

GROSS AREA = 26,026 SQFT
 LANDS 25% =
 50%(260265)=13,013 S.F.
 NET AREA = 13,013 S.F.

BULK TABLE - EXISTING ZONE R-22 CRITICAL SINGLE FAMILY USE GROUP I

ITEM	REQUIRED	PROVIDED
MINIMUM LOT AREA	22,500 SF	13,013 S.F.*
MINIMUM LOT WIDTH	125	119.92*
MINIMUM STREET FRONTAGE	75'	119.92'
MINIMUM FRONT YARD	40'	1.2*
MINIMUM SIDE YARD	25'	17.8*
TOTAL SIDE YARD	60'	51*
MINIMUM REAR YARD	45'	111.5'
MAXIMUM FLOOR AREA RATIO	0.20	0.17
BUILDING HEIGHT	35'	<35'

* DENOTES VARIANCE REQUIRED

- 1) ELECTRIC DISTRICT: ORANGE AND ROCKLAND
- 2) SEWER DISTRICT: RCSD#1
- 3) WATER DISTRICT: SUEZ
- 4) FIRE DISTRICT: SOUTH ORANGETOWN
- 5) AMBULANCE DISTRICT: SOUTH ORANGETOWN
- 6) POLICE DISTRICT: ORANGETOWN
- 7) SCHOOL DISTRICT: SOUTH ORANGETOWN CENTRAL SCHOOL DISTRICT

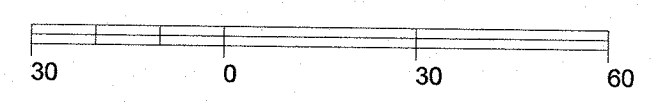
LOT AREA=26,026.5 SQUARE FEET

TAX MAP DESIGNATION:
 75.05-1-16 & 75.29-1-9

**SURVEY FOR
 155 TWEED BLVD**

TOWN OF ORANGETOWN, ROCKLAND COUNTY
 REV 3/4/2021
 UPPER GRANDVIEW & VILLAGE OF PIERMONT, N.Y.

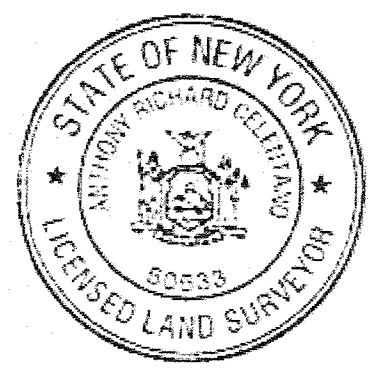
JANUARY 22, 2021 SCALE: 1" = 30'

