

TOWN OF ORANGETOWN PLANNING BOARD
Virtual Meeting of Wednesday, February 10, 2021

MEMBERS PRESENT:

Thomas Warren, Chairman	William Young, Vice-Chairman
Michael Mandel	Michael McCrory
Andrew Andrews	Stephen Sweeney
Robert Dell	Bruce Bond

MEMBER ABSENT: None

ALSO, PRESENT: Jane Slavin, Director, Office of Building, Zoning, Planning Administration and Enforcement; Rick Pakola, Deputy Town Attorney; Cheryl Coopersmith, Chief Clerk Boards and Commissions

Thomas Warren, Chairman, called the meeting to order at 7:30 p.m. Mr. Warren read the agenda. Hearings as listed on this meeting's agenda which are made a part of these minutes were held as noted below:

700 Bradley Hill Road Site Improvement Plan	PB#21-05
Prepreliminary/ Preliminary/ Final Site Plan and SEQRA Review	Final Site Plan
700 Bradley Hill Road, Blauvelt	Approval Subject to Conditions
65.18/1/4; LI zoning district	Reaffirmation of SEQRA

800 Bradley Hill Road Site Improvement Plan	PB#21-06
Prepreliminary/ Preliminary/ Final Site Plan and SEQRA Review	Final Site Plan
800 Bradley Hill Road, Blauvelt	Approval Subject to Conditions
65.18/1/3; LI zoning district	Reaffirmation of SEQRA

Chizinski Subdivision Plan	PB#21-07
Two 90 Day Extensions	Granted Two (2) 90 Day Extensions
to file the Subdivision Plat with the Rockland County Clerk's Office	
317 Orangeburg Road, Pearl River	
69.17/2/42; R-15 zoning district	

3 Tweed Boulevard Site Plan	PB#21-08
Critical Environmental Area	Continued: Revise Plan, provide more details
Prepreliminary/ Preliminary/ Final Site Plan	
and SEQRA Review	
for an Inground Swimming Pool	
3 Tweed Boulevard, Upper Grandview	
71.05/1/22.4; R-22 zoning district	

Henry Kaufmann Campground, Inc.	PB#21-09
Phase I Drainage Improvements	Final Site Plan Approval
Sickletown Road Area Site Plan	Subject to Conditions
Final Site Plan Review	Reaffirmation of SEQRA
667 Blauvelt Road, Pearl River	
69.14/1/28 & 69.10/2/21; R-80 zoning district	

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NMO13GNV90 JO NMO1

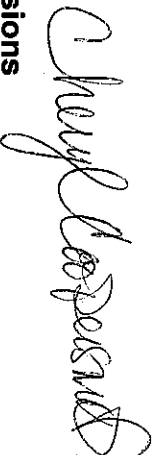
February 10, 2021 Planning Board

The decisions of the January 13, 2021 Planning Board Meeting were reviewed, edited, and approved. The motion for adoption was made and moved by Michael Mandel and seconded by Stephen Sweeney and carried as follows: Thomas Warren – Chairman, aye; William Young - Vice-Chairman, aye; Michael Mandel, aye; Stephen Sweeney, aye; Robert Dell, aye; Michael McCrory, aye; Bruce Bond, aye and Andrew Andrews, aye.

Since there was no further business to come before the Board, a motion to adjourn the meeting was made by Michael Mandel and seconded by Stephen Sweeney and agreed to by all in attendance. The meeting was adjourned at 9:40 p.m. The next Planning Board meeting is scheduled for February 24, 2021.

DATED: February 10, 2021

**Cheryl Coopersmith
Chief Clerk Boards and Commissions
Town of Orangetown Planning Board**



OFFICE CLERK'S NAME

92:21 P 3 - W/M 1702

NAME OF BOARD

PB #21-05: 700 Bradley Hill Road

Permit #50385

**Site Improvement Plan
Final Site Plan Approval
Subject to Conditions
Reaffirmation of SEQRA**

Town of Orangetown Planning Board Decision

February 10, 2021

Page 1 of 9

**TO: Nicole Vasquez, 900 Route 9 North, Suite 400, Woodbridge,
New Jersey, 07085**
FROM: Orangetown Planning Board

RE: 700 Bradley Hill Road: The application of Onyx Equities, LLC, applicant, for AG-OE 700 Bradley Hill Road Owner, LLC, owner, for Final Site Plan Review at a site to be known as “**700 Bradley Hill Road Site Improvement Plan**”, in accordance with Article 16 of the Town Law of the State of New York, the Land Development Regulations of the Town of Orangetown, Chapter 21A of the Code of the Town of Orangetown. The site is located at 700 Bradley Hill Road, Blauvelt, Town of Orangetown, Rockland County, New York, and as shown on the Orangetown Tax Map as Section 65.18, Block 1, Lot 4, in the LI zoning district.

Heard by the Planning Board of the Town of Orangetown at a virtual meeting held Wednesday, February 10, 2021, the Board made the following determinations:

- Nicole Vasquez, Seth Mandelbaum, Frank Laki, Morgan Stanley, Frank Debarbieri, Matt Flatt and Ron Rieman appeared and testified. The Board received the following communications:
1. Interdepartmental memorandum from the Office of Building, Zoning, Planning Administration and Enforcement, Town of Orangetown, signed by Jane Slavin, R.A., Director, dated February 8, 2021.
 2. Interdepartmental memorandum from the Department of Environmental Management and Engineering (DEME), Town of Orangetown, signed by Bruce Peters, P.E., dated February 9, 2021.
 3. A letter from Broker Engineering, signed by Kenneth DeGennaro, P.E., dated November 10, 2020.
 4. A letter from the Rockland County Department of Planning, from Arlene Miller, Principal Planner, dated September 22, 2020.
 5. A notice from the Rockland County Department of Highway, dated January 27, 2021.
 6. An email from Orange and Rockland Utilities, from Alfred Gaddi, PE, dated January 21, 2021.
 7. Traffic Impact Study Reviews from AKRF, Environmental, Planning, and Engineering Consultants, dated January 29 & January 13, 2021 and December 22 & December 8, 2020.
 8. Presentation to the Planning Board at the February 10, 2021 Planning Board Meeting, entitled “700 & 800 Bradley Hill Road Traffic Overview”, dated February 10, 2021.

3011J0 S.KR373 NM01

L2:21 d E - RW 1707

NM0139NVR0 JO NM01

Site Improvement Plan
Final Site Plan Approval
Subject to Conditions
Reaffirmation of SEQRA

Town of Orangetown Planning Board Decision

February 10, 2021

Page 2 of 9

9. A letter from Ronald Rieman, Maser Consulting, dated December 22, 2020 and a Traffic Impact Study, prepared by Maser Consulting, dated August 6, 2020, revised December 22, 2020.
10. A letter from McCullough, Goldberger & Staudt, signed by Seth Mandelbaum, dated January 7, 2021.
11. A letter from Franz Laki, Senior Project Engineer, SESI, dated December 24, 2020 and January 28, 2021, with attachments.
12. Site Plans prepared by SESI Consulting Engineers, dated August 31, 2020, revised as noted:
 - Drawing 1 of 11: Cover Sheet
 - Drawing 2 of 11: Existing Conditions, revised October 30, 2020
 - Drawing 3 of 11: Demolition Plan, revised October 30, 2020
 - Drawing 4 of 11: Site Plan, revised October 30, 2020
 - Drawing 5 of 11: Grading & Utilities Plan, revised January 5, 2021
 - Drawing 6 of 11: Soil Erosion and Sediment Control Plan, revised January 5, 2021
 - Drawing 7 of 11: Impervious Coverage Plan
 - Drawing 8 of 11: Site Easement Plan
 - Drawing 9 of 11: Details and Notes, revised January 5, 2021
 - Drawing 10 of 11: Details and Notes, revised October 30, 2020
 - Drawing 11 of 11 (L-1) Lighting Plan, revised October 30, 2020
13. Architectural Plans prepared by DeBarbieri Architects, dated July 29, 2020:
 - A-1: Floor Plan, Notes & Details
 - A-2: Exterior Elevations
14. Plant Equipment Layout, UPS, dated April 22, 2020.
15. Copies of the following Board Decisions: ZBA#21-04, Performance Standards Conformance, Approved, dated January 6, 2021, with a copy of the completed/revised Performance application, ZBA#21-05, Performance Standards Conformance, Not Required, dated January 6, 2021, PB#20-44, Preliminary Site Plan Approval Subject to Conditions, dated November 12, 2020, and ACABOR#20-78, Approved as Presented, dated December 3, 2020.

The Board reviewed the plans. The hearing was then opened to the Public. There being no one from the Public, a motion was made to close the Public Hearing portion of the meeting by Andrew Andrews and seconded by Stephen Sweeney and carried as follows: Thomas Warren - Chairman, aye; William Young- Vice Chairman, aye; Michael Mandel, aye; Robert Dell, aye; Michael McCrory, aye; Andrew Andrews, aye; Bruce Bond, abstain and Stephen Sweeney, aye.

