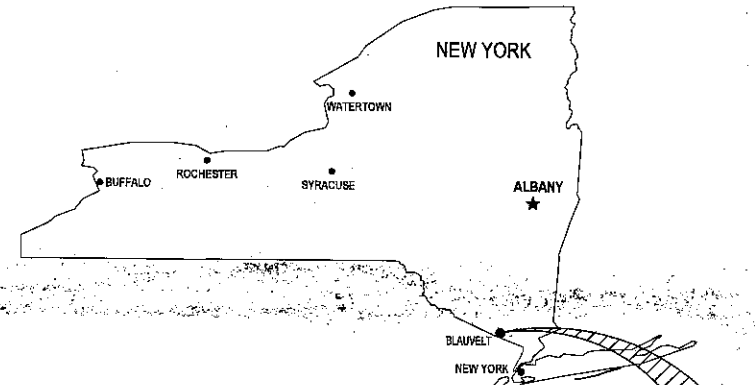


# PRIVATE SITE IMPROVEMENT PLANS FOR ONYX MANAGEMENT / AMAZON DELIVERY CENTER DXY4 - DELIVERY STATION

200 & 400 ORITANI DRIVE  
TOWN OF ORANGETOWN  
ROCKLAND COUNTY, NEW YORK  
AUGUST 2020



**OWNER/DEVELOPER:**  
AG-OE 400 & AG-OE 200 ORITANI DRIVE OWNER, L.L.C. c/o ONYX MANAGEMENT GROUP, LLC  
900 ROUTE 9 NORTH, SUITE 400  
WOODBRIIDGE, NJ 07095  
CONTACT: NICOLE VASQUEZ  
PHONE: 732-850-5889  
EMAIL: NVASQUEZ@ONYXEQUITIES.COM

**PLANS PREPARED BY CESO CO.**  
3601 RIGBY ROAD SUITE 300  
MAMMISBURG, OH 43342  
ENGINEER OF RECORD: JEFFREY A. TIBBITTS, P.E.

**PROJECT CONTACT:**  
JEFF DE ZORT, P.E.  
PHONE: (487) 670-2881  
EMAIL: DEZORT@CESOINC.COM

**GOVERNING AGENCIES AND UTILITY COMPANIES:**

**SEWER / STORMWATER**  
TOWN OF ORANGETOWN DEPARTMENT OF ENVIRONMENTAL  
MANAGEMENT AND ENGINEERING  
SEWER DEPARTMENT - 127 ROUTE 303  
ORANGETOWN, NY 10982  
PHONE: (845) 359-6951

**GAS & ELECTRIC:**  
ORANGE AND ROCKLAND UTILITY COMPANY  
350 W. ROUTE 58  
SPRING VALLEY, NY 10977  
PHONE: (877) 434-4100

TOWN OF ORANGETOWN DEPARTMENT COMMISSIONER  
EMMON REILLY  
PHONE: (845) 359-6502

**COMMUNICATIONS:**  
VERIZON  
500 SUMMIT LAKE DR.  
VALHALLA, NY 10985  
PHONE: (914) 741-7395

**PLANNING COMMISSION**  
TOWN OF ORANGETOWN PLANNING COMMISSION  
20 GREENBUSH ROAD  
ORANGETOWN, NY 10982

**WATER:**  
SUEZ NEW YORK OPERATIONS  
182 OLD MILL RD  
WEST NYACK, NY 10994  
PHONE: (877) 429-8888

**STATE AGENCIES**  
NYSDEC - REGION 3  
21 SOUTH PUTT CORNERS ROAD  
NEW PALTZ, NY 12561  
(845) 296-3000

NYSDOT - REGION 8  
LANCE GORNEY  
4 BURNETT BOULEVARD,  
POUGHKEEPSIE, NY 12603  
PHONE: (845) 437-3325  
EMAIL: LANCE.GORNEY@DOT.NY.GOV

**PROPERTY DATA:**

PARCEL OWNER:	AG-OE 877 WESTERN HIGHWAY OWNER, L.L.C.	AG-OE 200 ORITANI DRIVE OWNER, L.L.C.	AG-OE 400 ORITANI DRIVE OWNER, L.L.C.
PARCEL ID:	T.M. 05.18-1-1	T.M. 05.18-1-22	T.M. 70.08-1-12
ADDRESS:	877 WESTERN HWY, BLAUVELT, NY 10913	200-300 ORITANI DRIVE, BLAUVELT, NY 10913	400 ORITANI DRIVE, BLAUVELT, NY 10913
PROPERTY AREA:	3.347 ACRES	9.750 ACRES	24.519 ACRES
PROPOSED USE:	LABORATORY-OFFICE DISTRICT [L,O]	LABORATORY-OFFICE DISTRICT [L,O]	LABORATORY-OFFICE DISTRICT [L,O]
SCHOOL:	SOUTH ORANGETOWN SCHOOL DISTRICT	SOUTH ORANGETOWN SCHOOL DISTRICT	SOUTH ORANGETOWN SCHOOL DISTRICT
FIRE:	BLAUVELT FIRE DEPARTMENT	BLAUVELT FIRE DEPARTMENT	BLAUVELT FIRE DEPARTMENT
SEWER:	TOWN OF ORANGETOWN	TOWN OF ORANGETOWN	TOWN OF ORANGETOWN
LIGHTING:	TOWN OF ORANGETOWN	TOWN OF ORANGETOWN	TOWN OF ORANGETOWN



**ORANGETOWN STANDARD NOTES:**

- PERFORMANCE STANDARDS REVIEWED BY TOWN OF ORANGETOWN ZONING BOARD: JANUARY 22, 2020 AS ZBA020-09 AND ZBA020-09
- TOTAL AREA OF DISTURBANCE (A.O.D.) = 2.35 ACRES
- THE MAXIMUM SOIL EXPOSURE LIMIT IS 14 DAYS
- LOT DRAINAGE SHOWN SHALL CONSTITUTE EASEMENTS RUNNING WITH THE LAND AND ARE NOT TO BE DISTURBED
- ALL UTILITIES, INCLUDING ELECTRIC AND TELEPHONE SERVICE, SHALL BE INSTALLED UNDERGROUND
- THIS PLAN DOES NOT CONFLICT WITH THE COUNTY OFFICIAL MAP AND HAS BEEN APPROVED IN THE MANNER SPECIFIED BY SECTION 238.14M OF THE GENERAL MUNICIPAL LAW OF THE STATE OF NEW YORK
- AT LEAST ONE WEEK PRIOR TO THE COMMENCEMENT OF ANY WORK, INCLUDING THE INSTALLATION OF EROSION CONTROL DEVICES OR THE REMOVAL OF TREES AND VEGETATION, A PRE-CONSTRUCTION MEETING MUST BE HELD WITH THE TOWN OF ORANGETOWN DEPARTMENT OF ENVIRONMENTAL MANAGEMENT AND ENGINEERING, SUPERINTENDENT OF HIGHWAYS AND THE OFFICE OF BUILDING, ZONING, AND PLANNING ADMINISTRATION AND ENFORCEMENT. IT IS THE RESPONSIBILITY AND OBLIGATION OF THE PROPERTY OWNER TO ARRANGE SUCH A MEETING.
- ALL OUTDOOR CONSTRUCTION ACTIVITIES, INCLUDING SITE-CLEARING OPERATIONS IF APPLICABLE, SHALL TAKE PLACE BETWEEN THE HOURS OF 7:00 A.M. AND 7:00 P.M. MONDAY THROUGH SATURDAY. NO SUCH ACTIVITIES SHALL TAKE PLACE ON SUNDAY OR A LEGAL HOLIDAY. THE SAME CRITERIA SHALL APPLY TO INDOOR CONSTRUCTION ACTIVITIES, EXCEPT THAT SUCH ACTIVITIES MAY TAKE PLACE BETWEEN THE HOURS OF 7:00 A.M. AND 10:00 P.M.

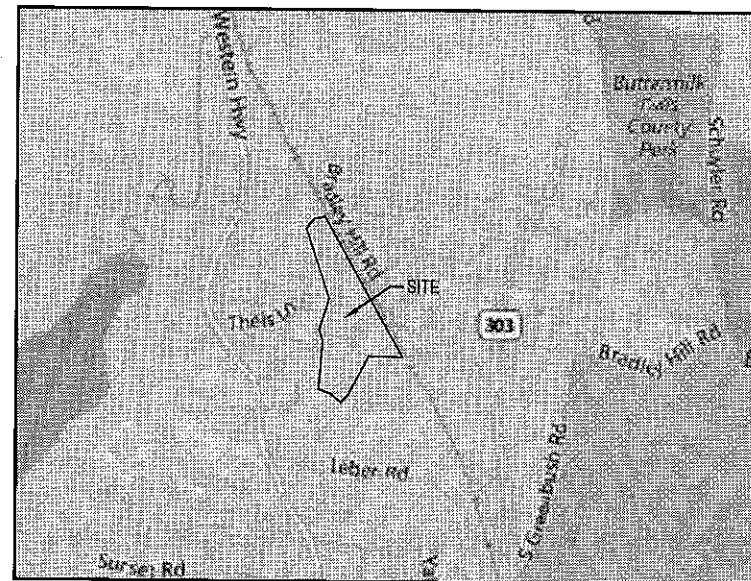
Sheet List Table	
Sheet Number	Sheet Title
C1.0	COVER
C2.0	GENERAL NOTES
C3.0	DEMO PLAN
C4.0	OVERALL SITE PLAN
C4.1	SITE PLAN - WEST
C4.2	SITE PLAN - PARKING MIDDLE
C4.3	SITE PLAN - PARKING SOUTH
C4.4	SITE PLAN - NORTH
C5.0	GRADING PLAN
C5.0A	GRADING PLAN
C5.1	UTILITY PLAN - STORM
C5.2	UTILITY PLAN - SANITARY & WATER
C5.3	STORM PROFILES
C5.4	STORM PROFILES
C5.5	SANITARY PROFILES
C5.6	STORMTECH DETAILS
C5.7	STORMTECH DETAILS
C6.0	SWPPP NOTES
C6.1	SWPPP PLAN
C6.2	SWPPP PLAN 2
C6.3	SWPPP DETAILS
C6.4	SWPPP DETAILS
C7.0	CONSTRUCTION DETAILS
C7.1	CONSTRUCTION DETAILS
C7.2	CONSTRUCTION DETAILS
C7.3	CONSTRUCTION DETAILS
C7.4	CONSTRUCTION DETAILS
C7.5	CONSTRUCTION DETAILS
C7.6	CONSTRUCTION DETAILS
C8.0	SIGNAGE PLAN - OVERALL
C8.1	SIGNAGE PLAN - WEST
C8.2	SIGNAGE PLAN - PARKING MIDDLE
C8.3	SIGNAGE PLAN - PARKING SOUTH
C10.0	CIRCULATION PLAN
C10.1	LINE OF SIGHT - NORTH PROPERTY
C10.2	LINE OF SIGHT - SOUTH PROPERTY
L1.0	LANDSCAPE PLAN
L2.0	LANDSCAPE DETAILS AND NOTES

**ADDITIONAL REFERENCE DRAWINGS:**

1 OF 1	PHOTOMETRIC PLAN
A1-15	BUILDING FLOOR PLAN & ELEVATION
RW1.01 - RW2.01	RETAINING WALL PLANS

**ORIGINAL SURVEY DRAWINGS:**

1 OF 6	SURVEY FROM BLEW & ASSOCIATES
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VICINITY MAP  
1" = 1,000'

TOTAL AREA OF DISTURBANCE (A.O.D.) = 2.35 ACRES  
NOTE: THE MAXIMUM SOIL EXPOSURE LIMIT IS 14 DAYS

**FLOODPLAIN DESIGNATION:**

ACCORDING TO F.L.R.M. NO. 38087C-0178-G, BEARING AN EFFECTIVE DATE OF 03/03/2014, THE SUBJECT PROPERTIES ARE LOCATED IN A ZONE "X" (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL FLOOD PLAIN).

BENCHMARK			
	DESCRIPTION	ELEVATION	NORTHING/EASTING
BM 1	1" PIPE	93.58 FT	818832.73 N, 641443.82 E
BM 2	5/8" REBAR	71.22 FT	618739.46 N, 641528.86 E

ELEVATIONS ESTABLISHED WITH GPS STATIC OBSERVATIONS UTILIZING ONLINE POSITIONING USER SERVICE (OPUS) FOR POST PROCESSING. (NAVD 1983 DATUM)

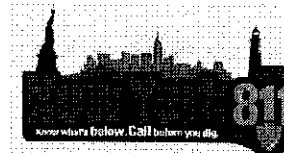
**SURVEY (DATED 10/31/2019) BY:**

BLEW & ASSOCIATES, PA  
3929 N. SHILOH DRIVE  
FAYETTEVILLE, AR 72709  
PHONE: (479) 362-1883  
CONTACT: PAXTON SINGLETON

CESO PROVIDES NO GUARANTEE TO THE ACCURACY OF THE SURVEY PROVIDED BY BLEW & ASSOCIATES, PA. CONTRACTOR TO VERIFY EXISTING CONDITIONS PRIOR TO BID AND CONSTRUCTION.

**ORANGETOWN PLANNING BOARD APPROVAL:**

CHAIRMAN \_\_\_\_\_ DATE \_\_\_\_\_



FORTY-EIGHT (48) HOURS BEFORE DIGGING IS TO COMMENCE, THE CONTRACTORS SHALL NOTIFY THE FOLLOWING AGENCIES: NEWYORK 811 AND ALL OTHER AGENCIES WHICH MIGHT HAVE UNDERGROUND UTILITIES INVOLVING THIS PROJECT AND ARE NONMEMBERS OF NEWYORK 811 CALL.

NO.	DATE	REVISION DESCRIPTION
0		FOR PERMIT
1	08/04/20	PERMIT PLAN REVISIONS PER PLANING BOARD COMMENTS
2	08/04/20	PERMIT PLAN REVISIONS PER PLANING BOARD COMMENTS
3	08/04/20	PERMIT PLAN REVISIONS PER PLANING BOARD COMMENTS
4	08/04/20	PERMIT PLAN REVISIONS PER PLANING BOARD COMMENTS
5	08/04/20	PERMIT PLAN REVISIONS PER PLANING BOARD COMMENTS
6	08/04/20	PERMIT PLAN REVISIONS PER PLANING BOARD COMMENTS
7	08/04/20	PERMIT PLAN REVISIONS PER PLANING BOARD COMMENTS
8	08/04/20	PERMIT PLAN REVISIONS PER PLANING BOARD COMMENTS
9	08/04/20	PERMIT PLAN REVISIONS PER PLANING BOARD COMMENTS

DELIVERY STATION



ISSUE FOR PERMIT

DATE: 08/04/20

JOB NO.: 757184

SCALE: AS SHOWN

DESIGN: T. LEJA

DRAWN: S. BAILEY

CHECKED: J. KOJINSKI

DRAWING TITLE

COVER

SHEET NO.

**GENERAL NOTES**

**DEMOLITION NOTES**

- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR DEMOLITION AND DISPOSAL. THE DEMOLITION, REMOVAL AND DISPOSAL IS TO BE APPROVED BY ALL GOVERNING AUTHORITIES, OF ALL FACILITIES SUCH AS: STRUCTURES, PADS, WALLS, FLUMES, FOUNDATIONS, PARKING, DRIVES, DRAINAGE, STRUCTURES, UTILITIES, WELLS, ETC., SUCH THAT THE IMPROVEMENTS SHOWN ON THE REMAINING PLANS CAN BE CONSTRUCTED. ALL FACILITIES TO BE REMOVED SHALL BE UNDERCUT TO SUITABLE MATERIAL AND BROUGHT TO GRADE WITH SUITABLE COMPACTED FILL MATERIAL PER THE SPECIFICATIONS. IF UNDOCUMENTED FACILITIES ARE FOUND ON SITE, CONTRACTOR SHALL CONTACT THE OWNER AND THE UTILITY COMPANY PRIOR TO REMOVAL. ALL FACILITIES SHALL BE PLUGGED, ABANDONED, OR REMOVED PER STATE AND LOCAL REQUIREMENTS.
- FEDERAL, STATE AND LOCAL CODE REQUIREMENTS SHALL GOVERN THE DISPOSAL OF DEBRIS INCLUDING ANY POTENTIALLY HAZARDOUS AND TOXIC MATERIALS. ALL MATERIALS AND STRUCTURES DESIGNATED AS "TO BE REMOVED" SHALL BE DISPOSED OF OFF SITE AND AT THE COST OF THE CONTRACTOR.
- THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING JOB SITE SAFETY PER OSHA REQUIREMENTS.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO CALL STATE 811 AND ALL UTILITY COMPANIES TO SCHEDULE UTILITY SERVICE REMOVAL AND/OR ABANDONMENT. ALL UTILITIES SHALL BE REMOVED AND/OR RELOCATED PER THE SPECIFICATIONS OF THE UTILITY COMPANIES. THE CONTRACTOR IS RESPONSIBLE TO PAY ALL FEES AND CHARGES ASSOCIATED WITH THIS WORK.
- CONTRACTOR SHALL MAINTAIN ALL UTILITY SERVICES TO INHABITED BUILDINGS ON SITE AND ADJACENT PROPERTIES AT ALL TIMES. INTERRUPTIONS SHALL BE APPROVED BY THE OWNERS OF THE BUILDINGS/PROPERTIES.
- THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THIS PLAN HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY. PRIOR TO THE START OF ANY DEMOLITION ACTIVITY, THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES FOR ON-SITE LOCATIONS OF EXISTING UTILITIES. IF EXISTING SYSTEMS LOCATION OR ELEVATION IS FOUND TO BE DIFFERENT FROM THE PLANS, CONTRACTOR SHALL CONTACT THE ENGINEER.
- CONTRACTOR SHALL PROTECT EXISTING SITE FEATURES TO REMAIN OUTSIDE CONSTRUCTION LIMITS. CONTRACTOR IS RESPONSIBLE TO DOCUMENT ALL EXISTING DAMAGE AND NOTIFY THE CITY/COUNTY PRIOR TO CONSTRUCTION START. THE DAMAGE DONE TO ANY EXISTING ITEM DURING CONSTRUCTION, SUCH AS, BUT NOT LIMITED TO, DRAINAGE, UTILITIES, PAVEMENT, CURB, ETC. REPAIRS SHALL BE EQUAL TO, OR BETTER THAN, EXISTING CONDITIONS. CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE TO THE SATISFACTION OF THE OWNER AT NO ADDITIONAL COST.
- CONTINUOUS ACCESS SHALL BE MAINTAINED TO THE SURROUNDING PROPERTIES AT ALL TIMES DURING DEMOLITION OF THE EXISTING FACILITIES.
- THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING TRAFFIC CONTROL. ALL TRAFFIC CONTROL MEASURES SHALL BE IN ACCORDANCE WITH STATE DEPARTMENT OF TRANSPORTATION REGULATIONS AND LOCAL REGULATIONS.
- THE CONTRACTOR IS RESPONSIBLE FOR PLACING AND MAINTAINING CONSTRUCTION FENCE, SIGNS, ETC. TO WARN AND KEEP UNAUTHORIZED PEOPLE OFF SITE FOR THE DURATION OF THE PROJECT.
- PRIOR TO DEMOLITION, ALL EROSION CONTROL DEVICES ARE TO BE INSTALLED PER THE GOVERNING AGENCIES GUIDELINES AND STANDARDS. DUST CONTROL SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- SAWCUT LINE PROVIDED IS FOR REFERENCE ONLY. CONTRACTOR WILL BE RESPONSIBLE FOR DETERMINING THE EXTENT OF THE SAWCUT THAT WILL BE REQUIRED AS WELL AS PAVEMENT REPAIRS TO INSTALL UTILITY TRENCHING. IF ANY DAMAGE OCCURS ON ANY OF THE SURROUNDING PAVEMENT, ETC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ITS REMOVAL AND REPAIR. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING THAT WHICH IS NECESSARY TO COMPLETE THE INTENT OF THE PROPOSED IMPROVEMENTS, SAWCUT EXISTING PAVEMENT TO FULL DEPTH, USING CARE TO CUT NEAT, STRAIGHT LINES, CUT AT EXISTING JOINTS WHERE POSSIBLE.
- THE CONTRACTOR SHALL MAINTAIN A WELL-DRAINED SITE, FREE OF STANDING WATER DURING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR TEMPORARY DRAINAGE MEASURES DURING CONSTRUCTION.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO STUDY THE PLANS AND VISIT THE SITE TO DETERMINE THE ITEMS THAT MUST BE REMOVED TO COMPLY WITH THE SITE DEVELOPMENT PLANS. NO EXTRA FEE WILL BE PAID FOR THE REMOVAL OF ANY ITEM NOT LISTED THAT IS VISIBLE UPON A SITE VISIT. THE DEMOLITION PLAN IS INTENDED TO PRESENT THE SCOPE OF THE DEMOLITION, AND DOES NOT GUARANTEE THAT ALL ITEMS ARE ADDRESSED.
- THE CONTRACTOR SHALL OBTAIN ALL PERMITS FOR ALL SITE DEVELOPMENT WORK, PAY ALL FEES FOR PERMITS AND CHECK ALL GOVERNING AUTHORITIES' SPECIFICATIONS FOR BUT NOT LIMITED TO, GUTTERS, SIDEWALKS, POLES, AND OTHER STRUCTURES, INCLUDING THE REMOVAL OR RELOCATION OF EXISTING UTILITIES OR OTHER PHYSICAL OBJECTS SHOWN ON PLANS OR NOTED OTHERWISE.
- THE CONTRACTOR SHALL CREATE AND IMPLEMENT AN EROSION AND SEDIMENTATION CONTROL PLAN FOR ALL SITE CONSTRUCTION ACTIVITIES ASSOCIATED WITH THE PROJECT. THE PLAN MUST CONFORM TO THE EROSION AND SEDIMENTATION REQUIREMENTS OF THE CONSTRUCTION GENERAL PERMIT OR LOCAL STANDARDS AND CODES, WHICHEVER IS MORE STRINGENT.
- ALL REQUIRED PERMITS MUST BE OBTAINED FROM THE FIRE DEPARTMENT PRIOR TO START OF CONSTRUCTION.
- ALL COSTS FOR INSPECTIONS AND/OR TESTS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR UNLESS NOTED OTHERWISE.

**SITE NOTES**

- ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY/COUNTY REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
- ALL MATERIAL NOTED ON DRAWINGS WILL BE SUPPLIED BY THE CONTRACTOR UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS TO COORDINATE ACCESS POINTS AND ELEVATIONS. REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF DOORS, ENTRY RAMP, AND CANOPY.
- ACCESSIBILITY STANDARDS SHALL BE IN ACCORDANCE WITH FEDERAL AND LOCAL REQUIREMENTS FOR HANDICAP ACCESSIBILITY, INCLUDING BUT NOT LIMITED TO THE AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES, ADA PARKING STALLS SHALL MEET ADA GRADE GUIDELINES. CONTRACTOR SHALL FIELD VERIFY EXISTING GRADES AT ACCESS POINTS, ACCESSIBLE ROUTES, AND EXISTING PARKING TO REMAIN TO DETERMINE COMPLIANCE WITH STANDARDS.
- ALL DISTURBED AREAS ARE TO RECEIVE 6" OF TOPSOIL, SEED, MULCH AND WATER UNTIL A HEALTHY STAND OF GRASS IS ESTABLISHED.
- ALL DIMENSIONS AND RADII ARE TO THE FACE OF THE CURB OR EDGE OF PAVEMENT, AS APPLICABLE, UNLESS OTHERWISE NOTED.
- ALL CURB RADII ARE 5 FEET UNLESS OTHERWISE NOTED.
- PROVIDE STRIPING AS SHOWN. REFER TO SIGNAGE AND STRIPING PLANS.
- REFER TO ARCHITECTURAL PLANS FOR PROPOSED BUILDING SIGNAGE.
- REFER TO MECHANICAL PLANS FOR EQUIPMENT LAYOUT.
- REFER TO ELECTRICAL PLANS FOR ELECTRICAL WORK.
- REFER TO GEOTECHNICAL ENGINEERING REPORT FOR SITE WORK PREPARATION/RECOMMENDATIONS AND PAVEMENT SECTIONS.
- REFER TO ORIGINAL SURVEY PROVIDED BY BLEW & ASSOCIATES, PA. DATED: 10/31/2019 FOR ADDITIONAL INFORMATION.

**GRADING NOTES**

- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- THE TOPOGRAPHIC SURVEY WAS PERFORMED BY A REGISTERED LAND SURVEYOR. IF CONTRACTOR DOES NOT ACCEPT EXISTING TOPOGRAPHY AS SHOWN ON THE PLANS, WITHOUT EXCEPTION, HE SHALL HAVE MADE, AT HIS EXPENSE, A TOPOGRAPHIC SURVEY BY A REGISTERED LAND SURVEYOR AND SUBMIT IT TO THE OWNER FOR REVIEW.
- CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO SAME.
- THE CONTRACTOR SHALL ADHERE TO ALL TERMS & CONDITIONS AS OUTLINED IN THE EPA OR APPLICABLE STATE GENERAL N.P.D.E.S. PERMIT FOR STORM WATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
- EXISTING AND PROPOSED GRADE CONTOUR INTERVALS ARE SHOWN AT 1 FOOT INTERVALS.
- ALL SPOT ELEVATIONS REFER TO FINISHED PAVEMENT ELEVATIONS UNLESS OTHERWISE NOTED.
- PROVIDE 2% MAXIMUM CROSS SLOPE ON SIDEWALKS AND ALL ADA PARKING STALLS AREAS.
- MAINTAIN EXISTING DRAINAGE PATTERN THROUGHOUT THE SITE, EXCEPT WITHIN LOD.
- COORDINATE GRADES AT BUILDING ENTRIES WITH ARCHITECTURAL PLANS.
- EXISTING DRAINAGE STRUCTURES SHALL BE INSPECTED AND REPAIRED AS NEEDED, AND EXISTING PIPES ARE TO BE CLEANED TO REMOVE ALL SILT AND DEBRIS AFTER CONSTRUCTION IS COMPLETE.
- IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.
- CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDING AND PAVED AREAS.
- ALL TOPSOIL MUST BE REMOVED BEFORE FILL IS PLACED.
- ALL WET, OR OTHERWISE UNSUITABLE, SOILS MUST BE STABILIZED. THIS MAY BE ACCOMPLISHED BY DRYING, REMOVAL & REPLACEMENT, REMOVAL & DRYING & RECOMPACTION, OR SOIL TREATMENT (LIME/CEMENT) UNDER THE SUPERVISION OF A QUALIFIED PROFESSIONAL GEOTECHNICAL ENGINEER.
- ALL UNSURFACED AREAS DISTURBED BY GRADING OPERATION SHALL RECEIVE 6" OF TOPSOIL. CONTRACTOR SHALL APPLY STABILIZATION FABRIC TO ALL SLOPES 3:1 V OR STEEPER AND SEED WITH LOW MAINTENANCE GRASS SEED MIX. CONTRACTOR SHALL SEED DISTURBED AREAS IN ACCORDANCE WITH SPECIFICATIONS UNTIL A HEALTHY STAND OF GRASS IS OBTAINED. ALL EXPOSED SURFACE AREAS SHALL BE STABILIZED PER THE SWPPP AND LANDSCAPE REQUIREMENTS AS PART OF THIS SET.
- ALL STORM PIPE ENTERING STRUCTURES SHALL BE GROUTED TO ASSURE CONNECTION AT STRUCTURE IS SOIL TIGHT.
- ALL STORM STRUCTURES SHALL HAVE A SMOOTH UNIFORM POURED MORTAR INVERT FROM INVERT IN TO INVERT OUT.
- STORM PIPE SHALL BE AS FOLLOWS UNLESS OTHERWISE NOTED:

MATERIAL	TYPE	PIPE SPEC	JOINT SPEC	INSTALLATION	ACCEPTABLE AREAS OF USE
REINFORCED CONCRETE PIPE (RCP)	CLASS IV	ASTM C-76	ASTM C443	ASTM C1479	WITHIN RW, ALL SEWERS < 2' OF COVER
HIGH DENSITY POLY-ETHYLENE (HDPE)	SMOOTH-WALLED CORRUGATED ADS-A12 OR EQUAL	AASHTO M294 (TYPE S)	ASTM F477	ASTM D2321	ON SITE, 12" TO 60" DIA.
POLY VINYL CHLORIDE (PVC)	SDR 35	ASTM D3034	ASTM D3212	ASTM D2321	ON SITE, 4" TO 10"

- ALL STORM SEWER STRUCTURE GRATES AND FRAMES WITHIN PAVEMENT SHALL BE HEAVY DUTY.
- ALL STORM DRAINAGE SHALL BE PERFORMED IN ACCORDANCE WITH TOWN OF ORANGETOWN AND NEW YORK STATE STANDARDS.
- ALL DOWNSPOUT DRAINS ARE TO HAVE A 1.64% MINIMUM SLOPE UNLESS OTHERWISE NOTED. CONNECT DOWNSPOUTS TO THE EXISTING STORM SEWER SYSTEM. REFER TO ARCHITECTURAL PLANS FOR DOWNSPOUT LOCATIONS. PROVIDE POSITIVE DRAINAGE AND PAVEMENT REPAIR AS NEEDED.
- ROOF DRAINS, FOUNDATION DRAINS, AND OTHER CLEAN WATER CONNECTIONS TO THE SANITARY SEWER SYSTEM ARE PROHIBITED.
- THE STORM SEWER GRADE WILL BE SUCH THAT A MINIMUM COVER IS MAINTAINED TO WITHSTAND AASHTO HS-25 LOADING ON THE PIPE. PROVIDE MINIMUM 2.0 FEET OF COVER FOR ALL STORM SEWERS UNLESS OTHERWISE NOTED.
- WHEN A SANITARY SEWER MAIN LIES ABOVE A STORM SEWER, OR WITHIN 18 INCHES BELOW, THE SANITARY SEWER WILL HAVE AN IMPERVIOUS ENCASEMENT OR BE CONSTRUCTED OF STRUCTURAL SEWER PIPE FOR A MINIMUM OF 16 FEET ON EACH SIDE OF WHERE THE STORM SEWER CROSSES.
- IF EXISTING FIELD TILES ARE ENCOUNTERED DURING CONSTRUCTION THEY SHALL BE REPAIRED AND/OR TIED INTO A STORM SEWER SYSTEM AS NEEDED TO MAINTAIN POSITIVE DRAINAGE.

