

**ZONING DATA**

**ORANGETOWN**

TAX LOT 75.09-1-3 ZONING DISTRICT R22  
LOT SIZE ACTUAL 4875 sq ft NET 3175 sq ft

BULK REGULATION	REQUIREMENT	EXISTING	PROPOSED
LOT SIZE	22,500 sq ft	3,175 sq ft	3,175 sq ft *
LOT WIDTH	125'	150'	150'
FRONTAGE	75'	156.26'	156.26'
FRONT YARD	40'	15.9' *	1.7' **
SIDE YARD	25'	26.5'	37.3'
TOTAL SIDE YARD	60'	111.5'	76.5'
REAR YARD	45'	0'	0' *
FLOOR AREA RATIO	0.20	0.62 *	1.19 **
HEIGHT	9' / 11'	19.5' / 1' *	30.5' / 1' **
COVERAGE	NA	-	-

**PIERMONT**

TAX LOT 75.37-1-4 ZONING DISTRICT R20  
LOT SIZE 17,626 sq ft NET 10,462 sq ft

BULK REGULATION	REQUIREMENT	EXISTING	PROPOSED
LOT SIZE	20,000 sq ft	10,462 sq ft	10,462 sq ft *
LOT WIDTH	150'	150'	150'
FRONTAGE	NA	-	-
FRONT YARD	50'	0'	0' *
SIDE YARD	35'	37.3'	37.3'
TOTAL SIDE YARD	60'	114.5'	87.3'
REAR YARD	40'	41.5'	41.5'
FLOOR AREA RATIO	0.20	0.036	0.044
HEIGHT	1/2 STORY - 35'	35'	35'
COVERAGE	22.7%	2.7%	3.7%

\* EXISTING NON-COMFORMANCE

\*\* VARIANCE REQUIRED - VARIANCE GRANTED ZBA-20-55

TOTAL LOT SIZE - ACTUAL 4875 sq ft + 17,626 sq ft = 22,501 sq ft / NET 3175 + 10,462 = 13,637 sq ft

**NOTES**

1. AT LEAST ONE WEEK PRIOR TO THE COMMENCEMENT OF ANY WORK, INCLUDING THE INSTALLATION OF EROSION CONTROL DEVICES OR THE REMOVAL OF TREES AND VEGETATION, A PRE-CONSTRUCTION MEETING MUST BE HELD WITH THE TOWN OF ORANGETOWN DEPARTMENT OF ENVIRONMENTAL MANAGEMENT AND ENGINEERING, SUPERINTENDENT OF HIGHWAYS AND OFFICE OF BUILDING ZONING AND PLANNING ENFORCEMENT. IT IS THE RESPONSIBILITY AND OBLIGATION OF THE PROPERTY OWNER TO ARRANGE SUCH A MEETING.

2. ADDITIONAL CERTIFICATION BY AN APPROPRIATE LICENSED OR CERTIFIED DESIGN PROFESSIONAL SHALL BE REQUIRED FOR ALL MATTERS BEFORE THE PLANNING BOARD INDICATING THAT THE DRAWINGS AND PROJECT ARE IN COMPLIANCE WITH THE SDISM WATER MANAGEMENT PHASE II REGULATIONS.

3. ALL OUTDOOR CONSTRUCTION ACTIVITIES, INCLUDING SITE CLEARING OPERATIONS IF APPLICABLE, SHALL TAKE PLACE BETWEEN THE HOURS OF 7:00 AM AND 7:00 PM MONDAY THROUGH SATURDAY. NO SUCH ACTIVITIES SHALL TAKE PLACE ON SUNDAY OR A LEGAL HOLIDAY. THE SAME CRITERIA SHALL APPLY TO INDOOR CONSTRUCTION ACTIVITIES, EXCEPT THAT SUCH ACTIVITIES MAY TAKE PLACE BETWEEN THE HOURS OF 7:00 AM AND 10:00 PM.

4. AN EXISTING WOOD FRETZIAN BRIDGE SPANNING FROM THE EXISTING PARKING AREA TO THE EXISTING ENTRY DOOR SHALL BE REMOVED.

5. VARIANCES FROM BULK REGULATIONS INCLUDED LOT SIZE, FAR, FRONT YARD, REAR YARD AND BUILDING HEIGHT WERE GRANTED BY THE ZONING BOARD OF APPEALS 7/2/20 ZBA-20-55.

6. THIS SITE PLAN IS BASED ON A SURVEY OF PROPERTY AND SLOPE CATEGORY MAP FOR HYUN BY JAYA GREENWELL, P.E. 35 LAFAYETTE AVE. SUFFERN, NY - DRAWING NO. 21934 DATED 8/3/19

7. PROPERTY OWNERS: MIKYONG & CHUL HYUN  
PO BOX 889 / PALISADES, NY 10964

8. DISTRICTS: SCHOOL - SOUTH ORANGETOWN  
FIRE - ORANGEBOURNS FIRE DEPARTMENT  
WATER - SPAZKILL  
LIGHTING - TOWN OF ORANGETOWN  
SEWER - ORANGETOWN SEWER DISTRICT

9. THIS PLAN DOES NOT CONFLICT WITH THE COUNTY OFFICIAL MAP AND HAS BEEN IN THE MANNER SPECIFIED BY SECTION 239L § M OF THE GENERAL MUNICIPAL LAW OF THE STATE OF NEW YORK.

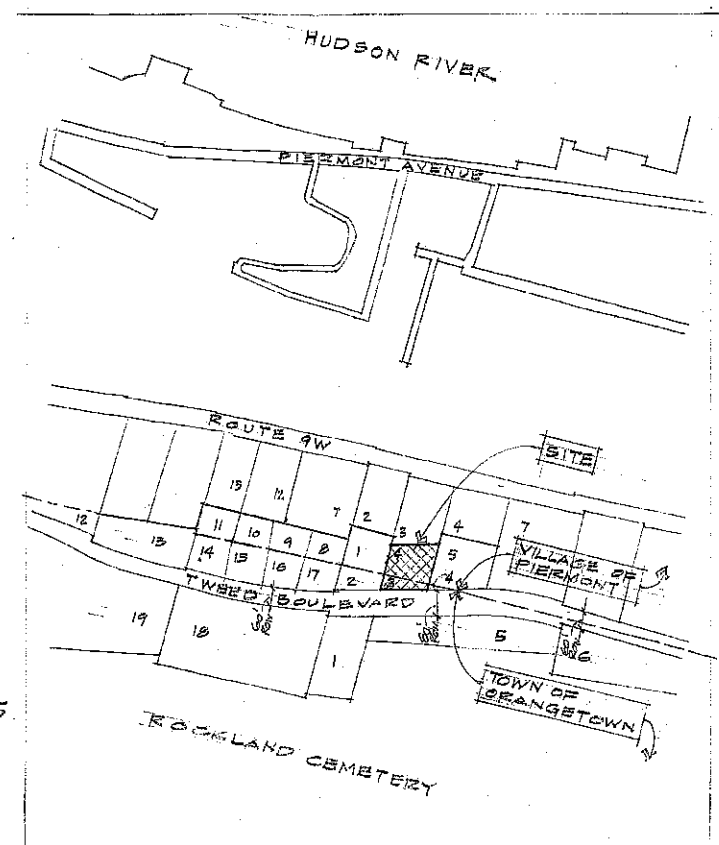
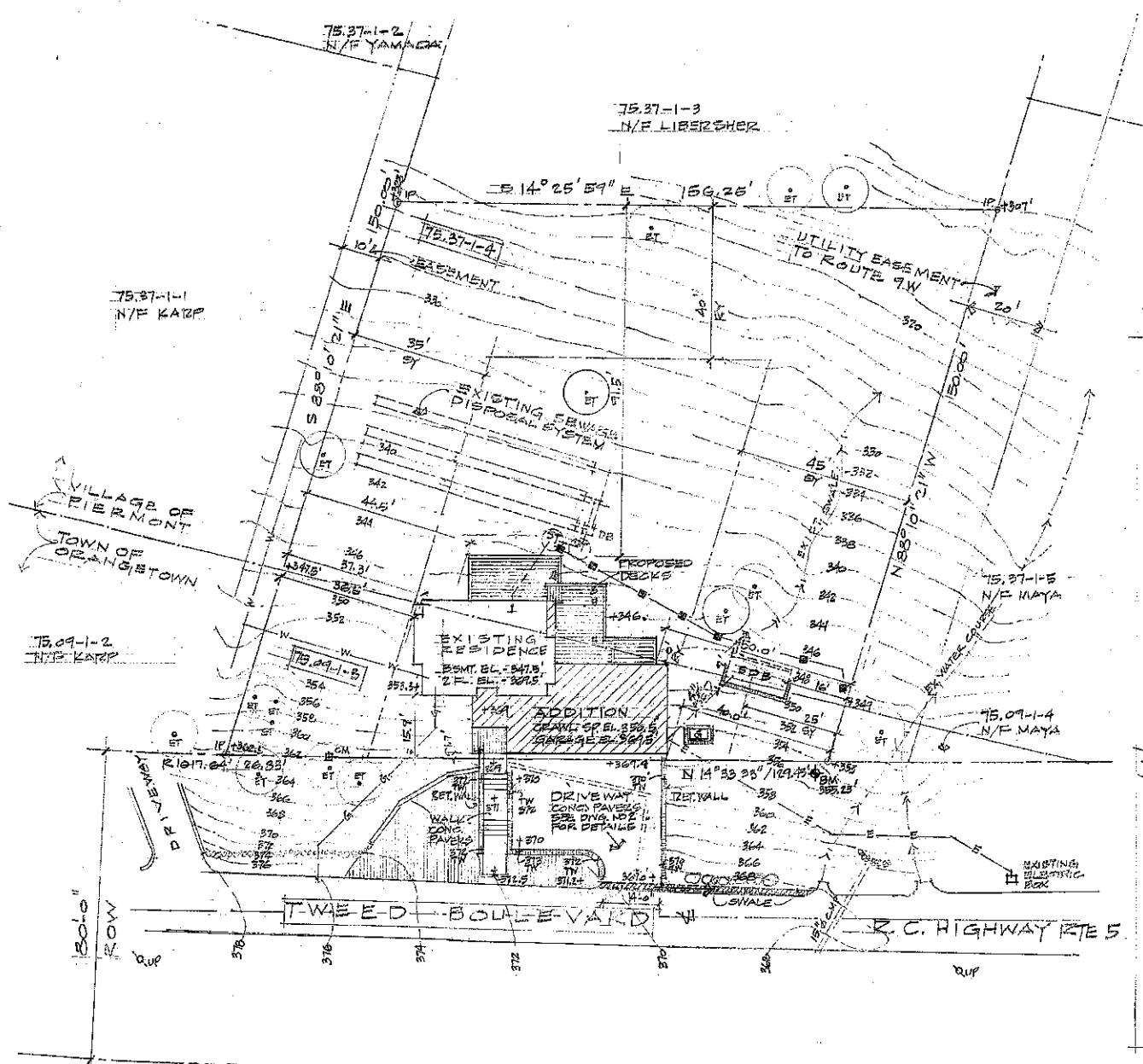
10. EXISTING SEWAGE DISPOSAL SYSTEM WAS APPROVED BY THE ROCKLAND COUNTY HEALTH DEPARTMENT IN 1972 FOR A TWO BED ROOM HOUSE. THE NUMBER OF BED ROOMS IN THE PROPOSAL IS TWO.