3C1JFJ0 S,KR373 NM01

L2 :21 d E - BYM 1702

NM013GNVRO JO NM01

**PB #21-05: 700 Bradley Hill Road
Site Improvement Plan
Final Site Plan Approval
Subject to Conditions
Reaffirmation of SEQRA**

Permit #50385

**Town of Orangetown Planning Board Decision
February 10, 2021
Page 3 of 9**

REAFFIRMATION OF SEQRA

The proposed action is classified as an "unlisted action" as defined by Section 617.2 (a1) of the New York State Environmental Quality Review Regulations (SEQRR). No agency, other than the Orangetown Planning Board will have any significant involvement in the review process, pursuant to Section 617.6 of SEQRA. On motion by William Young and seconded by Stephen Sweeney and carried as follows: Thomas Warren - Chairman, aye;
William Young - Vice Chairman, aye; Michael Mandel, aye; Robert Dell, aye; Michael McCrory, aye; Andrew Andrews, aye; Bruce Bond, abstain and Stephen Sweeney, aye, the Board declared itself Lead Agency.

Pursuant to New York Code, Rules & Regulations (NYCRR) Section 617.7, the Town of Orangetown Planning Board, as lead agency, for the reasons articulated in this Board's analysis of all of the submissions by the applicant, interested agencies, departments and the public, with respect to this project including the Environmental Assessment Form, which reasons are summarized in the motion, hereby determines that the proposed action will not have a significant impact on the environment and a Draft Environmental Impact Statement (DEIS) will not be prepared.

After having identified the relevant areas of environmental concern, namely drainage, surface water runoff, land clearing, vegetation, fauna, traffic and noise levels, and after having taken a hard look at said environmental issues, and after having deliberated regarding such concerns, and having heard from the applicant, the applicant's professional representatives, namely
SESI Consulting Engineers and having heard from the following offices, officials and/or Departments: (Town of Orangetown): Office of Building, Zoning, Planning Administration and Enforcement and Department of Environmental Management and Engineering; and having heard from the following involved and interested agencies: Town of Orangetown Zoning Board of Appeals, Rockland County Department of Highway, Rockland County Sewer District No. 1, Rockland County Drainage Agency, and having reviewed a proposed Site plan by prepared by SESI Consulting Engineers, a summary of the reasons supporting this determination are, and the Planning Board finds, that the proposed action:

- Will not significantly affect existing air quality or noise levels;
- Will not significantly affect existing surface water quality or quantity or drainage;
- Will not significantly affect existing ground water quality or quantity;
- Will not significantly affect existing traffic levels;
- Will not create a substantial increase in solid waste production;
- Will not create a potential for erosion, flooding, leaching or drainage problems;

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Town of Orangetown Planning Board Decision
February 10, 2021
Page 4 of 9

- Will not have a significant adverse impact on the environmental characteristics of our critical environmental area or environmentally sensitive sites or features;
- Will not have an impairment of the character or quality of important historical, archeological or architectural resources;
- Will not have an impairment of the character or quality of important aesthetic resources;
- Will not have an impairment of existing community or neighborhood character;
- Will not remove or destroy large quantities of vegetation or fauna;
- Will not remove or destroy large quantities of wildlife species or migratory fish;
- Will not have a significant adverse impact to natural resources;
- Is consistent with the Town of Orangetown Comprehensive/Master Plan;
- Will not have adverse economic or social impacts upon the Town;
- Will not create a hazard to human health; and
- Will not create a substantial change in the use of land, open space or recreational resources.

On motion by William Young and seconded by Andrew Andrews and carried as follows: Thomas Warren - Chairman, aye; William Young- Vice Chairman, aye; Michael Mandel, aye; Robert Dell, aye; Michael McCrory, aye; Andrew Andrews, aye; Bruce Bond, abstain and Stephen Sweeney, aye, the Board made a Negative Declaration pursuant to SEQRA.

DECISION: In view of the foregoing and the testimony before the Board, the application was granted **Final Approval Subject to the Following Conditions:**

1. The following note shall be placed on the subdivision plan: "At least one week prior to the commencement of any work, including the installation of erosion control devices or the removal of trees and vegetation, a Pre-construction meeting must be held with the Town of Orangetown Department of Environmental Management and Engineering, Superintendent of Highways and the Office of Building, Zoning and Planning Administration and Enforcement. It is the responsibility and obligation of the property owner to arrange such a Meeting."
2. Stormwater Management Phase II Regulations: Additional certification, by an appropriate licensed or certified design professional shall be required for all matters before the Planning Board indicating that the drawings and project are in compliance with the Stormwater Management Phase II Regulations.

CLERK'S OFFICE
MAR 10 12:12 PM '21
TOWN OF ORANGE COUNTY

Site Improvement Plan
Final Site Plan Approval
Subject to Conditions
Reaffirmation of SEQRA

Town of Orangetown Planning Board Decision

February 10, 2021

Page 5 of 9

3. The applicant shall comply with all applicable and pertinent conditions of previous Board Decisions: ZBA#21-04, Performance Standards Conformance, Approved, dated January 6, 2021, with a copy of the completed/revised Performance application, ZBA#21-05, Performance Standards Conformance, Not Required, dated January 6, 2021, PB#20-44, Preliminary Site Plan Approval Subject to Conditions, dated November 12, 2020, and ACABOR#20-78, Approved as Presented, dated December 3, 2020.
4. The Board requested AKRF to prepare a summary report of the Meeting presentation of the Traffic Impact Study.
5. The applicant is reminded that no work can begin and no permit will be issued until all comments are met from the various agencies, all approvals are obtained, the Final Site Plan is stamped by the Chief Clerk to the Board and the construction plans are reviewed and approved by the Inspector.
6. The applicant still needs to comply with PB#20-44 conditions:
 10. The applicant/ applicant's attorney shall provide written proof to the satisfaction of the Town of Orangetown Town Attorney's Office, of the applicant's legal ability to work on the neighboring property to the east.
 11. All of the existing drainage and sanitary infrastructure/ facilities on both 700 and 800 Corporate Drive shall be shown on the plans. The terminus for all lines shall be determined and shown on the drawings (including 18-inch RCP and 8-inch PVC on 800 Corporate Drive.)
 12. The existing sanitary building connections shall be shown on the plans.
 13. **All proposed SESC features shall be shown, in their proposed locations, on the SESC drawing – SESC features needed around proposed pavement removal on neighboring lot to the east.** The soil erosion and sediment control plans and details are under review by DEME. However, a soil and sediment control symbols shall be revised to conform to NYSDEC standards.
 15. Drawing E-1 shall be revised to show the actual location of all existing easements (some are listed as approximate -this is not acceptable.) Also, the metes and bounds, filing information and ownership for all existing easements shall be given on the plan. Given the number of easements, the applicant's engineer shall consider adding a table listing all easements and their associated information. Lastly, any and all proposed cross easements for drainage, sanitary and access shall be included on this plan.

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**Site Improvement Plan
Final Site Plan Approval
Subject to Conditions
Reaffirmation of SEQRA**

**Town of Orangetown Planning Board Decision
February 10, 2021
Page 6 of 9**

7. Drainage Consultant Recommendation- Brooker Engineering

The application has provided sufficient information that demonstrates that there are no potential significant adverse impacts with respect to drainage that require mitigation. Brooker Engineering, the Planning Board's Drainage Consultant recommends that 700 Bradley Hill Road Site Improvement Plan and 800 Bradley Hill Road Site Improvement Plan be approved for drainage subject to no conditions.

Project Description

This is the first drainage review report for this project. The sites are located on the east side of Bradley Hill Road, at the western end of Corporate Drive. There are two tax lots, each developed with LI buildings and associated parking areas and infrastructure improvements. Stormwater runoff flows east towards an existing stream that flows north beyond the eastern property line. The stream is not mapped in the Flood Insurance Study for the Town of Orangetown and is a tributary to the Hackensack River. The improvements consist of various parking reconfigurations scattered throughout the two sites. The overall impervious area is reduced for each site (110 SF reduction of 700 Bradley and 439 SF reduction for 800 Bradley.) The grassy strip along the existing stream at the downhill portion of the site will remain essentially the same. The applicant has provided the drainage patterns and existing and proposed ground cover surfaces on Drawing IC-1 (Sheet 7 of 11).

8. Orange and Rockland Utilities offered the following comment:

The proposed grade changes may be in conflict with the existing services to the customers. The developer must follow all code 753 when trenching near gas facilities and must contact Orange and Rockland Utilities for relocation if the services are in conflict.

9. The Rockland County Drainage Agency (RCDA) reviewed the provided information and found that the site is outside the jurisdiction of the RCDA and therefore, a Stream Control Act permit is not required for development within this site. Please ensure that the development proposals with increase in impervious area and/ or land disturbances include adequate stormwater management measures to prevent any increase in stormwater runoff from the site and has adequate measures to prevent soil erosion and control sediment from leaving the site.