**NOTE:**

- TOTAL AREA OF DISTURBANCE (A.O.D.) = 2.35 ACRES
- THE MAXIMUM SOIL EXPOSURE LIMIT IS 14 DAYS

**UTILITY NOTES**

- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE.
- THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- CONTRACTOR SHALL COMPLY TO THE FULLEST EXTENT WITH THE LATEST STANDARDS OF O.S.H.A. DIRECTIVES OR ANY OTHER AGENCY HAVING JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURES. THE CONTRACTOR SHALL USE SUPPORT SYSTEMS, SLOPING, BENCHING, AND OTHER MEANS OF PROTECTION. THIS TO INCLUDE BUT NOT LIMITED TO ACCESS AND EGRESS FROM ALL EXCAVATION AND TRENCHING. CONTRACTOR IS RESPONSIBLE TO COMPLY WITH PERFORMANCE CRITERIA FOR O.S.H.A.
- CONTRACTOR IS RESPONSIBLE FOR REPAIRS OF DAMAGE TO ANY EXISTING UTILITY DURING CONSTRUCTION AT NO COST TO THE OWNER.
- ALL FILL MATERIAL IS TO BE IN PLACE AND COMPACTED BEFORE INSTALLATION OF PROPOSED UTILITIES.
- CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES FOR INSTALLATION REQUIREMENTS AND SPECIFICATIONS. THE CONTRACTOR SHALL CONDUCT ALL REQUIRED TESTS TO THE SATISFACTION OF THE RESPECTIVE UTILITY REGULATIONS AND THE OWNER'S INSPECTION AUTHORITIES.
- CONTRACTOR SHALL NOTIFY THE UTILITY AUTHORITY'S INSPECTORS 72 HOURS BEFORE CONNECTING TO ANY EXISTING LINE.
- WATER AND SANITARY UTILITIES SHALL HAVE TEN (10) FEET OF CLEARANCE (PARALLEL) OR WHEN CROSSING 18" VERTICAL CLEARANCE (OUTSIDE EDGE OF PIPE TO OUTSIDE EDGE OF PIPE). THE CROSSING SHALL BE ARRANGED SO THAT THE SANITARY SEWER JOINTS WILL BE EQUIDISTANT AND AS FAR AS POSSIBLE FROM THE WATER LINE JOINTS.
- IF A WATER LINE PASSES UNDER THE SANITARY SEWER LINE, THE SEWER LINE SHOULD BE CONSTRUCTED OF A WATERTIGHT MATERIAL APPROVED BY THE REGULATORY AGENCY FOR USE IN WATER MAIN CONSTRUCTION AND SHALL EXTEND TEN (10) FEET ON BOTH SIDES OF THE CROSSING, AS MEASURED PERPENDICULAR TO THE MAIN. ADEQUATE STRUCTURAL SUPPORT SHALL BE PROVIDED FOR THE SEWER TO MAINTAIN LINE AND GRADE.
- LINES UNDERGROUND SHALL BE INSTALLED, INSPECTED AND APPROVED BEFORE BACKFILLING.
- CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES FOR INSTALLATION REQUIREMENTS AND SPECIFICATIONS. THE CONTRACTOR SHALL CONDUCT ALL REQUIRED TESTS TO THE SATISFACTION OF THE RESPECTIVE UTILITY REGULATIONS AND THE OWNER'S INSPECTION AUTHORITIES.
- UTILITY TRENCHES WITHIN PAVED AREAS TO BE BACKFILLED PER SEWER BEDDING DETAIL ON CONSTRUCTION DETAILS SHEET AND GEOTECHNICAL REPORT.
- ALL WATER LINE WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE TOWN OF ORANGETOWN CONSTRUCTION STANDARDS AND STATE REGULATIONS.
- PROVIDE WATER LINE A MINIMUM OF 5'-0" OF COVER.
- WATER LINE MATERIAL FOR DOMESTIC WATER SERVICE SHALL BE AS FOLLOWS:

MATERIAL	PRESSURE RATING	PIPE SPEC	FITTINGS	INSTALLATION	ACCEPTABLE AREAS OF USE
DUCTILE IRON PIPE 4'-12"	CLASS 52 P.C. = 350PSI	AWWA C104, C110, C151, C209	AWWA C111	AWWA C600, C601	DOMESTIC & FIRE WATERLINES 4'-12"
COPPER 1"-3"	TYPE "K"	ASTM B88	AWWA C900	AWWA C800	

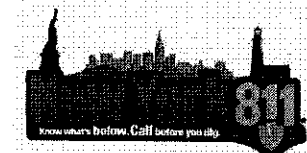
- SANITARY SANITARY SEWER MATERIAL FOR ON-SITE SANITARY SEWER LINES SHALL BE AS FOLLOWS:

MATERIAL	PRESSURE RATING	PIPE SPEC	FITTINGS	INSTALLATION	ACCEPTABLE AREAS OF USE
POLY VINYL CHLORIDE (PVC)	SDR 35	ASTM D3034	ASTM D2312	ASTM D2321 WITH TYPE 1 BEDDING	ON SITE, 6" TO 8" DIA, LESS THAN 8.5' OF COVER
POLY VINYL CHLORIDE (PVC)	SDR 26	ASTM 3034	ASTM D2312	ASTM 2321 WITH TYPE 1 BEDDING	ON SITE, 6" TO 8" DIA, GREATER THAN OR EQUAL TO 8.5' OF COVER

- THE CONTRACTOR SHALL NOTIFY THE TOWN OF ORANGETOWN SEWER INSPECTOR AT LEAST 48 HOURS IN ADVANCE OF ANY CONSTRUCTION TAKING PLACE IN OR AROUND THE SANITARY SEWER SYSTEM.

**EXISTING FEATURES LEGEND**

----- F/W -----	RIGHT OF WAY LINE	⊗	WATER METER	⊗	STORM CATCH BASIN
-----	PARCEL LINE	⊗	WATER VALVE	⊗	STORM INLET BASIN
-----	SUBJECT PROPERTY BOUNDARY LINE	⊗	POWER/TELEPHONE POLE	⊗	STORM MANHOLE
-----	EASEMENT LINE	⊗	POWER POLE	⊗	STORM CLEAN OUT
-----	CURB	⊗	AIR CONDITIONER	⊗	SANITARY MANHOLE
-----	EDGE OF PAVEMENT	⊗	ELECTRIC BOX	⊗	SANITARY CLEAN OUT
-----	EDGE OF WALK	⊗	LIGHT POLE	⊗	TRAFFIC SIGNAL POLE
-----	PAVEMENT MARKINGS	⊗	GAS VALVE	⊗	TRAFFIC MANHOLE
-----	STORM SEWER	⊗	GAS METER	⊗	SIGN
-----	SANITARY SEWER				
-----	WATER LINE				
-----	GAS LINE				
-----	OVHD ELECTRIC LINE				
-----	UGHD ELECTRIC LINE				
-----	UGHD TELECOM LINE				
-----	MAJOR CONTOUR				
-----	MINOR CONTOUR				



Forty-eight (48) hours before digging is to commence, the contractors shall notify the following agencies: NEW YORK 811 AND ALL OTHER AGENCIES WHICH MIGHT HAVE UNDERGROUND UTILITIES INVOLVING THIS PROJECT AND ARE NONMEMBERS OF NEW YORK 811 CALL.

NO.	DATE	REVISION DESCRIPTION
1		ISSUE FOR PERMIT
2		FOR PERMIT
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48		FOR PERMIT
49		FOR PERMIT
50		FOR PERMIT

**DELIVERY STATION**

200 E. 400 ORIENTAL DRIVE, BLAUVELT, NY 10813

ISSUE FOR PERMIT  
DATE: 04/04/20

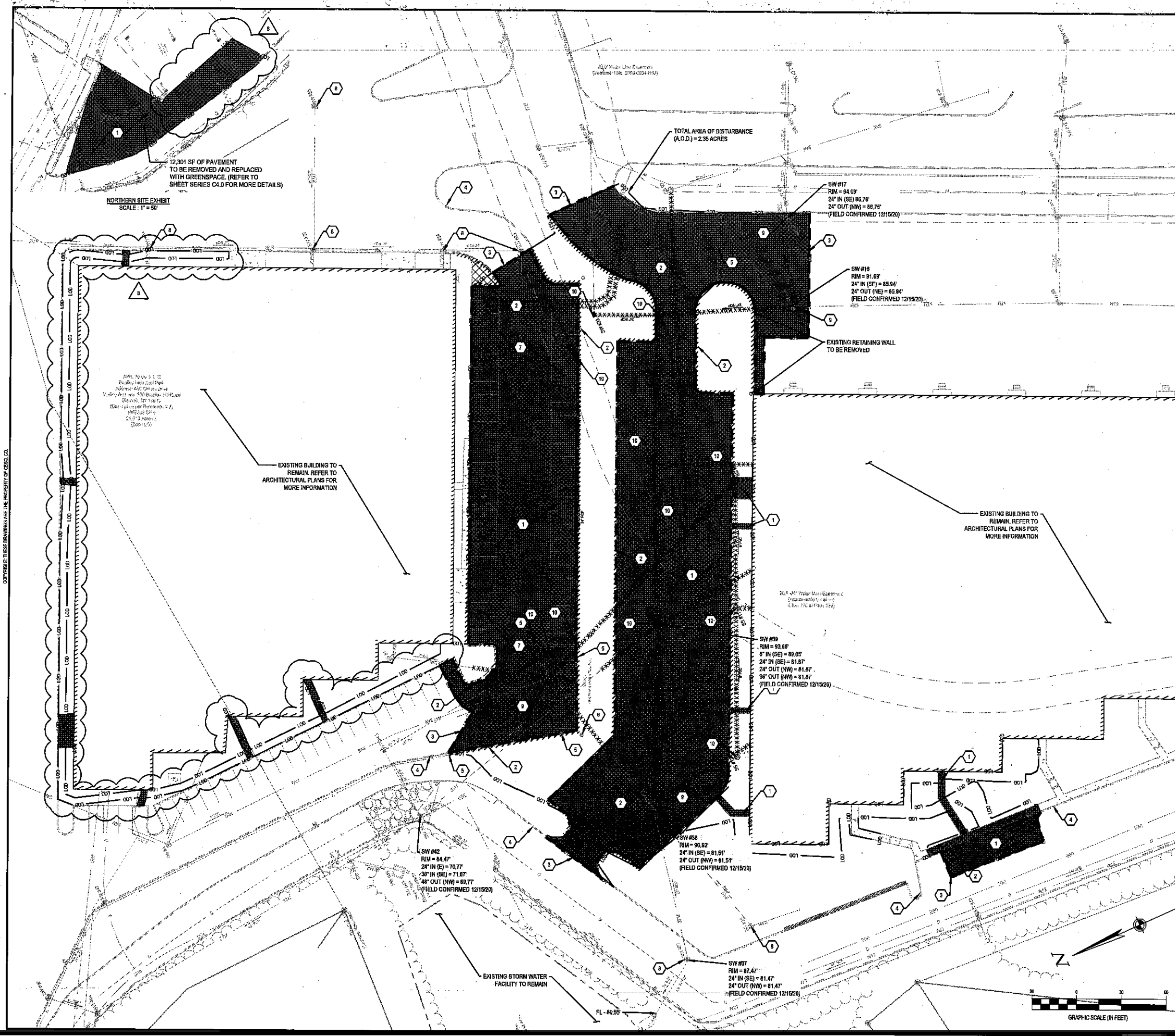
JOB NO.: 757184  
SCALE: AS SHOWN  
DESIGN: T. LEJA  
DRAWN: S. BAILEY  
CHECKED: J. KOCINSKI

DRAWING TITLE: **GENERAL NOTES**

SHEET NO. 020

757184 - 020 NOTES.DWG - 3/5/2021 9:55 AM

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**LEGEND**

**EXISTING**  
REFER TO ON LEGEND ON C2.0

**PROPOSED**

- 100 — LIMITS OF DISTURBANCE (L.O.D.)
- REMOVE PAVEMENT AND CONCRETE MATERIAL
- REMOVE PAVEMENT MARKINGS
- CURB OR CURB AND GUTTER REMOVAL
- REMOVE EXISTING TREE
- DEMOLITION LIMITS
- SAWCUT LINE
- XXXXXXXXXXXXX UTILITY REMOVAL

REFER TO GENERAL NOTES SHEET FOR ALL DEMOLITION NOTES.  
FOR PROPERTY LINE INFORMATION REFER TO SURVEY SHEETS.

**NOTE:**  
• TOTAL AREA OF DISTURBANCE (A.O.D.) = 2.35 ACRES  
• THE MAXIMUM SOIL EXPOSURE LIMIT IS 14 DAYS

**CODED NOTES**

1. EXISTING CONCRETE PAVEMENT TO BE REMOVED.
2. EXISTING CURB TO BE REMOVED.
3. SAW-CUT LINE.
4. EXISTING CURB TO REMAIN.
5. EXISTING CHAIN LINK FENCE TO BE REMOVED.
6. EXISTING LIGHT POLE TO BE RELOCATED.
7. EXISTING PARKING SPACES / STRIPING TO BE REMOVED.
8. EXISTING UTILITIES TO REMAIN.
9. EXISTING RIMS TO BE ADJUSTED TO PROPOSED GRADE.
10. EXISTING STRUCTURE TO BE REMOVED.

BENCHMARK			
	DESCRIPTION	ELEVATION	NORTHING/EASTING
BM 1	1" PIPE	93.58 FT	810832.73 N, 641443.82 E
BM 2	5/8" REBAR	71.22 FT	810739.49 N, 641526.88 E

ELEVATIONS ESTABLISHED WITH GPS STATIC OBSERVATIONS UTILIZING ONLINE POSITIONING USER SERVICE (OPUS) FOR POST PROCESSING. (NAVD 1988 DATUM)

**SURVEY (DATED 10/31/2019) BY:**  
BLEW & ASSOCIATES, PA  
3825 N. SHILOH DRIVE  
FAYETTEVILLE, AR 72703  
PHONE: (479) 585-1883  
CONTACT: PAXTON SINGLETON  
  
C&S PROVIDES NO GUARANTEE TO THE ACCURACY OF THE SURVEY PROVIDED BY BLEW & ASSOCIATES, PA. CONTRACTOR TO VERIFY EXISTING CONDITIONS PRIOR TO BID AND CONSTRUCTION.

**FLOODPLAIN DESIGNATION:**  
ACCORDING TO F.I.R.M. NO. 300870-0179-G, BEARING AN EFFECTIVE DATE OF 03/03/2014, THE SUBJECT PROPERTIES ARE LOCATED IN A ZONE "X" (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL FLOOD PLAIN).

**NOTE:**  
"THE CONTRACTOR SHALL NOTIFY THE TOWN OF ORANGETOWN SEWER INSPECTOR AT LEAST 48 HOURS IN ADVANCE OF ANY CONSTRUCTION TAKING PLACE IN OR AROUND THE SANITARY SEWER SYSTEM."



FORTY-EIGHT (48) HOURS BEFORE DIGGING IS TO COMMENCE, THE CONTRACTORS SHALL NOTIFY THE FOLLOWING AGENCIES: NEWYORK 311 AND ALL OTHER AGENCIES WHICH MIGHT HAVE UNDERGROUND UTILITIES INVOLVING THIS PROJECT AND ARE NONMEMBERS OF NEWYORK 311 CALL

NO.	DATE	REVISION DESCRIPTION
1	06/20/20	ISSUE FOR PERMIT
2	06/20/20	FOR SUPPLEMENTAL PLAN SHEETS PER AMING BOARD COMMENTS
3	06/20/20	FOR SUPPLEMENTAL PLAN SHEETS PER AMING BOARD COMMENTS
4	06/20/20	REVISED FOR TOWN OF ORANGETOWN COMMENTS
5	11/11/20	REVISED FOR TOWN OF ORANGETOWN COMMENTS
6	01/07/21	REVISED FOR TOWN OF ORANGETOWN COMMENTS
7	01/07/21	REVISED FOR TOWN OF ORANGETOWN COMMENTS
8	01/07/21	REVISED FOR TOWN OF ORANGETOWN COMMENTS
9	01/07/21	REVISED FOR TOWN OF ORANGETOWN COMMENTS
10	01/07/21	REVISED FOR TOWN OF ORANGETOWN COMMENTS
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16	01/07/21	REVISED FOR TOWN OF ORANGETOWN COMMENTS
17	01/07/21	REVISED FOR TOWN OF ORANGETOWN COMMENTS
18	01/07/21	REVISED FOR TOWN OF ORANGETOWN COMMENTS
19	01/07/21	REVISED FOR TOWN OF ORANGETOWN COMMENTS
20	01/07/21	REVISED FOR TOWN OF ORANGETOWN COMMENTS

**DELIVERY STATION**

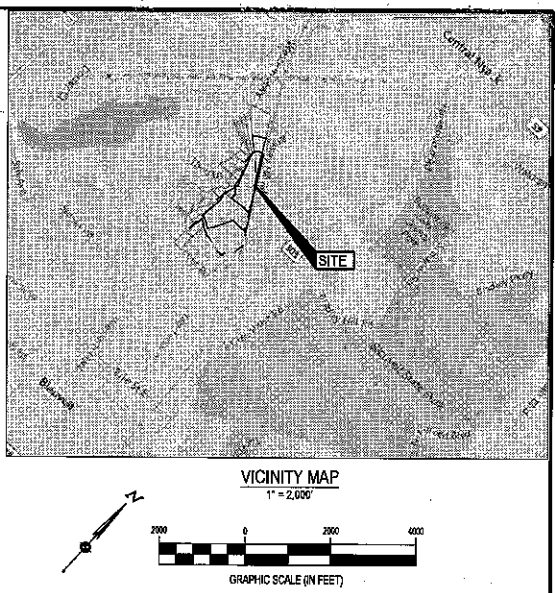
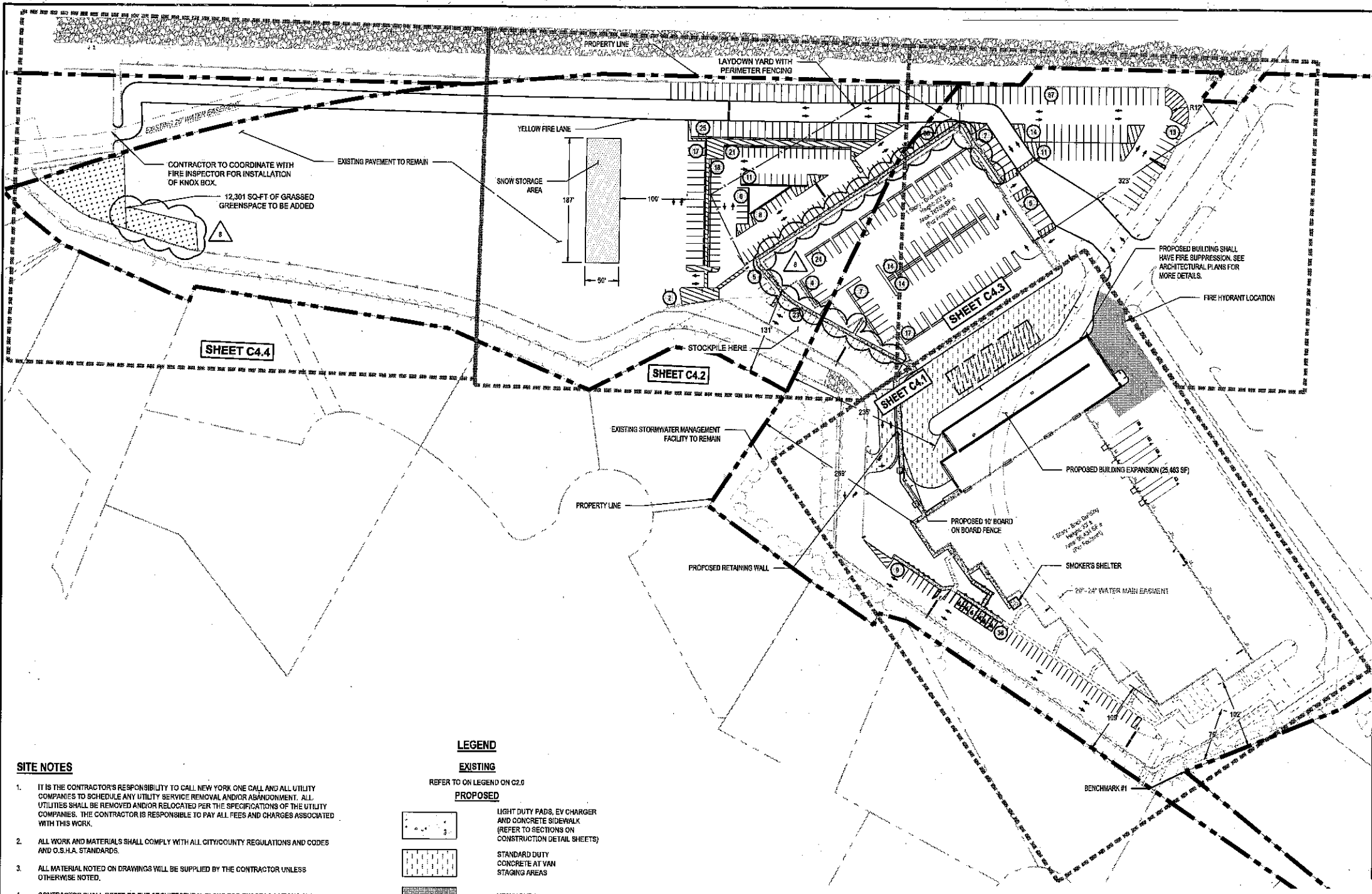
200 & 400 ORANGETOWN DRIVE, BLAUVELT, NY 10813



ISSUE FOR PERMIT  
DATE: 06/20/20  
JOB NO.: 757184  
SCALE: 1" = 30'  
DESIGN: T. LEJA  
DRAWN: T. LEJA  
CHECKED: J. KOCINSKI

**DEMO PLAN**

SHEET NO. C3.0

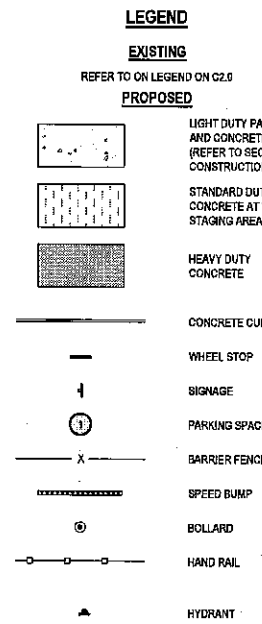


**ZONING INFORMATION**

LOCATION: 200 & 400 ORITANI DRIVE, BLAUVELT, NY 10913  
 PARCELS: 65.18-1-1, 65.18-1-22, 70.06-1-1.12  
 ZONE: (LO) LABORATORY-OFFICE DISTRICT  
 USE: DISTRIBUTION CENTER  
 LOT AREA: ± 37.61 ACRES (± 1,638,292 SF)  
 ADJACENT ZONING:  
 NORTH: LABORATORY-OFFICE (LO)  
 SOUTH: LOW DENSITY RESIDENTIAL (R-40), LABORATORY OFFICE (LO)  
 EAST: LIGHT INDUSTRIAL OFFICE (LIO), LIGHT INDUSTRIAL (LI)  
 WEST: LOW DENSITY RESIDENTIAL (R-40)

ITEM	REQUIREMENTS	EXISTING	PROPOSED
MINIMUM FRONT BUILDING SETBACK (EAST)	100 FEET	70.7 FEET	NO CHANGE
MINIMUM SIDE BUILDING SETBACK (SOUTH)	100 FEET	102.5 FEET	NO CHANGE
MINIMUM SIDE BUILDING SETBACK (NORTH)	100 FEET	280.3 FEET	234.7 FEET
MINIMUM SIDE BUILDING SETBACK (BOTH)	200 FEET	371.5 FEET	337.2 FEET
MINIMUM REAR BUILDING SETBACK (WEST)	100 FEET	130.7 FEET	NO CHANGE
MAXIMUM FLOOR RATIO	0.4	0.2	0.2
BUILDING HEIGHT	± 42.5 FEET	± 33 FEET	NO CHANGE
PARKING REQUIREMENTS	ONE SPACE FOR EVERY 2 EMPLOYEES	255 SPACES	SEE PARKING TABULATION ON THIS SHEET
MINIMUM ACCESSIBLE STALLS	6 SPACES FOR 151 - 200 TOTAL PROVIDED SPACES, 1 VAN	2 SPACES	6 SPACES (1 VAN)
MINIMUM PARKING DIMENSIONS	9 FEET X 18 FEET	9 FEET X 18 FEET	9 FEET X 19 FEET MIN
MINIMUM AISLE WIDTH	22 FEET	24 FEET	24 FEET
MINIMUM PARKING SETBACK	25 FEET	± 66 FEET	± 87 FEET
LAND COVERAGE	MAX 75%	80.30%	NO CHANGE

- SITE NOTES**
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO CALL NEW YORK ONE CALL AND ALL UTILITY COMPANIES TO SCHEDULE ANY UTILITY SERVICE REMOVAL AND/OR ABANDONMENT. ALL UTILITIES SHALL BE REMOVED AND/OR RELOCATED PER THE SPECIFICATIONS OF THE UTILITY COMPANIES. THE CONTRACTOR IS RESPONSIBLE TO PAY ALL FEES AND CHARGES ASSOCIATED WITH THIS WORK.
  - ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY/COUNTY REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
  - ALL MATERIAL NOTED ON DRAWINGS WILL BE SUPPLIED BY THE CONTRACTOR UNLESS OTHERWISE NOTED.
  - CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF RAMPS.
  - ALL DISTURBED AREAS ARE TO RECEIVE 6" OF TOPSOIL, SEED, MULCH AND WATER UNTIL A HEALTHY STAND OF GRASS IS ESTABLISHED.
  - ALL DIMENSIONS AND RADII ARE TO THE FACE OF THE CURB OR EDGE OF PAVEMENT, AS APPLICABLE, UNLESS OTHERWISE NOTED.
  - PROVIDE STRIPING AS SHOWN. PARKING STALLS SHALL BE PAINTED WITH 4" WHITE, WIDE LINES.
  - REFER TO SIGNAGE PLAN FOR PROPOSED SIGNAGE.
  - REFER TO MECHANICAL PLANS FOR EQUIPMENT LAYOUT.
  - REFER TO ELECTRICAL PLANS FOR ELECTRICAL WORK.
  - REFER TO ORIGINAL SURVEY PROVIDED BY BLEW & ASSOCIATES, DATED 10/31/2019.



**PARKING**

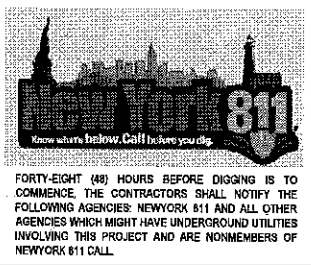
ADA SPACES = 6 SPACES (1 VAN)  
 STANDARD SPACES (9' x 18') = 171  
 TOTAL ASSOCIATE SPACES = 177  
 VAN SPACES (11' x 27') = 239 (80 INTERIOR)  
 LOADING ZONES (12' x 60') = 5  
 PROPOSED BUILDING = 25,463 SF; FFE = 98.87'; HEIGHT = 32'-4"

**BENCHMARK**

DESCRIPTION	ELEVATION	NORTHING/EASTING
BM 1 1" PIPE	93.58 FT	818632.73 N, 841443.82 E
BM 2 5/8" REBAR	71.22 FT	818739.48 N, 841528.88 E

**SURVEY (DATED 10/31/2019) BY:**  
 BLEW & ASSOCIATES, PA  
 2425 N. SHELCH DRIVE  
 FAYETTEVILLE, AR 72705  
 PHONE: (479) 582-1883  
 CONTACT: PAXTON SINGLETON

CESO PROVIDES NO GUARANTEE TO THE ACCURACY OF THE SURVEY PROVIDED BY BLEW & ASSOCIATES, PA. CONTRACTOR TO VERIFY EXISTING CONDITIONS PRIOR TO BID AND CONSTRUCTION.



- ORANGETOWN STANDARD NOTES:**
- PERFORMANCE STANDARDS REVIEWED BY TOWN OF ORANGETOWN ZONING BOARD: JANUARY 22, 2020 AS ZBA020-08 AND ZBA09-09
  - TOTAL AREA OF DISTURBANCE (A.O.D.) = 2.35 ACRES
  - THE MAXIMUM SOIL EXPOSURE LIMIT IS 14 DAYS
  - LOT DRAINAGE SHOWN SHALL CONSTITUTE EASEMENTS RUNNING WITH THE LAND AND ARE NOT TO BE DISTURBED
  - ALL UTILITIES, INCLUDING ELECTRIC AND TELEPHONE SERVICE, SHALL BE INSTALLED UNDERGROUND
  - THIS PLAN DOES NOT CONFLICT WITH THE COUNTY OFFICIAL MAP AND HAS BEEN APPROVED IN THE MANNER SPECIFIED BY SECTION 239(1)(a) OF THE GENERAL MUNICIPAL LAW OF THE STATE OF NEW YORK
  - AT LEAST ONE WEEK PRIOR TO THE COMMENCEMENT OF ANY WORK, INCLUDING THE INSTALLATION OF EROSION CONTROL DEVICES OR THE REMOVAL OF TREES AND VEGETATION, A PRE-CONSTRUCTION MEETING MUST BE HELD WITH THE TOWN OF ORANGETOWN DEPARTMENT OF ENVIRONMENTAL MANAGEMENT AND ENGINEERING SUPERINTENDENT OF HIGHWAYS AND THE OFFICE OF BUILDING, ZONING, AND PLANNING ADMINISTRATION AND ENFORCEMENT. IT IS THE RESPONSIBILITY AND OBLIGATION OF THE PROPERTY OWNER TO ARRANGE SUCH A MEETING.
  - ALL OUTDOOR CONSTRUCTION ACTIVITIES, INCLUDING SITE-CLEARING OPERATIONS IF APPLICABLE, SHALL TAKE PLACE BETWEEN THE HOURS OF 7:00 A.M. AND 7:00 P.M., MONDAY THROUGH SATURDAY. NO SUCH ACTIVITIES SHALL TAKE PLACE ON SUNDAY OR A LEGAL HOLIDAY. THE SAME CRITERIA SHALL APPLY TO INDOOR CONSTRUCTION ACTIVITIES, EXCEPT THAT SUCH ACTIVITIES MAY TAKE PLACE BETWEEN THE HOURS OF 7:00 A.M. AND 10:00 P.M.

**DELIVERY STATION**

200 & 400 ORITANI DRIVE, BLAUVELT, NY 10913

**REVISION DESCRIPTION**

NO.	DATE	REVISION DESCRIPTION
0		ISSUE
1	08/02/20	FOR PERMIT
2	08/02/20	DATE: 08/02/20
3		JOB NO.: 757184
4		SCALE: 1" = 80'
5		DESIGN: T. LEVA
6		DRAWN: S. BAILEY
7		CHECKED: J. KOCINSKI
8		DRAWING TITLE
9		OVERALL SITE PLAN
10		SHEET NO. C4.0

STATE OF NEW YORK  
 DEPARTMENT OF ENVIRONMENTAL CONSERVATION  
 DIVISION OF PLANNING AND CONSTRUCTION



**CODED NOTES:**

1. PROPOSED CONCRETE SIDEWALK PER DETAIL ON SHEET SERIES C7.0. MAX SLOPE SLOPE NOT TO EXCEED 2%.
2. PROPOSED INGRESS/EGRESS DOOR (SEE ARCHITECTURAL PLANS FOR DETAILS)
3. PROPOSED SIDEWALK RAMP PER DETAIL ON SHEET SERIES C7.0
4. PROPOSED ACCESSIBLE PARKING STALL STRIPING PER DETAILS ON SHEET SERIES C7.0
5. PROPOSED INTERIOR PARKING (SEE ARCHITECTURAL PLANS FOR DETAILS)
6. PROPOSED STANDARD PARKING STALL STRIPING PER DETAIL ON SHEET SERIES C7.0
7. EXISTING PARKING STALL STRIPING TO REMAIN
8. PROPOSED VAN PARKING STALL STRIPING PER DETAIL ON SHEET SERIES C7.0
9. CONTRACTOR TO INSTALL 14'X14' CONCRETE PAD FOR SMOKERS SHELTER PER DETAILS ON SHEET SERIES C7.0
10. PROPOSED STANDARD DUTY CONCRETE DRIVE AISLE PER DETAILS ON SHEET SERIES C7.0
11. PROPOSED RAILING (MIN 42" IN HEIGHT) PER DETAIL ON SHEET SERIES C7.0
12. PROPOSED 10' BOARD ON BOARD FENCE PER DETAIL ON SHEET SERIES C7.0
13. PROPOSED STANDARD DUTY AND HEAVY DUTY CONCRETE TO MEET EXISTING GRADE. PER DETAIL ON SHEET SERIES C7.0.
14. PROPOSED HEAVY DUTY CONCRETE PER DETAILS ON SHEET SERIES C7.0.

**LEGEND**

**EXISTING**  
REFER TO ON LEGEND ON C2.0

**PROPOSED**

- LIGHT DUTY PADS, EV CHARGER AND CONCRETE SIDEWALK (REFER TO SECTIONS ON CONSTRUCTION DETAIL SHEETS)
- STANDARD DUTY CONCRETE AT VAN STAGING AREAS
- HEAVY DUTY CONCRETE
- CONCRETE CURB
- WHEEL STOP
- SIGNAGE
- PARKING SPACE COUNT
- BARRIER FENCE
- SPEED BUMP
- BOLLARD
- HAND RAIL
- HYDRANT

REFER TO GENERAL NOTES SHEET FOR ALL SITE NOTES.