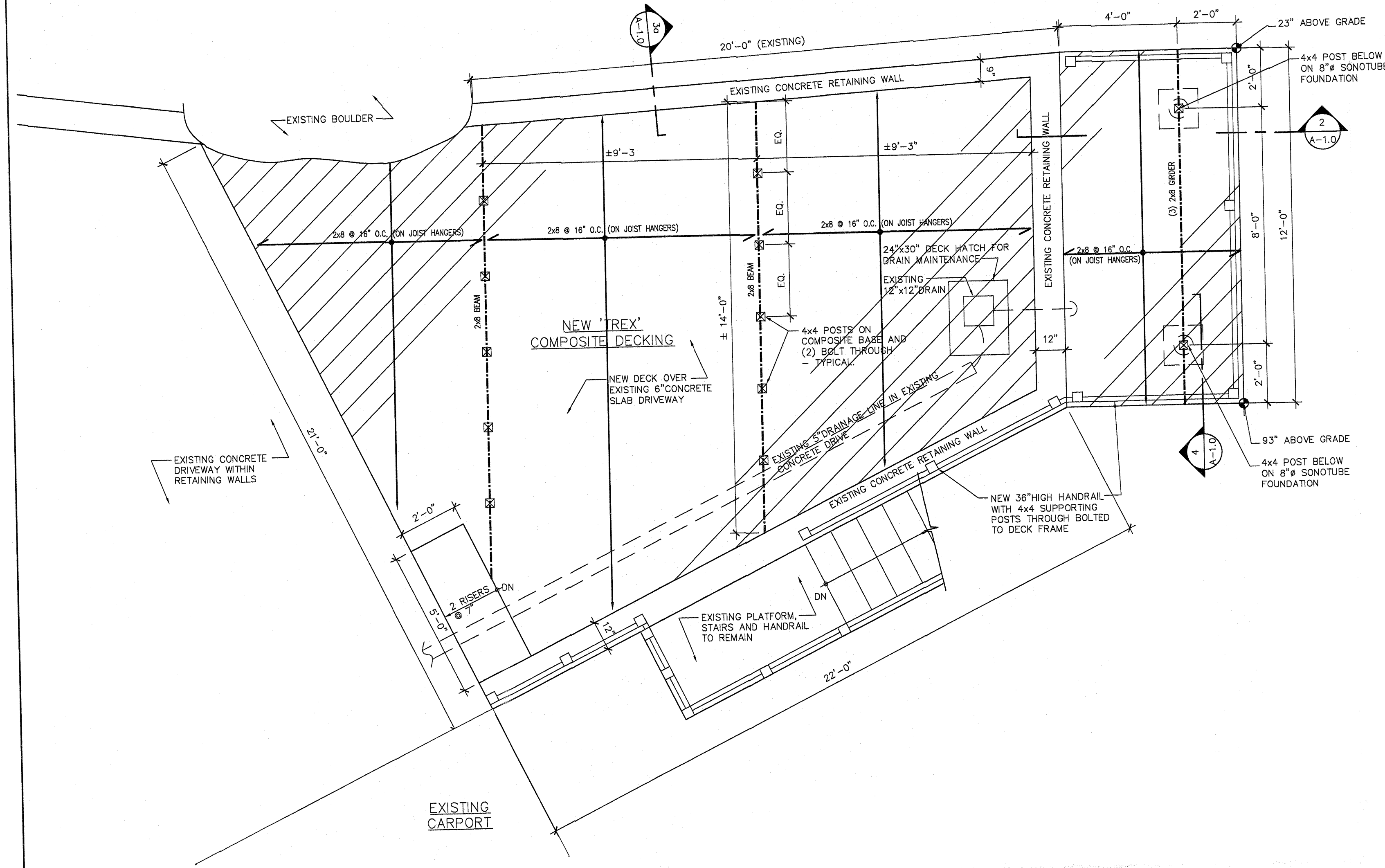


ANTHONY R. CELENTANO P.L.S.
 31 ROSMAN ROAD
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 845 429 5290 FAX 429 5974