10. The applicant shall comply with all pertinent items in the **Guide to the Preparation of Site Plans** prior to signing the final plans.

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Site Improvement Plan
Final Site Plan Approval
Subject to Conditions
Reaffirmation of SEQRA

Town of Orangetown Planning Board Decision
February 10, 2021
Page 7 of 9

11. All reviews and approvals from various governmental agencies must be obtained prior to stamping of the Site Plan.

12. All of the conditions of this decision, shall be binding upon the owner of the subject property, its successors and /or assigns, including the requirement to maintain the property in accordance with the conditions of this decision and the requirement, if any, to install improvements pursuant to Town Code §21A. Failure to abide by the conditions of this decision as set forth herein shall be considered a violation of Site Plan Approval pursuant to Town Code §21A and §6A.

13. TREE PROTECTION: The following note shall be placed on the Subdivision Plan: The Tree Protection and Preservation Guidelines adopted pursuant to Section 21-24 of the Land Development Regulations of the Town of Orangetown will be implemented in order to protect and preserve both individual specimen trees and buffer area with many trees. Steps that will be taken to reserve and protect existing trees to remain are as follows:

- a. No construction equipment shall be parked under the tree canopy.
- b. There will be no excavation or stockpiling of earth underneath the trees.
- c. Trees designated to be preserved shall be marked conspicuously on all sides at a 5 to 10-foot height.
- d. The Tree Protection Zone for trees designated to be preserved will be established by one of the following methods:
 - One (1) foot radius from trunk per inch DBH
 - Drip line of the Tree Canopy. The method chosen should be based on providing the maximum protection zone possible. A barrier of snow fence or equal is to be placed and maintained one yard beyond the established tree protection zone. If it is agreed that the tree protection zone of a selected tree must be violated, one of the following methods must be employed to mitigate the impact:
 - Light to Heavy Impacts – Minimum of eight inches of wood chips installed in the area to be protected. Chips shall be removed upon completion of work.
 - Light Impacts Only – Installation of ¾ inch of plywood or boards, or equal over the area to be protected.

The builder or its agent may not change grade within the tree protection zone of a preserved tree unless such grade change has received final approval from the Planning Board. If the grade level is to be changed more than six (6) inches, trees designated to be preserved shall be welled and/or preserved in a raised bed, with the tree well a radius of three (3) feet larger than the tree canopy.

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NM013GNV90 JO NMD1

**Site Improvement Plan
Final Site Plan Approval
Subject to Conditions
Reaffirmation of SEQRA**

**Town of Orangetown Planning Board Decision
February 10, 2021
Page 8 of 9**

14. All landscaping shown on the subdivision plan shall be maintained in a vigorous growing condition throughout the duration of the use of this site. Any plants not so maintained shall be replaced with new plants at the beginning of the next immediately following growing season.
15. Prior to the commencement of any site work, including the removal of trees, the applicant shall install the soil erosion and sedimentation control as required by the Planning Board. Prior to the authorization to proceed with any phase of the site work, the Town of Orangetown Department of Environmental Management and Engineering (DEME) shall inspect the installation of all required soil erosion and sedimentation control measures. The applicant shall contact DEME at least 48 hours in advance for an inspection.
16. The contractor's trailer, if any is proposed, shall be located as approved by the Planning Board.
17. If the applicant, during the course of construction of any required public improvements or private sanitary or storm sewer improvements, encounters such conditions as flood areas, underground water, soft or silty areas, improper drainage, or any other unusual circumstances or conditions that were not foreseen in the original planning, such conditions shall be reported immediately to DEME. The applicant (or the applicant's engineer) shall submit their recommendations as to the special treatment or design modification to be given such areas to secure adequate, permanent and satisfactory construction. DEME shall investigate the condition(s), and shall either approve the applicant's (applicant's' engineer's) recommendations to correct the condition(s), or order a modification thereof. In the event of the applicant's (applicant's engineer's) disagreement with the decision of DEME, or in the event of a significant change resulting to the subdivision plan or site plan or any change that involves a wetland regulated area, the matter shall be decided by the agency with jurisdiction in that area (i.e. Federal Wetlands - U.S. Army Corps of Engineers).
18. Permanent vegetation cover of disturbed areas shall be established on the site within thirty (30) days of the completion of construction.
19. Prior (at least 14 days) to the placing of any road sub-base, the applicant shall provide the Town of Orangetown Superintendent of Highways and DEME with a plan and profile of the graded road to be paved in order that these departments may review the drawings conformance to the approved construction plans and the Town Street Specifications

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PB #21-05: 700 Bradley Hill Road

Permit #50385

Site Improvement Plan
Final Site Plan Approval
Subject to Conditions
Reaffirmation of SEQRA

Town of Orangetown Planning Board Decision

February 10, 2021

Page 9 of 9

20. The Planning Board shall retain jurisdiction over lighting, landscaping, signs and refuse control.

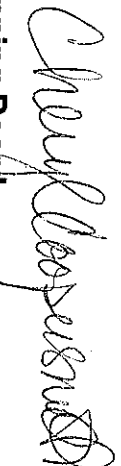
The foregoing Resolution was made and moved by Stephen Sweeney and seconded by Andrew Andrews and carried as follows: Thomas Warren - Chairman, aye; William Young- Vice Chairman, aye; Michael Mandel, nay; Robert Dell, aye; Michael McCrory, aye; Andrew Andrews, aye; Bruce Bond, abstain and Stephen Sweeney, aye

The Clerk to the Board is hereby authorized, directed and empowered to sign this **DECISION** and file a certified copy in the Office of the Town Clerk and the Office of the Planning Board.

February 10, 2021

Cheryl Coopersmith

Town of Orangetown Planning Board



OFFICE CLERK'S OFFICE
MAR 17 2021 3:27 PM
TOWN OF ORANGETOWN

PB #21-06: 800 Bradley Hill Road

Permit #50386

**Site Improvement Plan
Final Site Plan Approval
Subject to Conditions
Reaffirmation of SEQRA**

Town of Orangetown Planning Board Decision

February 10, 2021

Page 1 of 9

**TO: Nicole Vasquez, 900 Route 9 North, Suite 400, Woodbridge,
New Jersey, 07085**
FROM: Orangetown Planning Board

RE: 800 Bradley Hill Road: The application of Onyx Equities, LLC, applicant, for AG-OE 800 Bradley Hill Road Owner, LLC, owner, for Preliminary/ Preliminary Site Plan Review at a site to be known as “**800 Bradley Hill Road Site Improvement Plan**”, in accordance with Article 16 of the Town Law of the State of New York, the Land Development Regulations of the Town of Orangetown, Chapter 21A of the Code of the Town of Orangetown and to determine the environmental significance of the application pursuant to the requirements of the New York State Environmental Quality Review Act. The site is located at 800 Bradley Hill Road, Blauvelt, Town of Orangetown, Rockland County, New York, and as shown on the Orangetown Tax Map as Section 65.18, Block 1, Lot 3, in the LI zoning district.

Heard by the Planning Board of the Town of Orangetown at a virtual meeting held Wednesday, February 10, 2021, the Board made the following determinations:

Nicole Vasquez, Seth Mandelbaum, Frank Laki, Morgan Stanley, Frank Debarbieri, Matt Flatt and Ron Riemann appeared and testified.

The Board received the following communications:

1. Interdepartmental memorandum from the Office of Building, Zoning, Planning Administration and Enforcement, Town of Orangetown, signed by Jane Slavin, R.A., Director, dated February 8, 2021.
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3011J0 S.MR3710 NM01

L2:21 4 E - BVM 1207

NM0130NVR00 JO NM01

**Site Improvement Plan
Final Site Plan Approval
Subject to Conditions
Reaffirmation of SEQRA**

**Town of Orangetown Planning Board Decision
February 10, 2021
Page 2 of 9**

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The Board reviewed the plans. The hearing was then opened to the Public. There being no one from the Public, a motion was made to close the Public Hearing portion of the meeting by Stephen Sweeney and seconded by Andrew Andrews and carried as follows: Thomas Warren - Chairman, aye; William Young- Vice Chairman, aye; Michael Mandel, aye; Robert Dell, aye; Michael McCrory, aye; Andrew Andrews, aye; Bruce Bond, abstain and Stephen Sweeney, aye.

301JFFD S,KR373 NM01

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NM013GNV00 JO NM01

**Site Improvement Plan
Final Site Plan Approval
Subject to Conditions
Reaffirmation of SEQRA**

Town of Orangetown Planning Board Decision
February 10, 2021
Page 3 of 9

REAFFIRMATION OF SEQRA

The proposed action is classified as an "unlisted action" as defined by Section 617.2 (a) of the New York State Environmental Quality Review Regulations (SEQRR). No agency, other than the Orangetown Planning Board will have any significant involvement in the review process, pursuant to Section 617.6 of SEQRA. On motion by Stephen Sweeney and seconded by Andrew Andrews and carried as follows: Thomas Warren - Chairman, aye; William Young - Vice Chairman, aye; Michael Mandel, aye; Robert Dell, aye; Michael McCrory, aye; Andrew Andrews, aye; Bruce Bond, abstain and Stephen Sweeney, aye, the Board declared itself Lead Agency.