FOR PROPERTY LINE INFORMATION REFER TO SURVEY SHEETS.

**ORANGETOWN STANDARD NOTES:**

- PERFORMANCE STANDARDS REVIEWED BY TOWN OF ORANGETOWN ZONING BOARD, JANUARY 22, 2026 AS ZBA#20-08 AND ZBA#20-09
- TOTAL AREA OF DISTURBANCE (A.O.D.) = 2.35 ACRES
- THE MAXIMUM SOIL EXPOSURE LIMIT IS 14 DAYS
- LOT DRAINAGE SHOWN SHALL CONSTITUTE EASEMENTS RUNNING WITH THE LAND AND ARE NOT TO BE DISTURBED
- ALL UTILITIES, INCLUDING ELECTRIC AND TELEPHONE SERVICE, SHALL BE INSTALLED UNDERGROUND
- THIS PLAN DOES NOT CONFLICT WITH THE COUNTY OFFICIAL MAP AND HAS BEEN APPROVED IN THE MANNER SPECIFIED BY SECTION 239(AM) OF THE GENERAL MUNICIPAL LAW OF THE STATE OF NEW YORK
- AT LEAST ONE WEEK PRIOR TO THE COMMENCEMENT OF ANY WORK, INCLUDING THE INSTALLATION OF EROSION CONTROL DEVICES OR THE REMOVAL OF TREES AND VEGETATION, A PRE-CONSTRUCTION MEETING MUST BE HELD WITH THE TOWN OF ORANGETOWN DEPARTMENT OF ENVIRONMENTAL MANAGEMENT AND ENGINEERING, SUPERINTENDENT OF HIGHWAYS AND THE OFFICE OF BUILDING, ZONING, AND PLANNING ADMINISTRATION AND ENFORCEMENT. IT IS THE RESPONSIBILITY AND OBLIGATION OF THE PROPERTY OWNER TO ARRANGE SUCH A MEETING.
- ALL OUTDOOR CONSTRUCTION ACTIVITIES, INCLUDING SITE-CLEARING OPERATIONS IF APPLICABLE, SHALL TAKE PLACE BETWEEN THE HOURS OF 7:00 A.M. AND 7:00 P.M. MONDAY THROUGH SATURDAY. NO SUCH ACTIVITIES SHALL TAKE PLACE ON SUNDAY OR A LEGAL HOLIDAY. THE SAME CRITERIA SHALL APPLY TO INDOOR CONSTRUCTION ACTIVITIES, EXCEPT THAT SUCH ACTIVITIES MAY TAKE PLACE BETWEEN THE HOURS OF 7:00 A.M. AND 10:00 P.M.



FORTY-EIGHT (48) HOURS BEFORE DIGGING IS TO COMMENCE. THE CONTRACTORS SHALL NOTIFY THE FOLLOWING AGENCIES: NEW YORK 811 AND ALL OTHER AGENCIES WHICH MIGHT HAVE UNDERGROUND UTILITIES INVOLVING THIS PROJECT AND ARE NONMEMBERS OF NEW YORK 811 CALL.

**FLOODPLAIN DESIGNATION:**  
ACCORDING TO F.I.R.M. NO. 38877C-0179-G, BEARING AN EFFECTIVE DATE OF 03/03/2014, THE SUBJECT PROPERTIES ARE LOCATED IN A ZONE "X" (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL FLOOD PLAIN).

BENCHMARK			
	DESCRIPTION	ELEVATION	NORTHING/EASTING
BM 1	1" PIPE	93.59 FT	818832.73 N, 841443.82 E
BM 2	5/8" REBAR	71.22 FT	818738.40 N, 841528.88 E

**SURVEY (DATED 10/31/2019) BY:**  
BLEW & ASSOCIATES, PA  
3625 N. SHILOH DRIVE  
PAYETTEVILLE, AR 72703  
PHONE: (479) 982-1883  
CONTACT: PAXTON SINGLETON

CESO PROVIDES NO GUARANTEE TO THE ACCURACY OF THE SURVEY PROVIDED BY BLEW & ASSOCIATES, PA. CONTRACTOR TO VERIFY EXISTING CONDITIONS PRIOR TO BID AND CONSTRUCTION.

\* ELEVATIONS ESTABLISHED WITH GPS STATICOBSERVATIONS UTILIZING ONLINE POSITIONING USER SERVICE (OPUS) FOR POST PROCESSING. (NAD 83) DATUM.

NO.	DATE	REVISION DESCRIPTION
1	10/31/2019	ISSUE PERMIT
2	08/04/20	FOR PERMIT
3		DATE: 08/04/20
4		JOB NO.: 757184
5		SCALE: 1" = 30'
6		DESIGN: T. LEJA
7		DRAWN: S. BAILEY
8		CHECKED: J. KOCINSKI
9		DRAWING TITLE
10		SHEET NO. C4.1

**DELIVERY STATION**



ISSUE FOR PERMIT  
DATE: 08/04/20

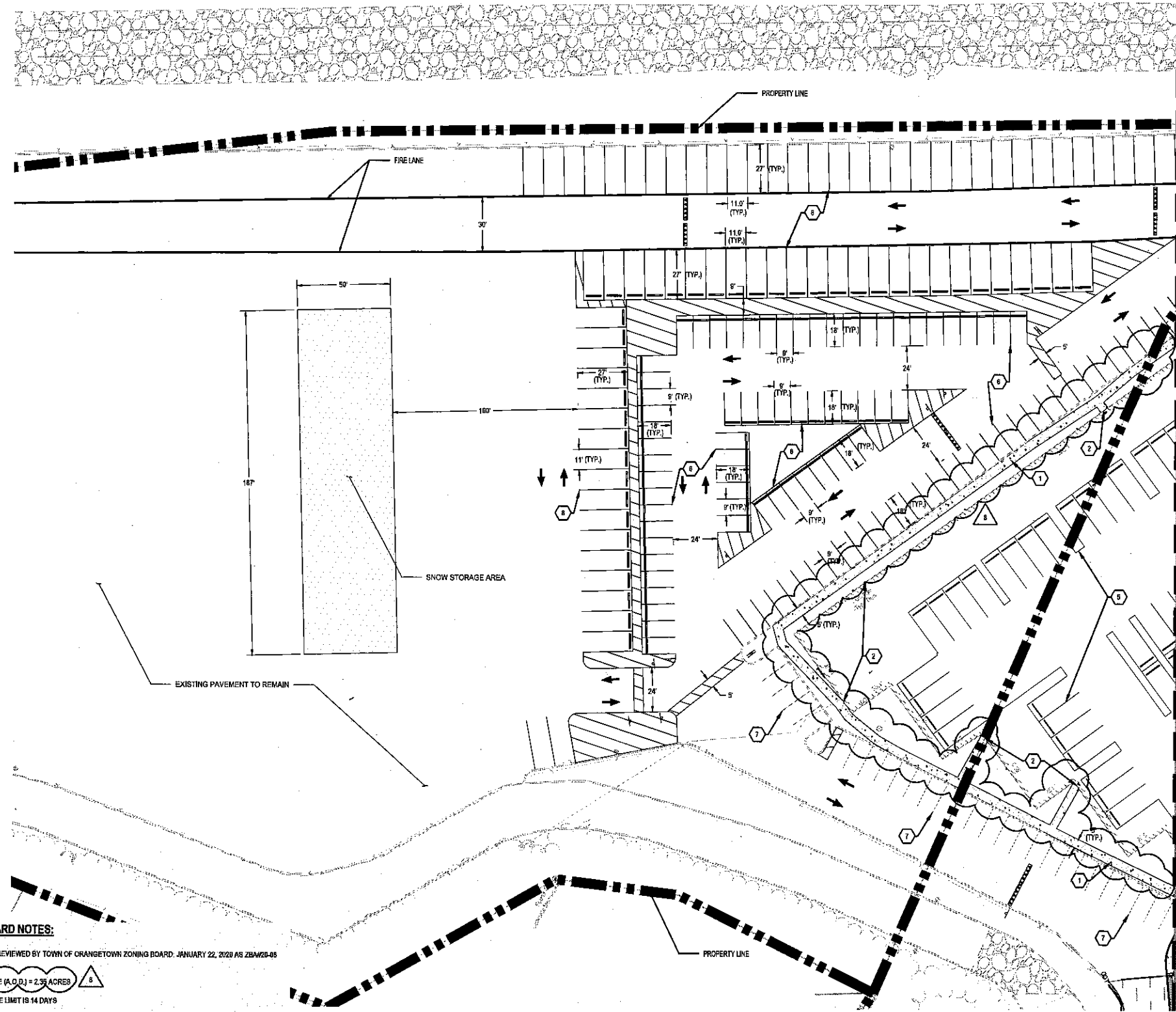
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SCALE: 1" = 30'  
DESIGN: T. LEJA  
DRAWN: S. BAILEY  
CHECKED: J. KOCINSKI

DRAWING TITLE

SHEET NO. C4.1

200 S. 400 ORTANI DRIVE, ELIZAVILLE, NY 10913

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**CODED NOTES:**

1. PROPOSED CONCRETE SIDEWALK PER DETAIL ON SHEET SERIES C7.0. MAX SLOPE NOT TO EXCEED 2%.
2. PROPOSED INGRESS/EGRESS DOOR (SEE ARCHITECTURAL PLANS FOR DETAILS)
3. PROPOSED SIDEWALK RAMP PER DETAIL ON SHEET SERIES C7.0. (NOT USED)
4. PROPOSED ACCESSIBLE PARKING STALL STRIPING PER DETAILS ON SHEET SERIES C7.0. (NOT USED)
5. PROPOSED INTERIOR PARKING (SEE ARCHITECTURAL PLANS FOR DETAILS)
6. PROPOSED STANDARD PARKING STALL STRIPING PER DETAIL ON SHEET SERIES C7.0.
7. EXISTING PARKING STALL STRIPING TO REMAIN
8. PROPOSED VAN PARKING STALL STRIPING PER DETAIL ON SHEET SERIES C7.0.
9. CONTRACTOR TO INSTALL 14'X14' CONCRETE PAD FOR SMOKERS SHELTER PER DETAILS ON SHEET SERIES C7.0. (NOT USED)
10. PROPOSED STANDARD DUTY CONCRETE DRIVE AISLE PER DETAILS ON SHEET SERIES C7.0. (NOT USED)
11. PROPOSED FENCE PER DETAIL ON SHEET SERIES C7.0. (NOT USED)
12. PROPOSED 10' BOARD ON BOARD FENCE PER DETAIL ON SHEET SERIES C7.0. (NOT USED)
13. PROPOSED STANDARD DUTY CONCRETE TO MEET EXISTING GRADE. PER DETAIL ON SHEET SERIES C7.0.

**LEGEND**

EXISTING  
REFER TO ON LEGEND ON C2.0

PROPOSED

- LIGHT DUTY PADS, EV CHARGER AND CONCRETE SIDEWALK (REFER TO SECTIONS ON CONSTRUCTION DETAIL SHEETS)
- STANDARD DUTY CONCRETE AT VAN STAGING AREAS
- HEAVY DUTY CONCRETE
- CONCRETE CURB
- WHEEL STOP
- SIGNAGE
- PARKING SPACE COUNT
- BARRIER FENCE
- SPEED BUMP
- BOLLARD
- HAND RAIL
- HYDRANT

REFER TO GENERAL NOTES SHEET FOR ALL SITE NOTES.  
FOR PROPERTY LINE INFORMATION REFER TO SURVEY SHEETS.

**ORANGETOWN STANDARD NOTES:**

- PERFORMANCE STANDARDS REVIEWED BY TOWN OF ORANGETOWN ZONING BOARD, JANUARY 22, 2020 AS ZBAW20-05 AND ZBAW20-06
- TOTAL AREA OF DISTURBANCE (A.O.D.) = 2.35 ACRES
- THE MAXIMUM SOIL EXPOSURE LIMIT IS 14 DAYS
- LOT DRAINAGE SHOWN SHALL CONSTITUTE EASEMENTS RUNNING WITH THE LAND AND ARE NOT TO BE DISTURBED
- ALL UTILITIES, INCLUDING ELECTRIC AND TELEPHONE SERVICE, SHALL BE INSTALLED UNDERGROUND
- THIS PLAN DOES NOT CONFLICT WITH THE COUNTY OFFICIAL MAP AND HAS BEEN APPROVED IN THE MANNER SPECIFIED BY SECTION 239.14M OF THE GENERAL MUNICIPAL LAW OF THE STATE OF NEW YORK
- AT LEAST ONE WEEK PRIOR TO THE COMMENCEMENT OF ANY WORK, INCLUDING THE INSTALLATION OF EROSION CONTROL DEVICES OR THE REMOVAL OF TREES AND VEGETATION, A PRE-CONSTRUCTION MEETING MUST BE HELD WITH THE TOWN OF ORANGETOWN DEPARTMENT OF ENVIRONMENTAL MANAGEMENT AND ENGINEERING, SUPERINTENDENT OF HIGHWAYS AND THE OFFICE OF BUILDING, ZONING, AND PLANNING ADMINISTRATION AND ENFORCEMENT. IT IS THE RESPONSIBILITY AND OBLIGATION OF THE PROPERTY OWNER TO ARRANGE SUCH A MEETING.
- ALL OUTDOOR CONSTRUCTION ACTIVITIES, INCLUDING SITE-CLEARING OPERATIONS IF APPLICABLE, SHALL TAKE PLACE BETWEEN THE HOURS OF 7:00 A.M. AND 7:00 P.M., MONDAY THROUGH SATURDAY. NO SUCH ACTIVITIES SHALL TAKE PLACE ON SUNDAY OR A LEGAL HOLIDAY. THE SAME CRITERIA SHALL APPLY TO INDOOR CONSTRUCTION ACTIVITIES, EXCEPT THAT SUCH ACTIVITIES MAY TAKE PLACE BETWEEN THE HOURS OF 7:00 A.M. AND 10:00 P.M.

**FLOODPLAIN DESIGNATION:**

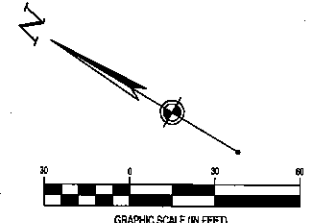
ACCORDING TO F.I.R.M. NO. 3857C-2179-G, BEARING AN EFFECTIVE DATE OF 03/03/2014, THE SUBJECT PROPERTIES ARE LOCATED IN A ZONE "X" (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL FLOOD PLAIN).

BENCHMARK			
	DESCRIPTION	ELEVATION	NORTHING/EASTING
BM 1	1" PIPE	93.56 FT	818532.73 N, 641443.62 E
BM 2	5/8" REBAR	71.22 FT	818739.46 N, 641528.88 E

**SURVEY (DATED 10/31/2019) BY:**  
BLEW & ASSOCIATES, PA  
3829 N. SHILOH DRIVE  
FAVETTEVILLE, AR 72703  
PHONE: (479) 522-1883  
CONTACT: PAXTON SINGLETON

CESO PROVIDES NO GUARANTEE TO THE ACCURACY OF THE SURVEY PROVIDED BY BLEW & ASSOCIATES, PA. CONTRACTOR TO VERIFY EXISTING CONDITIONS PRIOR TO BID AND CONSTRUCTION.

\* ELEVATIONS ESTABLISHED WITH GPS STATIC OBSERVATIONS UTILIZING ONLINE POSITIONING USER SERVICE (OPUS) FOR POST-PROCESSING (NVD 1918 DATUM)



FORTY-EIGHT (48) HOURS BEFORE DIGGING IS TO COMMENCE, THE CONTRACTORS SHALL NOTIFY THE FOLLOWING AGENCIES: NEW YORK 311 AND ALL OTHER AGENCIES WHICH MIGHT HAVE UNDERGROUND UTILITIES INVOLVING THIS PROJECT AND ARE NONMEMBERS OF NEW YORK 311 CALL.

NO.	DATE	REVISION DESCRIPTION
1		
2		
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**DELIVERY STATION**



ISSUE FOR PERMIT  
DATE: 06/04/20  
JOB NO.: 757184  
SCALE: 1" = 30'  
DESIGN: T. LEIA  
DRAWN: S. BAILEY  
CHECKED: J. KCCINSKI  
DRAWING TITLE

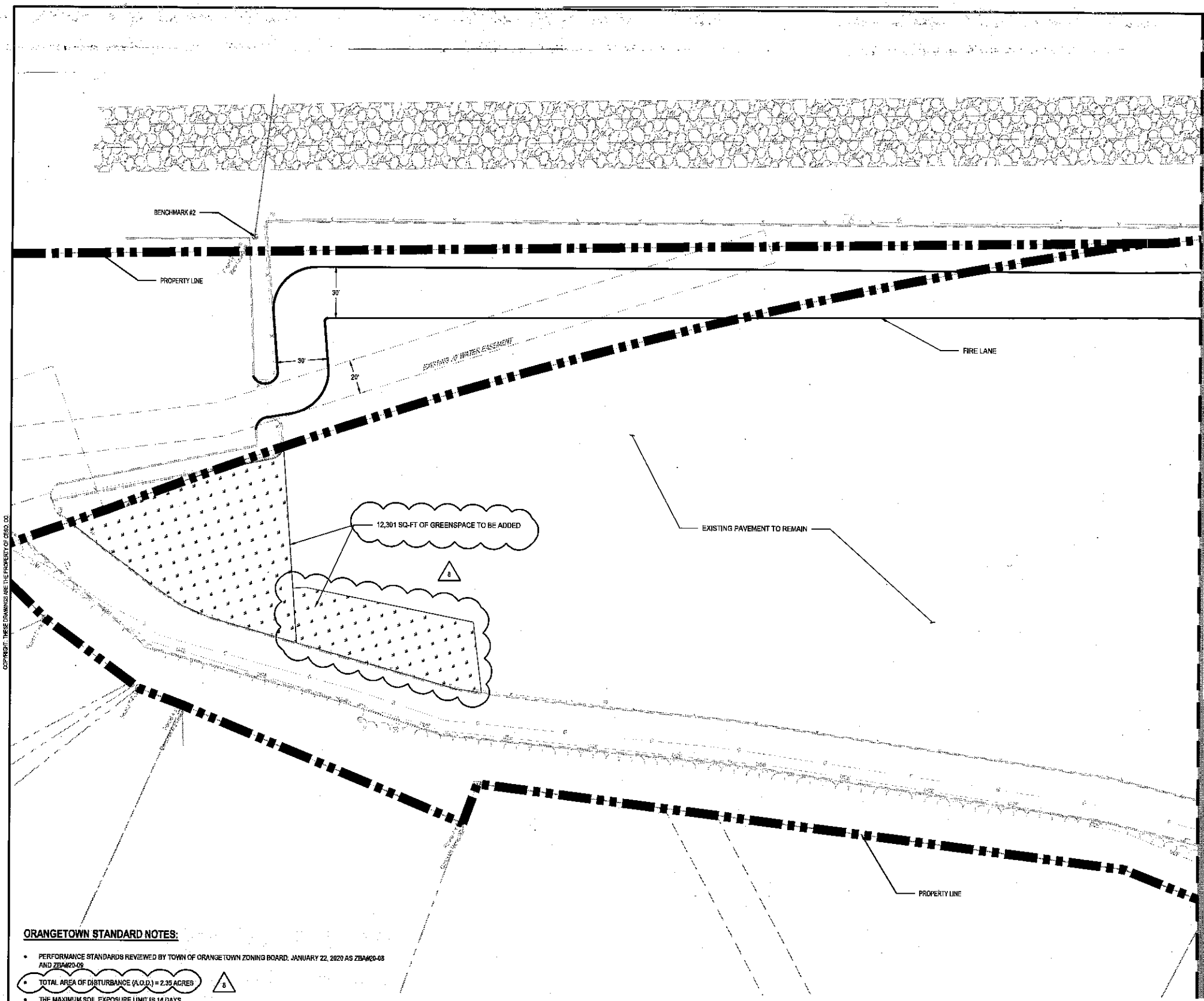
**SITE PLAN - PARKING MIDDLE**

SHEET NO. C42





COPYRIGHT THESE DRAWINGS ARE THE PROPERTY OF CESO, LLC



MATCH LINE SHEET C4.2 (SITE PLAN - PARKING MIDDLE)

**LEGEND**

**EXISTING**

REFER TO ON LEGEND ON C2.0

**PROPOSED**

- LIGHT DUTY PADS, BY CHARGER AND CONCRETE SIDEWALK (REFER TO SECTIONS ON CONSTRUCTION DETAIL SHEETS)
- STANDARD DUTY CONCRETE AT VAN STAGING AREAS
- HEAVY DUTY CONCRETE
- CONCRETE CURB
- WHEEL STOP
- SIGNAGE
- PARKING SPACE COUNT
- BARRIER FENCE
- SPEED BUMP
- BOLLARD
- HAND RAIL
- HYDRANT

REFER TO GENERAL NOTES SHEET FOR ALL SITE NOTES.

FOR PROPERTY LINE INFORMATION REFER TO SURVEY SHEETS.

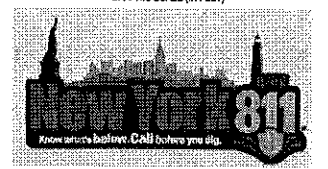
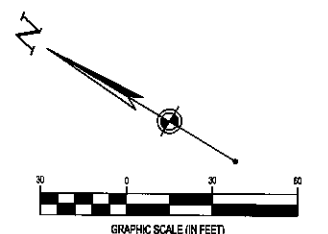
**ORANGETOWN STANDARD NOTES:**

- PERFORMANCE STANDARDS REVIEWED BY TOWN OF ORANGETOWN ZONING BOARD, JANUARY 22, 2020 AS ZBA#20-08 AND ZBA#20-09
- TOTAL AREA OF DISTURBANCE (A.O.D.) = 2.35 ACRES
- THE MAXIMUM SOIL EXPOSURE LIMIT IS 14 DAYS
- LOT DRAINAGE SHOWN SHALL CONSTITUTE EASEMENTS RUNNING WITH THE LAND AND ARE NOT TO BE DISTURBED
- ALL UTILITIES, INCLUDING ELECTRIC AND TELEPHONE SERVICE, SHALL BE INSTALLED UNDERGROUND
- THIS PLAN DOES NOT CONFLICT WITH THE COUNTY OFFICIAL MAP AND HAS BEEN APPROVED IN THE MANNER SPECIFIED BY SECTION 238.6.M OF THE GENERAL MUNICIPAL LAW OF THE STATE OF NEW YORK
- AT LEAST ONE WEEK PRIOR TO THE COMMENCEMENT OF ANY WORK, INCLUDING THE INSTALLATION OF EROSION CONTROL DEVICES OR THE REMOVAL OF TREES AND VEGETATION, A PRE-CONSTRUCTION MEETING MUST BE HELD WITH THE TOWN OF ORANGETOWN DEPARTMENT OF ENVIRONMENTAL MANAGEMENT AND ENGINEERING, SUPERINTENDENT OF HIGHWAYS AND THE OFFICE OF BUILDING, ZONING, AND PLANNING ADMINISTRATION AND ENFORCEMENT. IT IS THE RESPONSIBILITY AND OBLIGATION OF THE PROPERTY OWNER TO ARRANGE SUCH A MEETING.
- ALL OUTDOOR CONSTRUCTION ACTIVITIES, INCLUDING SITE-CLEARING OPERATIONS IF APPLICABLE, SHALL TAKE PLACE BETWEEN THE HOURS OF 7:00 A.M. AND 7:00 P.M., MONDAY THROUGH SATURDAY. NO SUCH ACTIVITIES SHALL TAKE PLACE ON SUNDAY OR A LEGAL HOLIDAY. THE SAME CRITERIA SHALL APPLY TO INDOOR CONSTRUCTION ACTIVITIES, EXCEPT THAT SUCH ACTIVITIES MAY TAKE PLACE BETWEEN THE HOURS OF 7:00 A.M. AND 10:00 P.M.

**FLOODPLAIN DESIGNATION:**  
 ACCORDING TO F.I.R.M. NO. 36097C-0179-G, BEARING AN EFFECTIVE DATE OF 03/03/2014, THE SUBJECT PROPERTIES ARE LOCATED IN A ZONE "X" (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL FLOOD PLAIN).

BENCHMARK			
	DESCRIPTION	ELEVATION	NORTHING/EASTING
BM 1	1" PIPE	93.98 FT	818932.73 N, 641443.82 E
BM 2	5/8" REBAR	71.22 FT	818738.48 N, 641525.86 E

**SURVEY (DATED 10/31/2019) BY:**  
 BLEW & ASSOCIATES, PA  
 3825 N. SHILOH DRIVE  
 FAYETTEVILLE, AR 72703  
 PHONE: (478) 582-1883  
 CONTACT: PAXTON SINGLETON  
 CESO PROVIDES NO GUARANTEE TO THE ACCURACY OF THE SURVEY PROVIDED BY BLEW & ASSOCIATES, PA. CONTRACTOR TO VERIFY EXISTING CONDITIONS PRIOR TO BID AND CONSTRUCTION.

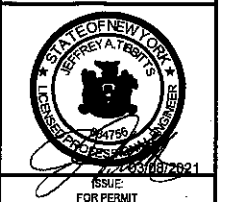


FORTY-EIGHT (48) HOURS BEFORE DIGGING IS TO COMMENCE, THE CONTRACTOR SHALL NOTIFY THE FOLLOWING AGENCIES, NEW YORK 811 AND ALL OTHER AGENCIES WHICH MIGHT HAVE UNDERGROUND UTILITIES INVOLVING THIS PROJECT AND ARE NONMEMBERS OF NEW YORK 811 CALL.

NO.	DATE	REVISION DESCRIPTION
0		ISSUED
1		REVISED PER COMMENTS FROM TOWN OF ORANGETOWN
2		REVISED PER COMMENTS FROM TOWN OF ORANGETOWN
3		REVISED PER COMMENTS FROM TOWN OF ORANGETOWN
4		REVISED PER COMMENTS FROM TOWN OF ORANGETOWN
5		REVISED PER COMMENTS FROM TOWN OF ORANGETOWN
6		REVISED PER COMMENTS FROM TOWN OF ORANGETOWN
7		REVISED PER COMMENTS FROM TOWN OF ORANGETOWN
8		REVISED PER COMMENTS FROM TOWN OF ORANGETOWN
9		REVISED PER COMMENTS FROM TOWN OF ORANGETOWN
10		REVISED PER COMMENTS FROM TOWN OF ORANGETOWN

**DELIVERY STATION**

200 S. 400 ORTANI DRIVE, ELBAWELT, NY 10913

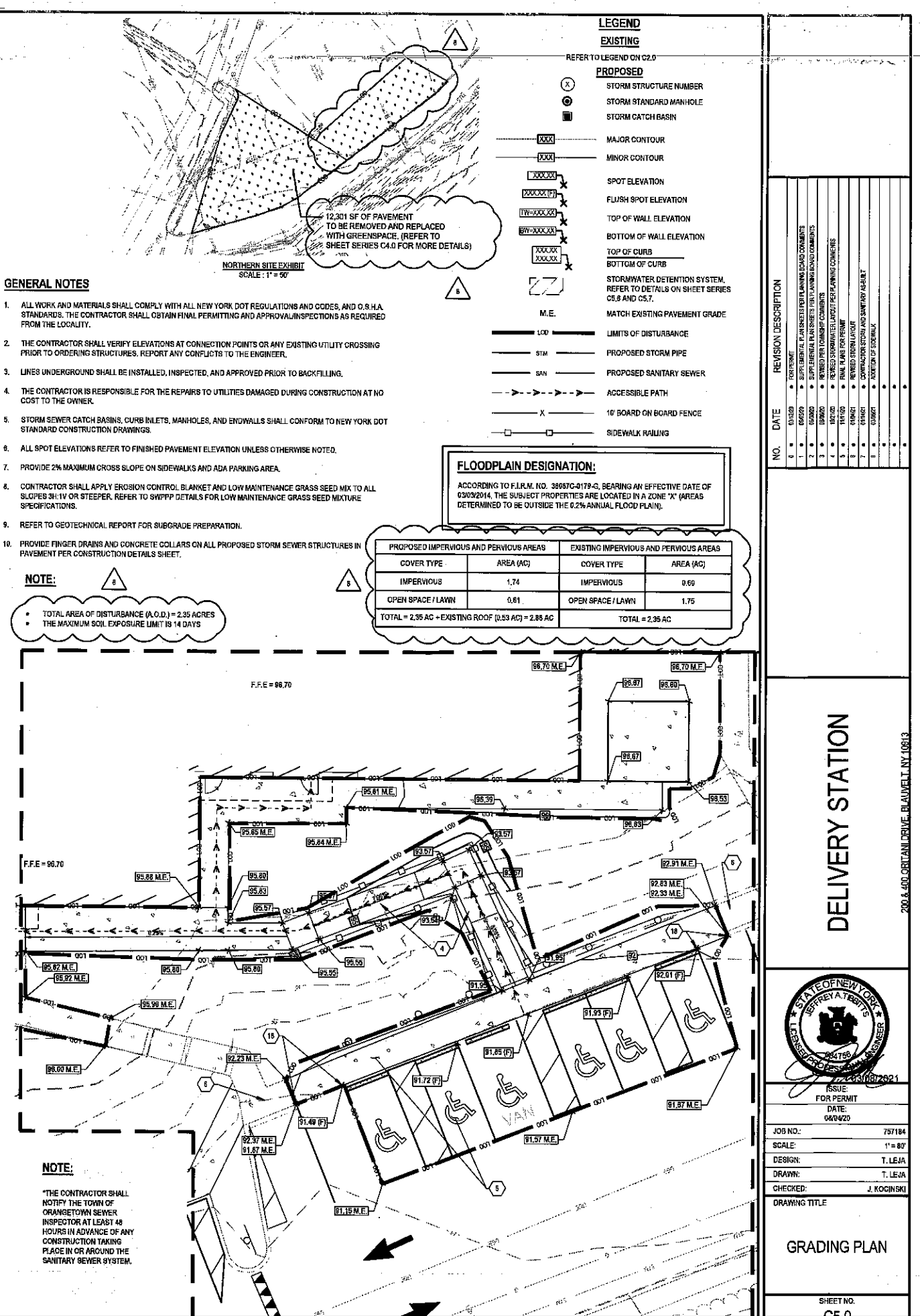
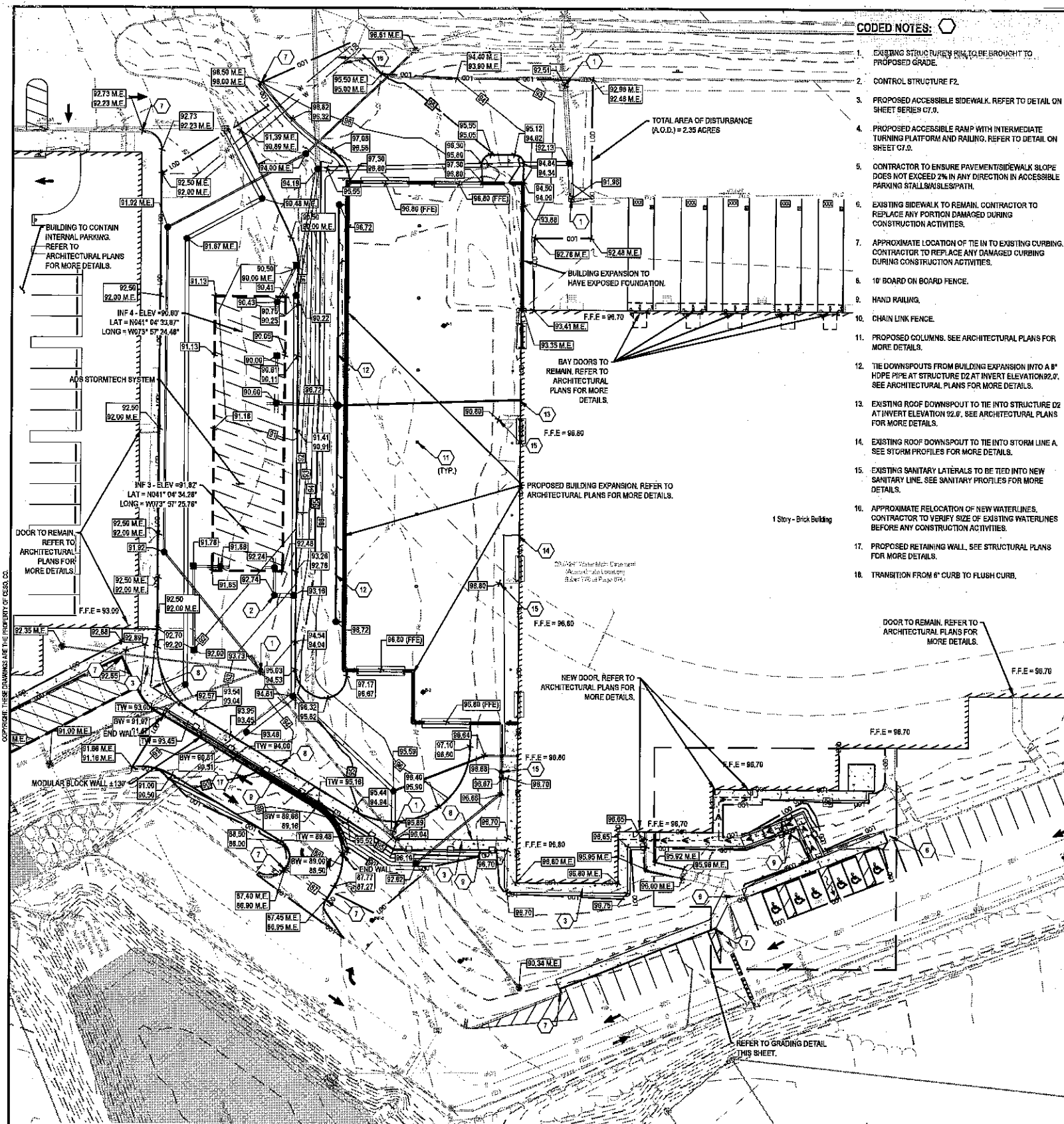


