACK. COORD. LOCATIONS WITH OWNER.
  - T TELEPHONE JACK
  - J JUNCTION BOX
  - Ⓚ ALARM KEYPAD
  - C CABLE MODERN JACK
  - Ⓜ DOOR CHIME BY OWNER.
  - B CHIME BUTTON BY OWNER. CONNECT TO EXISTING CHIME.
- 
- ⊕ SL RECESSED LED SHOWER LIGHT. 2100 K
  - ⊕ PORC. PORCELAIN LAMP HOLDER
  - ⊕ PL PENDANT LIGHT BY OWNER
  - ⊕ CL RECESSED CLOSET LIGHT WITH LENS.
  - ⊕ EF 225 CFM EXHAUST FAN. PROVIDE HOODED CAP WITH BACKDRAFT DAMPER.
  - ⊕ QD QUADRI-PLEX ELECTRICAL RECEPTACLE
  - ⊕ GF DUPLEX ELECTRICAL RECEPTACLE. GROUND FAULT PROTECTED (GFCI INDICATES WEATHERPROOF)
  - S SINGLE POLE SWITCH
  - S3 THREE WAY SWITCH
  - S4 FOUR WAY SWITCH
  - SP SINGLE POLE SWITCH w/ PILOT LIGHT
  - SD DIMMER SWITCH
  - FCS FAN CONTROL SWITCH

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 NY ARCH LIC. 030682

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 PARK RIDGE, NEW JERSEY 07654  
 TELEPHONE / FACSIMILE 201-201-1115

ALTERATIONS TO THE  
**MAURO RESIDENCE**  
 1019 ROUTE 9E SOUTH  
 NYACK (ORANGETOWN) NEW YORK

DRAWN BY: JJB  
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 DATE: 02/10/21  
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SHEET NO:  
**A13**  
 OF 13