Pursuant to New York Code, Rules & Regulations (NYCRR) Section 617.7, the Town of Orangetown Planning Board, as lead agency, for the reasons articulated in this Board's analysis of all of the submissions by the applicant, interested agencies, departments and the public, with respect to this project including the Environmental Assessment Form, which reasons are summarized in the motion, hereby determines that the proposed action will not have a significant impact on the environment and a Draft Environmental Impact Statement (DEIS) will not be prepared.

After having identified the relevant areas of environmental concern, namely drainage, surface water runoff, land clearing, vegetation, fauna, traffic and noise levels, and after having taken a hard look at said environmental issues, and after having deliberated regarding such concerns; and having heard from the applicant, the applicant's professional representatives, namely SESI Consulting Engineers and having heard from the following offices, officials and/or Departments: (Town of Orangetown): Office of Building, Zoning, Planning Administration and Enforcement and Department of Environmental Management and Engineering; and having heard from the following involved and interested agencies: Town of Orangetown Zoning Board of Appeals, Rockland County Department of Highway, Rockland County Sewer District No. 1, Rockland County Drainage Agency, and having reviewed a proposed Site plan by prepared by SESI Consulting Engineers, a summary of the reasons supporting this determination are, and the Planning Board finds, that the proposed action:

- Will not significantly affect existing air quality or noise levels;
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- Will not significantly affect existing ground water quality or quantity;
- Will not significantly affect existing traffic levels;
- Will not create a substantial increase in solid waste production;
- Will not create a potential for erosion, flooding, leaching or drainage problems;

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**Site Improvement Plan
Final Site Plan Approval
Subject to Conditions
Reaffirmation of SEQRA**

**Town of Orangetown Planning Board Decision
February 10, 2021
Page 4 of 9**

- Will not have a significant adverse impact on the environmental characteristics of our critical environmental area or environmentally sensitive sites or features;
- Will not have an impairment of the character or quality of important historical, archeological or architectural resources;
- Will not have an impairment of the character or quality of important aesthetic resources;
- Will not have an impairment of existing community or neighborhood character;
- Will not remove or destroy large quantities of vegetation or fauna;
- Will not remove or destroy large quantities of wildlife species or migratory fish;
- Will not have a significant adverse impact to natural resources;
- Is consistent with the Town of Orangetown Comprehensive/Master Plan;
- Will not have adverse economic or social impacts upon the Town;
- Will not create a hazard to human health; and
- Will not create a substantial change in the use of land, open space or recreational resources.

On motion by Andrew Andrews and seconded by William Young and carried as follows Thomas Warren - Chairman, aye; William Young- Vice Chairman, aye; Michael Mandel, aye; Robert Dell, aye; Michael McCrory, aye; Andrew Andrews, aye; Bruce Bond, abstain and Stephen Sweeney, aye, the Board made a Negative Declaration pursuant to SEQRA.

DECISION: In view of the foregoing and the testimony before the Board, the application was granted **Final Approval Subject to the Following Conditions:**

1. The following note shall be placed on the subdivision plan: "At least one week prior to the commencement of any work, including the installation of erosion control devices or the removal of trees and vegetation, a Pre-construction meeting must be held with the Town of Orangetown Department of Environmental Management and Engineering, Superintendent of Highways and the Office of Building, Zoning and Planning Administration and Enforcement. It is the responsibility and obligation of the property owner to arrange such a Meeting."

OFFICE SHERI MAO

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MAINTENANCE OF MAO

PB #21-06: 800 Bradley Hill Road

Permit #50386

Site Improvement Plan
Final Site Plan Approval
Subject to Conditions
Reaffirmation of SEQRA

Town of Orangetown Planning Board Decision
February 10, 2021
Page 5 of 9

2. Stormwater Management Phase II Regulations: Additional certification, by an appropriate licensed or certified design professional shall be required for all matters before the Planning Board indicating that the drawings and project are in compliance with the Stormwater Management Phase II Regulations.
3. The applicant shall comply with all applicable and pertinent conditions of previous Board Decisions: ZBA#21-04, Performance Standards Conformance, Approved, dated January 6, 2021, with a copy of the completed/revise Performance application, ZBA#21-05, Performance Standards Conformance, Not Required, dated January 6, 2021, PB#20-45, Preliminary Site Plan Approval Subject to Conditions, dated November 12, 2020, and ACABOR#20-78, Approved as Presented, dated December 3, 2020.
4. The Board requested AKRF to prepare a summary report of the Meeting presentation of the Traffic Impact Study.
5. The applicant is reminded that no work can begin and no permit will be issued until all comments are met from the various agencies, all approvals are obtained, the Final Site Plan is stamped by the Chief Clerk to the Board and the construction plans are reviewed and approved by the Inspector.
6. The applicant still needs to comply with PB#20-44 conditions:
 10. The applicant/ applicant's attorney shall provide written proof to the satisfaction of the Town of Orangetown Town Attorney's Office, of the applicant's legal ability to work on the neighboring property to the east.
 11. All of the existing drainage and sanitary infrastructure/ facilities on both 700 and 800 Corporate Drive shall be shown on the plans. The terminus for all lines shall be determined and shown on the drawings (including 18-inch RCP and 8-inch PVC on 800 Corporate Drive.)
 12. The existing sanitary building connections shall be shown on the plans.
 13. **All proposed SESC features shall be shown, in their proposed locations, on the SESC drawing – SESC features needed around proposed pavement removal on neighboring lot to the east.** The soil erosion and sediment control plans and details are under review by DEME. However, a soil and sediment control symbols shall be revised to conform to NYSDEC standards.

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**Site Improvement Plan
Final Site Plan Approval
Subject to Conditions
Reaffirmation of SEQRA**

Town of Orangetown Planning Board Decision

February 10, 2021

Page 6 of 9

Continuation of Condition #6...

15. Drawing E-1 shall be revised to show the actual location of all existing easements (some are listed as approximate -this is not acceptable.) Also, the metes and bounds, filing information and ownership for all existing easements shall be given on the plan. Given the number of easements, the applicant's engineer shall consider adding a table listing all easements and their associated information. Lastly, any and all proposed cross easements for drainage, sanitary and access shall be included on this plan.

7. Drainage Consultant Recommendation- Brooker Engineering

The application has provided sufficient information that demonstrates that there are no potential significant adverse impacts with respect to drainage that require mitigation. Brooker Engineering, the Planning Board's Drainage Consultant recommends that 700 Bradley Hill Road Site Improvement Plan and 800 Bradley Hill Road Site Improvement Plan be approved for drainage subject to no conditions.

Project Description

This is the first drainage review report for this project. The sites are located on the east side of Bradley Hill Road, at the western end of Corporate Drive. There are two tax lots, each developed with LI buildings and associated parking areas and infrastructure improvements. Stormwater runoff flows east towards an existing stream that flows north beyond the eastern property line. The stream is not mapped in the Flood Insurance Study for the Town of Orangetown and is a tributary to the Hackensack River. The improvements consist of various parking reconfigurations scattered throughout the two sites. The overall impervious area is reduced for each site (110 SF reduction of 700 Bradley and 439 SF reduction for 800 Bradley.) The grassy strip along the existing stream at the downhill portion of the site will remain essentially the same. The applicant has provided the drainage patterns and existing and proposed ground cover surfaces on Drawing IC-1 (Sheet 7 of 11).

8. Orange and Rockland Utilities offered the following comment:

The proposed grade changes may be in conflict with the existing services to the customers. The developer must follow all code 753 when trenching near gas facilities and must contact Orange and Rockland Utilities for relocation if the services are in conflict.

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Site Improvement Plan
Final Site Plan Approval
Subject to Conditions
Reaffirmation of SEQRA

Town of Orangetown Planning Board Decision
February 10, 2021
Page 7 of 9

9. The Rockland County Drainage Agency (RCDA) reviewed the provided information and found that the site is outside the jurisdiction of the RCDA and therefore, a Stream Control Act permit is not required for development within this site. Please ensure that the development proposals with increase in impervious area and/ or land disturbances include adequate stormwater management measures to prevent any increase in stormwater runoff from the site and has adequate measures to prevent soil erosion and control sediment from leaving the site.

10. The applicant shall comply with all pertinent items in the **Guide to the Preparation of Site Plans** prior to signing the final plans.

11. All reviews and approvals from various governmental agencies must be obtained prior to stamping of the Site Plan.

12. All of the conditions of this decision, shall be binding upon the owner of the subject property, its successors and /or assigns, including the requirement to maintain the property in accordance with the conditions of this decision and the requirement, if any, to install improvements pursuant to Town Code §21A. Failure to abide by the conditions of this decision as set forth herein shall be considered a violation of Site Plan Approval pursuant to Town Code §21A and §6A.