ISSUE FOR PERMIT  
 DATE: 08/04/20  
 JOB NO.: 757184  
 SCALE: 1" = 30'  
 DESIGN: T. LEAR  
 DRAWN: S. BAILEY  
 CHECKED: J. KOCINSKI

**SITE PLAN - NORTH**

SHEET NO. 04





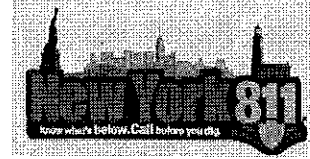
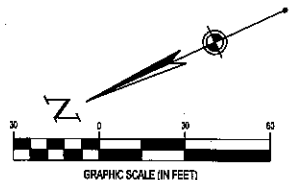
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2	04/04/2014	REVISION FOR COMMENTS
3	04/04/2014	REVISION FOR COMMENTS
4	04/04/2014	REVISION FOR COMMENTS
5	04/04/2014	REVISION FOR COMMENTS
6	04/04/2014	REVISION FOR COMMENTS
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8	04/04/2014	REVISION FOR COMMENTS
9	04/04/2014	REVISION FOR COMMENTS
10	04/04/2014	REVISION FOR COMMENTS
11	04/04/2014	REVISION FOR COMMENTS
12	04/04/2014	REVISION FOR COMMENTS
13	04/04/2014	REVISION FOR COMMENTS
14	04/04/2014	REVISION FOR COMMENTS
15	04/04/2014	REVISION FOR COMMENTS
16	04/04/2014	REVISION FOR COMMENTS
17	04/04/2014	REVISION FOR COMMENTS
18	04/04/2014	REVISION FOR COMMENTS
19	04/04/2014	REVISION FOR COMMENTS
20	04/04/2014	REVISION FOR COMMENTS

**ISSUE FOR PERMIT**  
 DATE: 04/04/2014

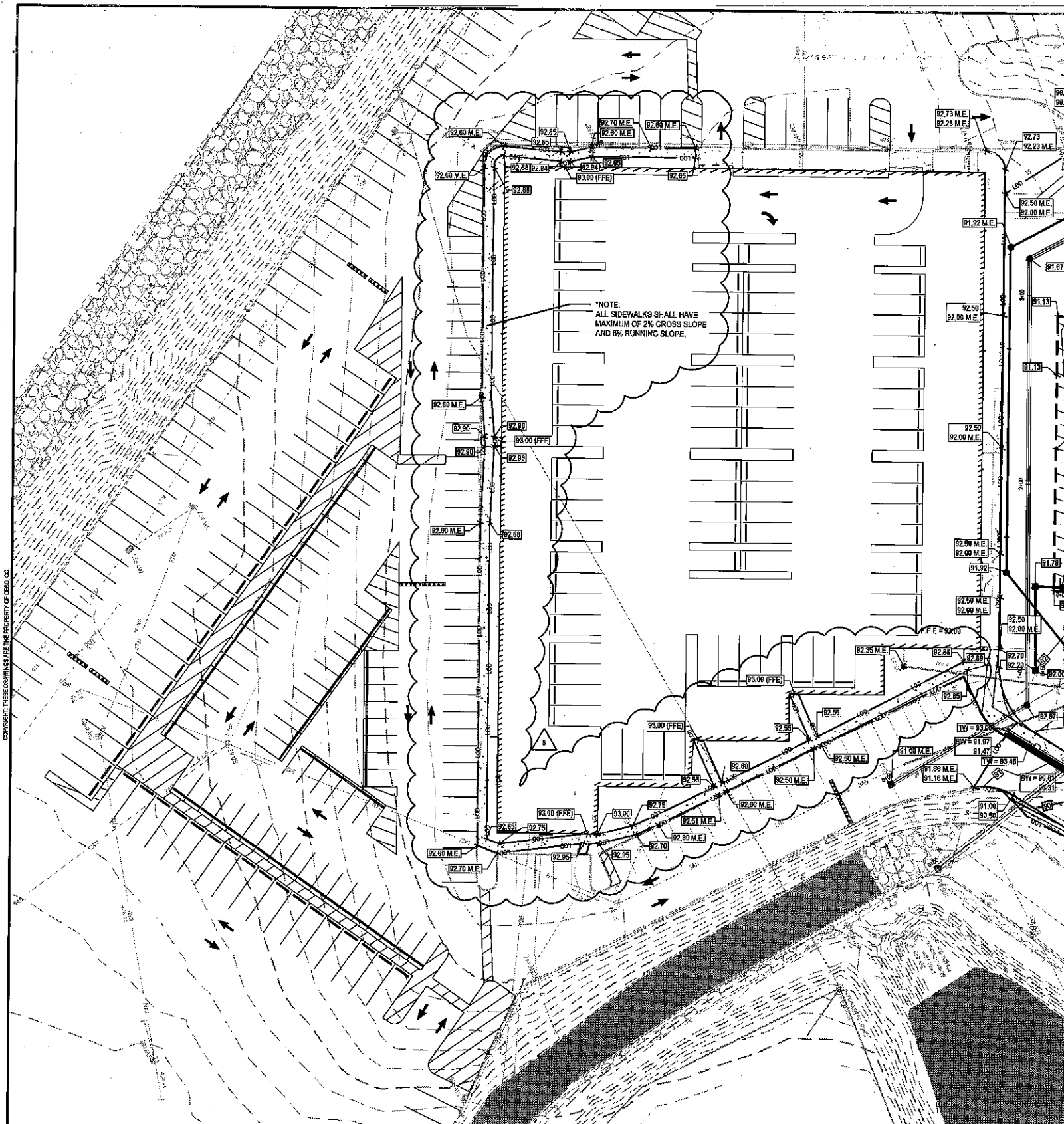
JOB NO.: 797184  
 SCALE: 1" = 80'  
 DESIGN: T. LEJA  
 DRAWN: T. LEJA  
 CHECKED: J. KOSINSKI  
 DRAWING TITLE: GRADING PLAN

SHEET NO. C5.0

200 S. 400 CORTLAND DRIVE, ELIZAVILLE, NY 10813



FORTY-EIGHT (48) HOURS BEFORE DIGGING IS TO COMMENCE, THE CONTRACTORS SHALL NOTIFY THE FOLLOWING AGENCIES: NEWYORK 811 AND ALL OTHER AGENCIES WHICH MIGHT HAVE UNDERGROUND UTILITIES INVOLVING THIS PROJECT AND ARE NONMEMBERS OF NEWYORK 811 CALL.



**GENERAL NOTES**

1. ALL WORK AND MATERIALS SHALL COMPLY WITH ALL NEW YORK DOT REGULATIONS AND CODES, AND O.S.H.A. STANDARDS. THE CONTRACTOR SHALL OBTAIN FINAL PERMITTING AND APPROVAL/INSPECTIONS AS REQUIRED FROM THE LOCALITY.
2. THE CONTRACTOR SHALL VERIFY ELEVATIONS AT CONNECTION POINTS OR ANY EXISTING UTILITY CROSSING PRIOR TO ORDERING STRUCTURES. REPORT ANY CONFLICTS TO THE ENGINEER.
3. LINES UNDERGROUND SHALL BE INSTALLED, INSPECTED, AND APPROVED PRIOR TO BACKFILLING.
4. THE CONTRACTOR IS RESPONSIBLE FOR THE REPAIRS TO UTILITIES DAMAGED DURING CONSTRUCTION AT NO COST TO THE OWNER.
5. STORM SEWER CATCH BASINS, CURB INLETS, MANHOLES, AND ENDWALLS SHALL CONFORM TO NEW YORK DOT STANDARD CONSTRUCTION DRAWINGS.
6. ALL SPOT ELEVATIONS REFER TO FINISHED PAVEMENT ELEVATION UNLESS OTHERWISE NOTED.
7. PROVIDE 2% MAXIMUM CROSS SLOPE ON SIDEWALKS AND ADA PARKING AREA.
8. CONTRACTOR SHALL APPLY EROSION CONTROL BLANKET AND LOW MAINTENANCE GRASS SEED MIX TO ALL SLOPES 3H:1V OR STEEPER. REFER TO SWPPP DETAILS FOR LOW MAINTENANCE GRASS SEED MIXTURE SPECIFICATIONS.
9. REFER TO GEOTECHNICAL REPORT FOR SUBGRADE PREPARATION.
10. PROVIDE FINGER DRAINS AND CONCRETE COLLARS ON ALL PROPOSED STORM SEWER STRUCTURES IN PAVEMENT PER CONSTRUCTION DETAILS SHEET.

**NOTE:**

- TOTAL AREA OF DISTURBANCE (A.O.D.) = 2.35 ACRES
- THE MAXIMUM SOIL EXPOSURE LIMIT IS 14 DAYS

**LEGEND**

- EXISTING**  
REFER TO LEGEND ON C2.0
- PROPOSED**
- ⊗ STORM STRUCTURE NUMBER
  - ⊙ STORM STANDARD MANHOLE
  - STORM CATCH BASIN
  - MAJOR CONTOUR
  - MINOR CONTOUR
  - ⊗ SPOT ELEVATION
  - ⊗ FLUSH SPOT ELEVATION
  - ⊗ TOP OF WALL ELEVATION
  - ⊗ BOTTOM OF WALL ELEVATION
  - ⊗ TOP OF CURB
  - ⊗ BOTTOM OF CURB
  - ZZ STORMWATER DETENTION SYSTEM. REFER TO DETAILS ON SHEET SERIES C5.6 AND C5.7.
  - M.E. MATCH EXISTING PAVEMENT GRADE
  - LOG --- LIMITS OF DISTURBANCE
  - STM --- PROPOSED STORM PIPE
  - SAN --- PROPOSED SANITARY SEWER
  - ACCESSIBLE PATH
  - X 10' BOARD ON BOARD FENCE
  - SIDEWALK RAILING

**FLOODPLAIN DESIGNATION:**

ACCORDING TO F.I.R.M. NO. 36087C-0179-G, BEARING AN EFFECTIVE DATE OF 03/03/2014, THE SUBJECT PROPERTIES ARE LOCATED IN A ZONE "X" (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL FLOOD PLAIN).

PROPOSED IMPERVIOUS AND PERVIOUS AREAS		EXISTING IMPERVIOUS AND PERVIOUS AREAS	
COVER TYPE	AREA (AC)	COVER TYPE	AREA (AC)
IMPERVIOUS	1.74	IMPERVIOUS	0.60
OPEN SPACE / LAWN	0.61	OPEN SPACE / LAWN	1.75
TOTAL = 2.35 AC + EXISTING ROOF (0.53 AC) = 2.88 AC		TOTAL = 2.35 AC	

NO.	DATE	REVISION DESCRIPTION
1	04/04/20	ISSUE FOR PERMIT

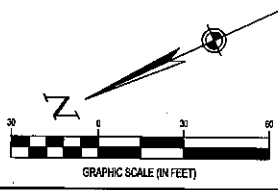
DELIVERY STATION



ISSUE FOR PERMIT  
DATE: 04/04/20  
JOB NO.: 757184  
SCALE: 1" = 80'  
DESIGN: T. LEJA  
DRAWN: T. LEJA  
CHECKED: J. KOCINSKI

GRADING PLAN

SHEET NO. C5.0A



FORTY-EIGHT (48) HOURS BEFORE DIGGING IS TO COMMENCE, THE CONTRACTOR SHALL NOTIFY THE FOLLOWING AGENCIES: NEW YORK 811 AND ALL OTHER AGENCIES WHICH MIGHT HAVE UNDERGROUND UTILITIES INVOLVING THIS PROJECT AND ARE NONMEMBERS OF NEW YORK 811 CALL.

BENCHMARK			
	DESCRIPTION	ELEVATION	NORTHING/EASTING
BM 1	1" PIPE	93.58 FT	816832.73 N, 841443.82 E
BM 2	5/8" REBAR	71.22 FT	816739.46 N, 841528.58 E

ELEVATIONS ESTABLISHED WITH GPS STATIC OBSERVATIONS UTILIZING ONLINE POSITIONING USER SERVICE (OPUS) FOR POST PROCESSING. (NAVD 1985 DATUM)

**SURVEY (DATED 10/31/2019) BY:**  
BLEW & ASSOCIATES, PA  
3825 N. SHILOH DRIVE  
FAYETTEVILLE, AR 72703  
PHONE: (479) 582-1883  
CONTACT: PAXTON SINGLETON

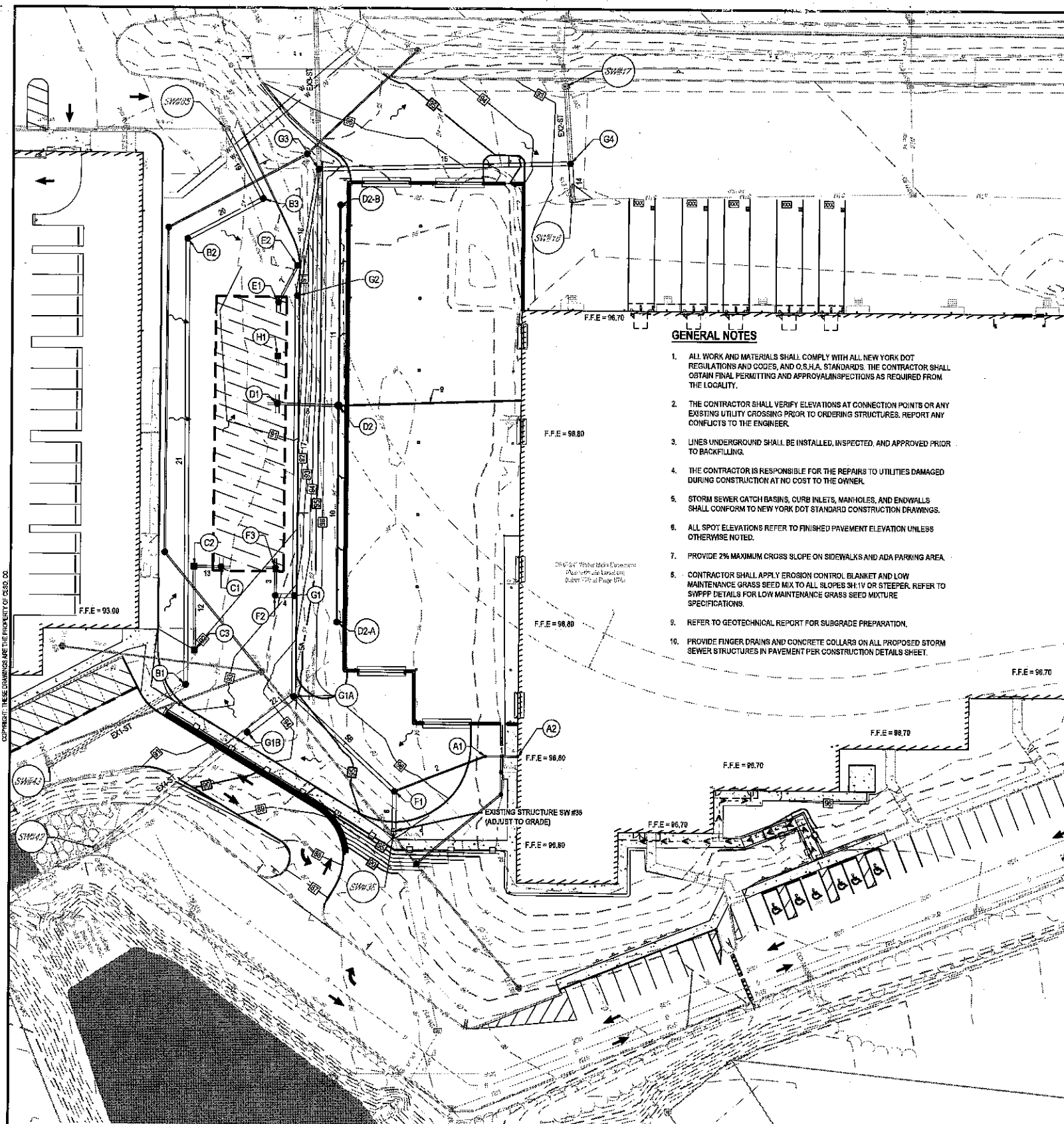
CEISO PROVIDES NO GUARANTEE TO THE ACCURACY OF THE SURVEY PROVIDED BY BLEW & ASSOCIATES, PA. CONTRACTOR TO VERIFY EXISTING CONDITIONS PRIOR TO BID AND CONSTRUCTION.

**NOTE:**

THE CONTRACTOR SHALL NOTIFY THE TOWN OF ORANGETOWN SEWER INSPECTOR AT LEAST 48 HOURS IN ADVANCE OF ANY CONSTRUCTION TAKING PLACE IN OR AROUND THE SANITARY SEWER SYSTEM.

CONTRACTOR: THESE DRAWINGS ARE THE PROPERTY OF CESO, INC.

REFER TO CONSTRUCTION DETAILS ON SHEET SERIES C7.0



**GENERAL NOTES**

1. ALL WORK AND MATERIALS SHALL COMPLY WITH ALL NEW YORK DOT REGULATIONS AND CODES, AND O.S.H.A. STANDARDS. THE CONTRACTOR SHALL OBTAIN FINAL PERMITTING AND APPROVALS/INSPECTIONS AS REQUIRED FROM THE LOCALITY.
2. THE CONTRACTOR SHALL VERIFY ELEVATIONS AT CONNECTION POINTS OR ANY EXISTING UTILITY CROSSING PRIOR TO ORDERING STRUCTURES. REPORT ANY CONFLICTS TO THE ENGINEER.
3. LINES UNDERGROUND SHALL BE INSTALLED, INSPECTED, AND APPROVED PRIOR TO BACKFILLING.
4. THE CONTRACTOR IS RESPONSIBLE FOR THE REPAIRS TO UTILITIES DAMAGED DURING CONSTRUCTION AT NO COST TO THE OWNER.
5. STORM SEWER CATCH BASINS, CURB INLETS, MANHOLES, AND ENDWALLS SHALL CONFORM TO NEW YORK DOT STANDARD CONSTRUCTION DRAWINGS.
6. ALL SPOT ELEVATIONS REFER TO FINISHED PAVEMENT ELEVATION UNLESS OTHERWISE NOTED.
7. PROVIDE 2% MAXIMUM CROSS SLOPE ON SIDEWALKS AND ADA PARKING AREA.
8. CONTRACTOR SHALL APPLY EROSION CONTROL BLANKET AND LOW MAINTENANCE GRASS SEED MIX TO ALL SLOPES 3H:1V OR STEEPER. REFER TO SW#FF DETAILS FOR LOW MAINTENANCE GRASS SEED MIXTURE SPECIFICATIONS.
9. REFER TO GEOTECHNICAL REPORT FOR SUBGRADE PREPARATION.
10. PROVIDE FINGER DRAINS AND CONCRETE COLLARS ON ALL PROPOSED STORM SEWER STRUCTURES IN PAVEMENT PER CONSTRUCTION DETAILS SHEET.

**LEGEND**

- EXISTING**
- STORM STRUCTURE NUMBER
  - STORM STANDARD MANHOLE
  - STORM CATCH BASIN
  - STORM CLEANOUT
  - MAJOR CONTOUR
  - MINOR CONTOUR
- PROPOSED**
- STORM STRUCTURE NUMBER
  - STORM STANDARD MANHOLE
  - STORM CATCH BASIN
  - STORM CLEANOUT
  - MAJOR CONTOUR
  - MINOR CONTOUR
  - ▨ STORMWATER DETENTION SYSTEM
- REFER TO LEGEND ON C2.0  
REFER TO DETAILS ON SHEETS C5.6 THROUGH C5.7  
FLOW ARROWS

**FLOODPLAIN DESIGNATION:**

ACCORDING TO F.I.R.M. NO. 090702-012-C, BEHAVIORAL EFFECTIVE DATE OF 03/03/2014, THE SUBJECT PROPERTIES ARE LOCATED IN A ZONE "X" (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL FLOOD PLAIN).

NOTE:  
\* REFER TO SHEET C5.3-C5.4 FOR STORM PROFILES.  
\* REFER TO SURVEY FOR EXISTING STRUCTURE RIM AND INVERT ELEVATIONS.

**STORM SEWER SCHEDULES**

NO.	STRUCTURE	RIM	INVERT
A1	8" CO	96.64	92.45 (8') SW 92.46 (8') N
A2	8" CO	96.80	92.90 (8') NE
B1	48" MH W/ CLOSED GRATE	92.57	81.57 (24') SE 81.37 (24') N
B2	48" MH W/ CLOSED GRATE	91.67	83.27 (24') S 83.07 (24') NW
B3	48" MH W/ CLOSED GRATE	90.48	84.50 (24') E 83.75 (24') N
C1	48" MH W/ CLOSED GRATE	91.79	86.30 (12') NE 84.10 (24') SE 86.30 (12') SW
C2	48" MH W/ INLET GRATE AND 2' SUMP & SNOUT	91.78	86.78 (12') NW 86.78 (12') SW
C3	2X2 CB	92.00	87.00 (12') SE
D1	48" MH W/ CLOSED GRATE	90.60	86.05 (12') SW 89.40 (12') NE 84.10 (24') NW 84.10 (24') SE
D2	48" MH W/ 2' SUMP & SNOUT	96.72	90.10 (8') SE 90.10 (8') NW 98.10 (8') SW 89.00 (12') NE
D2-A	8" CO	96.72	92.80 (8') SE
D2-B	8" CO	96.72	92.80 (8') NW
E1	48" MH W/ CLOSED GRATE	90.43	85.10 (12') SE 84.10 (24') NW
E2	48" MH W/ INLET GRATE AND 2' SUMP & SNOUT	89.91	85.50 (12') NW
F1	48" MH W/ CLOSED GRATE	95.59	89.89 (8') S 81.57 (24') E 81.57 (24') NW

NO.	STRUCTURE	RIM	INVERT
F2	48" MH W/ CLOSED GRATE AND WEIR WALL	92.74	84.00 (12') SE 83.10 (24') SW
F3	48" MH W/ CLOSED GRATE AND 2' SUMP	92.24	84.00 (12') NW 84.05 (12') NE 84.00 (12') SE
G1	48" MH W/ CLOSED GRATE	93.16	82.41 (24') SE 82.50 (24') NE 82.41 (24') NW
G1A	48" MH	94.81	82.15 (24') SE 81.80 (24') W 82.41 (24') NW
G1B	DOGHOUSE MH	93.57	81.75 (36') S 78.48 (36') N
G2	48" MH W/ CLOSED GRATE	90.22	83.21 (24') SE 83.21 (24') NW
G3	48" MH W/ CLOSED GRATE	94.34	83.51 (24') SW 90.48 (24') SE 83.51 (24') NW
G4	48" MH W/ CLOSED GRATE	92.13	85.49 (24') W 85.49 (24') E 85.49 (24') NE
H1	48" MH W/ INLET GRATE AND 2' SUMP & SNOUT	90.00	86.10 (12') NW
SW#16	EXISTING STRUCTURE	91.95	85.94 (24') E
SW#17	EXISTING STRUCTURE	92.82	86.76 (24') W
SW#24	EXISTING STRUCTURE	97.58	91.30 (24') NW
SW#38	EXISTING STRUCTURE	95.86	81.91 (24') SE
SW#42	EXISTING STRUCTURE	84.47	71.67 (36') S
SW#43	EXISTING STRUCTURE	90.37	78.59 (24') S

PIPE NAME	STRUCTURES	DIAMETER	LENGTH	SLOPE
EX4-ST	START: G1B END: SW#42	36"	100.00'	4.78%
F2-ADS	START: F3 END: E1	12"	5.00'	0.00%
F1-ADS	START: F3 END: D1	12"	5.00'	-1.20%
C2-ADS	START: C1 END: D2	12"	5.00'	2.00%
D3-ADS	START: D1 END: D2	24"	5.00'	0.60%
D2-ADS	START: D1 END: D2	24"	5.00'	0.00%
E1-ADS	START: E1 END: C2	24"	5.00'	0.00%
H1-ADS	START: H1 END: C1	12"	5.00'	0.00%
D1-ADS	START: D1 END: G4	12"	5.00'	0.00%
C1-ADS	START: C1 END: G3	24"	5.00'	0.60%
EX1-ST	START: SW#43 END: B1	24"	82.95'	3.35%
EX2-ST	START: SW#17 END: G4	24"	41.25'	3.08%
EX3-ST	START: SW#24 END: G3	24"	95.72'	0.85%
1	START: A2 END: A1	8"	17.15'	2.00%
2	START: A1 END: F1	8"	51.33'	5.00%
3	START: F3 END: F2	12"	14.70'	0.90%
4	START: F2 END: G1	24"	10.13'	5.92%
5A	START: G1A END: G1	24"	93.43'	0.48%
5B	START: F1 END: G1A	24"	72.92'	0.32%

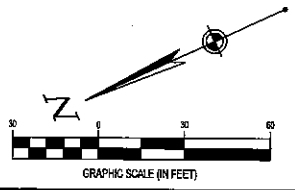
PIPE NAME	STRUCTURES	DIAMETER	LENGTH	SLOPE
6	START: F1 END: SW#38	24"	21.18'	0.28%
7	START: E2 END: E1	12"	22.07'	1.61%
8	START: D1 END: D2	12"	32.21'	7.30%
9	START: D2 END: D2	8"	96.32'	2.60%
10	START: D2-A END: D2	8"	114.75'	2.95%
11	START: D2-B END: D2	8"	106.52'	2.53%
12	START: C3 END: C2	12"	44.33'	0.50%
13	START: C2 END: C1	12"	14.24'	3.37%
14	START: SW#16 END: G4	24"	15.87'	2.36%
15	START: G4 END: G3	24"	132.82'	1.49%
16	START: G3 END: G2	24"	95.00'	0.44%
17	START: G1 END: G2	24"	159.12'	0.50%
19	START: SW#38 END: B3	24"	42.15'	0.97%
20	START: B3 END: B2	24"	44.67'	1.07%
21	START: B2 END: B1	24"	238.59'	0.63%
22	START: G1A END: G1B	36"	30.70'	2.15%

BENCHMARK			
	DESCRIPTION	ELEVATION	NORTHING/EASTING
BM 1	1" PIPE	93.56 FT	818832.73 N, 841443.92 E
BM 2	5/8" REBAR	71.22 FT	818798.46 N, 841528.89 E

**SURVEY (DATED 10/31/2019) BY:**  
BLEW & ASSOCIATES, PA  
2625 N. SHILOH DRIVE  
FAYETTEVILLE, AR 72703  
PHONE: (479) 582-1883  
CONTACT: PAXTON SINGLETON

CEISO PROVIDES NO GUARANTEE TO THE ACCURACY OF THE SURVEY PROVIDED BY BLEW & ASSOCIATES, PA. CONTRACTOR TO VERIFY EXISTING CONDITIONS PRIOR TO BID AND CONSTRUCTION.

ELEVATIONS ESTABLISHED WITH GPS STATIC OBSERVATIONS UTILIZING ONLINE POSITIONING USER SERVICE (OPUS) FOR POST PROCESSING. (NAVD 1988 DATUM)

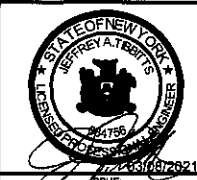


REFER TO CONSTRUCTION DETAILS ON SHEET SERIES C7.0

Forty-eight (48) hours before digging is to commence, the contractor shall notify the following agencies: NEW YORK 811 and all other agencies which might have underground utilities involving this project and are nonmembers of NEW YORK 811 CALL.