11. THE TREE PROTECTION & PRESERVATION GUIDELINES ADOPTED PURSUANT TO SECTION 21-24 OF THE LAND DEVELOPMENT REGULATIONS OF THE TOWN OF ORANGETOWN WILL BE IMPLEMENTED IN ORDER TO PROTECT & PRESERVE BOTH INDIVIDUAL SPECIMEN TREES & BUFFER AREAS WITH MANY TREES. STEPS THAT WILL BE TAKEN TO RESERVE & PROTECT EXISTING TREES TO REMAIN ARE AS FOLLOWS:

- A. NO CONSTRUCTION EQUIPMENT SHALL BE PARKED UNDER THE TREE CANOPY.
- B. THERE WILL BE NO EXCAVATION OR STOCK PILING OF EARTH UNDERNEATH THE TREES. TREES DESIGNATED TO BE PRESERVED SHALL BE MARKED CONSPICUOUSLY ON ALL SIDES AT A 5 TO 10 FOOT HEIGHT.
- C. THE TREE PROTECTION ZONE FOR TREES DESIGNATED TO BE PRESERVED WILL BE ESTABLISHED BY ONE OF THE FOLLOWING METHODS:  
ONE FOOT RADIUS FROM TRUNK PER INCH DBH - OR LINE OF THE TREE CANOPY. THE METHOD CHOSEN SHOULD BE BASED ON PROVIDING THE MAXIMUM PROTECTION ZONE POSSIBLE. A BARRIER OF SNOW FENCE OR EQUAL IS TO BE PLACED & MAINTAINED ONE YARD BEYOND THE ESTABLISHED TREE PROTECTION ZONE. IF IT IS AGREED THAT THE TREE PROTECTION ZONE OF A SELECTED TREE MUST BE VIOLATED, ONE OF THE FOLLOWING METHODS MUST BE EMPLOYED TO MITIGATE IMPACT: LIGHT TO HEAVY IMPACTS - MINIMUM OF 8" OF WOOD CHIPS INSTALLED IN THE AREA TO BE PROTECTED. CHIPS SHALL BE REMOVED UPON COMPLETION OF WORK.
- D. (NOTES ARE CONTINUED ON DRAWING NO. 2)

**LEGEND**

- PROPERTY LINE
- BUILDING SETBACK LINE
- - - EXISTING TO BE REMOVED
- TOPOGRAPHICAL CONTOUR AT 2' INTERVALS - DATUM NAVD 83
- WATER SERVICE LINE
- GAS SERVICE LINE
- UNDERGROUND ELECTRIC SERVICE
- ET EXISTING TREE TO REMAIN
- ST EXISTING 1000 GALLON SEPTIC TANK
- ▨ SDB SURFACE DETENTION BASIN - (VIF) SEE DRAWING NO. 2 FOR DETAILS
- ▨ ADDITION
- UP UTILITY POLE
- EXISTING ASPHALT PAVING TO BE REMOVED. IMPERVIOUS SUBBASE IN ROW WILL BE REDUCED BY 300 IS.
- PROPOSED NEW DECKS W/ 1/8" MIN. SPACING BETWEEN BOARDS EXISTING DECKS TO BE REMOVED
- WIRE REINFORCED BILT FENCE. FILTER FABRIC FASTENED TO WOVEN WIRE FENCE FASTENED TO POSTS 10'-0" MAX. THAY BALES SEE DETAIL ON DRAWING NO. 2 - (VIF)
- RETAINING WALL - +TW= TOP OF WALL
- BM BENCH MARK
- G GENERATOR