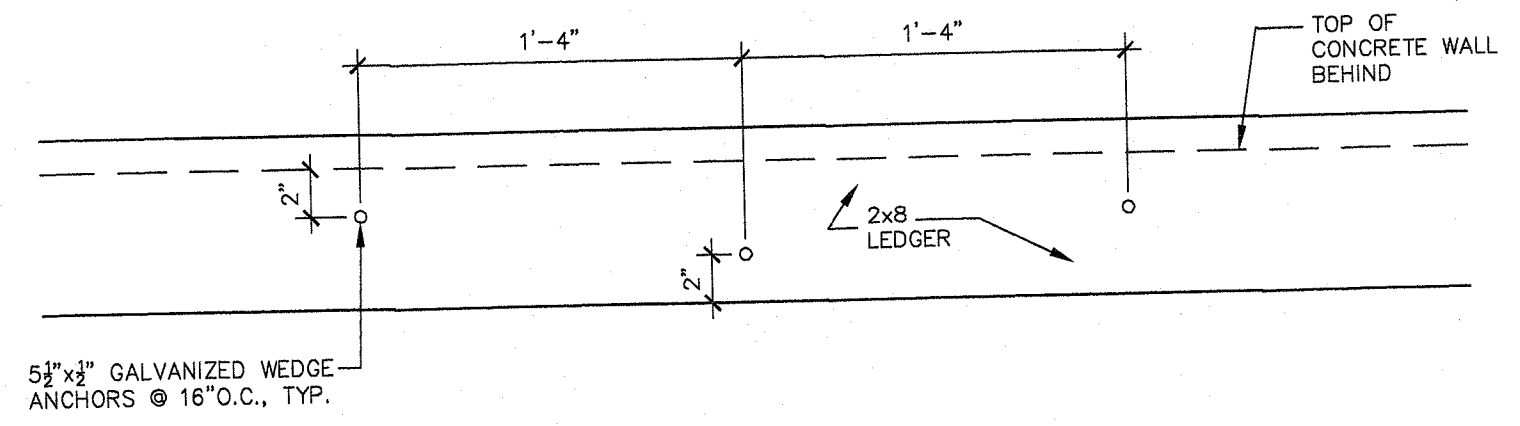
Anthony R. Celentano LIC#50633

NOTE:
 "IT IS A VIOLATION OF THE STATE EDUCATION LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED LAND SURVEYOR, TO ALTER AN ITEM IN ANY WAY."
 "ONLY COPIES OF THIS SURVEY MARKED WITH THE LAND SURVEYOR'S SIGNATURE AND AN ORIGINAL EMBOSSED OR INK SEAL ARE THE PRODUCT OF THE LAND SURVEYOR."
 "THIS SURVEY WAS PREPARED FOR THE PARTIES AND PURPOSE INDICATED HEREON. ANY EXTENSION OF THE USE BEYOND THE PURPOSES AGREED TO BETWEEN THE CLIENT AND THE SURVEYOR EXCEEDS THE SCOPE OF THE ENGAGEMENT."
 THIS SURVEY MAP IS SUBJECT TO AN ACCURATE ABSTRACT OF TITLE.
 EASEMENTS OR RIGHTS OF WAY ON OR BELOW THE SURFACE OF THE GROUND THAT ARE NOT VISIBLE ARE NOT SHOWN.