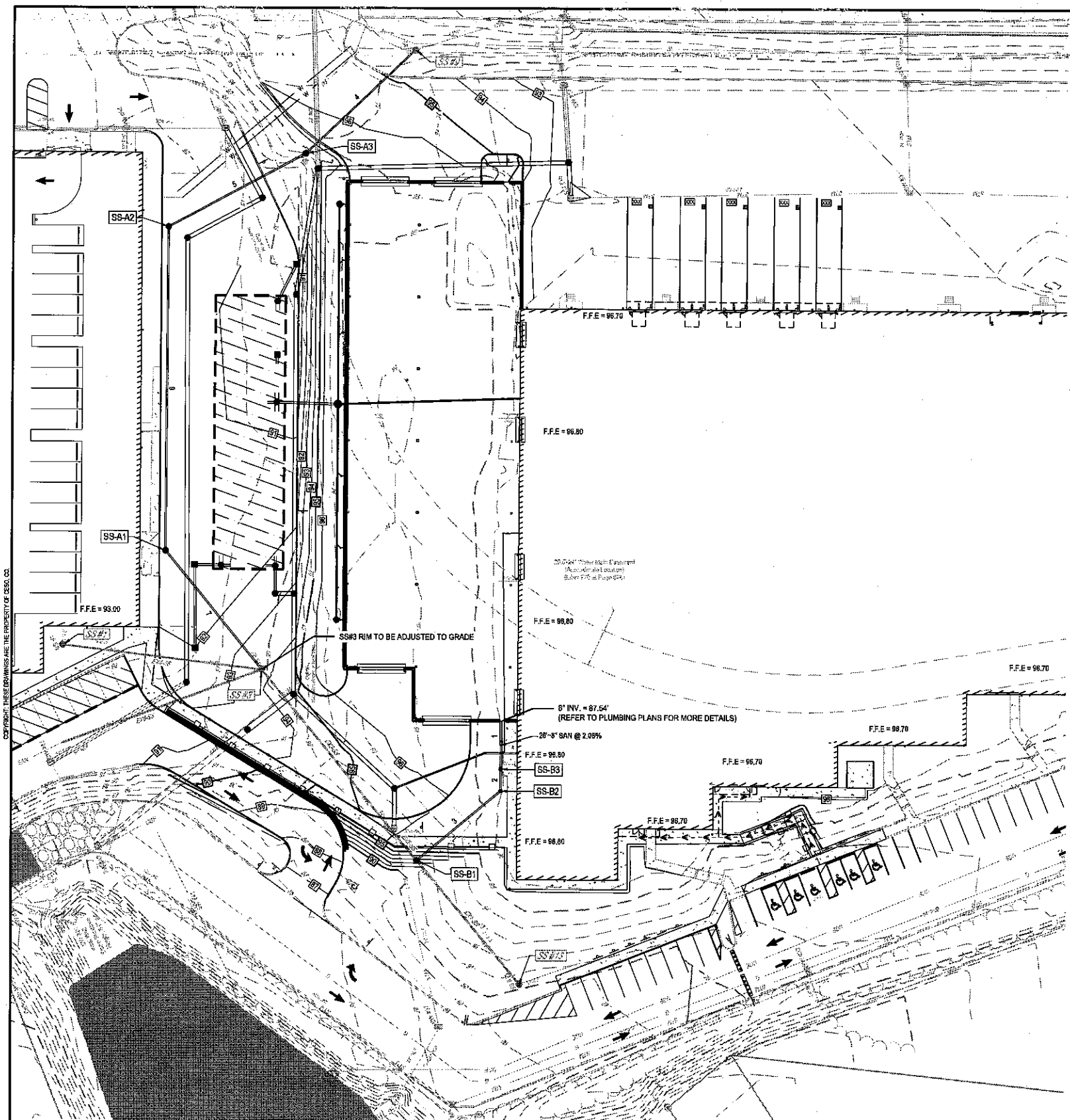
NO.	DATE	REVISION DESCRIPTION
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2	11/05/2019	ISSUE PERMIT
3	11/05/2019	ISSUE PERMIT
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5	11/05/2019	ISSUE PERMIT
6	11/05/2019	ISSUE PERMIT
7	11/05/2019	ISSUE PERMIT
8	11/05/2019	ISSUE PERMIT
9	11/05/2019	ISSUE PERMIT

**DELIVERY STATION**



ISSUE FOR PERMIT  
DATE: 08/04/20  
JOB NO.: 757164  
SCALE: 1" = 30'  
DESIGN: T. LEJA  
DRAWN: T. LEJA  
CHECKED: J. KOCINSKI  
DRAWING TITLE

**UTILITY PLAN - STORM**



**LEGEND**

**EXISTING**

REFER TO LEGEND ON C2.0

**PROPOSED**

- SS-XX SANITARY STRUCTURE NUMBER
- SANITARY STANDARD MANHOLE
- SANITARY CLEANOUT
- MAJOR CONTOUR
- MINOR CONTOUR
- ▨ STORMWATER DETENTION SYSTEM. REFER TO DETAILS ON SHEET SERIES C5.6 AND C5.7.

**SANITARY SEWER SCHEDULES**

SANITARY SEWER STRUCTURE SCHEDULE				SANITARY SEWER PIPE TABLE			
NO.	STRUCTURE	RIM	INVERT	PIPE NAME	DIAMETER	LENGTH	SLOPE
SS-A1	48" MH	92.00	81.40 (S) SE - 8	1	8"	25'	2.08%
			81.40 (S) W - 7	2	8"	12'	2.08%
SS-A2	48" MH	91.92	82.82 (S) S - 5	3	8"	58'	24.24%
			82.82 (S) NW - 6	4	8"	80'	1.10%
SS-A3	48" MH	94.42	83.12 (S) S - 4	5	8"	82'	0.91%
			83.12 (S) N - 5	6	8"	172'	0.71%
SS-B1	48" DOGHOUSE MH	94.00	72.20 (S) W - EX1-SS	7	8"	51'	11.90%
			72.20 (S) E - EX2-SS	EX1-SS	8"	95'	0.78%
SS-B2	8" CO	98.65	86.78 (S) SE - 2	EX2-SS	8"	19'	0.78%
			86.78 (S) N - 3	EX3-SS	8"	111'	0.78%
SS-B3	8" CO	96.70	87.02 (S) SE - 1	EX4-SS	8"	169'	2.53%
			87.02 (S) NW - 2	EX5-SS	8"	112'	0.28%
SS #1	EXISTING MH	93.22	86.80 (S) SW - EX4-SS				
SS #3	EXISTING MH W/ PROPOSED DROP	93.76	71.18 (S) W - EX3-SS				
			83.83 (S) NE - EX4-SS				
			71.88 (S) E - 1				
70.82 (S) N - EX5-SS							
SS #9	EXISTING MH	97.09	84.00 (S) N - 4				
SS #13	EXISTING MH	90.17	72.87 (S) E - EX1-SS				

NOTE:  
 \* REFER TO SHEET C5.5 FOR SANITARY PROFILES.  
 \* REFER TO SURVEY FOR EXISTING STRUCTURE RIM AND INVERT ELEVATIONS.

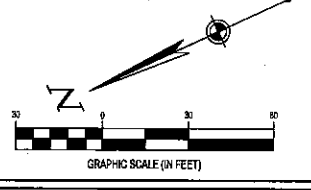
NOTE:  
 \*THE CONTRACTOR SHALL NOTIFY THE TOWN OF ORANGETOWN SEWER INSPECTOR AT LEAST 48 HOURS IN ADVANCE OF ANY CONSTRUCTION TAKING PLACE IN OR AROUND THE SANITARY SEWER SYSTEM.

**FLOODPLAIN DESIGNATION:**  
 ACCORDING TO F.I.R.M. NO. 38047C-4179-G, BEARING AN EFFECTIVE DATE OF 03/03/2014, THE SUBJECT PROPERTIES ARE LOCATED IN A ZONE "X" (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL FLOOD PLAIN).

BENCHMARK			
	DESCRIPTION	ELEVATION	NORTHING/EASTING
BM 1	1" PIPE	93.58 FT	816832.73 N, 841443.82 E
BM 2	5/8" REBAR	71.22 FT	818738.45 N, 841528.88 E

ELEVATIONS ESTABLISHED WITH GPS STATIC OBSERVATIONS UTILIZING ONLINE POSITIONING USER SERVICE (OPUS) FOR POST PROCESSING. (NAVD 1988 DATUM)

**SURVEY (DATED 10/31/2019) BY:**  
 BLEW & ASSOCIATES, PA  
 3825 N. SHILOH DRIVE  
 FAYETTEVILLE, AR 72703  
 PHONE: (479) 582-1883  
 CONTACT: PAXTON SINGLETON  
 CSDO PROVIDES NO GUARANTEE TO THE ACCURACY OF THE SURVEY PROVIDED BY BLEW & ASSOCIATES, PA. CONTRACTOR TO VERIFY EXISTING CONDITIONS PRIOR TO BID AND CONSTRUCTION.



FORTY-EIGHT (48) HOURS BEFORE DIGGING IS TO COMMENCE, THE CONTRACTORS SHALL NOTIFY THE FOLLOWING AGENCIES: NEW YORK 311 AND ALL OTHER AGENCIES WHICH MIGHT HAVE UNDERGROUND UTILITIES INVOLVING THIS PROJECT AND ARE NONMEMBERS OF NEW YORK 311 CALL.

REFER TO CONSTRUCTION DETAILS ON SHEET SERIES C7.0

NO.	DATE	REVISION DESCRIPTION
1		
2		
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10		

**DELIVERY STATION**

200 S. 400 BRITAIN DRIVE - BLAUVELT, NY 10813

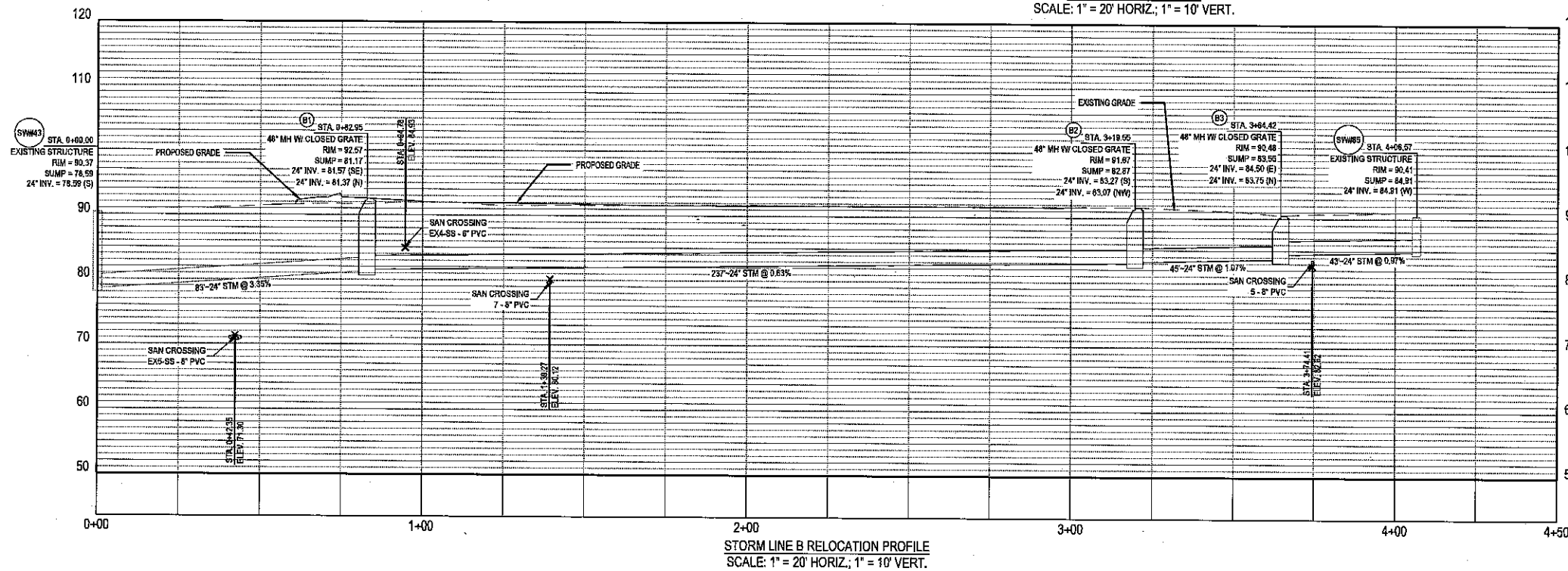
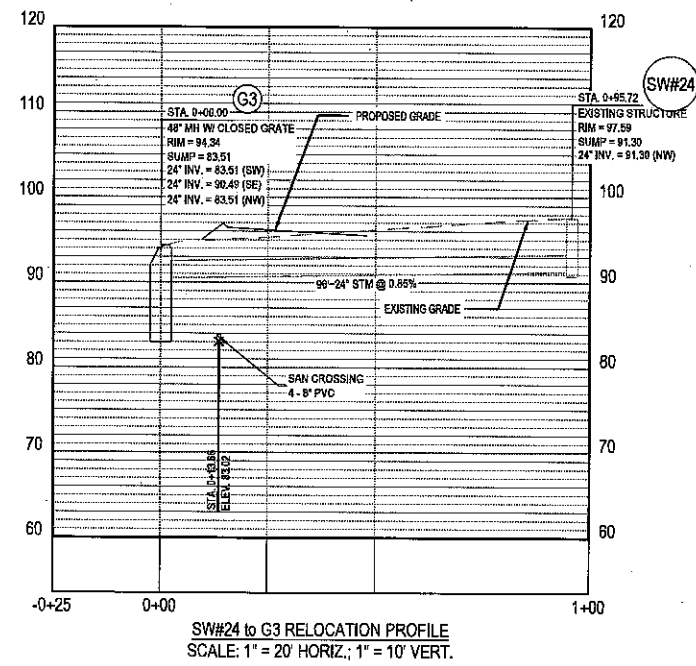
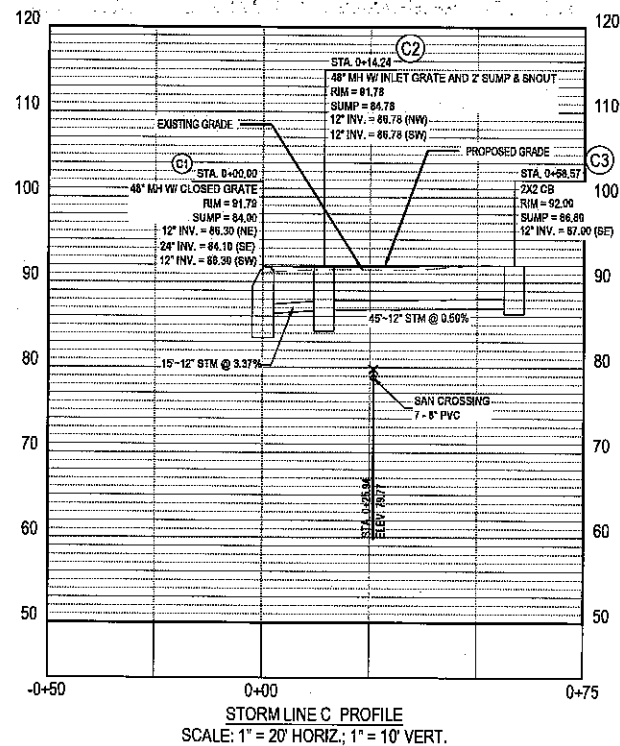
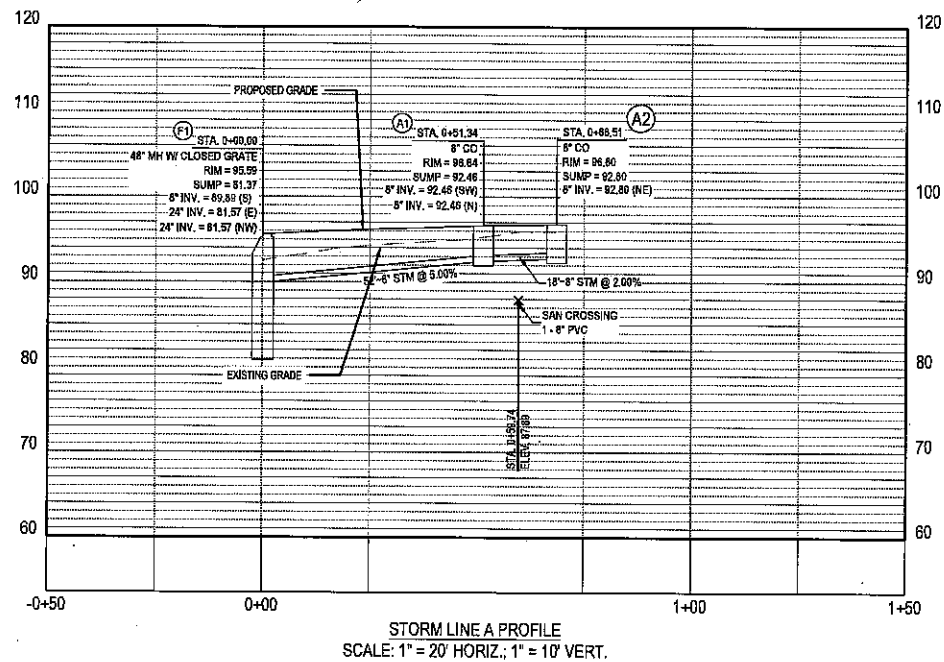


ISSUE:  
 FOR PERMIT  
 DATE: 08/04/20  
 JOB NO.: 757184  
 SCALE: 1" = 30'  
 DESIGN: T. LEJA  
 DRAWN: T. LEJA  
 CHECKED: J. KOCINSKI  
 DRAWING TITLE

**UTILITY PLAN - SANITARY & WATER**

SHEET NO. C5.2





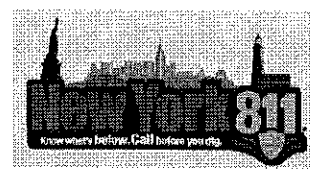
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4		REVISIONS FOR COMMENTS
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6		REVISIONS FOR COMMENTS
7		REVISIONS FOR COMMENTS
8		REVISIONS FOR COMMENTS
9		REVISIONS FOR COMMENTS
10		REVISIONS FOR COMMENTS

DELIVERY STATION



ISSUE FOR PERMIT	DATE: 09/04/20
JOB NO.:	757184
SCALE:	1" = 20'
DESIGN:	T. LEVA
DRAWN:	T. LEVA
CHECKED:	J. KOCINSKI
DRAWING TITLE:	STORM PROFILES

REFER TO CONSTRUCTION DETAILS ON SHEET SERIES C7.0



FORTY-EIGHT (48) HOURS BEFORE DIGGING IS TO COMMENCE, THE CONTRACTORS SHALL NOTIFY THE FOLLOWING AGENCIES: NEW YORK CITY 311 AND ALL OTHER AGENCIES WHICH MIGHT HAVE UNDERGROUND UTILITIES INVOLVING THIS PROJECT AND ARE MEMBERS OF NEW YORK CITY 311 CALL.

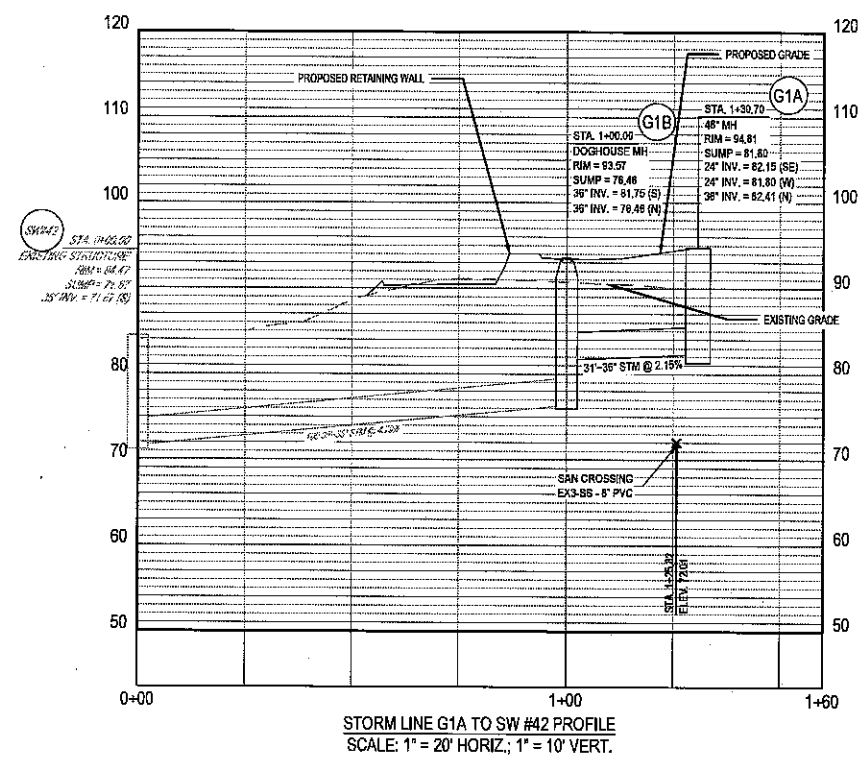
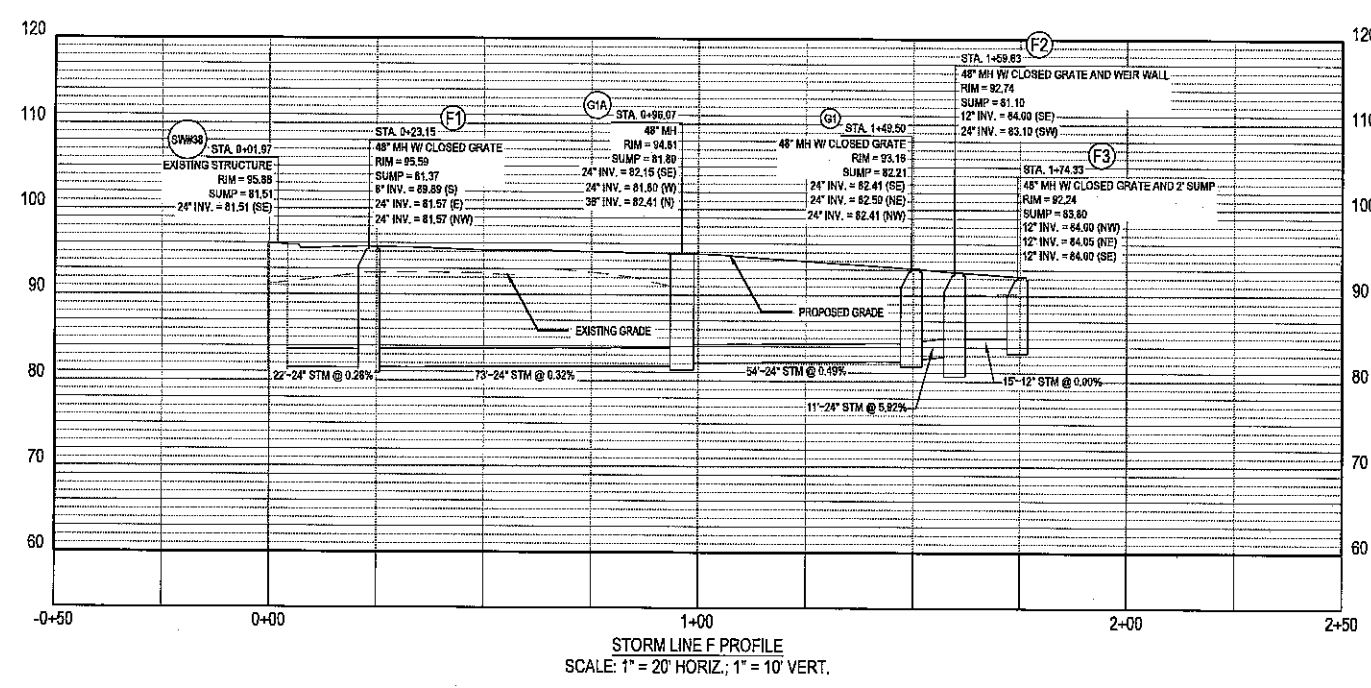
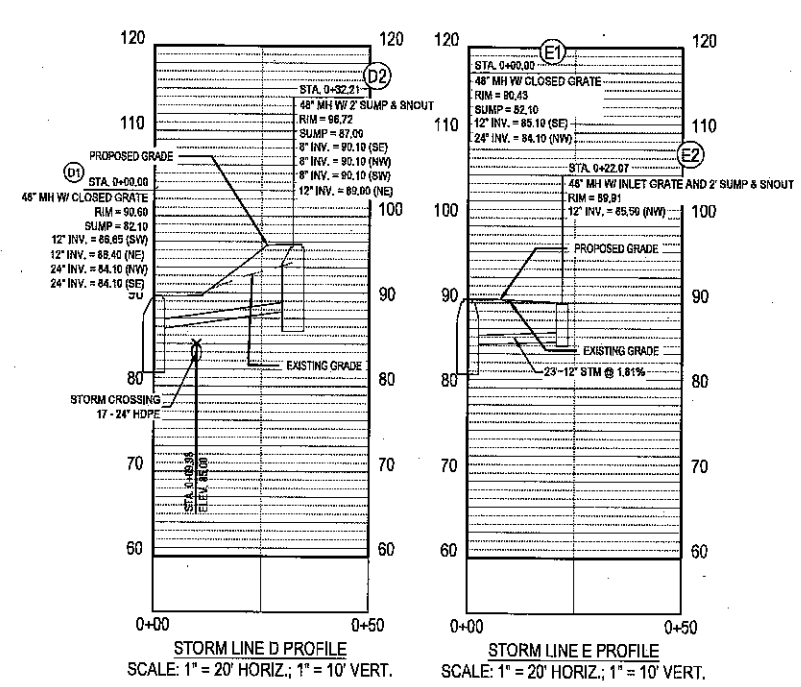
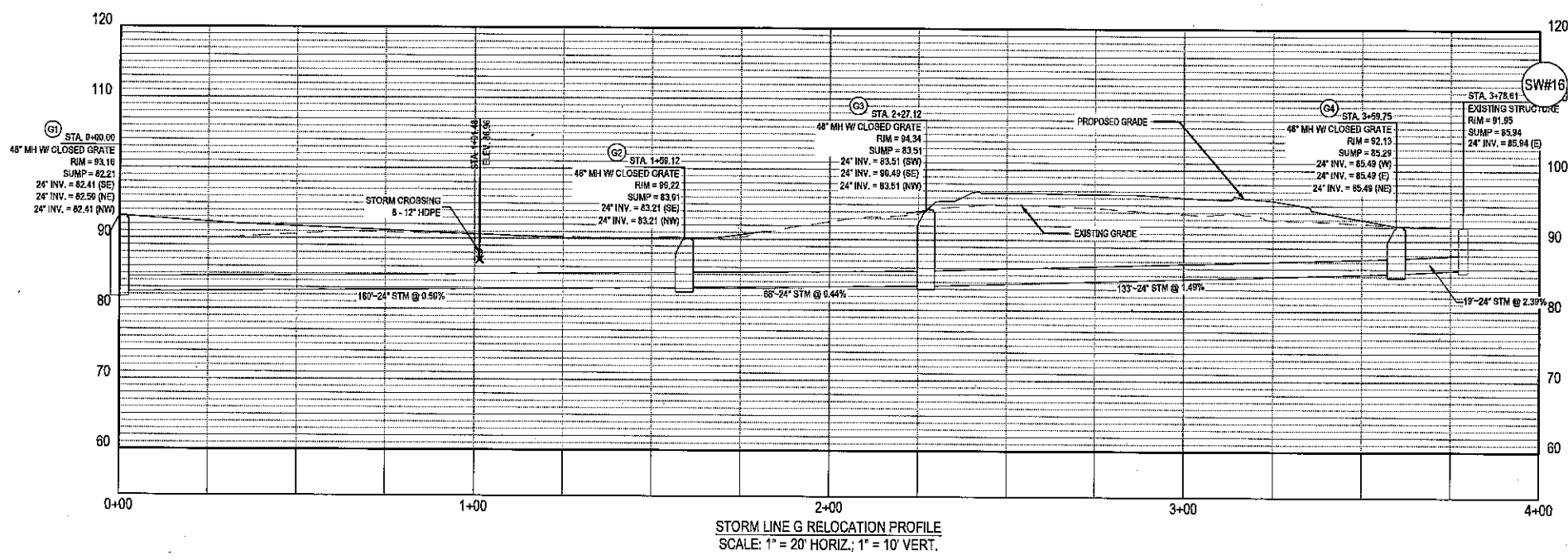
BENCHMARK			
	DESCRIPTION	ELEVATION	NORTHING/EASTING
BM 1	1" PIPE	93.58 FT	816832.73 N, 841443.92 E
BM 2	5/8" REBAR	71.22 FT	816838.46 N, 841528.88 E

ELEVATIONS ESTABLISHED WITH GPS STATIC OBSERVATIONS UTILIZING ONLINE POSITIONING USER SERVICE (OPUS) FOR POST PROCESSING. (NAVD 1988 DATUM)

**SURVEY (DATED 10/31/2019) BY:**  
BLEW & ASSOCIATES, PA  
3625 N. SHILOH DRIVE  
FAYETTEVILLE, AR 72703  
PHONE: (479) 582-1883  
CONTACT: PAXTON SINGLETON

CEISO PROVIDES NO GUARANTEE TO THE ACCURACY OF THE SURVEY PROVIDED BY BLEW & ASSOCIATES, PA. CONTRACTOR TO VERIFY EXISTING CONDITIONS PRIOR TO BID AND CONSTRUCTION.

**FLOODPLAIN DESIGNATION:**  
ACCORDING TO F.J.R.M. NO. 36687C-0178-G, BEARING AN EFFECTIVE DATE OF 03/03/2014, THE SUBJECT PROPERTIES ARE LOCATED IN A ZONE 'X' (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL FLOOD PLAIN).



NO.	DATE	REVISION DESCRIPTION
1	03/20	ISSUE FOR PERMIT
2	03/20	REVISIONS TO PERMIT COMMENTS
3	03/20	REVISIONS TO PERMIT COMMENTS
4	03/20	REVISIONS TO PERMIT COMMENTS
5	03/20	REVISIONS TO PERMIT COMMENTS
6	03/20	REVISIONS TO PERMIT COMMENTS
7	03/20	REVISIONS TO PERMIT COMMENTS
8	03/20	REVISIONS TO PERMIT COMMENTS

DELIVERY STATION



ISSUE FOR PERMIT	DATE: 03/20
JOB NO.	787184
SCALE	1" = 20'
DESIGN	T. LEJA
DRAWN	T. LEJA
CHECKED	J. KOCINSKI

STORM PROFILES

SHEET NO. CE4

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200 L. 400 CORTLAND DRIVE, BLDG. 11, NY 10913

**FLOODPLAIN DESIGNATION:**  
ACCORDING TO F.L.R.M. NO. 3907C-0178-G, BEARING AN EFFECTIVE DATE OF 03/03/2014, THE SUBJECT PROPERTIES ARE LOCATED IN A ZONE "X" (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL FLOOD PLAIN).



FORTY-EIGHT (48) HOURS BEFORE DIGGING IS TO COMMENCE, THE CONTRACTORS SHALL NOTIFY THE FOLLOWING AGENCIES: NEW YORK 811 AND ALL OTHER AGENCIES WHICH MIGHT HAVE UNDERGROUND UTILITIES INVOLVING THIS PROJECT AND ARE NONMEMBERS OF NEW YORK 811 CALL.