13. **TREE PROTECTION:** The following note shall be placed on the Subdivision Plan: The Tree Protection and Preservation Guidelines adopted pursuant to Section 21-24 of the Land Development Regulations of the Town of Orangetown will be implemented in order to protect and preserve both individual specimen trees and buffer area with many trees. Steps that will be taken to reserve and protect existing trees to remain are as follows:

- a. No construction equipment shall be parked under the tree canopy.
- b. There will be no excavation or stockpiling of earth underneath the trees.
- c. Trees designated to be preserved shall be marked conspicuously on all sides at a 5 to 10-foot height.
- d. The Tree Protection Zone for trees designated to be preserved will be established by one of the following methods:
 - One (1) foot radius from trunk per inch DBH
 - Drip line of the Tree Canopy. The method chosen should be based on providing the maximum protection zone possible. A barrier of snow fence or equal is to be placed and maintained one yard beyond the established tree protection zone. If it is agreed that the tree protection zone of a selected tree must be violated, one of the following methods must be employed to mitigate the impact:

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Site Improvement Plan
Final Site Plan Approval
Subject to Conditions
Reaffirmation of SEQRA

Town of Orangetown Planning Board Decision

February 10, 2021

Page 8 of 9

Continuation of Condition #13...

- Light to Heavy Impacts – Minimum of eight inches of wood chips installed in the area to be protected. Chips shall be removed upon completion of work.
 - Light Impacts Only – Installation of ¼ inch of plywood or boards, or equal over the area to be protected.
- The builder or its agent may not change grade within the tree protection zone of a preserved tree unless such grade change has received final approval from the Planning Board. If the grade level is to be changed more than six (6) inches, trees designated to be preserved shall be welled and/or preserved in a raised bed, with the tree well a radius of three (3) feet larger than the tree canopy.
- 14.** All landscaping shown on the subdivision plan shall be maintained in a vigorous growing condition throughout the duration of the use of this site. Any plants not so maintained shall be replaced with new plants at the beginning of the next immediately following growing season.
- 15.** Prior to the commencement of any site work, including the removal of trees, the applicant shall install the soil erosion and sedimentation control as required by the Planning Board. Prior to the authorization to proceed with any phase of the site work, the Town of Orangetown Department of Environmental Management and Engineering (DEME) shall inspect the installation of all required soil erosion and sedimentation control measures. The applicant shall contact DEME at least 48 hours in advance for an inspection.
- 16.** The contractor's trailer, if any is proposed, shall be located as approved by the Planning Board.
- 17.** If the applicant, during the course of construction of any required public improvements or private sanitary or storm sewer improvements, encounters such conditions as flood areas, underground water, soft or silty areas, improper drainage, or any other unusual circumstances or conditions that were not foreseen in the original planning, such conditions shall be reported immediately to DEME. The applicant (or the applicant's engineer) shall submit their recommendations as to the special treatment or design modification to be given such areas to secure adequate, permanent and satisfactory construction. DEME shall investigate the condition(s), and shall either approve the applicant's (applicant's engineer's) recommendations to correct the condition(s), or order a modification thereof. In the event of the applicant's (applicant's engineer's) disagreement with the decision of DEME, or in the event of a significant change resulting to the subdivision plan or site plan or any change that involves a wetland regulated area, the matter shall be decided by the agency with jurisdiction in that area (i.e. Federal Wetlands - U.S. Army Corps of Engineers).

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Site Improvement Plan
Final Site Plan Approval
Subject to Conditions
Reaffirmation of SEORA

Town of Orangetown Planning Board Decision

February 10, 2021

Page 9 of 9

18. Permanent vegetation cover of disturbed areas shall be established on the site within thirty (30) days of the completion of construction.

19. Prior (at least 14 days) to the placing of any road sub-base, the applicant shall provide the Town of Orangetown Superintendent of Highways and DEME with a plan and profile of the graded road to be paved in order that these departments may review the drawings conformance to the approved construction plans and the Town Street Specifications

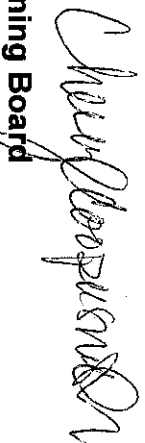
20. The Planning Board shall retain jurisdiction over lighting, landscaping, signs and refuse control.

The foregoing Resolution was made and moved by Stephen Sweeney and seconded by Andrew Andrews and carried as follows: Thomas Warren - Chairman, aye; William Young- Vice Chairman, aye; Michael Mandel, nay; Robert Dell, aye; Michael McCrory, aye; Andrew Andrews, aye; Bruce Bond, abstain and Stephen Sweeney, aye

The Clerk to the Board is hereby authorized, directed and empowered to sign this **DECISION** and file a certified copy in the Office of the Town Clerk and the Office of the Planning Board.

February 10, 2021

Cheryl Coopersmith
Town of Orangetown Planning Board



**PB #21-07: Chizinski Subdivision Plan
Granted Two 90 Day Extensions to File the Subdivision with the Rockland
County Clerk's Office**

**Town of Orangetown Planning Board Decision
February 10, 2021
Page 1 of 2**

**TO: Jay Greenwell, PLS, 85 Lafayette Avenue, Suffern, New York
FROM: Town of Orangetown Planning Board**

RE: Chizinski Subdivision Plan: The application of Jan Chizinski, owner, for Two 90 Day Extensions to file the Subdivision Plat with the Rockland County Clerk's Office at a site to be known "Chizinski Subdivision Plan", in accordance with Article 16 of the Town Law of the State of New York, the Land Development Regulations of the Town of Orangetown, Chapter 21 of the Code of the Town of Orangetown. The site is located at 317 Orangeburg Road, Pearl River, Town of Orangetown, Rockland County, New York, and as shown on the Orangetown Tax Map as Section 69.17, Block 2, Lot 42; in the R-15 zoning district.

Heard by the Planning Board of the Town of Orangetown at a virtual meeting held **Wednesday, February 10, 2021**, at which time the Board made the following determinations:

The Board received the following communications:

1. An interdepartmental memorandum from the Office of Building, Zoning, Planning Administration and Enforcement, Town of Orangetown, signed by Jane Slavin, R.A., AIA, Director, dated February 8, 2021.
2. An interdepartmental memorandum from the Department of Environmental Management and Engineering (DEME), Town of Orangetown, signed by Bruce Peters, P.E., dated February 98, 2021.
3. A letter from Jay Greenwell, PLS, dated January 19, 2021.
4. A copy of PB#19-79, Final Subdivision Approval Subject to Conditions, dated January 29, 2020.

The Board reviewed the plan. The meeting was then open to the public.

There being no one to be heard from the Public, a motion was made to close the Public Hearing portion of the meeting by Michael Mandel and second by Stephen Sweeney and carried as follows: Thomas Warren – Chairman, aye; William Young, Vice-Chairman, aye; Andrew Andrews, aye; Bruce Bond, abstain; Michael Mandel aye; Stephen Sweeney, aye; Michael McCrory, aye and Robert Dell, aye.

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**PB #21-07: Chizinski Subdivision Plan
Granted Two 90 Day Extensions to File the Subdivision with the Rockland
County Clerk's Office**

**Town of Orangetown Planning Board Decision
February 10, 2021
Page 2 of 2**

DECISION: In view of the foregoing, the Board **GRANTED** Two 90 Day
**Extensions to File the Subdivision Plan with the Rockland County Clerk's
Office.**

The foregoing Resolution was made and moved by Michael Mandel and
Seconded Stephen Sweeney and carried as follows: Thomas Warren –
Chairman, aye; William Young, Vice-Chairman, aye; Andrew Andrews, aye;
Bruce Bond, abstain; Michael Mandel aye; Stephen Sweeney, aye; Michael
McCrory, aye and Robert Dell, aye.

The Clerk of the Board is hereby authorized, directed and empowered to sign this
DECISION and file a certified copy in the Office of the Town Clerk and this Office
of the Planning Board.

Dated: February 10, 2021
Cheryl Coopersmith
Town of Orangetown Planning Board



TO TOWN CLERK'S OFFICE

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NO TOWN OF ORANGE

PB #21-09: Henry Kaufmann Campground

Permit #49454

**Phase 1 Drainage Improvements
Sickletown Road Area Site Plan
Final Site Plan Approval Subject
to Conditions
Reaffirmation of SEQRA**

**Town of Orangetown Planning Board Decision
February 10, 2021
Page 1 of 13**

**TO: Donald Brenner, 4 Independence Avenue, Tappan, New York
FROM: Orangetown Planning Board**

**RE: Henry Kaufmann Campgrounds Phase I Drainage
Improvements – Sickletown Road Area Site Plan:** The application of Henry Kaufmann Campgrounds, Inc., applicant, for UJA Federation of New York, owner, for Final Site Plan Review, at a site to be known as "Henry Kaufmann Campgrounds, Inc. Phase I Drainage Improvements – Sickletown Road Area Site Plan ", in accordance with Article 16 of the Town Law of the State of New York, the Land Development Regulations of the Town of Orangetown, Chapter 21A of the Code of the Town of Orangetown. The site is located at 667 Blauvelt Road, Pearl River, Town of Orangetown, Rockland County, New York, and as shown on the Orangetown Tax Map as Section 69.14, Block 1, Lot 28 & Section 69.10, Block 2, Lot 21 in the R-80 zoning district.