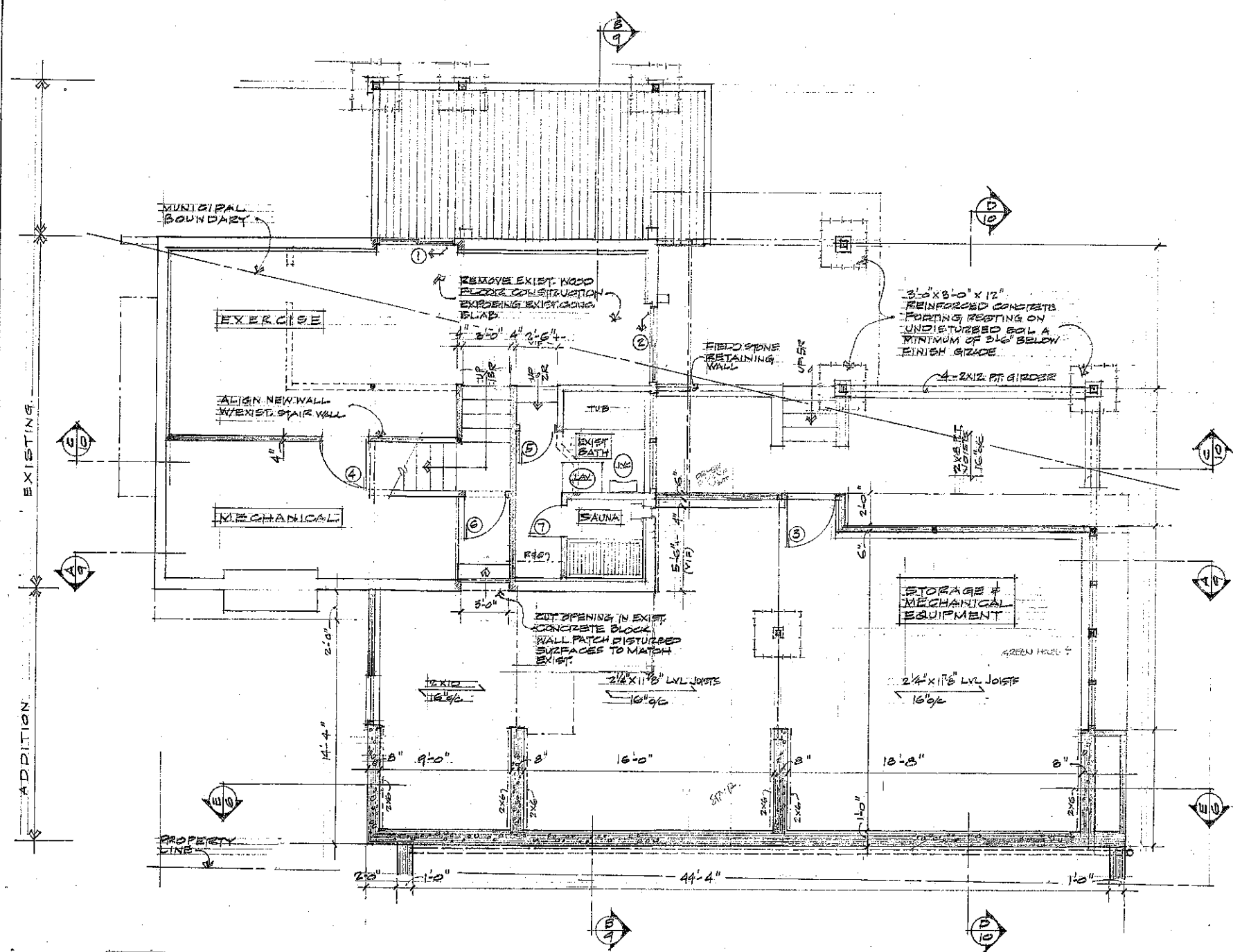
**SITE PLAN**

**LOCATION MAP**

<b>DATES:</b>	<b>ADDITION &amp; ALTERATION TO THE HYUN RESIDENCE</b>
BLOG PERMIT 10-21-19	161 TWEED BLVD / UPPER GRANDVIEW, NY
REV. 11-18-19	
PLANN SD 12-2-19	
REV. 3-10-20	
ZBA 5-20-20	
REV. 2-21-21	
	<b>MICHAEL ESMAY/ARCHITECT</b>
	TEL: 845-858-0935



**NOTE**  
 ALL WORK SHALL BE IN COMPLETE CONFORMANCE WITH THE RULES AND REGULATIONS OF ALL GOVERNMENTAL AGENCIES HAVING JURISDICTION AND UTILITY COMPANIES INCLUDING THE NEW YORK STATE BUILDING AND ENERGY CODES.



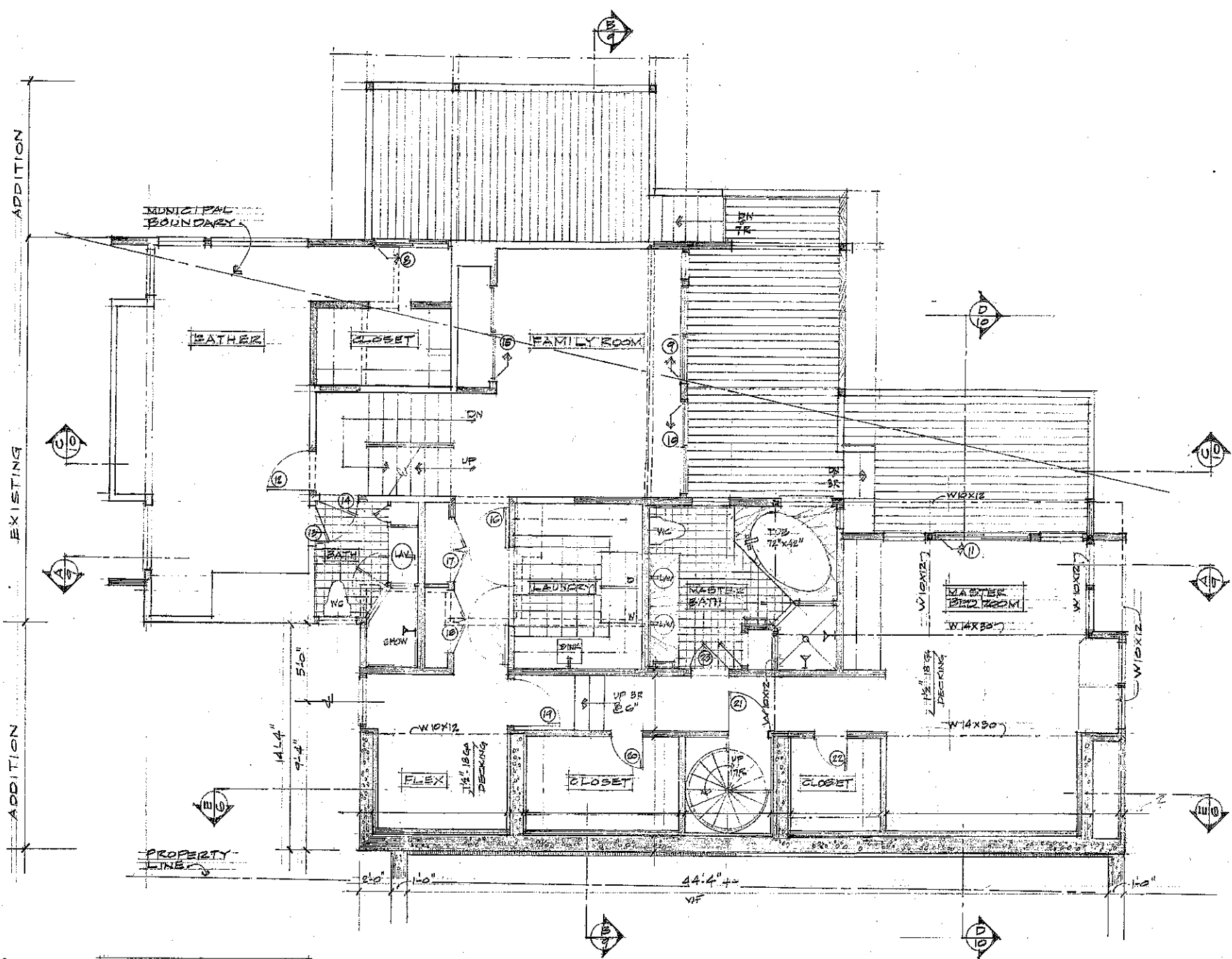
**LEGEND OF PLAN INDICATIONS**

- EXISTING TO BE REMOVED
- EXISTING TO REMAIN
- NEW WOOD FRAME CONSTRUCTION
- NEW CAST-IN PLACE REINFORCED CONCRETE
- OPENING OUT IN EXIST. WALL PATCH DISTURBED SURFACES TO MATCH EXISTING
- EDGE OF SURFACE ABOVE
- WOOD DECKING
- CERAMIC TILE

**BASEMENT FLOOR PLAN**

DATE:	ADDITION & ALTERATION TO THE
3-21-21	HYUN RESIDENCE
	181 TWEEB BLVD / UPPER GRANDVIEW, NY
	MICHAEL ESMAY/ARCHITECT
	CALL (845) 388-0988

BATH & LAUNDRY DETAILS.

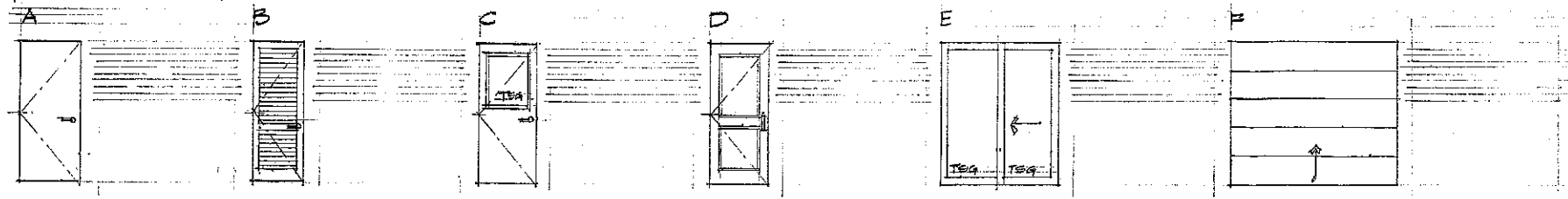


FIRST FLOOR

SPACE	FLOOR	WALLS				BASE	CEILING	REMARKS
		N	S	E	W			
EXERCISE	EXIST CONC							
EXIST BATH	CT							
SAUNA	VT							
MECHANICAL	EXIST CONC							
STAIR	OAK							
STORAGE MECHANICAL	CONC							
FATHER	OAK							
FATHER'S CLOSET	OAK							
FATHER'S BATH	CT							
FAMILY ROOM	OAK							
LAUNDRY	CT							
FLEX SPACE	OAK							
MASTER BED ROOM	OAK							
MASTER BATH	CT							
MASTER CLOSETS	OAK							
LIVING	OAK							
DINING	OAK							
KITCHEN	OAK							
ENTRY	CT							
MUD ROOM	CT							
POWDER ROOM	CT							
PANTRY	CT							
STAIR								
GARAGE	CONC							