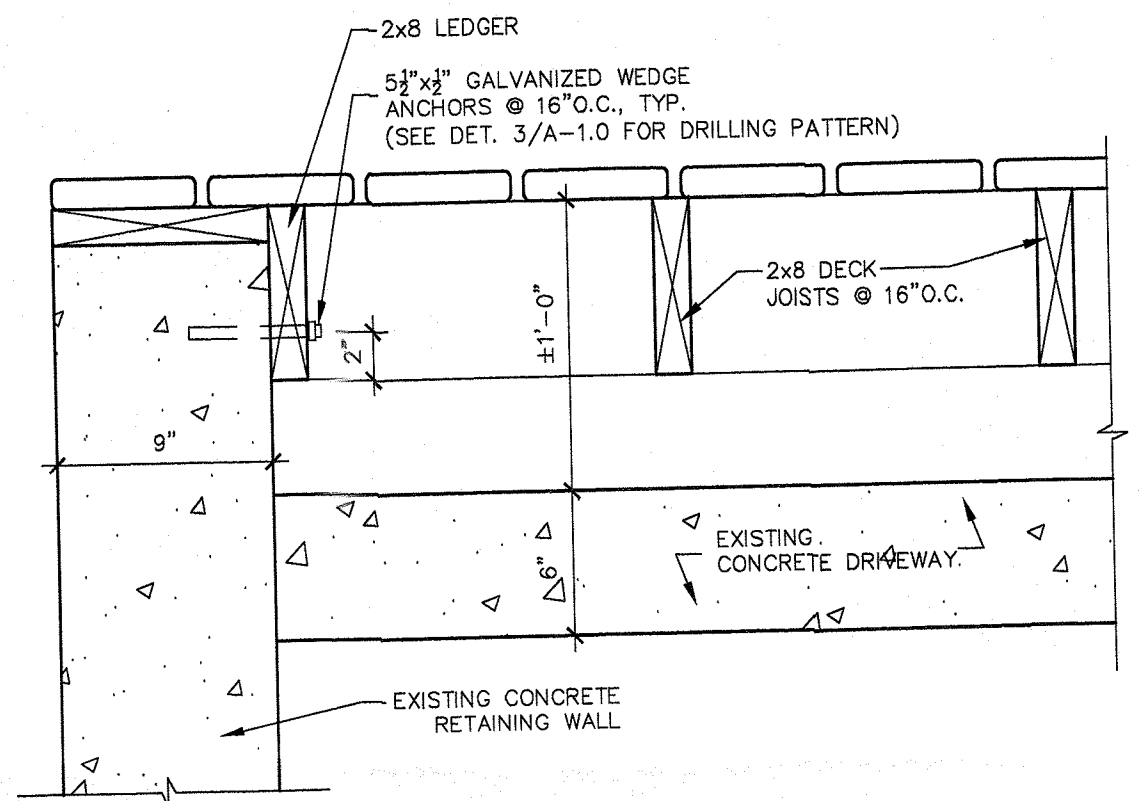




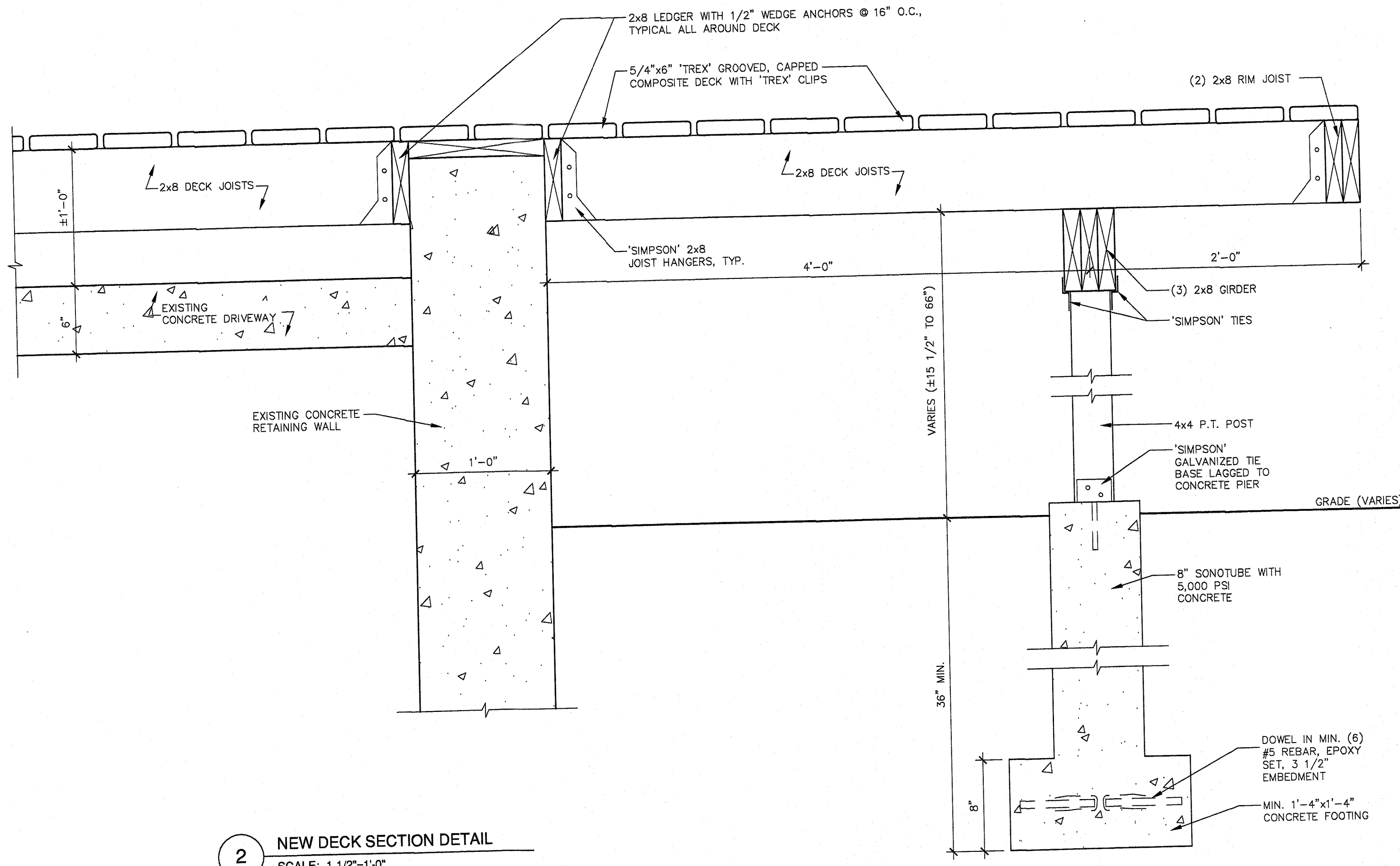
1 NEW DECK PLAN
SCALE: 3/8"=1'-0"