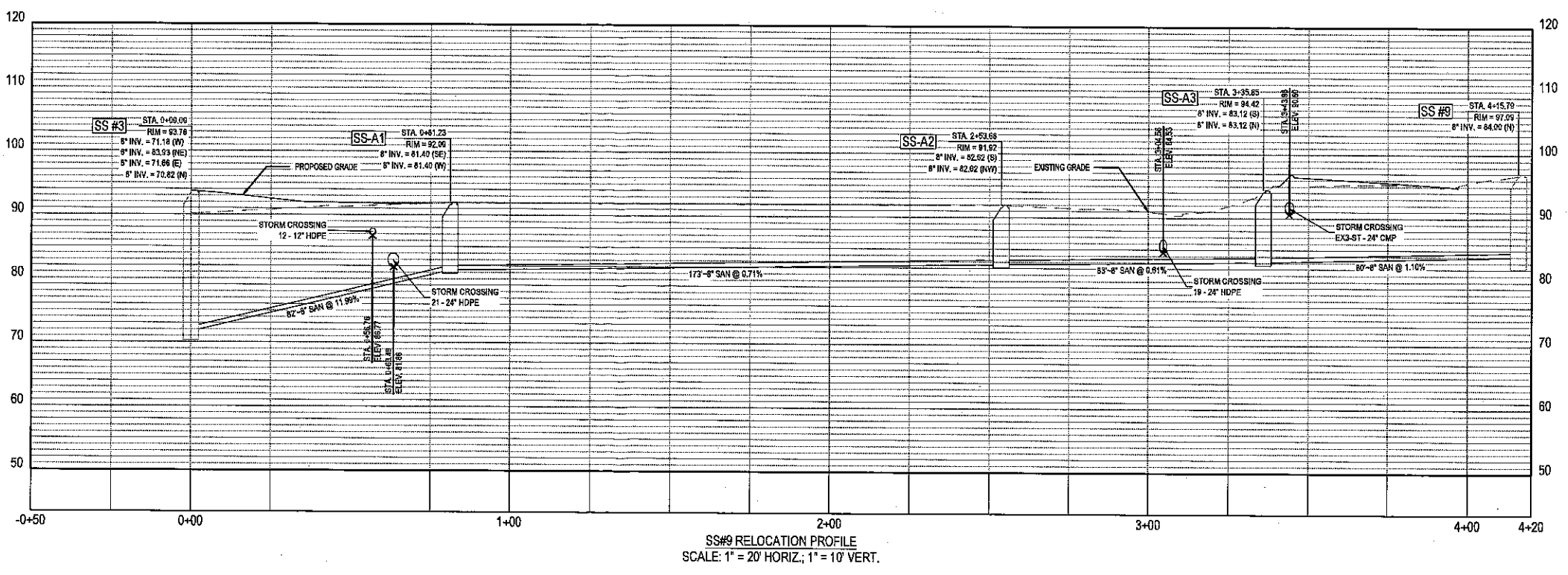
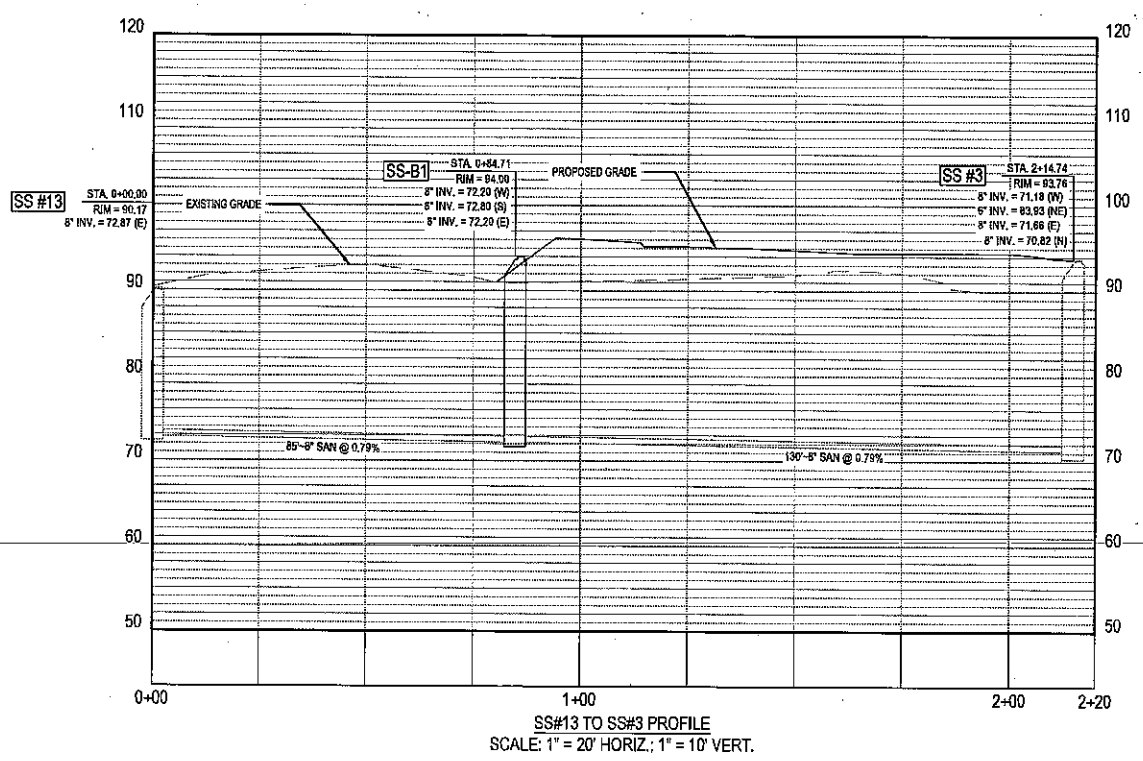
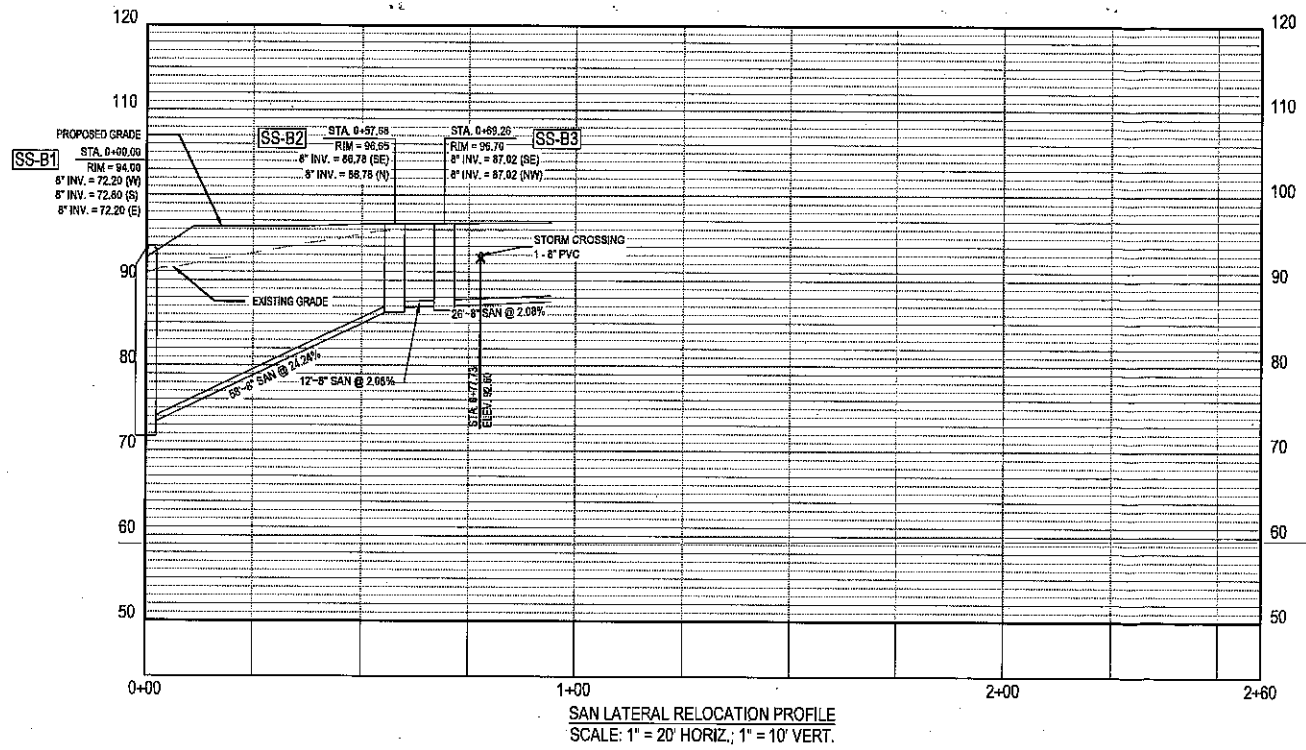
BENCHMARK			
	DESCRIPTION	ELEVATION	NORTHING/EASTING
BM 1	1" PIPE	93.58 FT	818632.73 N, 641443.82 E
BM 2	5/8" REBAR	71.22 FT	818738.48 N, 641528.88 E

ELEVATIONS ESTABLISHED WITH GPS STATIC OBSERVATIONS UTILIZING ONLINE POSITIONING USER SERVICE (OPUS) FOR POST PROCESSING. (NAVD 1988 DATUM)

**SURVEY (DATED 10/31/2019) BY:**  
BLEW & ASSOCIATES, PA  
3825 N. SHILOH DRIVE  
FAYETTEVILLE, AR 72703  
PHONE: (479) 582-1883  
CONTACT: PAXTON SINGLETON

CESO PROVIDES NO GUARANTEE TO THE ACCURACY OF THE SURVEY PROVIDED BY BLEW & ASSOCIATES, PA. CONTRACTOR TO VERIFY EXISTING CONDITIONS PRIOR TO BID AND CONSTRUCTION.

REFER TO CONSTRUCTION DETAILS ON SHEET SERIES CT.D



NO.	DATE	REVISION DESCRIPTION
1		ISSUED FOR PERMIT
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17		ISSUED FOR PERMIT
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19		ISSUED FOR PERMIT
20		ISSUED FOR PERMIT

DELIVERY STATION



ISSUE FOR PERMIT	DATE: 04/04/20
JOB NO.:	757184
SCALE:	1" = 20'
DESIGN:	T. LEJA
DRAWN:	T. LEJA
CHECKED:	J. KOCINSKI
DRAWING TITLE:	

SANITARY PROFILES

SHEET NO. CE 5

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200 S. 400 GRIFFIN DRIVE, BLAUVELT, NY 10813

REFER TO CONSTRUCTION DETAILS ON SHEET SERIES C7.0



FORTY-EIGHT (48) HOURS BEFORE DIGGING IS TO COMMENCE, THE CONTRACTORS SHALL NOTIFY THE FOLLOWING AGENCIES: NEW YORK 311 AND ALL OTHER AGENCIES WHICH MIGHT HAVE UNDERGROUND UTILITIES INVOLVING THIS PROJECT AND ARE NONMEMBERS OF NEW YORK 311 CALL.

BENCHMARK			
DESCRIPTION	ELEVATION	NORTHING/EASTING	
BM 1	1" PIPE	93.58 FT	818832.73 N, 841443.92 E
BM 2	5/8" REBAR	71.22 FT	818739.46 N, 841528.88 E

ELEVATIONS ESTABLISHED WITH GPS STATICOBSERVATIONS UTILIZING ONLINE POSITIONING USER SERVICE (OPUS) FOR POST PROCESSING. (NAVD 1986 DATUM)

**SURVEY (DATED 10/31/2019) BY:**  
 BLEW & ASSOCIATES, PA  
 3825 N. SHILOH DRIVE  
 FAYETTEVILLE, AR 72703  
 PHONE: (479) 582-1853  
 CONTACT: PAXTON SINGLETON

CEISO PROVIDES NO GUARANTEE TO THE ACCURACY OF THE SURVEY PROVIDED BY BLEW & ASSOCIATES, PA. CONTRACTOR TO VERIFY EXISTING CONDITIONS PRIOR TO BID AND CONSTRUCTION.

**FLOODPLAIN DESIGNATION:**  
 ACCORDING TO F.I.R.M. NO. 30087C-0179-G, BEARING AN EFFECTIVE DATE OF 03/03/2014, THE SUBJECT PROPERTIES ARE LOCATED IN A ZONE "X" (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL FLOOD PLAIN).

**NOTE:**  
 \*THE CONTRACTOR SHALL NOTIFY THE TOWN OF ORANGETOWN SEWER INSPECTOR AT LEAST 48 HOURS IN ADVANCE OF ANY CONSTRUCTION TAKING PLACE IN OR AROUND THE SANITARY SEWER SYSTEM.

PROJECT INFORMATION	
ENGINEERED BY	JUSTIN PICCOLI
PROJECT MANAGER	JUSTIN PICCOLI/ADS PIPE.COM
ADSALES REP.	THOMMY KUZO
PROJECT NO.	519493



ADVANCED DRAINAGE SYSTEMS, INC.

## DELIVERY STATION BLAUVELT, NY

### MC-3500 STORMTECH CHAMBER SPECIFICATIONS

- CHAMBERS SHALL BE STORMTECH MC-3500.
- CHAMBERS SHALL BE ARCH-SHAPED AND SHALL BE MANUFACTURED FROM VIRGIN, IMPACT-MODIFIED POLYPROPYLENE COPOLYMERS.
- CHAMBERS SHALL MEET THE REQUIREMENTS OF ASTM F2416-16a "STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS" CHAMBER CLASSIFICATION 4576 DESIGNATION SE.
- CHAMBER ROWS SHALL PROVIDE CONTINUOUS UNOBSTRUCTED INTERNAL SPACE WITH NO INTERNAL SUPPORTS THAT WOULD IMPEDE FLOW OR LIMIT ACCESS FOR INSPECTION.
- THE STRUCTURAL DESIGN OF THE CHAMBERS, THE STRUCTURAL BACKFILL, AND THE INSTALLATION REQUIREMENTS SHALL ENSURE THAT THE LOAD FACTORS SPECIFIED IN THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS, SECTION 12.12 ARE MET FOR: 1) LONG-DURATION DEAD LOADS AND 2) SHORT-DURATION LIVE LOADS, BASED ON THE AASHTO DESIGN TRUCK WITH CONSIDERATION FOR IMPACT AND MULTIPLE VEHICLE PRESENCES.
- CHAMBERS SHALL BE DESIGNED, TESTED AND ALLOWABLE LOAD CONFIGURATIONS DETERMINED IN ACCORDANCE WITH ASTM F2797 "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS" LOAD CONFIGURATIONS SHALL INCLUDE: 1) INSTANTANEOUS (1) MIN AASHTO DESIGN TRUCK LIVE LOAD OF MINIMUM COVER (2) MOMENTARY OVERLOAD (3) 15-MIN COVER LOAD AND (3) ALLOWABLE COVER WITH PARKED (1) HEAVY AASHTO DESIGN TRUCK.
- REQUIREMENTS FOR HANDLING AND INSTALLATION:
  - TO MAINTAIN THE WIDTH OF CHAMBERS DURING SHIPPING AND HANDLING, CHAMBERS SHALL HAVE INTERNAL, INTERLOCKING STACKING LUGS.
  - TO ENSURE A SECURE JOINT DURING INSTALLATION AND BACKFILL, THE HEIGHT OF THE CHAMBER JOINT SHALL NOT BE LESS THAN 1/2" (12.7 mm) THE INTEGRITY OF THE ARCH SHAPE DURING INSTALLATION, AT THE ARCH STIFFNESS CONSTANT AS DEFINED IN SECTION 6.2.2 OF ASTM F2416 SHALL BE GREATER THAN OR EQUAL TO 500 LB-IN/IN. AND (b) TO RESIST CHAMBER DEFORMATION DURING INSTALLATION AT ELEVATED TEMPERATURES (ABOVE 73°F / 23°C), CHAMBERS SHALL BE PRODUCED FROM REFLECTIVE GOLD OR YELLOW COLORS.
- ONLY CHAMBERS THAT ARE APPROVED BY THE SITE DESIGN ENGINEER WILL BE ALLOWED. UPON REQUEST BY THE SITE DESIGN ENGINEER OR OWNER, THE CHAMBER MANUFACTURER SHALL SUBMIT A STRUCTURAL EVALUATION FOR APPROVAL BEFORE DELIVERING CHAMBERS TO THE PROJECT SITE AS FOLLOWS:
  - THE STRUCTURAL EVALUATION SHALL BE SEALED BY A REGISTERED PROFESSIONAL ENGINEER.
  - THE STRUCTURAL EVALUATION SHALL DEMONSTRATE THAT THE SAFETY FACTORS ARE GREATER THAN OR EQUAL TO 1.45 FOR DEAD LOAD AND 1.75 FOR LIVE LOAD. THE METHOD REQUIRED BY ASTM F2797 AND BY SECTION 6.2.2 OF THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS FOR THERMOPLASTIC PIPE.
  - THE TEST DERIVED CRACK PROTECTION SHALL BE USED FOR PERMANENT DEAD LOAD DESIGN EXCEPT THAT IT SHALL BE THE 75-YEAR MODULUS USED FOR DESIGN.
- CHAMBERS AND END CAPS SHALL BE PRODUCED AT AN ISO 9001 CERTIFIED MANUFACTURING FACILITY.

### IMPORTANT - NOTES FOR THE BIDDING AND INSTALLATION OF MC-3500 CHAMBER SYSTEM

- STORMTECH MC-3500 CHAMBERS SHALL NOT BE INSTALLED UNTIL THE MANUFACTURER'S REPRESENTATIVE HAS COMPLETED A PRE-CONSTRUCTION MEETING WITH THE INSTALLERS.
- STORMTECH MC-3500 CHAMBERS SHALL BE INSTALLED IN ACCORDANCE WITH THE "STORMTECH MC-3500/4500 CONSTRUCTION GUIDE".
- CHAMBERS ARE NOT TO BE BACKFILLED WITH A DOZER OR AN EXCAVATOR SITUATED OVER THE CHAMBERS. STORMTECH RECOMMENDS 3 BACKFILL METHODS:
  - STONE FILLER LOCATED OFF THE CHAMBER BED.
  - BACKFILL AS ROWS ARE BUILT USING AN EXCAVATOR ON THE FOUNDATION STONE OR SURROUND.
  - BACKFILL FROM OUTSIDE THE EXCAVATION USING A LOAD BEARING RIG OR CRANE.
- THE FOUNDATION STONE SHALL BE LEVELLED AND COMPACTED PRIOR TO PLACING CHAMBERS.
- JOINTS BETWEEN CHAMBERS SHALL BE PROPERLY SEATED PRIOR TO PLACING STONE.
- MANHOLE MINIMUM 6" (152 mm) SPACING BETWEEN THE CHAMBER ROWS.
- INLET AND OUTLET MANIFOLDS MUST BE INSERTED A MINIMUM OF 12" (305 mm) INTO CHAMBER END CAPS.
- BACKFILL STONE SURROUNDING CHAMBERS MUST BE A CLEAN, CRUSHED, ANGULAR STONE MEETING THE AASHTO M43 DESIGNATION OF #3 OR #4.
- STONE MUST BE PLACED ON THE TOP CENTER OF THE CHAMBER TO ANCHOR THE CHAMBERS IN PLACE AND PRESERVE ARCH SHAPED.
- THE CONTRACTOR MUST REPORT ANY DISCREPANCIES WITH CHAMBER FOUNDATION MATERIALS BEARING CAPACITIES TO THE SITE DESIGN ENGINEER.
- ADS RECOMMENDS THE USE OF "FLASTORNA CATCH IT" INSERTS DURING CONSTRUCTION FOR ALL INLETS TO PROTECT THE SUBSURFACE STORMWATER MANAGEMENT SYSTEM FROM CONSTRUCTION SITE RUNOFF.

### NOTES FOR CONSTRUCTION EQUIPMENT

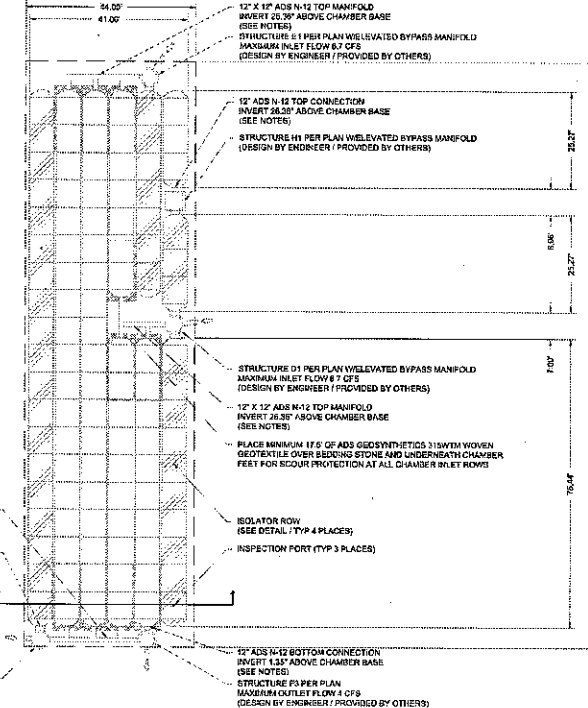
- STORMTECH MC-3500 CHAMBERS SHALL BE INSTALLED IN ACCORDANCE WITH THE "STORMTECH MC-3500/4500 CONSTRUCTION GUIDE".
- THE USE OF EQUIPMENT OVER MC-3500 CHAMBERS IS LIMITED:
  - NO EQUIPMENT IS ALLOWED ON BARE CHAMBERS.
  - NO RUBBER TIRE LOADERS, CLAMP TRUCKS, OR EXCAVATORS ARE ALLOWED UNTIL PROPER FILL DEPTHS ARE REACHED IN ACCORDANCE WITH THE "STORMTECH MC-3500/4500 CONSTRUCTION GUIDE".
  - WEIGHT LIMITS FOR CONSTRUCTION EQUIPMENT CAN BE FOUND IN THE "STORMTECH MC-3500/4500 CONSTRUCTION GUIDE".
- FILL 12" (305 mm) OF STABILIZED COVER MATERIALS OVER THE CHAMBERS IS REQUIRED FOR CLAMP TRUCK TRAVEL, OR CLAMPING. USE OF A DOZER TO PUSH EMBLEMMENT STONE BETWEEN THE ROWS OF CHAMBERS MAY CAUSE DAMAGE TO CHAMBERS AND IS NOT AN ACCEPTABLE BACKFILL METHOD. ANY CHAMBERS DAMAGED BY USING THE "DUMP AND PUSH" METHOD ARE NOT COVERED UNDER THE STORMTECH STANDARD WARRANTY.

CONTACT STORMTECH AT 1-888-897-2864 WITH ANY QUESTIONS ON INSTALLATION REQUIREMENTS OR WEIGHT LIMITS FOR CONSTRUCTION EQUIPMENT.

CONCEPTUAL LAYOUT	
12'	STORMTECH MC-3500 CHAMBERS
12'	STONE ABOVE (6")
12'	STONE BELOW (6")
12'	% STONE VOID
22.78'	INSTALLED SYSTEM VOLUME (CF) (PERIMETER STONE INCLUDED)
6.72'	SYSTEM AREA (SF)
39'	SYSTEM PERIMETER (FT)
CONCEPTUAL ELEVATIONS	
86.75'	MAXIMUM ALLOWABLE GRADE (TOP OF PAVEMENT/PAVEMENT)
86.75'	MINIMUM ALLOWABLE GRADE (UNPAVED WITH TRAFFIC)
86.25'	MINIMUM ALLOWABLE GRADE (UNPAVED NO TRAFFIC)
85.25'	MINIMUM ALLOWABLE GRADE (BASE OF FLEXIBLE PAVEMENT)
83.25'	MINIMUM ALLOWABLE GRADE (TOP OF RIGID PAVEMENT)
86.75'	TOP OF STONE
87.75'	TOP OF MC-3500 CHAMBER
86.25'	12" TOP MANHOLE INVERT
84.17'	24" ISOLATOR ROW CONNECTION INVERT
84.11'	12" BOTTOM CONNECTION INVERT
84.70'	BOTTOM OF MC-3500 CHAMBER
83.00'	BOTTOM OF STONE

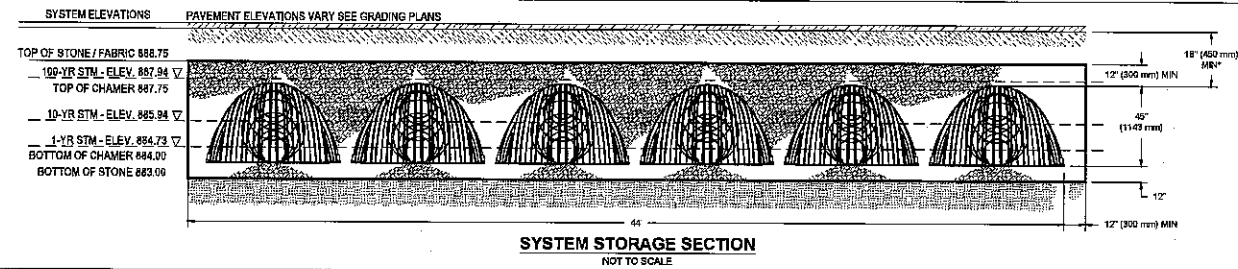
### NOTES

- MANHOLE SIZE TO BE DETERMINED BY SITE DESIGN ENGINEER. SEE TECHNICAL NOTE 6.32 FOR MANHOLE SIZING GUIDANCE.
- DOE TO THE ADAPTATION OF THIS CHAMBER SYSTEM TO SPECIFIC SITE AND DESIGN CONSTRAINTS, IT MAY BE NECESSARY TO CUT AND COUPLE ADDITIONAL PIPE TO STANDARD MANHOLE COMPONENTS IN THE FIELD.
- THIS CHAMBER SYSTEM WAS DESIGNED WITHOUT SITE SPECIFIC INFORMATION ON SOIL CONDITIONS OR BEARING CAPACITY. THE SITE DESIGN ENGINEER IS RESPONSIBLE FOR DETERMINING THE SUITABILITY OF THE SOIL AND PROVIDING THE BEARING CAPACITY OF THE INSTALLED SOILS. THE BASE STONE DEPTH MAY BE INCREASED OR DECREASED ONCE THE INFORMATION IS PROVIDED.
- NOT FOR CONSTRUCTION: THIS LAYOUT IS FOR INFORMATIONAL PURPOSES ONLY. A PRELIMINARY STORAGE VOLUME CAN BE ACHIEVED ON SITE.



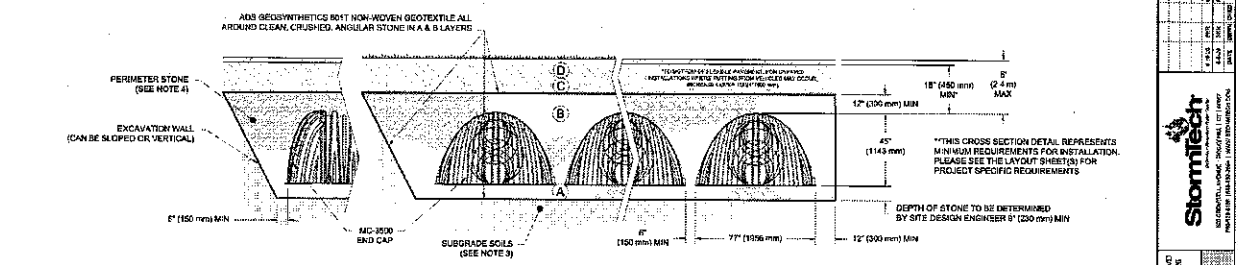
DELIVERY STATION	
BLAUVELT, NY	DATE: 08/04/20
PROJECT NO. 519493	PROJECT ENGINEER: JUSTIN PICCOLI
DESIGNED BY: JUSTIN PICCOLI	CHECKED BY: JUSTIN PICCOLI
DRAWN BY: JUSTIN PICCOLI	DATE: 08/04/20
SCALE: 1" = 20'	
SHEET NO. 2	OF 5

NO.	DATE	REVISION DESCRIPTION
1	08/04/20	FOR PERMIT
2	08/04/20	FOR PERMIT
3	08/04/20	FOR PERMIT
4	08/04/20	FOR PERMIT
5	08/04/20	FOR PERMIT
6	08/04/20	FOR PERMIT
7	08/04/20	FOR PERMIT
8	08/04/20	FOR PERMIT
9	08/04/20	FOR PERMIT
10	08/04/20	FOR PERMIT

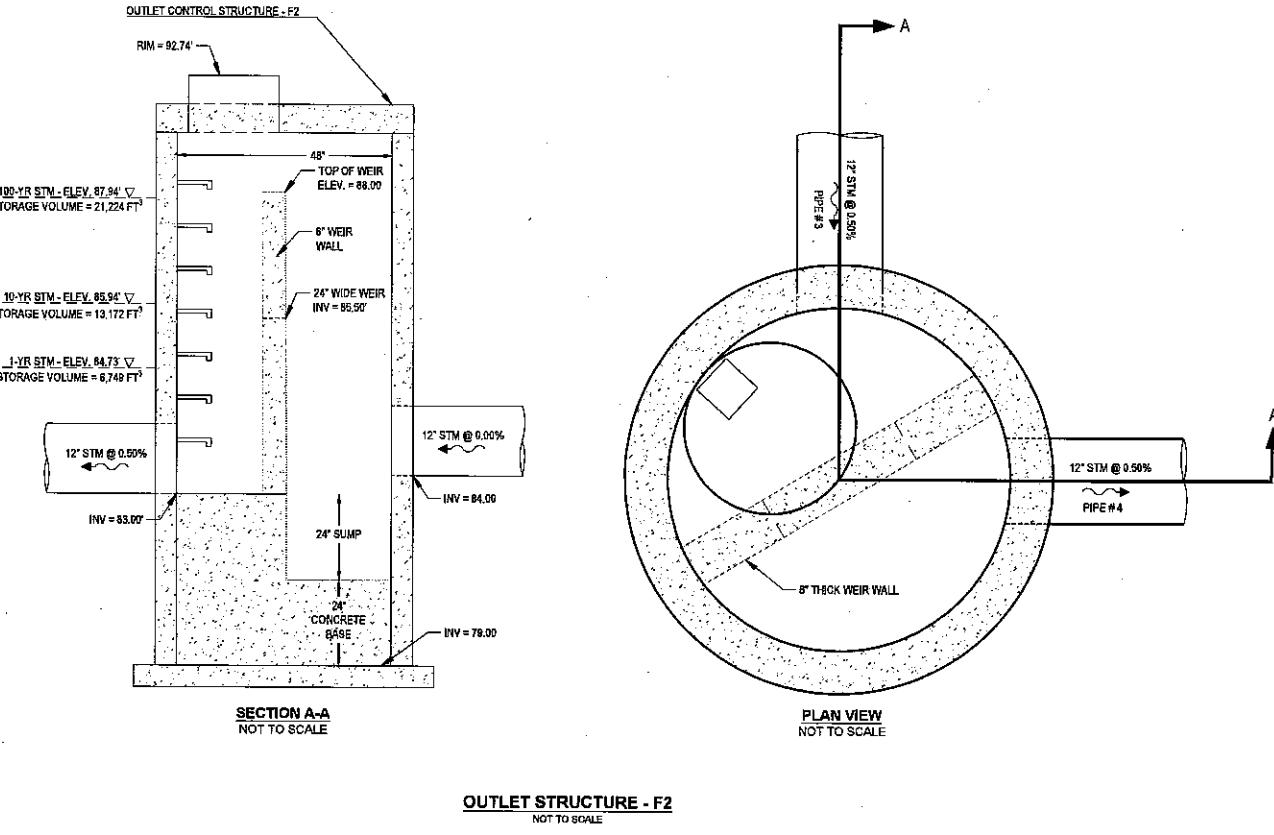


ACCEPTABLE FILL MATERIALS: STORMTECH MC-3500 CHAMBER SYSTEMS			
MATERIAL LOCATION	DESCRIPTION	AASHTO MATERIAL CLASSIFICATIONS	COMPACTION / DENSITY REQUIREMENT
D	FINAL FILL MATERIAL FOR LAYER 'D' STARTS FROM THE TOP OF THE 'C' LAYER TO THE FINISHED GRADE OR UNPAVED FINISHED GRADE ABOVE. NOTE THAT PAVEMENT SUBBASE MAY BE PART OF THE 'D' LAYER.	ANY SOURCE ROCK MATERIALS, NATIVE SOILS OR PER ENGINEER'S PLANS. CHECK PLANS FOR PAVEMENT SUBGRADE REQUIREMENTS.	NA
C	INITIAL FILL MATERIAL FOR LAYER 'C' STARTS FROM THE TOP OF THE EMBLEMMENT STONE (B LAYER) TO 24" (600 mm) ABOVE THE TOP OF THE CHAMBER. NOTE THAT PAVEMENT SUBBASE MAY BE A PART OF THE 'C' LAYER.	AASHTO M145 A-1, A-2, A-3 OR AASHTO M47 3, 3P, 4, 4P, 5, 6, 6P, 7, 7P, 8, 8P, 9, 10	BEGIN COMPACTIONS AFTER 24" (600 mm) OF MATERIAL OVER THE CHAMBERS IS REACHED. COMPACT ADDITIONAL LAYERS OF 12" (305 mm) MAXIMUM TO A MIN. 95% PROCTOR DENSITY FOR WELL GRADED MATERIAL, AND 90% RELATIVE DENSITY FOR PROCESSED AGGREGATE MATERIALS.
B	EMBLEMMENT STONE: FILL SURROUNDING THE CHAMBERS FROM THE FOUNDATION STONE (A LAYER) TO THE 'C' LAYER ABOVE.	AASHTO M43 3, 4	NO COMPACTION REQUIRED.
A	FOUNDATION STONE: FILL BELOW CHAMBERS FROM THE SUBGRADE UP TO THE FOOT (BOTTOM) OF THE CHAMBER.	AASHTO M47 3, 4	PLATE COMPACT OR ROLL TO ACHIEVE A FLAT SURFACE.

- PLEASE NOTE:
- THE LISTED AASHTO DESIGNATIONS ARE FOR GRADATIONS ONLY. THE STONE MUST ALSO BE CLEAN, CRUSHED, ANGULAR. FOR EXAMPLE, A SPECIFICATION FOR #3 STONE WOULD STATE: CLEAN, CRUSHED, ANGULAR NO. 3 (AASHTO M43) STONE.
  - STORMTECH CONSTRUCTION REQUIREMENTS ARE MET FOR 'LOCATION MATERIALS WHEN PLACED AND COMPACTED WITH TWO ROLL COVERS WITH A VIBRATORY COMPACTOR.
  - WHEN THE RATIO DIFFERENCES MAY BE COMPROMISED BY COMPACTION, FOR STANDARD DESIGN LOAD CONDITIONS, A FLAT SURFACE MAY BE ACHIEVED BY PARKING OR DRIVING WITHOUT COMPACTION EQUIPMENT. FOR SPECIAL LOAD DESIGN, CONTACT STORMTECH FOR COMPACTION REQUIREMENTS.
  - ONCE LAYER 'C' IS PLACED, ANY SOLID MATERIAL CAN BE PLACED IN LAYER 'D' UP TO THE FINISHED GRADE. MOST PAVEMENT SUBBASE SOILS CAN BE USED TO REPLACE THE MATERIAL REQUIREMENTS OF LAYER 'C' OR 'D' AT THE SITE DESIGN ENGINEER'S DISCRETION.