DATES: ARCHDOR 3.21.21  
 ADDITION & ALTERATION TO THE HYUN RESIDENCE  
 161 TWBEE BLVD / UPPER GRANDVIEW, NY  
 MICHAEL ESMAY / ARCHITECT  
 TEL: (845) 888-0933

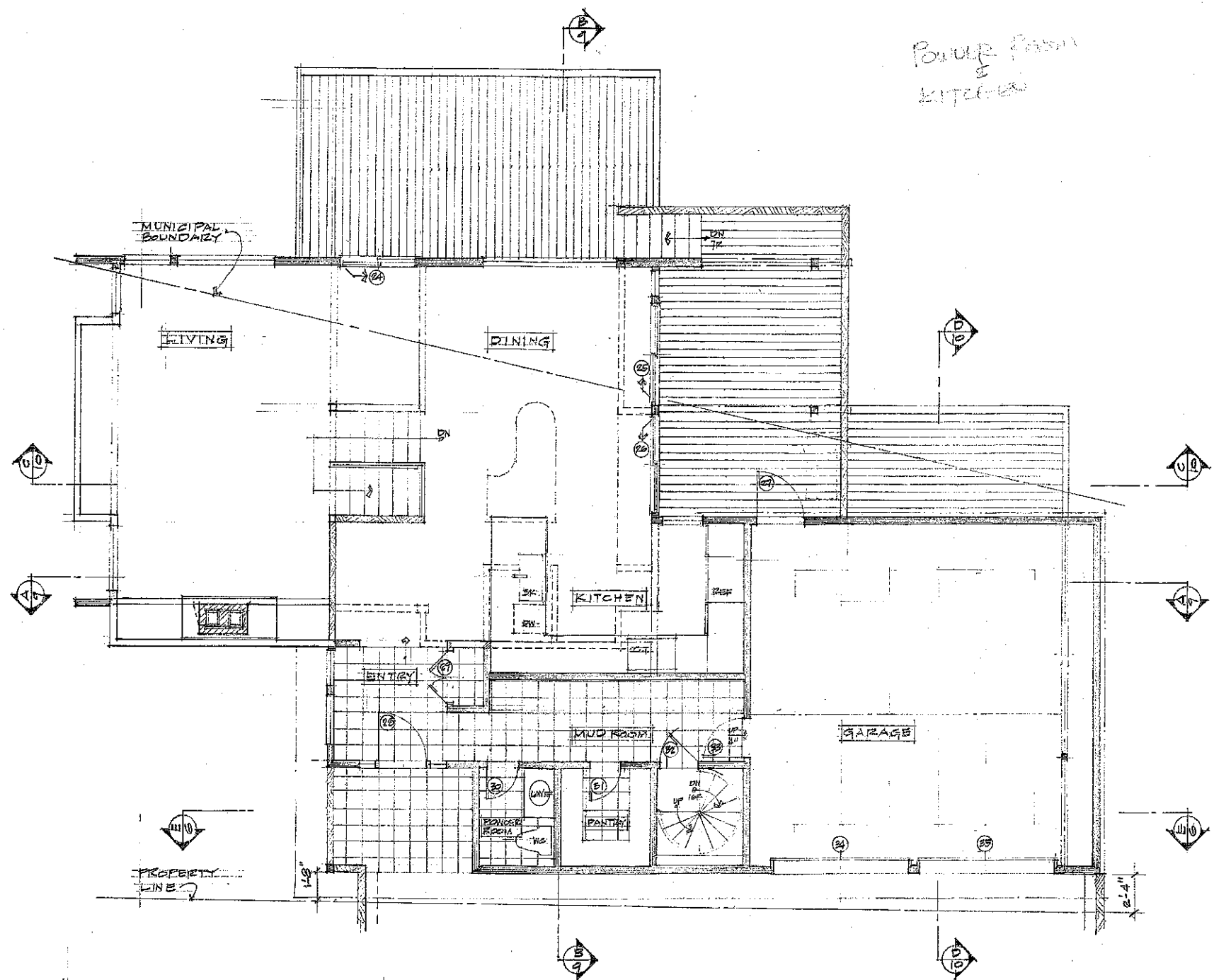
**DOOR TYPES**



**DOOR SCHEDULE**

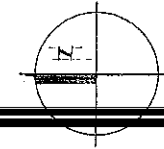
NO	SIZE	TYPE	HARDWARE	REMARKS
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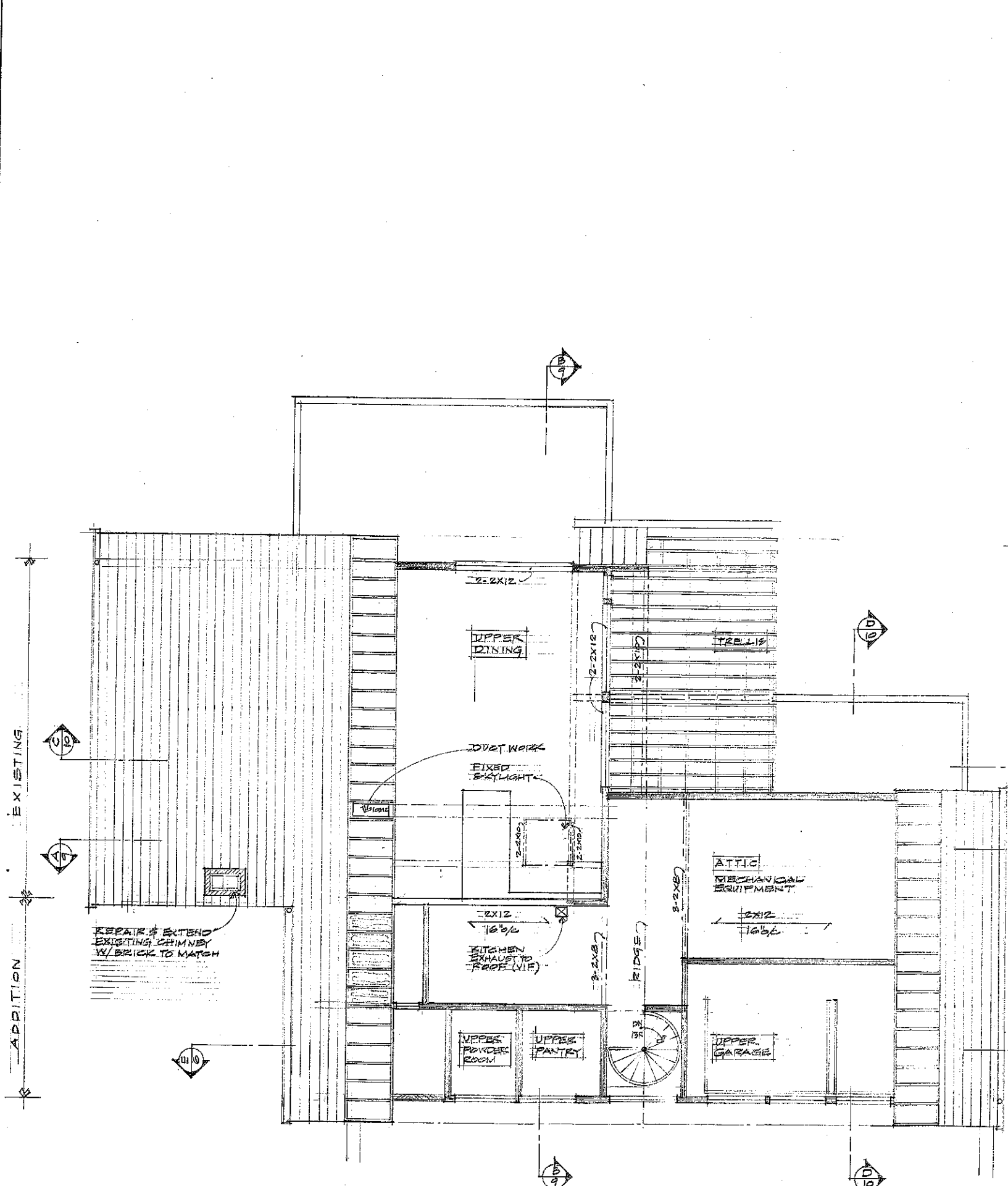
*POUR FLOOR  
&  
KITCHEN*