Heard by the Planning Board of the Town of Orangetown at a virtual meeting, **Wednesday, February 10, 2021**, at which time the Board made the following determinations:

Troy Wojciekofsky and Donald Brenner appeared before the Board.

The Board received the following communications:

1. An interdepartmental memorandum from the Office of Building, Zoning, Planning Administration and Enforcement, Town of Orangetown, from Jane Slavin, R.A., AIA., Director, dated February 8, 2021.
2. An interdepartmental memorandum from the Department of Environmental Management and Engineering (DEME), Town of Orangetown, signed by Bruce Peters, P.E. dated February 9, 2021.
3. A letter from Brooker Engineering, signed by Kenneth DeGennaro, P.E., dated February 9, 2021.
4. A letter from Rockland County Department of Planning, signed by Douglas Schuetz, Acting Commissioner of Planning dated January 20, 2021.
5. A notice from the Rockland County Department of Highways, signed by Dyan Rajasingham, Engineer II dated January 25, 2021.
6. An email with photographs from Jacqueline Beers, dated February 10, 2021.
7. A letter from Stantec Consulting Services, Inc., dated December 11, 2020, signed by Troy Wojciekofsky, PE, Senior Project Manager.

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PB #21-09: Henry Kaufmann Campground

Permit #49454

Phase 1 Drainage Improvements
Sickletown Road Area Site Plan
Final Site Plan Approval Subject
to Conditions
Reaffirmation of SEQRA

Town of Orangetown Planning Board Decision
February 10, 2021
Page 2 of 13

8. A Stormwater Pollution Prevention Plan prepared by Startec, dated last revision date of December 11, 2020.
9. A Narrative submitted by the applicant.
10. Phase I SW Management Improvements Plans prepared by Startec, signed by Troy Wojciekofsky, P.E., dated April 25, 2019, last revised December 11, 2020, unless noted:
 - Cover: Cover Sheet
 - C-001-SW: General Notes
 - C-100-SW: Existing Conditions & Removal Plan Phase
 - C-200-SW: Site, Drainage & Grading Plan
 - C-300-SW: Erosion & Sediment Control Plan
 - C-400-SW: Stormwater Utility Profiles
 - C-401-SW: Dry Detention Basin Cross Sections
 - C-402-SW: Dry Detention Basin Cross Sections
 - C-403-SW: Dry Detention Basin Cross Sections
 - C-500-SW: Landscape Plan
 - D-100-SW: Details

11. Existing Conditions Plans, Sheet 1 and Sheet 2 prepared by Jay Greenwell, PLS, dated August 10, 2012, last revised June 8, 2017.

12. Copies of prior Board Decisions: ACABOR #20-63, Approved as Presented, dated November 19, 2020; PB#19-82, Preliminary Site Plan Approval Subject to Conditions, dated July 22, 2020.

The Board reviewed the plan. The meeting was then open to the public.

Public Comment:

Kevin McCormack, 83 Sickletown Road, Orangeburg; expressed concerns regarding water coming from the property onto Sickletown Road, noting a photograph that was presented during the meeting. He also raised concerns regarding the number of trees to be removed and the swale behind the Beers property.

There being no one else from the public, a motion was made to close Public comment by Michael Mandel seconded by Andrew Andrews and carried as follows: Thomas Warren – Chairman, aye; William Young, Vice-Chairman, aye; Michael Mandel aye; Stephen Sweeney, aye; Michael McCrory, aye; Bruce Bond, abstain; Robert Dell, aye and Andrew Andrews, aye.

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PB #21-09: Henry Kaufmann Campground

Permit #49454

**Phase 1 Drainage Improvements
Sickletown Road Area Site Plan
Final Site Plan Approval Subject
to Conditions
Reaffirmation of SEQRA**

Town of Orangetown Planning Board Decision

February 10, 2021

Page 3 of 13

REAFFIRMATION OF SEQRA

The proposed action is classified as an “unlisted action” as defined by Section 617.2 (ak) of the New York State Environmental Quality Review Regulations (SEQRR). No agency, other than the Orangetown Planning Board will have any significant involvement in the review process, pursuant to Section 617.6 of SEQRA. On motion by Michael Mandel and seconded by Andrew Andrews carried as follows: Thomas Warren – Chairman, aye; William Young, Vice-Chairman, aye; Michael Mandel aye; Stephen Sweeney, aye; Michael McCroy, aye; Bruce Bond, abstain; Robert Dell, aye and Andrew Andrews, aye, the Board declared itself Lead Agency.

Pursuant to New York Code, Rules & Regulations (NYCRR) Section 617.7, the Town of Orangetown Planning Board, as lead agency, for the reasons articulated in this Board’s analysis of all of the submissions by the applicant, interested agencies, departments and the public, with respect to this project including the Environmental Assessment Form, which reasons are summarized in the motion, hereby determines that the proposed action will not have a significant impact on the environment and a Draft Environmental Impact Statement (DEIS) will not be prepared.

After having identified the relevant areas of environmental concern, namely drainage, surface water runoff, land clearing, vegetation, fauna, traffic and noise levels, and after having taken a hard look at said environmental issues, and after having deliberated regarding such concerns, and having heard from the Applicant, the applicant’s professional representatives, namely Stantec, and having heard from the following offices, officials and/or Departments: (Town of Orangetown): Project Review Committee, Office of Building, Zoning, Planning Administration and Enforcement and Department of Environmental Management and Engineering; and having heard from the following involved and interested agency; Town of Orangetown Zoning Board of Appeals, Rockland County Sewer District No.1, Rockland County Planning, Rockland County Highway, Rockland County Health, Rockland County Drainage Agency, and a summary of the reasons supporting this determination are, and the Planning Board finds that the proposed action:

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PB #21-09: Henry Kaufmann Campground

Permit #49454

Phase 1 Drainage Improvements
Sickletown Road Area Site Plan
Final Site Plan Approval Subject
to Conditions
Reaffirmation of SEQRA

Town of Orangetown Planning Board Decision
February 10, 2021
Page 4 of 13

- Will not significantly affect existing air quality or noise levels;
- Will not significantly affect existing surface water quality or quantity or drainage;
- Will not significantly affect existing ground water quality or quantity;
- Will not significantly affect existing traffic levels;
- Will not create a substantial increase in solid waste production;
- Will not create a potential for erosion, flooding, leaching or drainage problems;
- Will not have a significant adverse impact on the environmental characteristics of our critical environmental area or environmentally sensitive sites or features;
- Will not have an impairment of the character or quality of important historical, archeological or architectural resources;
- Will not have an impairment of the character or quality of important aesthetic resources;
- Will not have an impairment of existing community or neighborhood character;
- Will not remove or destroy large quantities of vegetation or fauna;
- Will not remove or destroy large quantities of wildlife species or migratory fish;
- Will not have a significant adverse impact to natural resources;
- Is consistent with the Town of Orangetown Comprehensive/Master Plan;
- Will not have adverse economic or social impacts upon the Town;
- Will not create a hazard to human health; and
- Will not create a substantial change in the use of land, open space or recreational resources.

On motion by Michael Mandel and seconded by Andrew Andrews and carried as follows: Thomas Warren – Chairman, aye; William Young, Vice-Chairman, aye; Michael Mandel aye; Stephen Sweeney, aye; Michael McCrory, aye; Bruce Bond, abstain; Robert Dell, aye and Andrew Andrews, aye; the Board made a Negative Declaration pursuant to SEQRA.

DECISION: In view of the foregoing and the testimony before the Board, the application was granted **Final Site Plan Approval Subject to the Following Conditions:**

1. The following note shall be placed on the Site Plan: "At least one week prior to the commencement of any work, including the installation of erosion control devices or the removal of trees and vegetation, a Pre-construction meeting must be held with the Town of Orangetown Department of Environmental Management and Engineering, Superintendent of Highways and the Office of Building, Zoning and Planning Administration and Enforcement. It is the responsibility and obligation of the property owner to arrange such a Meeting."