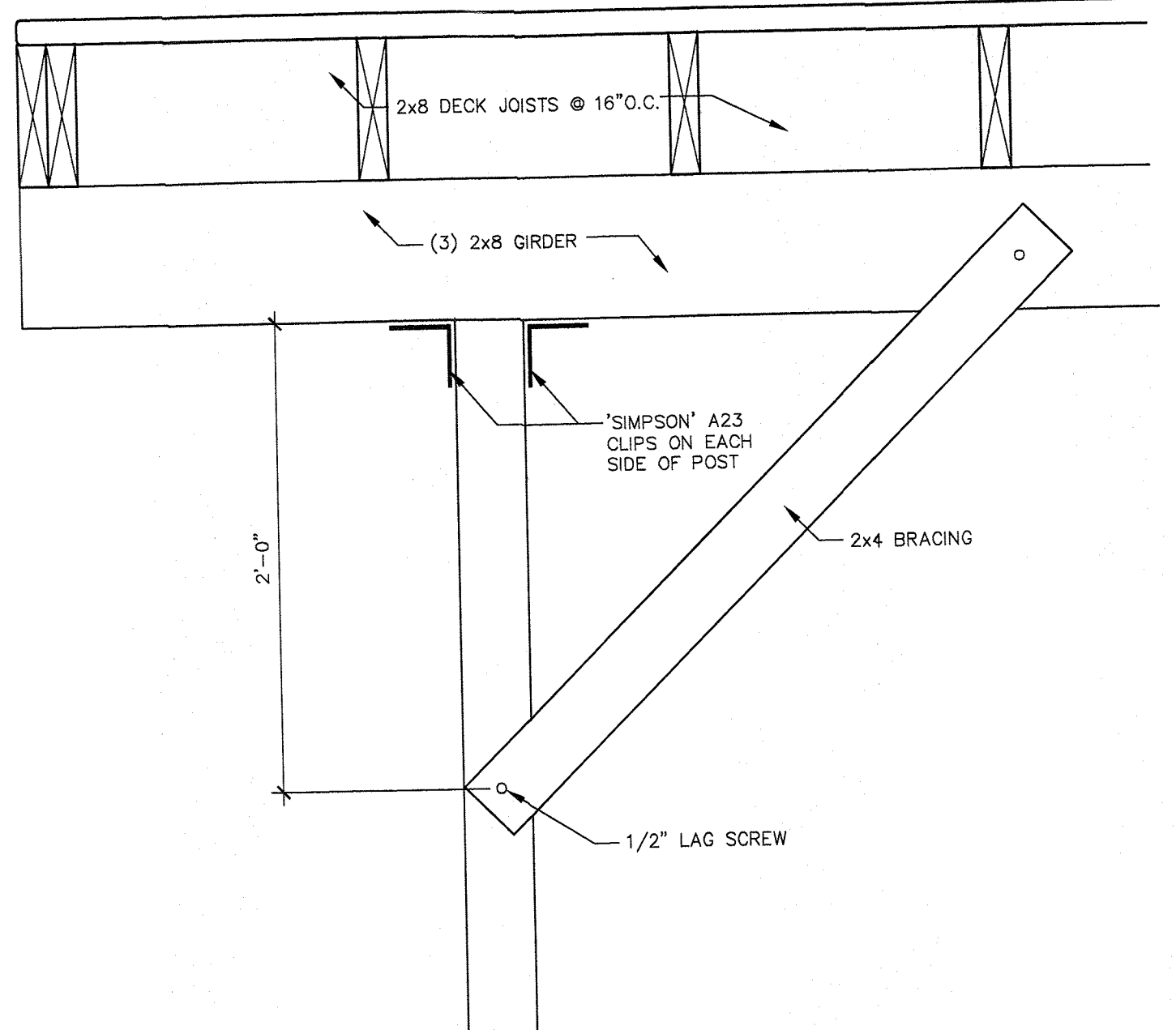
3 TYPICAL LEDGER ATTACHMENT TO RETAINING WALL DETAIL
SCALE: 1 1/2"=1'-0"