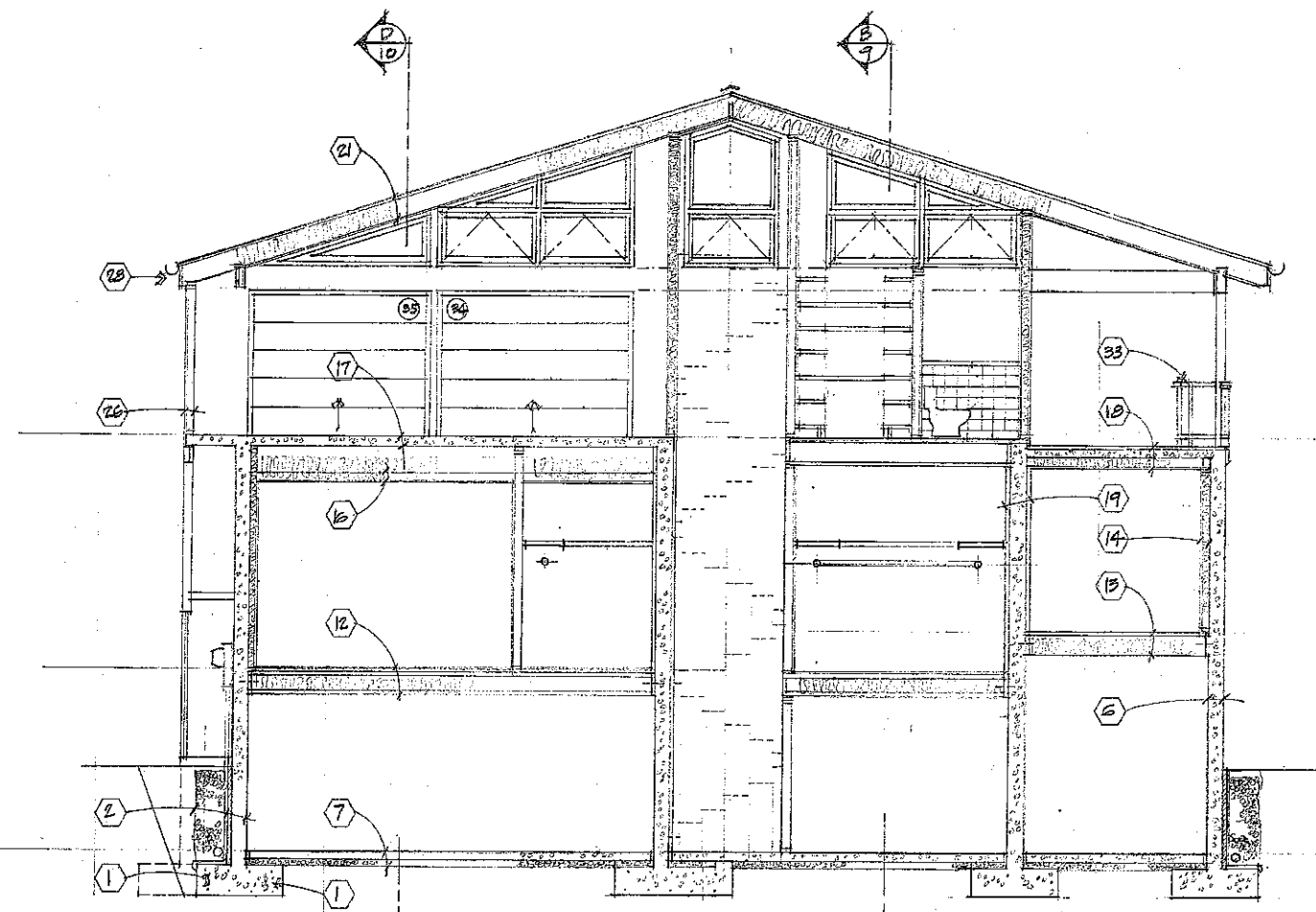
**SECOND FLOOR PLAN**

DATES: 2020-03-21  
 ADDITION & ALTERATION TO THE  
**HYUN RESIDENCE**  
 161 TWEEB BLVD / UPPER GRANDVIEW, NY  
**MICHAEL ESMAY/ARCHITECT**  
 TEL: (646) 252-0985

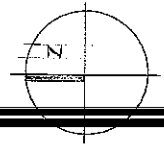




ATTIC FLOOR  
SCALE 1/4" = 1'-0"

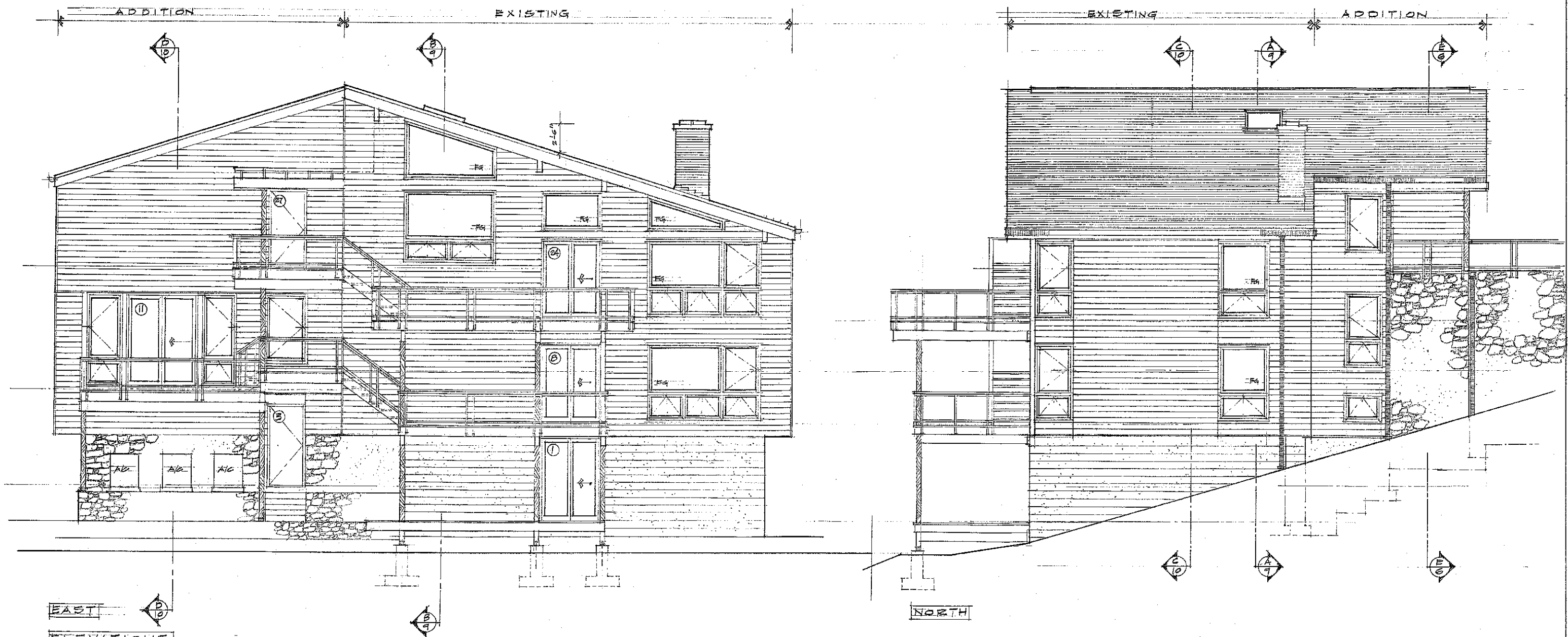


SECTION E-E  
SCALE 1/4" = 1'-0"



DATES: ACAD 3-21-21	ADDITION & ALTERATION TO THE <b>HYUN RESIDENCE</b> 181 TWEEED BLVD / UPPER GRANDVIEW, NY	<h1>6</h1>
	<b>MICHAEL ESMAY / ARCHITECT</b> <small>181 TWEEED BLVD / UPPER GRANDVIEW, NY</small>	
	TEL: (045) 358-0933	