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PB #21-09: Henry Kaufmann Campground

Permit #49454

**Phase 1 Drainage Improvements
Sickletown Road Area Site Plan
Final Site Plan Approval Subject
to Conditions
Reaffirmation of SEQRA**

**Town of Orangetown Planning Board Decision
February 10, 2021
Page 5 of 13**

2. All outdoor construction activities, including site-clearing operations if applicable, shall take place between the hours of 7:00 a.m. and 7:00 p.m., Monday through Saturday. No such activities shall take place on Sunday or a legal holiday. The same criteria shall apply to indoor construction activities, except that such activities may take place between the hours of 7:00 a.m. and 10:00 p.m.
3. The applicant shall comply with all applicable and pertinent conditions of previous Board Decisions: ACABOR #20-63, Approved as Presented, dated November 19, 2020; PB#19-82, Preliminary Site Plan Approval Subject to Conditions, dated July 22, 2020.
4. The applicant shall review the plan and consider extending the swale further along with the Beers property line up to the federal wetlands boundary.
5. The New York State Department of Environmental Conservation regulation regarding tree removal as it relates to the protection of the Northern Long-eared Bat, prohibits tree removal during the pup-rearing season. In this, the Board granted the applicant the ability to remove trees as noted on the plan, however, not removing the tree stumps.
6. The applicant is reminded that no work can begin and no permit will be issued until all comments are met from the various agencies, all approvals are obtained, the Final Site Plan is stamped by the Chief Clerk to the Board and the construction plans are reviewed and approved by the Inspector.
7. The applicant is advised that per Rockland County Drainage Agency letter dated December 9, 2019, no permits can be issued until all existing RCDA violations are abated.

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**PB #21-09: Henry Kaufmann Campground
Phase 1 Drainage Improvements
Sicketown Road Area Site Plan
Final Site Plan Approval Subject
to Conditions
Reaffirmation of SEQRA**

Permit #49454

**Town of Orangetown Planning Board Decision
February 10, 2021
Page 6 of 13**

8. The Town of Orangetown Department of Environmental Management and Engineering offered the following comments:
- 1) The explanation given by the applicant's engineer in its letter dated December 11, 2020, in response to PB#19-82, comment 5a, shall be included in the project summary of the SWPPP.
PB#19-82, comment 5a): The design parameters for the proposed dry detention basin shall be included in the SWPPP.
 - 2). Separate Appendices in SWPPP for Pre and Post hydrographs.
PB#19-82, comment 5b): The pre and post hydrographs shall also be separated into 2 separate appendices.
 - 3) Separate Appendix in SWPPP for during Construction inspection Checklist.
PB#19-82, comment 5d): An appendix shall be added to the SWPPP for all of the proposed SESC features, in accordance with Appendix F of the NYSDEC-SMDM.
9. The explanation given by the applicant's engineer in its letter of December 11, 2020 in response to PB#19-82, comment #6, shall be included in the project summary of the SWPPP.
PB#19-82, comment #6: Although the applicant's engineer's letter of June 23, 2020 states that diverting the stream (or a portion thereof) will "...*increase flows to the proposed County Discharge point...*" (response #3 to DEME's letter to the Planning Board of December 6, 2019), this is not necessarily so. The flow from the proposed basin can be throttled, by means of the outlet structure, so as not to increase the flow rate to the County's system. Also, there is clearly enough room to enlarge/ expand the basin to the east to accommodate this extra flow and still provide a buffer between the proposed basin and the neighboring private residence. The applicant's engineer shall explain in the SWPPP narrative why the proposed basin cannot be enlarged/ expanded and why it is not proposed to be extended, to intersect the existing stream/ drainage ditch (or at least a portion of the stream during larger rain events.)
10. The revised SWPPP is under review. A formal review will be sent directly to the applicant's engineer.

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Phase 1 Drainage Improvements
Sickletown Road Area Site Plan
Final Site Plan Approval Subject
to Conditions
Reaffirmation of SEQRA

Town of Orangetown Planning Board Decision
February 10, 2021
Page 7 of 13

11. The total area of disturbance (a.o.d.) shall be listed on drawing C-001-SW. Also, drawing C-200-SW (5 of 12) lists the a.o.d. as ±1.78 acres, drawing C-300-SW (6 of 12) lists the a.o.d. as ±1.82 acres, the Project Summary lists the a.o.d. as ±1.82 acres and the NOI lists the a.o.d. as 1.8 acres. The a.o.d. shall be coordinated throughout the drawings, the SWPPP and the NOI.

12. The applicant's engineer's letter of December 11, 2020 states in responding to Brooker Engineering comments of December 10, 2019, that any stormwater leaving the basin via the emergency spillway, will discharge onto the camp entrance road and because the road is curbed, the water will eventually enter the proposed catch basins at the driveway entrance onto Sickletown Road.

However, drawing C-200-SW (5 of 12) shows the proposed rip-rap emergency overflow spillway stopping short of the roadway. Given this fact, the existing grading and the state curbing along the road, the water will be trapped off of the roadway and travel overlain along the southside of the driveway. Given the slopes coming off of the spillway and along the entrance road, the velocity of the stormwater would most likely cause erosion and scouring of the land on the south side of the driveway. The damage could occur on both the HKC site as well as the Gryschuk property to the south. Therefore, the design of the spillway exhaust shall be revised to eliminate the possibility of emergency overflow runoff causing damage downhill and along the driveway.

13. Drawing C-200-SW (5 of 12) denotes a 12-foot wide crushed stone drive to access the maintenance bath, however, no symbol is shown in its location nor is any detail given. This shall be corrected. Also, a profile for this path, which crossed the proposed overflow spillway, to get to the maintenance access path, shall be provided on the drawings. The elevation from the overflow spill (94) to the maintenance access path (94.9) changes quickly. The profile will show how this access will work. It is suggested that the profile be at a 1 to 1 scale.

14. The proposed drainage structure ID names shall be added to drawing C-300-SW (6 of 12.)

15. Drawing C-300-SW (6 of 12) shall be revised to depict more required SESC features; double row of silt fence along eastern side of proposed detention basin regrading, inlet protection features for all proposed catch basins/ filled inlets, double row of silt fence around proposed soil stockpile, silt fence around proposed emergency spillway construction and access path from driveway to basin, etc.

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PB #21-09: Henry Kaufmann Campground

Permit #49454

**Phase 1 Drainage Improvements
Sickletown Road Area Site Plan
Final Site Plan Approval Subject
to Conditions
Reaffirmation of SEQRA**

**Town of Orangetown Planning Board Decision
February 10, 2021
Page 8 of 13**

16. Drawing C-300-SW (6 of 12) shows regrading along the eastern side of the detention basin past the proposed silt fence installation. This shall be corrected.
17. The detail for the temporary topsoil stockpile correctly shows silt fence encompassing the pile. However, drawing C-300-SW only shows silt fence running halfway around the pile. The proposed silt fence shall be shown to encircle the pile, in adherence to NYSDEC standard detail.
18. The sediment depth marker detail shall be revised to indicate (with red lettering/ paint) the depth at which collected sediment must be removed.
19. The profiles on C-401 & 402-SW (8 & (of 12) showed more information on the previous submission. This information shall be put back onto the profiles.
20. The extent (from Sickletown Road to past the proposed project area) of the curbing along the access driveway, shall be shown on the plans.
21. The post construction stormwater maintenance agreement provided is under review by the Town of Orangetown Department of Environmental Management and Engineering.
22. Copies of all correspondence, including any and all approvals from the New York State Department of Environmental Conservation, U.S. Army Corps. Of Engineers, the Rockland County Drainage Agency, etc., in connection with this proposed site plan, shall be supplied to the Planning Board and DEME, prior to signing the map.
23. **Drainage Review Recommendation - Brooker Engineering
Drainage Review Recommendation**
Drainage calculations have been provided that demonstrates potential significant impacts with respect to drainage have been mitigated. Brooker Engineering therefore recommends that the Henry Kaufmann Campground Site Plan – Sickletown Road Drainage Improvements be approved subject to the following comments:

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PB #21-09: Henry Kaufmann Campground

Permit #49454

Phase 1 Drainage Improvements
Sickletown Road Area Site Plan
Final Site Plan Approval Subject
to Conditions
Reaffirmation of SEQRA

Town of Orangetown Planning Board Decision
February 10, 2021
Page 9 of 13

Continuation of Condition #23...

Project Description

The Sickletown Road drainage improvements consists of a dry stormwater management basin that is referred to as Phase 3 in the Master Plan application. This project proposes a dry stormwater management basin with a volume of 109,779 cubic feet along the east side of the parcel, uphill of properties along the west side of Sickletown Road. There is an existing swale in this area that bypasses the proposed basin.

Stormwater runoff from this area of the property flows east towards Sickletown Road and does not directly enter the on-site Nauraushaun Brook portion of the stream. It appears that there is a macadam parking area located uphill of the proposed basin, and stormwater runoff from this paved surface will enter the new basin. The drainage area currently directed to the adjacent residences is being reduced by 9.1 acres (33%) and stormwater runoff from the site will be reduced to the properties along Sickletown Road.