3a DECK DETAIL AT WEST EDGE OF DRIVE RETAINING WALL
SCALE: 1 1/2"=1'-0"



2 NEW DECK SECTION DETAIL
SCALE: 1 1/2"=1'-0"



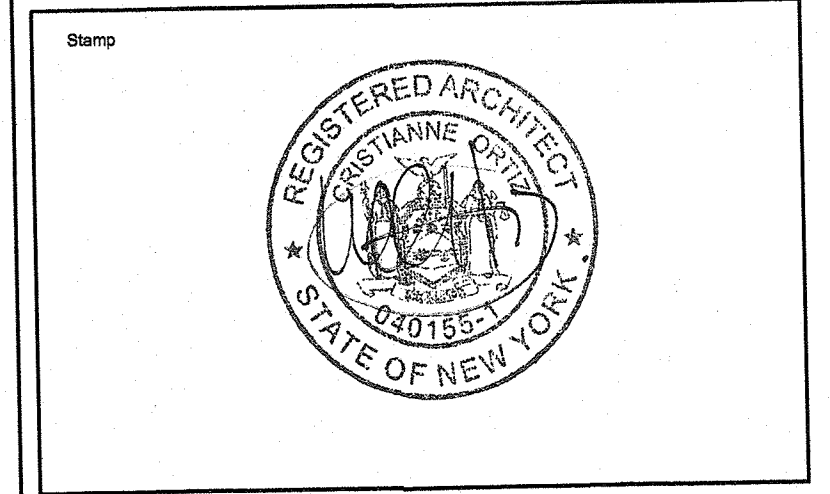
4 NEW DECK SECTION DETAIL
SCALE: 1 1/2"=1'-0"

No.	Date	Revision
2	03-02-21	RE-ISSUED FOR PLANNING BOARD REVIEW
1	11-02-20	ISSUED FOR PLANNING BOARD REVIEW

Architect
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 Westport, CT 06880
 ph 203 . 690 . 9192

Structural Engineers

Project Title
**JOHNSTON RESIDENCE-
 NEW DECK ADDITION**
 155 TWEED BLVD
 NYACK, NY 10960



Drawing Title
**NEW DECK CONSTRUCTION
 PLAN & DETAILS**

Scale	Date	Sheet
AS NOTED	10-05-20	A-1.0
Project No.	Drawn By	
2009	CO	
Checked By	Approved By	Plan North