DECK DETAILS



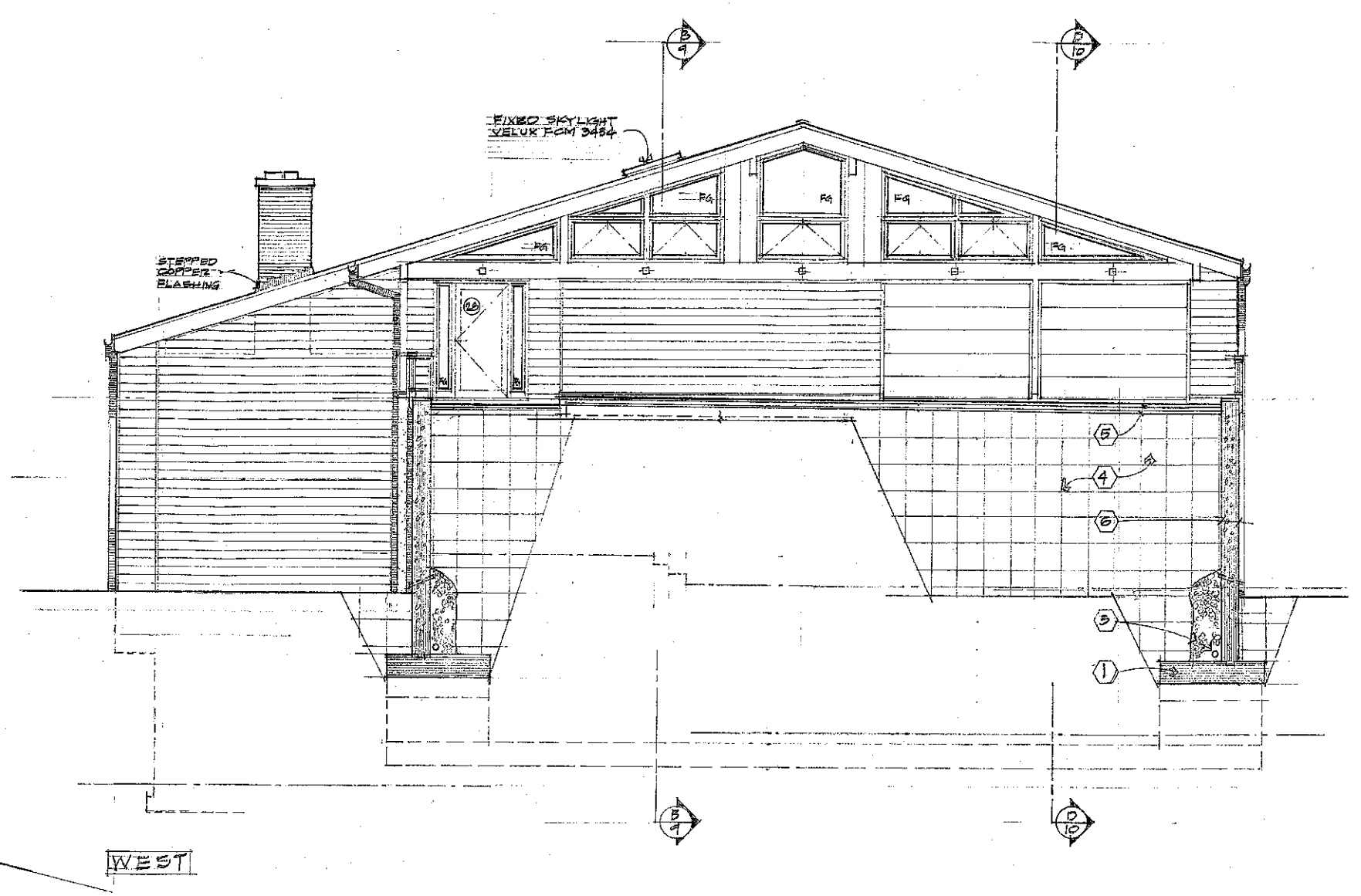
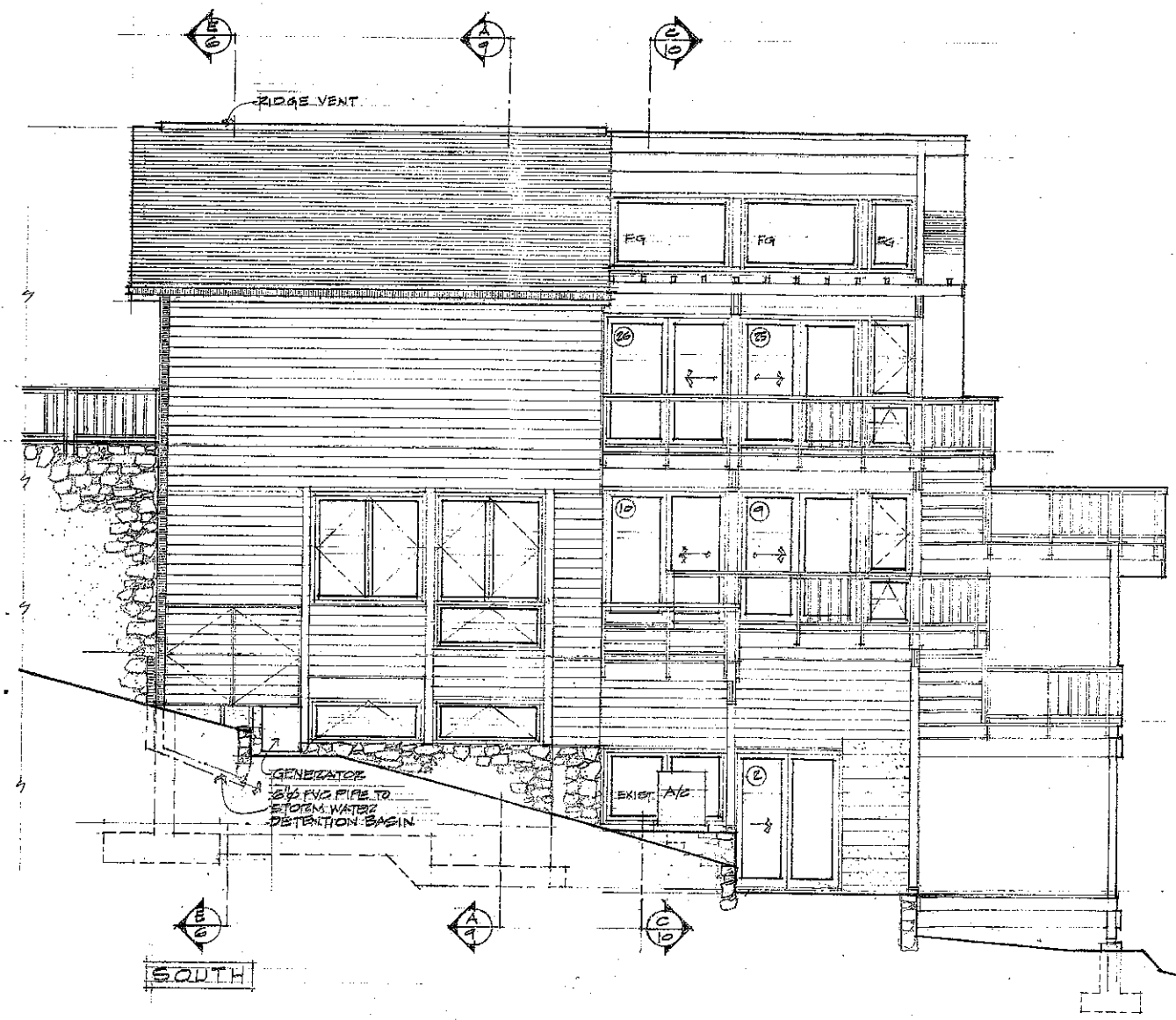
EAST  
ELEVATIONS  
1/4" = 1'-0"

NORTH

<p>DATE: 02-21-21 ACAB02</p>	<p>ADDITION &amp; ALTERATION TO THE HYUN RESIDENCE 161 TWEEB BLVD. / UPPER GRANDVIEW NY. MICHAEL ESMAY/ARCHITECT TEL: (845) 358-0933</p>	<p>7 DWG.</p>
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**LEGEND OF MATERIAL INDICATIONS**