Project Comments:

1. Show the depth of the emergency swale on the detail
2. Show the existing curbs on the macadam drive at the entrance to Sickletown Road.
3. Coordinate the orifice and spillway elevations on the detail with the hydrologic model.
4. Provide a subarea breakdown 2A as the point of interest that is modeled is at the location where the swale crosses the property line at tax lot 69.15-1-13.
5. The proposed watershed map included in the SWPPP contains as alternative with a second detention basin inline with the existing stream. Clarify if this additional detention basin is being constructed.

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**Phase 1 Drainage Improvements
Sickletown Road Area Site Plan
Final Site Plan Approval Subject
to Conditions
Reaffirmation of SEQRA**

Town of Orangetown Planning Board Decision

February 10, 2021

Page 10 of 13

24. Rockland County Department of Planning had the following comments which are incorporated herein as conditions of approval:
- An updated review must be completed by the County of Rockland Drainage Agency. In addition, the applicant must comply with the comments made in its letters of June 22, 2020 and December 9, 2019.
 - An updated review must be completed by the Rockland County Highway Department. In addition, the applicant must comply with the comments made in their letters of August 4, 2020 and December 2, 2019.
 - An updated review must be completed by the Rockland County Department of Health. In addition, the applicant must comply with the comments made in their letters of August 19, 2020 and December 3, 2019.
 - A review must be completed by the United States Army Corps of Engineers for the wetlands on site, and all required permits obtained.
 - The Floodplain Administrator for the Town of Orangetown shall certify that the proposed construction is in compliance with the floodplain regulations of the Town and the Federal Emergency Management Agency.
 - Prior to the start of construction or grading, all soil and erosion control measures must be in place for the site. These measures must meet the latest edition (November 2016) of the New York State Guidelines for Urban Erosion and Sediment Control.
 - There shall be no net increase in the peak rate of discharge from the site at all design points.
 - The application form indicates the property receives water service from United Water. The form must be correct to Suez.
25. The Rockland County Health Department (RCDOH) reviewed the plans and offered the following comment:
- Application is to be made to RCDOH for review of the stormwater systems for compliance with the County Mosquito Code.
26. The Rockland County Highway Department (RCHD) reviewed the submitted plans and offered the following comments:
- A road work permit shall be obtained from the RCHD prior to starting any construction work related to the proposed plan.

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**Phase 1 Drainage Improvements
Sicketown Road Area Site Plan
Final Site Plan Approval Subject
to Conditions
Reaffirmation of SEQRA**

**Town of Orangetown Planning Board Decision
February 10, 2021
Page 11 of 13**

27. The Rockland County Drainage Agency (RCDA) has previously reviewed the above referenced site and determined that it is within the jurisdiction of the RCDA. However, the current proposal does not include any impervious areas and it also indicates that runoff from the project area will be drainage away from the County regulated stream. Therefore, this proposal does not require a permit from the RCDA, pursuant to the Rockland County Stream Control Act. Please note that any future improvements at this parcel will require a permit, or a written determination that indicates no permit is required from the RCDA. Furthermore, **please have the applicant address all outstanding violations immediately.**

28. The applicant shall comply with all pertinent items in the Guide to the Preparation of Site Plans and Decisions prior to signing the final plans.

29. All reviews and approvals from various governmental agencies must be obtained prior to stamping of the Site Plan.

30. All of the conditions of this decision, shall be binding upon the owner of the subject property, its successors and /or assigns, including the requirement to maintain the property in accordance with the conditions of this decision and the requirement, if any, to install improvements pursuant to Town Code §21A-9. Failure to abide by the conditions of this decision as set forth herein shall be considered a violation of Site Plan Approval pursuant to Town Code §21A-4.

31. **TREE PROTECTION:** The following note shall be placed on the Site Plan:
The Tree Protection and Preservation Guidelines adopted pursuant to Section 21-24 of the Land Development Regulations of the Town of Orangetown will be implemented in order to protect and preserve both individual specimen trees and buffer area with many trees. Steps that will be taken to reserve and protect existing trees to remain are as follows:
- a. No construction equipment shall be parked under the tree canopy.
 - b. There will be no excavation or stockpiling of earth underneath the trees.
 - c. Trees designated to be preserved shall be marked conspicuously on all sides at a 5 to 10-foot height.
 - d. The Tree Protection Zone for trees designated to be preserved will be established by one of the following methods:
 - One (1) foot radius from trunk per inch DBH
 - Drip line of the Tree Canopy.

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PB #21-09: Henry Kaufmann Campground

Permit #49454

Phase 1 Drainage Improvements

Sickletown Road Area Site Plan

Final Site Plan Approval Subject

to Conditions

Reaffirmation of SEQRA

Town of Orangetown Planning Board Decision

February 10, 2021

Page 12 of 13

Continuation of Condition #31...

The method chosen should be based on providing the maximum protection zone possible. A barrier of snow fence or equal is to be placed and maintained one yard beyond the established tree protection zone. If it is agreed that the tree protection zone of a selected tree must be violated, one of the following methods must be employed to mitigate the impact:

- Light to Heavy Impacts – Minimum of eight inches of wood chips installed in the area to be protected. Chips shall be removed upon completion of work.
- Light Impacts Only – Installation of ¾ inch of plywood or boards, or equal over the area to be protected.

The builder or its agent may not change grade within the tree protection zone of a preserved tree unless such grade change has received Preliminary approval from the Planning Board. If the grade level is to be changed more than six (6) inches, trees designated to be preserved shall be welled and/or preserved in a raised bed, with the tree well a radius of three (3) feet larger than the tree canopy.

32. All landscaping shown on the Site Plans shall be maintained in a vigorous growing condition throughout the duration of the use of this site. Any plants not so maintained shall be replaced with new plants at the beginning of the next immediately following growing season.

33. Prior to the commencement of any site work, including the removal of trees, the applicant shall install the soil erosion and sedimentation control as required by the Planning Board. Prior to the authorization to proceed with any phase of the site work, the Town of Orangetown Department of Environmental Management and Engineering (DEME) shall inspect the installation of all required soil erosion and sedimentation control measures. The applicant shall contact DEME at least 48 hours in advance for an inspection.

34. If the applicant, during the course of construction of any required public improvements or private sanitary or storm sewer improvements, encounters such conditions as flood areas, underground water, soft or silty areas, improper drainage, or any other unusual circumstances or conditions that were not foreseen in the original planning, such conditions shall be reported immediately to DEME. The applicant (or the applicant's engineer) shall submit their

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Phase 1 Drainage Improvements
Sicketown Road Area Site Plan
Final Site Plan Approval Subject
to Conditions
Reaffirmation of SEQRA

Town of Orangetown Planning Board Decision

February 10, 2021

Page 13 of 13

Continuation of Condition #34...

recommendations as to the special treatment or design modification to be given such areas to secure adequate, permanent and satisfactory construction. DEME shall investigate the condition(s), and shall either approve the applicant's (applicant's engineer's) recommendations to correct the condition(s), or order a modification thereof. In the event of the applicant's (applicant's engineer's) disagreement with the decision of DEME, or in the event of a significant change resulting to the subdivision plan or site plan or any change that involves a wetland regulated area, the matter shall be decided by the agency with jurisdiction in that area (i.e. Federal Wetlands - U.S. Army Corps of Engineers); wetland regulated area, the matter shall be decided by the agency with jurisdiction in that area (i.e. Federal Wetlands - U.S. Army Corps of Engineers).

35. Permanent vegetation cover of disturbed areas shall be established on the site within thirty (30) days of the completion of construction.

36. Prior (at least 14 days) to the placing of any road sub-base, the applicant shall provide the Town of Orangetown Superintendent of Highways and DEME with a plan and profile of the graded road to be paved in order that these departments may review the drawings conformance to the approved construction plans and the Town Street Specifications

37. The Planning Board shall retain jurisdiction over lighting, landscaping, signs and refuse control.

38. The following note shall be placed on the Plan regarding Stormwater Management Phase II Regulations: Additional certification, by an appropriate licensed or certified design professional shall be required for all matters before the Planning Board indicating that the drawings and project are in compliance with the Stormwater Management Phase II Regulations.

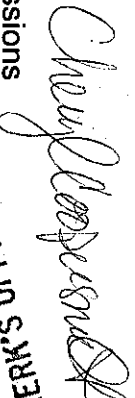
The foregoing Resolution was made and moved by Michael Mandel and seconded by Andrew Andrews and carried as follows: Thomas Warren – Chairman, aye; William Young, Vice-Chairman, aye; Michael Mandel aye; Stephen Sweeney, aye; Bruce Bond, abstain; Michael McCrory, aye; Robert Dell, aye and Andrew Andrews, aye.

The Clerk to the Board is hereby authorized, directed and empowered to sign this **DECISION** and file a certified copy in the Office of the Town Clerk and the Office of the Planning Board.

Dated: February 10, 2021

Cheryl Coopersmith

Chief Clerk Boards and Commissions
Town of Orangetown Planning Board



OFFICE

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