- ### NOTES:
- CHAMBERS SHALL MEET THE REQUIREMENTS OF ASTM F2416-16a "STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS" CHAMBER CLASSIFICATION 4576 DESIGNATION SE.
  - MC-3500 CHAMBERS SHALL BE DESIGNED IN ACCORDANCE WITH ASTM F2797 "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
  - THE SITE DESIGN ENGINEER IS RESPONSIBLE FOR ASSESSING THE DESIGN RESISTANCE (ALLOWABLE BEARING CAPACITY) OF THE SUBGRADE SOILS AND THE DEPTH OF FOUNDATION STONE WITH CONSIDERATION FOR THE RANGE OF EXPECTED SOIL MOISTURE CONDITIONS.
  - PERIMETER STONE MUST BE EXTENDED HORIZONTALLY TO THE EXCAVATION WALL FOR BOTH VERTICAL AND SLOPED EXCAVATION WALLS.
  - REQUIREMENTS FOR HANDLING AND INSTALLATION:
    - TO MAINTAIN THE WIDTH OF CHAMBERS DURING SHIPPING AND HANDLING, CHAMBERS SHALL HAVE INTERNAL, INTERLOCKING STACKING LUGS.
    - TO ENSURE A SECURE JOINT DURING INSTALLATION AND BACKFILL, THE HEIGHT OF THE CHAMBER JOINT SHALL NOT BE LESS THAN 1/2".
    - TO ENSURE THE INTEGRITY OF THE ARCH SHAPE DURING INSTALLATION, AT THE ARCH STIFFNESS CONSTANT AS DEFINED IN SECTION 6.2.2 OF ASTM F2416 SHALL BE GREATER THAN OR EQUAL TO 500 LB-IN/IN. AND (b) TO RESIST CHAMBER DEFORMATION DURING INSTALLATION AT ELEVATED TEMPERATURES (ABOVE 73°F / 23°C), CHAMBERS SHALL BE PRODUCED FROM REFLECTIVE GOLD OR YELLOW COLORS.



## DELIVERY STATION

200 S. 400 ORBITAL DRIVE, BLAUVELT, NY 10613

ISSUE FOR PERMIT  
DATE: 08/04/20

JOB NO.: 757184  
SCALE: 1" = 20'  
DESIGN: T. LEJA  
DRAWN: T. LEJA  
CHECKED: J. KOCINSKI  
DRAWING TITLE: STORMTECH DETAILS

SHEET NO. C5.6



**MC-3500 ISOLATOR ROW DETAIL**  
NTS

**INSPECTION & MAINTENANCE**

**STEP 1) INSPECT ISOLATOR ROW FOR SEDIMENT**

A. INSPECTION PORTS (IF PRESENT)

A.1. REMOVE OPEN LID OR NYLOPLAST INLINE GRATE

A.2. REMOVE AND CLEAN FLEXSTORM FILTER IF INSTALLED

A.3. USING A FLASHLIGHT AND STADIA ROD, MEASURE DEPTH OF SEDIMENT AND RECORD ON MAINTENANCE LOG

A.4. LOWER A CAMERA INTO ISOLATOR ROW FOR VISUAL INSPECTION OF SEDIMENT LEVELS (OPTIONAL)

A.5. IF SEDIMENT IS AT OR ABOVE 3" (80 mm) PROCEED TO STEP 2. IF NOT, PROCEED TO STEP 3.

B. ALL ISOLATOR ROWS

B.1. REMOVE COVER FROM STRUCTURE AT UPSTREAM END OF ISOLATOR ROW

B.2. USING A FLASHLIGHT, INSPECT DOWN THE ISOLATOR ROW THROUGH OUTLET PIPE

B.3. I. MIRRORS ON POLES OR CAMERAS MAY BE USED TO AVOID A CONFINED SPACE ENTRY  
 II. FOLLOW OSHA REGULATIONS FOR CONFINED SPACE ENTRY IF ENTERING MANHOLE  
 IF SEDIMENT IS AT OR ABOVE 3" (80 mm) PROCEED TO STEP 2. IF NOT, PROCEED TO STEP 3.

**STEP 2) CLEAN OUT ISOLATOR ROW USING THE JETVAC PROCESS**

A. A FIXED CULVERT CLEANING NOZZLE WITH REAR FACING SPREAD OF 45° (1.1 m) OR MORE IS PREFERRED

B. APPLY MULTIPLE PASSES OF JETVAC UNTIL BACKFLUSH WATER IS CLEAN

C. VACUUM STRUCTURE, SUMP AND REQUIRED

**STEP 3) REPLACE ALL COVERS, GRATES, FILTERS, AND LIDS; RECORD OBSERVATIONS AND ACTIONS.**

**STEP 4) INSPECT AND CLEAN BASINS AND MANHOLES UPSTREAM OF THE STORMTECH SYSTEM.**

**NOTES**

1. INSPECT EVERY 6 MONTHS DURING THE FIRST YEAR OF OPERATION. ADJUST THE INSPECTION INTERVAL BASED ON PREVIOUS OBSERVATIONS OF SEDIMENT ACCUMULATION AND HIGH WATER ELEVATIONS.

2. CONDUCT JETTING AND VACTORING ANNUALLY OR WHEN INSPECTION SHOWS THAT MAINTENANCE IS NECESSARY.

**4\"/>**

**CONNECTION DETAIL**  
NTS

**NOTES:**

1. INSPECTION PORTS MAY BE CONNECTED THROUGH ANY CHAMBER DIRECTION VALLEY.

2. ALL SCHEDULE 40 FITTINGS TO BE SOLVENT CEMENTED (4\"/>

**4\"/>**

**DELIVERY STATION**  
BLAUVELT, NY  
DATE: 07/26/2018  
DRAWN: MFS  
PROJECT # 316489  
CHECKED: MWH

450 TREHMAN BLVD  
MILLERSBURG, OH 43084  
419-326-7000  
WWW.STORMTECH.COM

4 SHEET OF 5

**MC-3500 TECHNICAL SPECIFICATION**  
NTS

**MC-SERIES END CAP INSERTION DETAIL**  
NTS

**NOMINAL CHAMBER SPECIFICATIONS**

SIZE (W X H X INSTALLED LENGTH)	CHAMBER STORAGE	MINIMUM INSTALLED STORAGE*	WEIGHT
77.0' X 45.0' X 86.0' (1905 mm X 1143 mm X 2184 mm)	109.9 CUBIC FEET (3.11 m <sup>3</sup> )	176.0 CUBIC FEET (4.95 m <sup>3</sup> )	134 lbs. (60.8 kg)

**NOMINAL END CAP SPECIFICATIONS**

SIZE (W X H X INSTALLED LENGTH)	END CAP STORAGE	MINIMUM INSTALLED STORAGE*	WEIGHT
75.0' X 45.0' X 22.2' (1905 mm X 1143 mm X 564 mm)	14.8 CUBIC FEET (0.42 m <sup>3</sup> )	45.1 CUBIC FEET (1.28 m <sup>3</sup> )	49 lbs. (22.2 kg)

\*ASSUMES 12\"/>

**PARTIAL CUT HOLES AT BOTTOM OF END CAP FOR PART NUMBERS ENDING WITH "R"**

**PARTIAL CUT HOLES AT TOP OF END CAP FOR PART NUMBERS ENDING WITH "T"**

**END CAPS WITH A PREFABRICATED WELDED STUB END WITH "W"**

**END CAPS WITH A WELDED CROWN PLATE END WITH "C"**

PART #	STUB	B	C
MC3500EP00T	6" (152 mm)	33.21" (844 mm)	—
MC3500EP06B	—	—	0.66" (17 mm)
MC3500EP06T	6" (152 mm)	31.56" (791 mm)	—
MC3500EP06B	—	—	0.81" (21 mm)
MC3500EP10T	10" (254 mm)	29.04" (738 mm)	—
MC3500EP10B	—	—	0.89" (23 mm)
MC3500EP12T	12" (305 mm)	26.38" (670 mm)	—
MC3500EP12B	—	—	1.33" (34 mm)
MC3500EP15T	15" (375 mm)	23.38" (594 mm)	—
MC3500EP15B	—	—	1.80" (46 mm)
MC3500EP18T	18" (457 mm)	20.38" (519 mm)	—
MC3500EP18B	—	—	1.77" (45 mm)
MC3500EP24T	24" (609 mm)	14.48" (368 mm)	—
MC3500EP24B	—	—	2.66" (68 mm)
MC3500EP24W	—	—	—
MC3500EP30B	30" (762 mm)	—	2.75" (70 mm)

CUSTOM PARTIAL CUT INSERTS ARE AVAILABLE UPON REQUEST. INVERTED MANHOLES INCLUDE 12.24" (300-300 mm) SIZE ON SIZE AND 16.48" (418-418 mm) AND 18.48" (468-468 mm) SIZE ON SIZE. ECCENTRIC MANHOLES, CUSTOM INVERT LOCATIONS ON THE MC-3500 END CAP CUT IN THE FIELD ARE NOT RECOMMENDED FOR PIPE SIZES GREATER THAN 10" (254 mm). THE INVERT LOCATION IN COLLARS IS ARE THE HIGHEST POSSIBLE FOR THE PIPE SIZE.

**DELIVERY STATION**  
BLAUVELT, NY  
DATE: 07/26/2018  
DRAWN: MFS  
PROJECT # 316489  
CHECKED: MWH

450 TREHMAN BLVD  
MILLERSBURG, OH 43084  
419-326-7000  
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5 SHEET OF 5

NO.	DATE	REVISION DESCRIPTION
1		ISSUE FOR PERMIT
2		FOR PERMIT
3		DATE: 04/19/20
4		JOB NO.: 757184
5		SCALE:
6		DESIGN: T. LEA
7		DRAWN:
8		CHECKED: J. KOCHINSKI
9		DRAWING TITLE
10		STORMTECH DETAILS
11		SHEET NO. 05-7



ISSUE FOR PERMIT  
DATE: 04/19/20

JOB NO.: 757184

SCALE:

DESIGN: T. LEA

DRAWN:

CHECKED: J. KOCHINSKI

DRAWING TITLE

STORMTECH DETAILS

SHEET NO. 05-7

DELIVERY STATION

200 S. 400 ORTIAN DRIVE, BLAUVELT, NY 10813

**EROSION AND SEDIMENT CONTROL NARRATIVE**

1917 ADDRESS: 205 S 400 ORTAM DRIVE  
BLAUVELT, NEW YORK 10913

EXISTING SITE CONDITIONS: THE EXISTING SITE CONSISTS OF A WAREHOUSE / OFFICE BUILDING, PARKING LOT, ASPHALT AND CONCRETE PAVEMENT AREAS AND GREEN SPACE.

PROJECT DESCRIPTION: THE PROJECT CONSISTS OF REMODEL AND PARTIAL DEMOLITION OF THE EXISTING WAREHOUSE & OFFICE SPACE. ADDITIONAL BUILDING EXPANSION, PAVEMENT, AND GREEN SPACE IS BEING ADDED. AN UNDERGROUND STORMWATER DETENTION FACILITY WILL BE ADDED IN THE LOWER DRIVE ASBLE TO ACCOUNT FOR THE SITE IMPROVEMENTS.

TOTAL SITE AREA: 37.81 ACRES

DISTURBED AREA: 2.33 ACRES  
PRE-CONSTRUCTION IMPERVIOUS ACREAGE = 1.73 ACRES  
POST-CONSTRUCTION IMPERVIOUS ACREAGE = 1.74 ACRES

RUNOFF: THE PRE-CONSTRUCTION RUNOFF CURVE NUMBER IS 85.  
THE POST-CONSTRUCTION RUNOFF CURVE NUMBER IS 87.

SITE DRAINS TO: AN EXISTING STORMWATER MANAGEMENT POND WEST OF THE EXISTING BUILDINGS ON SITE.

SITE BMP'S: FINAL LOCATIONS OF ALL SITE BMP'S INCLUDE DUMPSTER, VEHICLE FUELING AREAS, CONCRETE TRUCK WASH, MATERIAL STORAGE, AND TOPSOIL STOCKPILES SHALL BE DETERMINED BY CONTRACTOR. IF FINAL LOCATION OF BMP'S DIFFER FROM THE LOCATIONS SHOWN, CONTRACTOR SHALL MODIFY SWPPP AND INFORM NEW YORK STATE OF NEW LOCATION OF BMP'S.

ADJACENT AREAS: NORTH: LABORATORY OFFICE (L.O.)  
SOUTH: LOW DENSITY RESIDENTIAL (R-40), LABORATORY OFFICE (L.O.)  
EAST: LIGHT INDUSTRIAL OFFICE (L.I.O.), LIGHT INDUSTRIAL (L.I.)  
WEST: LOW DENSITY RESIDENTIAL (R-40)

SOILS IN LOD: ReB RIVERHEAD FINE SANDY LOAM, 3 TO 8 PERCENT SLOPES 100.0%

EROSION AND SEDIMENT CONTROL MEASURES: PROVIDE INLET PROTECTION OF ALL NEW AND EXISTING DRAINAGE STRUCTURES INDICATED ON THIS PLAN.

CRITICAL AREAS: NONE

JURISDICTION: ALL EROSION AND SEDIMENT CONTROL PRACTICES ARE SUBJECT TO FIELD MODIFICATION AT THE DISCRETION OF THE TOWN OF ORANGETOWN.

INSPECTIONS: INSPECTIONS OF OUTFALLS/SEPSO MEASURES SHALL BE INSPECTED AT LEAST TWICE WEEKLY AND AT LEAST 72 HOURS APART. COORDINATION OF THESE INSPECTIONS IS THE RESPONSIBILITY OF THE OWNER'S REPRESENTATIVE.

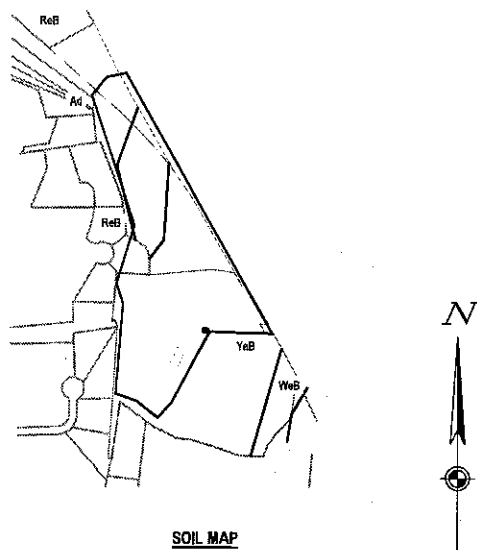
SCHEDULE: CONSTRUCTION ESTIMATED START DATE: 10.01.2020  
CONSTRUCTION ESTIMATED COMPLETION DATE: 10.01.2021

**STORMWATER POLLUTION PREVENTION PLAN CONTACTS**

**OWNER/DEVELOPER:**  
PATRARCH III LP  
205 ORTAM DRIVE  
BLAUVELT, NY 10913  
CONTACT: JEFF DEZORT  
EMAIL: DEZORT@CESOINC.COM

**PLAN PREPARED BY CESO CO.**  
3801 RIGBY ROAD SUITE 300  
MAMMISBURG, OH 43242  
ENGINEER OF RECORD: JEFFREY A. TIBBITTS, P.E.

**PROJECT CONTACT:**  
JEFF DEZORT  
PHONE: (407)-670-2881  
EMAIL: DEZORT@CESOINC.COM



**STORMWATER POLLUTION PREVENTION PLAN NOTES**

- SITE EPSC SHALL BE CHECKED AND IF NECESSARY, REPAIRED WEEKLY AND WITHIN 24 HOURS AFTER EACH RAINFALL GREATER THAN 1/8". IN THE EVENT OF CONTINUOUS RAINFALL, EROSION CONTROLS SHALL BE CHECKED DAILY.
- REMOVE TRAPPED SEDIMENT FROM SEDIMENT CONTROLS AT OR BEFORE 50% OF DESIGN CAPACITY.
- ALL AREAS TO REMAIN BARE GREATER THAN 7 DAYS MUST BE TEMPORARILY STABILIZED.
- THERE SHALL BE NO DIRT, DEBRIS, OR STORAGE OF MATERIALS IN THE STREET.
- GEOTEXTILE FABRIC SHALL BE PLACED UNDER THE STONE LAYER OF THE CONSTRUCTION ENTRANCE.
- STRAW BALES SHALL NOT BE USED AS A FORM OF EROSION CONTROL.
- ALL EPSC PROPOSED MUST BE INSTALLED TO CONTROL RAINFALL AND RUNOFF FOR THE 2-YR, 24-HOUR STORM EVENT.
- QUALITY ASSURANCE INSPECTION OF EROSION AND SEDIMENT CONTROLS SHALL BE PERFORMED WITHIN ONE MONTH OF CONSTRUCTION COMMENCING PER SECTION IV OF THE STATE OF NEW YORK NPDES PERMIT GUIDELINES.
- ALL EROSION AND SEDIMENTATION CONTROL SHALL BE PERFORMED ACCORDING TO SWPPP AND DETAIL PLANS, ACCORDING TO THE LATEST NEW YORK AUTHORIZATION FOR CONSTRUCTION ACTIVITY UNDER THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES). ANY AND ALL REQUIRED PERMITS, REPORTS, AND RELATED DOCUMENTS, SEE TOWN OF ORANGETOWN CODE FOR SWPPP RULES AND REGULATIONS. ALL CONTRACTORS MUST BECOME FAMILIAR WITH ALL OF THE ABOVE. ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED IN THE FIELD BY THE INSPECTOR.
- CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES AS REQUIRED BY THE SWPPP. ADDITIONAL BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED AS DICTATED BY CONDITIONS AND GRADE CHANGES TO THE SITE AT NO ADDITIONAL COST TO OWNER THROUGHOUT ALL PHASES OF CONSTRUCTION.
- CONTRACTOR SHALL MINIMIZE CLEARING AND DISTURBANCE TO THE ENVIRONMENT TO THE MAXIMUM EXTENT POSSIBLE OR AS REQUIRED BY THE GENERAL PERMIT. DO NOT DISTURB AREA OUTSIDE OF THE LIMITS OF DISTURBANCE (L.O.D.).
- SEDIMENT STRUCTURE AND PERIMETER SEDIMENT BARRIERS SHALL BE IMPLEMENTED AS THE FIRST STEP OF GRADING WITHIN SEVEN (7) DAYS FROM THE START OF CLEARING AND GRUBBING, AND SHALL CONTINUE TO FUNCTION UNTIL THE SLOPE DEVELOPMENT AREA IS RESTABILIZED.
- PERMANENT SOIL STABILIZATION OF DISTURBED AREAS BY MEANS OF VEGETATION, LANDSCAPE TYPE MULCHING, MATTING, SOD, RIP RAP, AND OTHER APPROVED LANDSCAPING TECHNIQUES TO BE APPLIED AS FOLLOWS:  
WITHIN SEVEN (7) DAYS OF ANY AREA THAT WILL BE DORMANT FOR ONE (1) YEAR OR MORE.  
WITHIN TWO (2) DAYS OF ANY AREA WITHIN 50 FEET OF A STREAM AT FINAL GRADE.  
WITHIN SEVEN (7) DAYS FOR ANY OTHER AREA AT FINAL GRADE.
- TEMPORARY SOIL STABILIZATION OF DISTURBED AREAS BY MEANS OF TEMPORARY VEGETATION, MULCHING, GEOTEXTILES, SOD, PRESERVATION OF EXISTING VEGETATION, AND OTHER APPROVED TECHNIQUES TO BE APPLIED AS FOLLOWS:  
WITHIN TWO (2) DAYS OF ANY AREA WITHIN 50 FEET OF A STREAM NOT AT FINAL GRADE. WITHIN SEVEN (7) DAYS OF ANY AREA THAT WILL BE DORMANT FOR MORE THAN FOURTEEN (14) DAYS, BUT LESS THAN ONE (1) YEAR, PRIOR TO THE ONSET OF WINTER WEATHER FOR AREAS THAT WILL BE IDLE OVER WINTER.
- TEMPORARY SEEDING, MULCHING, AND FERTILIZER SPECIFICATIONS:  
SHALL BE INSTALLED ON ANY AREAS WITH NO WORK SCHEDULED FOR FOURTEEN (14) DAYS AND WITHIN SEVEN (7) DAYS AFTER CONSTRUCTION ACTIVITIES CEASE PER THE FOLLOWING HYDROSEEDING SCHEDULE:  
DURING SPRING, SUMMER OR EARLY FALL: PERENNIAL RYEGRASS AT A RATE OF 40 LBS PER ACRE (1 LB PER 1000 SF).  
DURING LATE FALL OR EARLY WINTER: CERTIFIED "PROOSTOCK" WINTER RYE (CEREAL RYE) AT A RATE OF 100 LBS PER ACRE (2.5 LBS PER 1000 SF) TO BE USED IN THE MONTHS OF OCTOBER AND NOVEMBER.
- FINAL STABILIZATION OF GRADED AREAS CONSIST OF THE PLACEMENT OF TOPSOIL AND LANDSCAPING WHICH SHALL BE COMPLETED AND INSPECTED WITHIN 14 DAYS OF PLANTING PER THE FOLLOWING SCHEDULE:  
PERMANENT LAWNS - APRIL 15 (PROVIDED SOIL IS FROST-FREE AND NOT EXCESSIVELY MOIST) TO MAY 15; AUGUST 15 TO OCTOBER 15  
TEMPORARY LAWN SEEDING - IF OUTSIDE OF THE TIME PERIODS NOTED ABOVE, THE AREAS SHALL BE SEEDING IMMEDIATELY ON COMPLETION OF TOPSOIL OPERATIONS WITH ANNUAL OR PERENNIAL RYEGRASS AT A RATE OF 1 LB PER 1000 SF. TEMPORARY LAWN INSTALLATION IS PERMITTED PROVIDED THE SOIL IS FROST-FREE AND NOT EXCESSIVELY MOIST. THE PERMANENT LAWN IS TO BE INSTALLED THE NEXT PLANTING SEASON.
- TOPSOIL IS TO BE SPREAD AS SOON AS GRADING OPERATIONS ARE COMPLETED. TOPSOIL IS TO BE PLACED TO A MINIMUM DEPTH OF 6" ON ALL EMBANKMENTS, PLANTING AREAS AND SEEDING/SOD AREAS. THE SUBGRADE IS TO BE SOARDED TO A DEPTH OF 2" TO PROVIDE A BOND OF THE TOPSOIL WITH THE SUBSOIL. TOPSOIL IS TO BE RAKED TO AN EVEN SURFACE AND CLEARED OF ALL DEBRIS, ROOTS, STONES AND OTHER UNSATISFACTORY MATERIAL.
- SEEDING AREAS ARE TO BE MULCHED WITH STRAW OF HAT AT AN APPLICATION RATE OF 80 LBS PER 1000 SF. STRAW OR HAY MULCH MUST BE SPREAD UNIFORMLY AND ANCHORED IMMEDIATELY AFTER SPREADING TO PREVENT WIND BLOWING. MULCHES MUST BE INSPECTED PERIODICALLY AND PARTICULARLY AFTER RAINSTORMS TO CHECK FOR EROSION. IF EROSION IS OBSERVED, ADDITIONAL MULCH MUST BE APPLIED.
- PERMANENT TURFGRASS SHALL CONSIST OF THE FOLLOWING SEED MIXTURE:  
HARD FESCUE SEED AT A RATE OF 2.7 LBS PER 1000 SF (14%)  
CREEPING RED FESCUE SEED AT A RATE OF 0.7 LBS PER 1000 SF (19%)  
PERENNIAL RYEGRASS SEED AT A RATE OF 0.25 LBS PER 1000 SF (7%)
- SLOPES SHALL BE LEFT IN A ROUGHENED CONDITION DURING THE GRADING PHASE TO REDUCE RUNOFF VELOCITIES AND EROSION. ALL SLOPES 3:1 OR GREATER THAN 3:1 SHALL BE FERTILIZED, SEEDED, EROSION CONTROL BLANKETS INSTALLED, AND LOW MAINTENANCE GRASS SEED MIX APPLIED ON THE SLOPES, AS SPECIFIED IN THE PLANS.
- NO SOLID (OTHER THAN SEDIMENT) OR LIQUID WASTE, INCLUDING BUILDING MATERIALS, SHALL BE DISCHARGED IN STORM WATER RUNOFF. ALL NON-SEDIMENT POLLUTANTS MUST BE DISPOSED OF IN

- ACCORDANCE WITH LOCAL, STATE, AND FEDERAL GUIDELINES. WASH OUT OF CEMENT TRUCKS SHOULD OCCUR IN DESIGNATED PIT OR DIRT AREAS. WHERE WASHINGS CAN BE REMOVED AND PROPERLY DISPOSED OF OFF-SITE WHEN THEY HARDEN. STORAGE TANKS SHOULD ALSO BE LOCATED IN PIT OR DIRT AREAS. IN ADDITION, SUFFICIENT OIL AND GREASE ABSORBING MATERIALS AND FLOTATION BOOMS TO CLEAN AND CONTAIN FUEL AND CHEMICAL SPILLS MUST BE KEPT ON SITE.
- IF THE ACTION OF VEHICLES TRAVELING OVER THE STABILIZED CONSTRUCTION EXIT DOES NOT SUFFICIENTLY REMOVE MOST OF THE DIRT AND MUD, THEN THE TIRES MUST BE WASHED BEFORE VEHICLES ENTER A PUBLIC ROAD. PROVISIONS MUST BE MADE TO INTERCEPT THE WATER AND TRAP THE SEDIMENT BEFORE IT IS CARRIED OFF THE SITE.
- RUBBISH, TRASH, GARBAGE, LITTER, OR OTHER SUCH MATERIALS SHALL BE DISPOSED INTO SEALED CONTAINERS. MATERIALS SHALL BE PREVENTED FROM LEAVING THE SITE THROUGH THE ACTION OF WIND OR STORM WATER DISCHARGE INTO DRAINAGE DITCHES OR WATERS OF THE STATE.
- DUST CONTROL USING APPROVED MATERIALS MUST BE PERFORMED AT ALL TIMES. THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION IS PROHIBITED.
- ON-SITE AND OFF-SITE STOCKPILE AND BORROW AREAS SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION BY THE USE OF BEST MANAGEMENT PRACTICES. THESE AREAS MUST BE SHOWN IN THE SITE MAP AND PERMITTED IN ACCORDANCE WITH GENERAL PERMIT REQUIREMENTS. AT A MINIMUM, A SILT FENCE IS TO BE PLACED AT PERIMETER OF STOCKPILE AREA TO PREVENT SOIL FROM LEAVING THE STOCKPILE AREA.
- ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED ONTO THE ROADWAYS OR INTO THE STORM SEWERS MUST BE REMOVED IMMEDIATELY.
- ALL CONSTRUCTION SHALL BE STABILIZED AT THE END OF EACH DAY. THIS INCLUDES BACKFILLING OF TRENCHES FOR UTILITY CONSTRUCTION AND PLACEMENT OF GRAVEL OR ASPHALT FOR ROAD CONSTRUCTION.
- THE LAST LAYER OF SOIL, INCLUDING TOP SOIL, SHALL BE COMPACTED TO 80% - 85% OF THE MAXIMUM STANDARD PROCTOR DENSITY, IN AREAS OUTSIDE THE PARKING LOT THAT WILL RECEIVE VEGETATION. THIS IS PARTICULARLY IMPORTANT IN CUT SLOPE AND EMBANKMENT AREAS. IN PAVEMENT AND ISLAND AREAS, IT IS RECOMMENDED THAT THE SOIL BE COMPACTED TO 95% AND 95% OF THE MAXIMUM STANDARD PROCTOR DENSITY RESPECTIVELY. THE LAST COMPACTED LAYER MAY BE SCARIFIED TO IMPROVE THE SOIL GROWTH CHARACTERISTICS.
- IN THE EVENT THAT HIGH GROUND WATER IS ENCOUNTERED, CONTRACTOR IS RESPONSIBLE FOR DESIGNING AND IMPLEMENTING A PLAN TO CONTROL SOIL SURFACE AND GROUND WATER DURING THE COURSE OF CONSTRUCTION. ALL DEWATERING ACTIVITIES SHALL PASS THROUGH A BMP PRIOR TO LEAVING THE SITE.

**INSPECTION/MAINTENANCE NOTES**

FILTER BARRIERS, INCLUDING BUT NOT LIMITED TO SILT FENCE AND INLET PROTECTION, SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY.

SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH STORM EVENT. THEY MUST BE REMOVED WHEN DEPOSITS REACH APPROXIMATELY HALF THE HEIGHT OF THE BARRIER.

IF THE FABRIC DECOMPOSES OR BECOMES INEFFECTIVE PRIOR TO THE END OF THE EXPECTED USABLE LIFE, AND THE BARRIER IS STILL REQUIRED, THE FABRIC SHALL BE REPLACED PROMPTLY.

ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE SILT FENCE OR FILTER BARRIER IS NO LONGER REQUIRED SHALL BE DRESSED TO CONFORM WITH THE EXISTING GRADE, PREPARED, AND SEEDED.

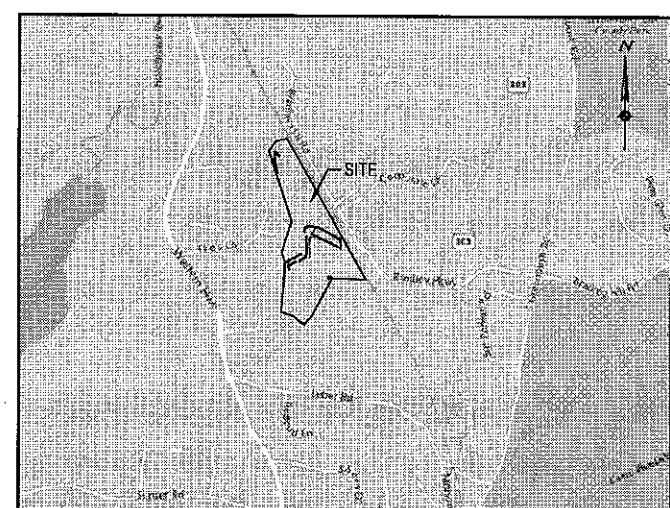
- ALL CONTROL MEASURES STATED IN THE SWPPP SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL TEMPORARY OR PERMANENT STABILIZATION OF THE SITE IS ACHIEVED. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSPECTED BY A QUALIFIED PERSON IN ACCORDANCE TO THE CONTRACT DOCUMENTS OR THE APPLICABLE PERMIT, WHICHEVER IS MORE STRINGENT, AND REPAIRED ACCORDING TO THE FOLLOWING:  
A. INLET PROTECTION DEVICES AND CONTROLS SHALL BE REPAIRED OR REPLACED WHEN THEY SHOW SIGNS OF UNDERMINING AND/OR DETEIORATION.  
B. ALL SEEDING AREAS SHALL BE CHECKED REGULARLY TO ENSURE THAT A GOOD STANDING OF GRASS IS MAINTAINED. AREAS SHOULD BE FERTILIZED, WATERED, AND RESEEDED AS NEEDED.  
C. SILT FENCES AND CHECK DAMS SHALL BE REPAIRED TO THEIR ORIGINAL CONDITION IF DAMAGED. SEDIMENT ACCUMULATION MUST BE REMOVED WHEN SEDIMENT HEIGHT REACHES ONE-HALF THE HEIGHT OF THE SILT FENCE OR CHECK DAM.  
D. OUTLET STRUCTURES IN SEDIMENTATION BASINS SHALL BE MAINTAINED IN OPERATIONAL CONDITIONS AT ALL TIMES. SEDIMENT MUST BE REMOVED FROM BASINS AND OR TRAPS WHEN THE DESIGN CAPACITY HAS BEEN REDUCED BY 40%.  
E. MINIMIZE OFF-SITE SEDIMENT TRACKING OF VEHICLES BY THE USE OF STONE MATERIAL IN ALL CONSTRUCTION ENTRANCES, ALONG WITH REGULARLY SCHEDULED SWEEPING/GOOD HOUSEKEEPING. STABILIZED CONSTRUCTION ENTRANCES TO BE PROPERLY MAINTAINED BY GENERAL CONTRACTOR AND IN GOOD WORKING ORDER AT ALL TIMES. THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE STONE AS CONDITIONS DEMAND.  
F. THE TEMPORARY PARKING AND STORAGE AREA SHALL BE KEPT IN GOOD CONDITION (SUITABLE FOR PARKING AND STORAGE) BY GENERAL CONTRACTOR. THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE TEMPORARY PARKING AS CONDITIONS DEMAND.
- CONTRACTORS AND SUBCONTRACTORS WILL BE RESPONSIBLE FOR REMOVING ALL SEDIMENT FROM THE SITE, INCLUDING DETENTION BASINS AND STORM SEWER SYSTEMS. SEDIMENT DEPOSITION DURING SITE STABILIZATION MUST ALSO BE REMOVED.
- ALL RIP RAP MUST BE PLACED OVER GEOTEXTILE FILTER.
- STONE CONSTRUCTION EXIT TO BE MAINTAINED BY GENERAL CONTRACTOR UNTIL SITE HAS BEEN PAVED OR IS NO LONGER REQUIRED.