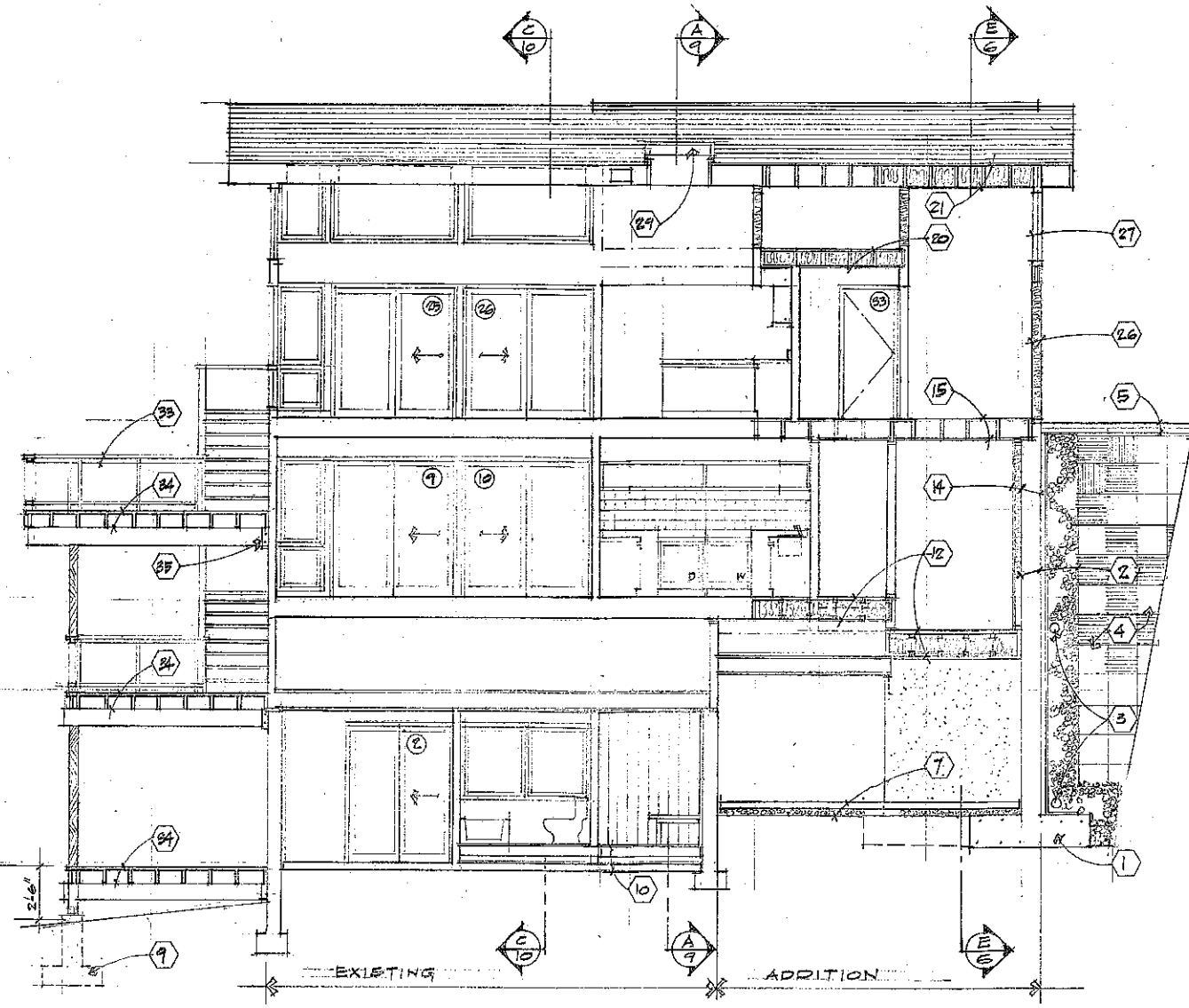
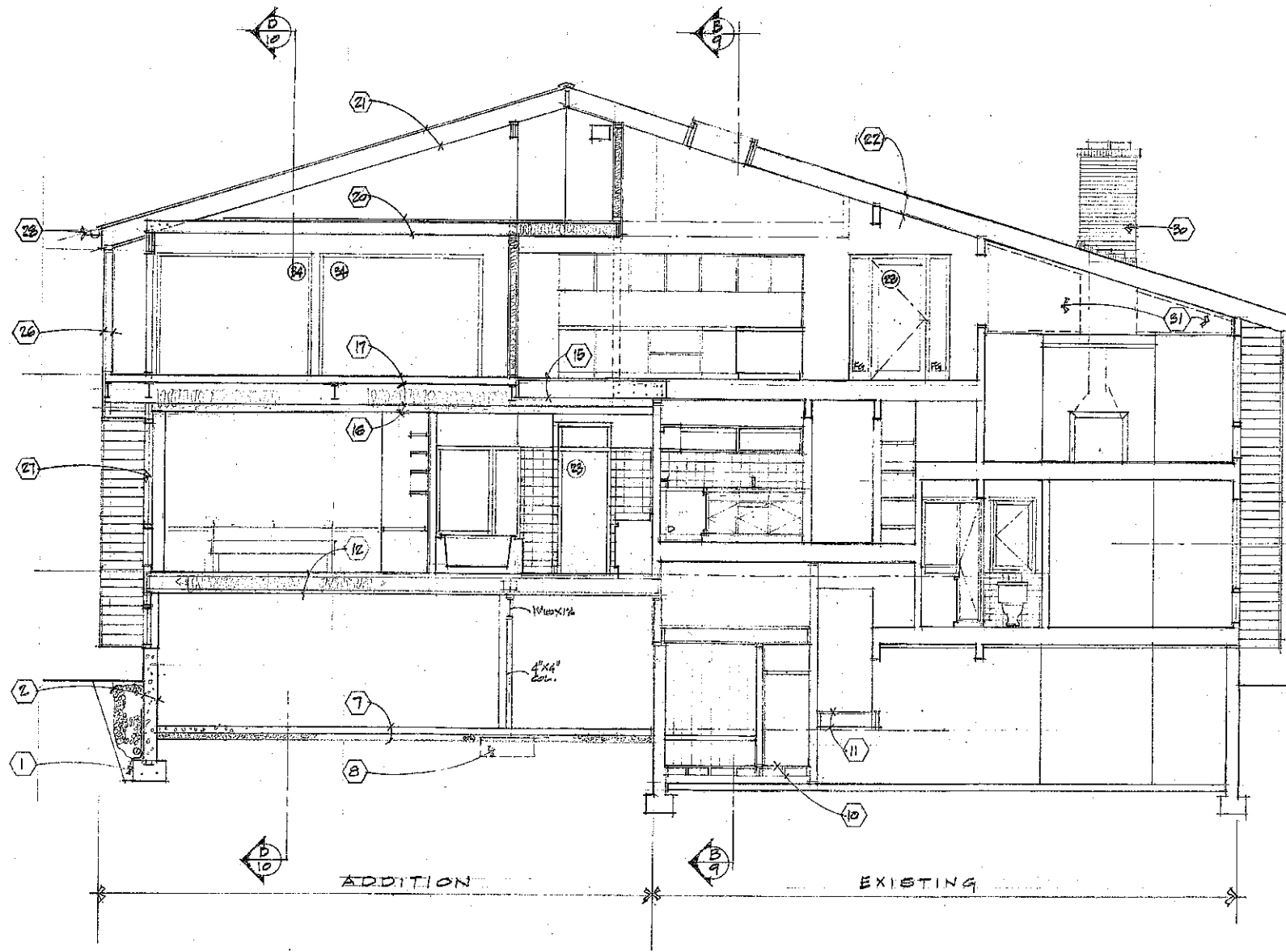
	ASPHALT SHINGLES GAF TIMBERLINE AS II COLOR: WEATHER WATCH		ROOF EDGE-GUTTER-LEADER TRIM BOARDS: 3/4" ADEC (TYP) STAIN - TO MATCH GUTTER - 6" HALF ROUND COFFER ALUMINUM LEADER: 4" COPPER ALUM.		BRICK CHIMNEY BRICK TO MATCH EXISTING		DINING DECK TRELLIS
	FIXED GLASS LINCOLN WINDOW VINYL CLAD WOOD DIRECT SET CUSTOM FIXED GLASS LOBE 2 GLASS COLOR: ADOBE		CASEMENT WINDOW LINCOLN WINDOW VINYL CLAD WOOD CASEMENT WINDOW LOBE 2 GLASS COLOR: ADOBE		AWNING WINDOW LINCOLN WINDOW VINYL CLAD WOOD AWNING WINDOW LOBE 2 GLASS COLOR: ADOBE		SLIDING GLASS DOOR LINCOLN WINDOW VINYL CLAD WOOD NARROW: 2 1/2" STILE & RAILE STYLE: LOBE 2 GLASS COLOR: ADOBE
	WOOD SIDING MALBEC - HORIZONTAL T&G CEDAR SIDING - NOM. 2" EXPOSED NATURAL - CLEAR FINISH		EXISTING CONCRETE BLOCK EXISTING BLOCK TO REMAIN, PATCH AS REQUIRED		CONCRETE WALL FACED W/ 1" THICK STONE FACING, FIELD STONE FACE		DECK RAILING, PRESSURE TREATED PINE, STAIN: GREY



**ELEVATIONS**  
1/4" = 1'-0"

<p>DATES: ARCHITECT 3.21.24</p>	<p>ADDITION &amp; ALTERATION TO THE HYUN RESIDENCE 101 TWEEED BLVD / UPPER GRANDVIEW NY MICHAEL ESMAY/ARCHITECT TEL: (845) 358-0938</p>	
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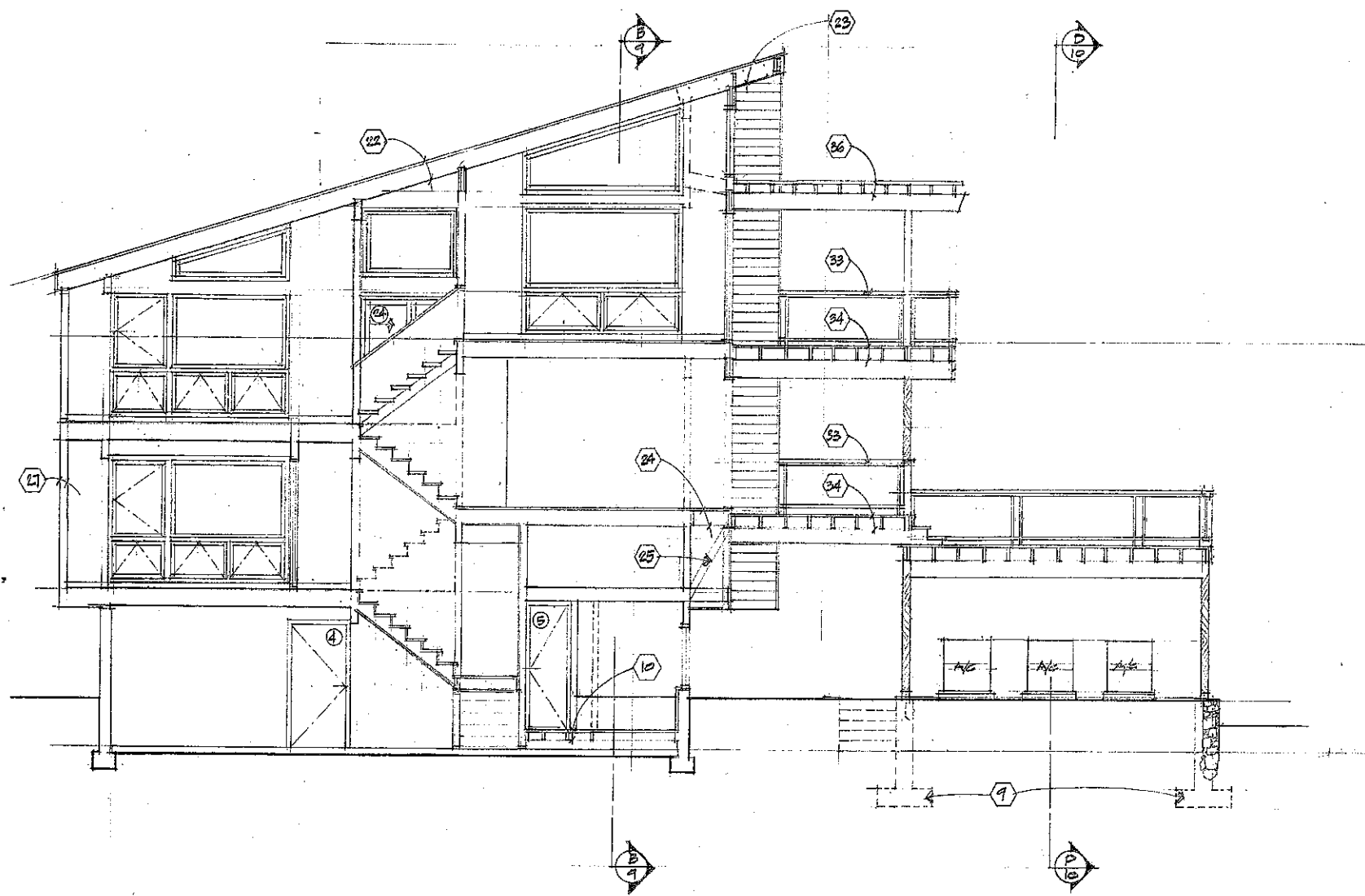


**SECTION A-A**  
SCALE 1/4"=1'-0"

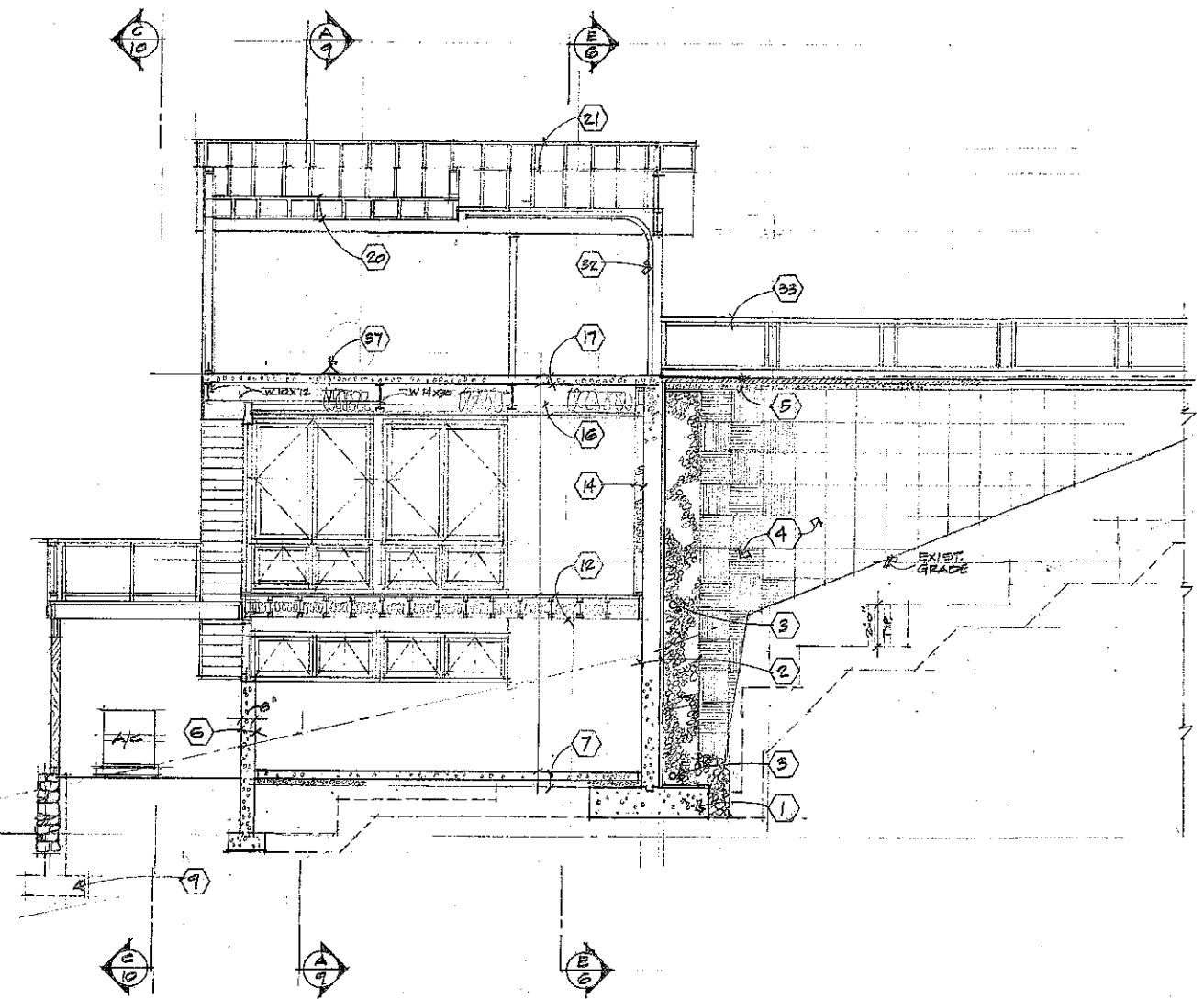
**SECTION B-B**  
SCALE 1/4"=1'-0"

DATES: 6/20/02 3.21.21	ADDITION & ALTERATION TO THE <b>HYUN RESIDENCE</b> 161 TWBEE BLVD / UPPER GRANDVIEW, NY.	<h1>9</h1>
	<b>MICHAEL ESMAY / ARCHITECT</b>	
	TEL: (845) 358-	
	DWG.	

LARGE SCALE DETAILS.



SECTION C-C  
SCALE 1/4"=1'-0"



SECTION D-D  
SCALE 1/4"=1'-0"

<p>DATE: 8-21-21</p>	<p>ADDITION &amp; ALTERATION TO THE HYUN RESIDENCE 161 TWEED BLVD / UPPER GRANDVIEW, NY</p>
<p>MICHAEL ESMAY / ARCHITECT</p>	
<p>TEL: (212) 358-0933</p>	