**SOLID/HAZARDOUS WASTE NOTES**

- CONTAINERS SHALL BE AVAILABLE FOR DISPOSAL OF DEBRIS, TRASH, HAZARDOUS OR PETROLEUM WASTES. ALL CONTAINERS MUST BE COVERED AND LEAK-PROOF. ALL WASTE MATERIAL SHALL BE DISPOSED OF AT FACILITIES APPROVED FOR THE PERTINENT MATERIAL.
- BRICKS, HARDENING CONCRETE AND SOIL WASTE SHALL BE FREE FROM CONTAMINATION WHICH MAY LEACH CONSTITUENTS TO WATERS OF THE STATE.
- CLEAN CONSTRUCTION WASTES THAT WILL BE DISPOSED INTO THE PROPERTY SHALL BE SUBJECT TO ANY LOCAL PROHIBITIONS FROM THIS TYPE OF DISPOSAL.
- ALL CONSTRUCTION AND DEMOLITION DEBRIS (C&D) WASTE SHALL BE DISPOSED OF IN AN APPROVED C&D LANDFILL. CONSTRUCTION DEBRIS MAY BE DISPOSED OF ON-SITE, BUT DEMOLITION DEBRIS MUST BE DISPOSED OF IN AN APPROVED LANDFILL. ALSO, MATERIALS WHICH CONTAIN ASBESTOS MUST COMPLY WITH AIR POLLUTION REGULATIONS.
- AREA SHALL BE DESIGNATED BY CONTRACTOR AND SHOWN ON SWPPP MAP FOR MIXING OR STORAGE OF COMPOUNDS SUCH AS FERTILIZERS, LIME, ASPHALT, OR CONCRETE. THESE DESIGNATED AREAS SHALL BE LOCATED AWAY FROM WATERCOURSES, DRAINAGE DITCHES, FIELD DRAINS, OR OTHER STORMWATER DRAINAGE AREA.
- EQUIPMENT FUELING & MAINTENANCE SHALL BE IN DESIGNATED AREAS ONLY.
- A SPILL PREVENTION CONTROL AND COUNTERMEASURE (SPCC) PLAN MUST BE DEVELOPED FOR SITES WITH ONE ABOVE-GROUND STORAGE TANK OF 660 GALLONS OR MORE, TOTAL ABOVE-GROUND STORAGE OF 1,320 GALLONS OR BELOW-GROUND STORAGE OF 4,200 GALLONS OF FUEL.
- ALL DESIGNATED CONCRETE WASHOUT AREAS SHALL BE LOCATED AWAY FROM WATERCOURSES, DRAINAGE DITCHES, FIELD DRAINS OR OTHER STORMWATER DRAINAGE AREAS.
- ALL CONTAMINATED SOIL MUST BE TREATED AND/OR DISPOSED OF IN AN APPROVED SOLID WASTE MANAGEMENT FACILITY OR HAZARDOUS WASTE TREATMENT, STORAGE OR DISPOSAL FACILITIES.
- THE CONTRACTOR SHALL CONTACT THE TOWN OF ORANGETOWN, THE LOCAL FIRE DEPARTMENT AND THE LOCAL EMERGENCY PLANNING COMMITTEE IN THE EVENT OF A PETROLEUM SPILL (>25 GALLONS) OR THE PRESENCE OF SHEEN.
- OPEN BURNING IS NOT PERMITTED ON THE SITE.

**GENERAL NOTES**

- ADDITIONAL EROSION AND SEDIMENT CONTROLS MAY BE REQUIRED AS IDENTIFIED WITH THE TOWN OF ORANGETOWN AND LOCAL JURISDICTION INSPECTOR.
- CONTRACTOR SHALL REVIEW THE COMPLETE DRAWING SET AND NOTIFY THE DESIGN PROFESSIONAL IN WRITING PRIOR TO CONSTRUCTION IF ANY DISCREPANCIES ARE FOUND WITHIN THE DRAWINGS OR WITH ACTUAL FIELD CONDITIONS.
- ALL STORMWATER POLLUTION PREVENTION PLANS, NOTES AND DETAILS SHALL COMPLY WITH THE VILLAGE OF COLONIE CODE AND THE NEW YORK STATE STANDARDS.
- CONTRACTOR IS RESPONSIBLE TO MAINTAIN EROSION CONTROL MEASURES UNTIL ADEQUATE RE-VEGETATION AND STABILIZATION ARE ACHIEVED.
- CONTRACTOR SHALL PROVIDE AND POST NOTICE OF INTENT (NOI) WITH PROJECT DESCRIPTION AND CONTACT NUMBERS.
- CONTRACTOR SHALL MODIFY THE SEQUENCE OF CONSTRUCTION BASED ON MEANS AND METHODS. ALL EROSION AND SEDIMENT CONTROL MEASURES FROM THE BEGINNING OF EARLY DISTURBING ACTIVITIES TO THE FINAL COMPLETION OF THE PROJECT ARE THE RESPONSIBILITY OF THE SITE WORK CONTRACTOR.
- THE CONTRACTOR SHALL NOTIFY THE TOWN OF ORANGETOWN SEWER INSPECTOR AT LEAST 48 HOURS IN ADVANCE OF ANY CONSTRUCTION TAKING PLACE IN OR AROUND THE SANITARY SEWER SYSTEM.



VICINITY MAP  
1" = 1,000'

REFER TO SHEETS C6.3 TO C6.4 FOR SWPPP DETAILS  
REFER TO SHEETS C5.0 SERIES FOR GRADING PLAN

NO.	DATE	REVISION DESCRIPTION
1	08/06/20	ISSUE FOR PERMIT
2	08/06/20	DATE
3	08/06/20	JOB NO.
4	08/06/20	SCALE
5	08/06/20	DESIGN
6	08/06/20	DRAWN
7	08/06/20	CHECKED
8	08/06/20	DRAWING TITLE
9	08/06/20	ISSUE FOR PERMIT
10	08/06/20	DATE
11	08/06/20	JOB NO.
12	08/06/20	SCALE
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15	08/06/20	CHECKED
16	08/06/20	DRAWING TITLE

DELIVERY STATION

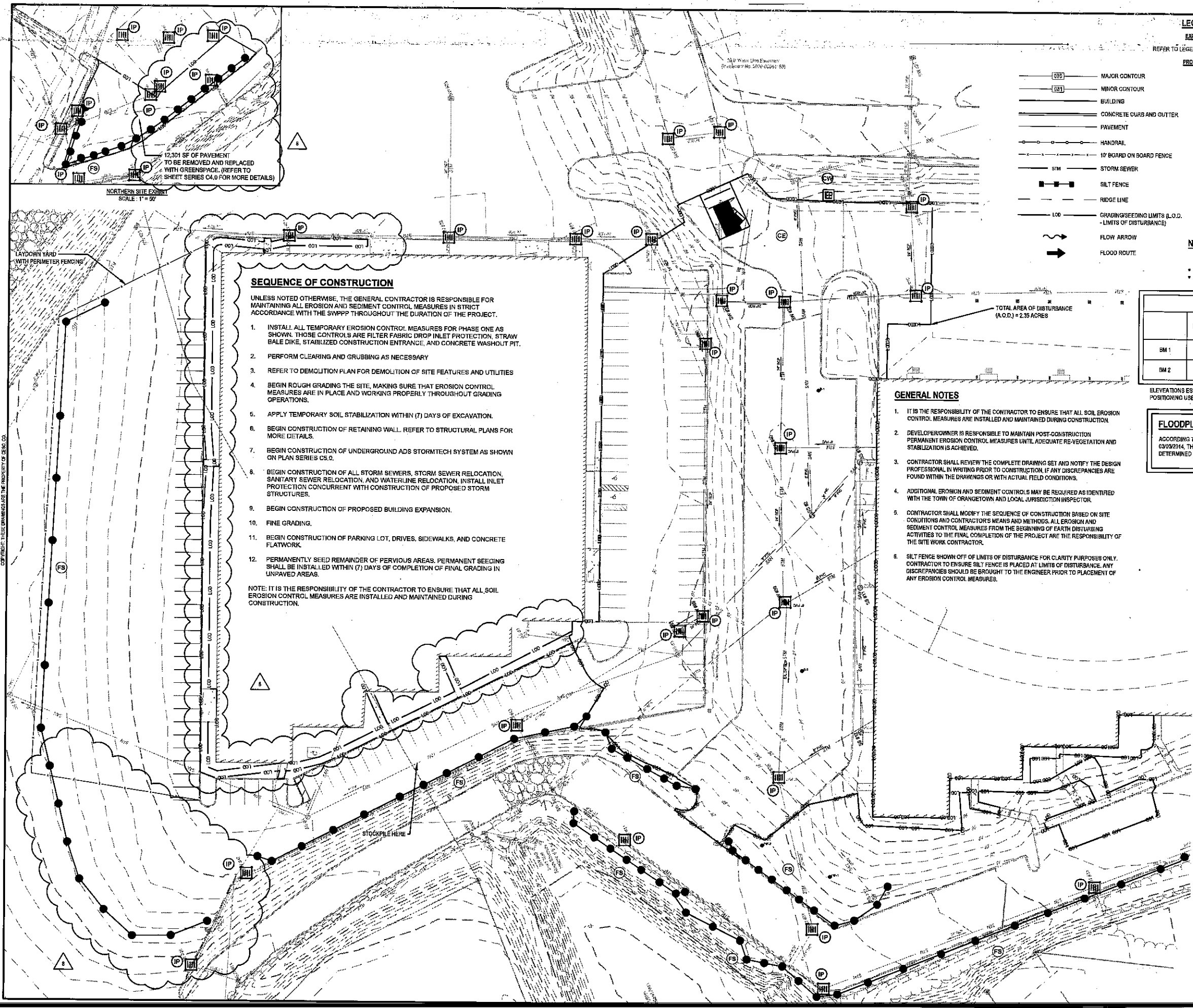


ISSUE FOR PERMIT  
DATE: 08/06/20

JOB NO.: 787184  
SCALE: 1" = 80'  
DESIGN: T. LEJA  
DRAWN: S. BAILEY  
CHECKED: J. KOCINSKI

DRAWING TITLE: SWPPP NOTES

SHEET NO.: C6.0



**LEGEND**

REFER TO LEGEND ON SHEET C2.0

EXISTING		PROPOSED	
	MAJOR CONTOUR		FILTER FABRIC DROP INLET PROTECTION
	MINOR CONTOUR		SOIL STABILIZATION
	BUILDING		FILTER SOCK / STRAW BALE DIKE
	CONCRETE CURB AND GUTTER		STORMWATER OUTFALL POINT
	PAVEMENT		STABILIZED CONSTRUCTION ENTRANCE (20' WIDE x 50' LONG)
	HANDRAIL		CONCRETE WASHOUT
	10' BOARD ON BOARD FENCE		EROSION CONTROL BLANKET
	STORM SEWER		
	SILT FENCE		
	RIDGE LINE		
	GRADING/SEEDING LIMITS (L.O.D. - LIMITS OF DISTURBANCE)		
	FLOW ARROW		
	FLOOD ROUTE		

**NOTE:**

- TOTAL AREA OF DISTURBANCE (A.O.D.) = 2.35 ACRES
- THE MAXIMUM SOIL EXPOSURE LIMIT IS 14 DAYS

**BENCHMARK**

DESCRIPTION	ELEVATION	NORTHING/EASTING
BM 1	1" PIPE	83.58 FT 816832.73 N, 641443.82 E
BM 2	5 / 8" REBAR	71.22 FT 818739.46 N, 641528.89 E

ELEVATIONS ESTABLISHED WITH GPS STATIC OBSERVATIONS UTILIZING ONLINE POSITIONING USER SERVICE (OPUS) FOR POST PROCESSING. (NAVD 1988 DATUM)

**FLOODPLAIN DESIGNATION:**

ACCORDING TO F.I.R.M. NO. 36897C-0179-G, BEARING AN EFFECTIVE DATE OF 03/09/2014, THE SUBJECT PROPERTIES ARE LOCATED IN A ZONE "X" (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL FLOOD PLAIN).

**SURVEY (DATED 10/31/2019) BY:**

BLEW & ASSOCIATES, PA  
 3825 N. SHILOH DRIVE  
 FAYETTEVILLE, AR 72703  
 PHONE: (479) 582-1885  
 CONTACT: PAXTON SINGLETON

CESO PROVIDES NO GUARANTEE TO THE ACCURACY OF THE SURVEY PROVIDED BY BLEW & ASSOCIATES, PA. CONTRACTOR TO VERIFY EXISTING CONDITIONS PRIOR TO BID AND CONSTRUCTION.

**SEQUENCE OF CONSTRUCTION**

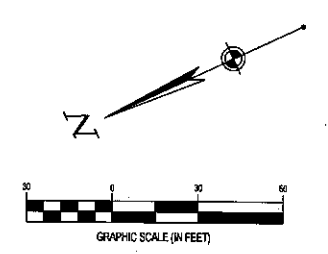
UNLESS NOTED OTHERWISE, THE GENERAL CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL EROSION AND SEDIMENT CONTROL MEASURES IN STRICT ACCORDANCE WITH THE SWPPP THROUGHOUT THE DURATION OF THE PROJECT.

- INSTALL ALL TEMPORARY EROSION CONTROL MEASURES FOR PHASE ONE AS SHOWN. THOSE CONTROLS ARE FILTER FABRIC DROP INLET PROTECTION, STRAW BALE DIKE, STABILIZED CONSTRUCTION ENTRANCE, AND CONCRETE WASHOUT PIT.
- PERFORM CLEARING AND GRUBBING AS NECESSARY
- REFER TO DEMOLITION PLAN FOR DEMOLITION OF SITE FEATURES AND UTILITIES
- BEGIN ROUGH GRADING THE SITE, MAKING SURE THAT EROSION CONTROL MEASURES ARE IN PLACE AND WORKING PROPERLY THROUGHOUT GRADING OPERATIONS.
- APPLY TEMPORARY SOIL STABILIZATION WITHIN (7) DAYS OF EXCAVATION.
- BEGIN CONSTRUCTION OF RETAINING WALL. REFER TO STRUCTURAL PLANS FOR MORE DETAILS.
- BEGIN CONSTRUCTION OF UNDERGROUND ADS STORMTECH SYSTEM AS SHOWN ON PLAN SERIES C5.0.
- BEGIN CONSTRUCTION OF ALL STORM SEWERS, STORM SEWER RELOCATION, SANITARY SEWER RELOCATION, AND WATERLINE RELOCATION. INSTALL INLET PROTECTION CONCURRENT WITH CONSTRUCTION OF PROPOSED STORM STRUCTURES.
- BEGIN CONSTRUCTION OF PROPOSED BUILDING EXPANSION.
- FINE GRADING.
- BEGIN CONSTRUCTION OF PARKING LOT, DRIVES, SIDEWALKS, AND CONCRETE FLATWORK.
- PERMANENTLY SEED REMAINDER OF PVIOUS AREAS. PERMANENT SEEDING SHALL BE INSTALLED WITHIN (7) DAYS OF COMPLETION OF FINAL GRADING IN UNPAVED AREAS.

NOTE: IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE THAT ALL SOIL EROSION CONTROL MEASURES ARE INSTALLED AND MAINTAINED DURING CONSTRUCTION.

**GENERAL NOTES**

- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE THAT ALL SOIL EROSION CONTROL MEASURES ARE INSTALLED AND MAINTAINED DURING CONSTRUCTION.
- DEVELOPER/OWNER IS RESPONSIBLE TO MAINTAIN POST-CONSTRUCTION PERMANENT EROSION CONTROL MEASURES UNTIL ADEQUATE RE-VEGETATION AND STABILIZATION IS ACHIEVED.
- CONTRACTOR SHALL REVIEW THE COMPLETE DRAWING SET AND NOTIFY THE DESIGN PROFESSIONAL IN WRITING PRIOR TO CONSTRUCTION IF ANY DISCREPANCIES ARE FOUND WITHIN THE DRAWINGS OR WITH ACTUAL FIELD CONDITIONS.
- ADDITIONAL EROSION AND SEDIMENT CONTROLS MAY BE REQUIRED AS IDENTIFIED WITH THE TOWN OF ORANGETOWN AND LOCAL JURISDICTION INSPECTOR.
- CONTRACTOR SHALL MODIFY THE SEQUENCE OF CONSTRUCTION BASED ON SITE CONDITIONS AND CONTRACTOR'S MEANS AND METHODS. ALL EROSION AND SEDIMENT CONTROL MEASURES FROM THE BEGINNING OF EARTH DISTURBING ACTIVITIES TO THE FINAL COMPLETION OF THE PROJECT ARE THE RESPONSIBILITY OF THE SITE WORK CONTRACTOR.
- SILT FENCE SHOWN OFF OF LIMITS OF DISTURBANCE FOR CLARITY PURPOSES ONLY. CONTRACTOR TO ENSURE SILT FENCE IS PLACED AT LIMITS OF DISTURBANCE. ANY DISCREPANCIES SHOULD BE BROUGHT TO THE ENGINEER PRIOR TO PLACEMENT OF ANY EROSION CONTROL MEASURES.



NO.	DATE	REVISION DESCRIPTION
0	03/09/20	FOR PERMIT
1	03/09/20	REVISION FOR PERMIT COMMENTS
2	03/09/20	REVISION FOR PERMIT COMMENTS
3	03/09/20	REVISION FOR PERMIT COMMENTS
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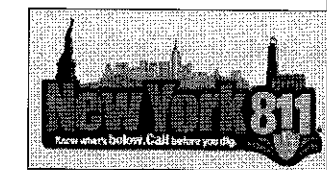
**DELIVERY STATION**

STATE OF NEW YORK  
 DEPARTMENT OF ENVIRONMENTAL CONSERVATION  
 ENGINEER

ISSUE:  
 FOR PERMIT  
 DATE:  
 04/04/20

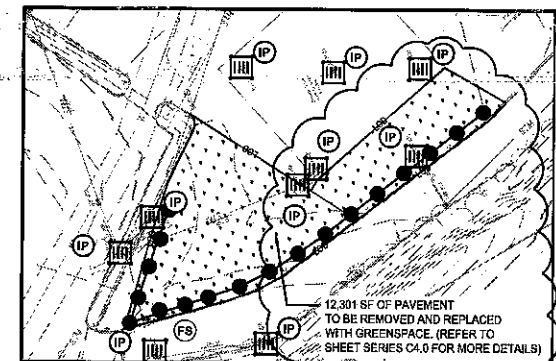
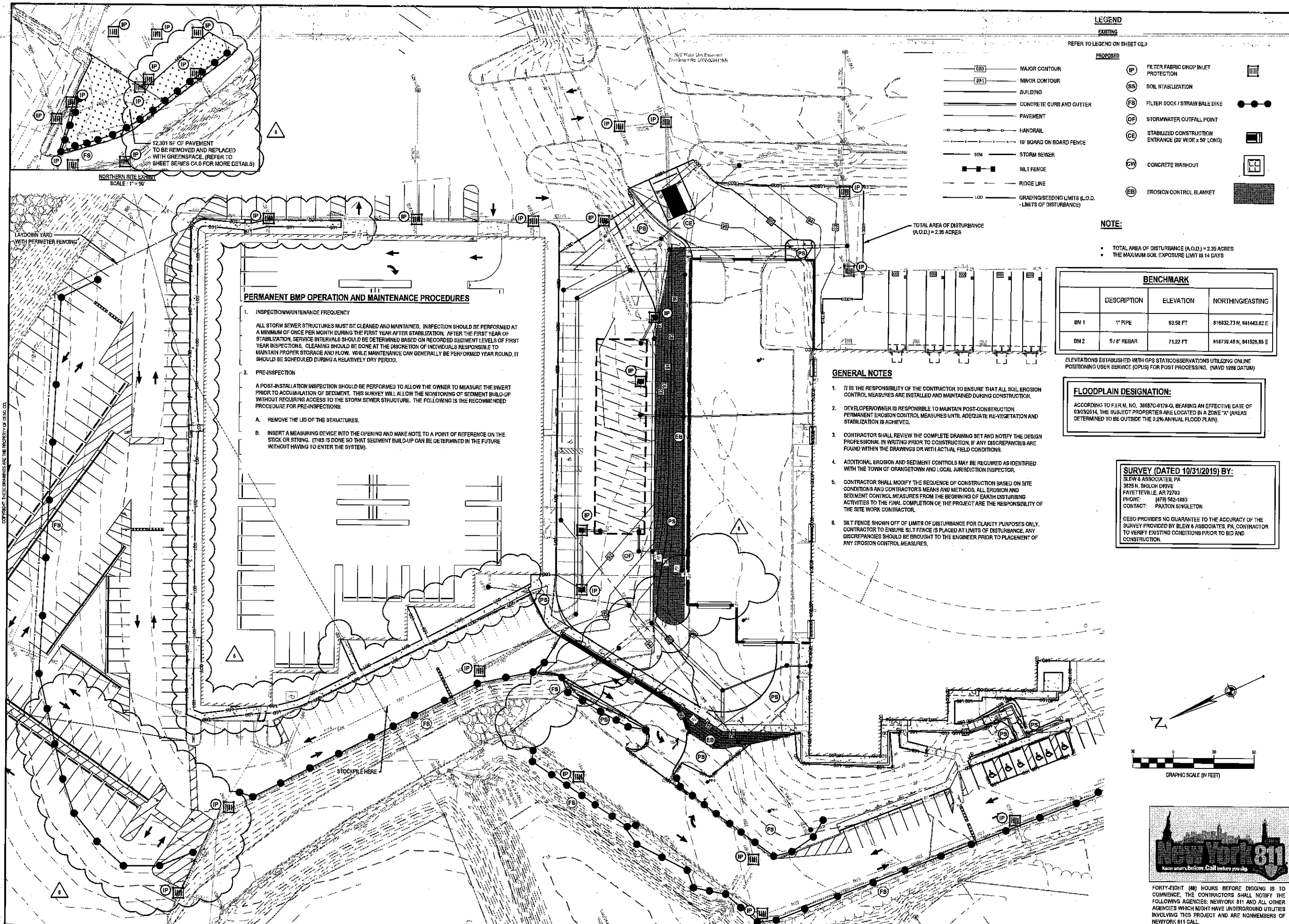
JOB NO.: 757184  
 SCALE: 1" = 30'  
 DESIGN: T. LEJA  
 DRAWN: S. BAILEY  
 CHECKED: J. KOCINSKI  
 DRAWING TITLE: SWPPP PLAN

SHEET NO. C6.1



FORTY-EIGHT (48) HOURS BEFORE DIGGING IS TO COMMENCE, THE CONTRACTORS SHALL NOTIFY THE FOLLOWING AGENCIES: NEWYORK 811 AND ALL OTHER AGENCIES WHICH MIGHT HAVE UNDERGROUND UTILITIES INVOLVING THIS PROJECT AND ARE NONMEMBERS OF NEWYORK 811 CALL.

200 & 400 ORTANI DRIVE - BAILEYVILLE, NY 10813



**LEGEND**

REFER TO LEGEND ON SHEET C2.0

EXISTING	PROPOSED
(Symbol)	(Symbol) MAJOR CONTOUR
(Symbol)	(Symbol) MINOR CONTOUR
(Symbol)	(Symbol) BUILDING
(Symbol)	(Symbol) CONCRETE CURB AND GUTTER
(Symbol)	(Symbol) PAVEMENT
(Symbol)	(Symbol) HANDRAIL
(Symbol)	(Symbol) 10' BOARD ON BOARD FENCE
(Symbol)	(Symbol) STORM SEWER
(Symbol)	(Symbol) SILT FENCE
(Symbol)	(Symbol) RIDGE LINE
(Symbol)	(Symbol) GRADING/SEEDING LIMITS (L.O.D. - LIMITS OF DISTURBANCE)
(Symbol)	(Symbol) FILTER FABRIC DROP INLET PROTECTION
(Symbol)	(Symbol) SOIL STABILIZATION
(Symbol)	(Symbol) FILTER SOCK / STRAW BALE DIKE
(Symbol)	(Symbol) STORMWATER OUTFALL POINT
(Symbol)	(Symbol) STABILIZED CONSTRUCTION ENTRANCE (20' WIDE x 50' LONG)
(Symbol)	(Symbol) CONCRETE WASHOUT
(Symbol)	(Symbol) EROSION CONTROL BLANKET

**NOTE:**

- TOTAL AREA OF DISTURBANCE (A.O.D.) = 2.35 ACRES
- THE MAXIMUM SOIL EXPOSURE LIMIT IS 14 DAYS

**BENCHMARK**

NO.	DATE	DESCRIPTION	ELEVATION	NORTHING/EASTING
BM 1		1" PIPE	92.58 FT	818832.73 N, 841443.82 E
BM 2		5/8" REBAR	71.22 FT	818799.48 N, 841526.85 E

ELEVATIONS ESTABLISHED WITH GPS STATIC OBSERVATIONS UTILIZING ONLINE POSITIONING USER SERVICE (OPUS) FOR POST PROCESSING. (NAVD 1988 DATUM)

**FLOODPLAIN DESIGNATION:**

ACCORDING TO F.I.R.M. NO. 38087C-0179-G, BEARING AN EFFECTIVE DATE OF 03/03/2014, THE SUBJECT PROPERTIES ARE LOCATED IN A ZONE "X" (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL FLOOD PLAIN).

**SURVEY (DATED 10/31/2019) BY:**  
BLEW & ASSOCIATES, PA  
3825 N. SHILOH DRIVE  
FAYETTEVILLE, AR 72703  
PHONE: (479) 582-1883  
CONTACT: PAXTON SINGLETON

CESO PROVIDES NO GUARANTEE TO THE ACCURACY OF THE SURVEY PROVIDED BY BLEW & ASSOCIATES, PA. CONTRACTOR TO VERIFY EXISTING CONDITIONS PRIOR TO BID AND CONSTRUCTION.

**PERMANENT BMP OPERATION AND MAINTENANCE PROCEDURES**

- INSPECTION/MAINTENANCE FREQUENCY**  
ALL STORM SEWER STRUCTURES MUST BE CLEANED AND MAINTAINED. INSPECTION SHOULD BE PERFORMED AT A MINIMUM OF ONCE PER MONTH DURING THE FIRST YEAR AFTER STABILIZATION. AFTER THE FIRST YEAR OF STABILIZATION, SERVICE INTERVALS SHOULD BE DETERMINED BASED ON RECORDED SEDIMENT LEVELS OF FIRST YEAR INSPECTIONS. CLEANING SHOULD BE DONE AT THE DISCRETION OF INDIVIDUALS RESPONSIBLE TO MAINTAIN PROPER STORAGE AND FLOW. WHILE MAINTENANCE CAN GENERALLY BE PERFORMED YEAR ROUND, IT SHOULD BE SCHEDULED DURING A RELATIVELY DRY PERIOD.
- PRE-INSPECTION**  
A POST-INSTALLATION INSPECTION SHOULD BE PERFORMED TO ALLOW THE OWNER TO MEASURE THE INVERT PRIOR TO ACCUMULATION OF SEDIMENT. THIS SURVEY WILL ALLOW THE MONITORING OF SEDIMENT BUILD-UP WITHOUT REQUIRING ACCESS TO THE STORM SEWER STRUCTURE. THE FOLLOWING IS THE RECOMMENDED PROCEDURE FOR PRE-INSPECTIONS:  
  - REMOVE THE LID OF THE STRUCTURES.
  - INSERT A MEASURING DEVICE INTO THE OPENING AND MAKE NOTE TO A POINT OF REFERENCE ON THE STICK OR STRING. (THIS IS DONE SO THAT SEDIMENT BUILD-UP CAN BE DETERMINED IN THE FUTURE WITHOUT HAVING TO ENTER THE SYSTEM).

**GENERAL NOTES**

- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE THAT ALL SOIL EROSION CONTROL MEASURES ARE INSTALLED AND MAINTAINED DURING CONSTRUCTION.
- DEVELOPER/OWNER IS RESPONSIBLE TO MAINTAIN POST-CONSTRUCTION PERMANENT EROSION CONTROL MEASURES UNTIL ADEQUATE RE-VEGETATION AND STABILIZATION IS ACHIEVED.
- CONTRACTOR SHALL REVIEW THE COMPLETE DRAWING SET AND NOTIFY THE DESIGN PROFESSIONAL IN WRITING PRIOR TO CONSTRUCTION IF ANY DISCREPANCIES ARE FOUND WITHIN THE DRAWINGS OR WITH ACTUAL FIELD CONDITIONS.
- ADDITIONAL EROSION AND SEDIMENT CONTROLS MAY BE REQUIRED AS IDENTIFIED WITH THE TOWN OF ORANGETOWN AND LOCAL JURISDICTION INSPECTOR.
- CONTRACTOR SHALL MODIFY THE SEQUENCE OF CONSTRUCTION BASED ON SITE CONDITIONS AND CONTRACTOR'S MEANS AND METHODS. ALL EROSION AND SEDIMENT CONTROL MEASURES FROM THE BEGINNING OF EARTH DISTURBING ACTIVITIES TO THE FINAL COMPLETION OF THE PROJECT ARE THE RESPONSIBILITY OF THE SITE WORK CONTRACTOR.
- SILT FENCE SHOWN OFF OF LIMITS OF DISTURBANCE FOR CLARITY PURPOSES ONLY. CONTRACTOR TO ENSURE SILT FENCE IS PLACED AT LIMITS OF DISTURBANCE. ANY DISCREPANCIES SHOULD BE BROUGHT TO THE ENGINEER PRIOR TO PLACEMENT OF ANY EROSION CONTROL MEASURES.

NO.	DATE	REVISION DESCRIPTION
1	08/02/20	ISSUE FOR PERMIT
2	08/02/20	DATE: 08/04/20
3	08/02/20	JOB NO.: 757184
4	08/02/20	SCALE: 1" = 30'
5	08/02/20	DESIGN: T. LEJA
6	08/02/20	DRAWN: S. BAILEY
7	08/02/20	CHECKED: J. KOCINSKI
8	08/02/20	DRAWING TITLE

**DELIVERY STATION**

200 & 400 ORISTANI DRIVE, BLAUVELT, NY 10813

ISSUE FOR PERMIT  
DATE: 08/04/20

JOB NO.: 757184  
SCALE: 1" = 30'  
DESIGN: T. LEJA  
DRAWN: S. BAILEY  
CHECKED: J. KOCINSKI

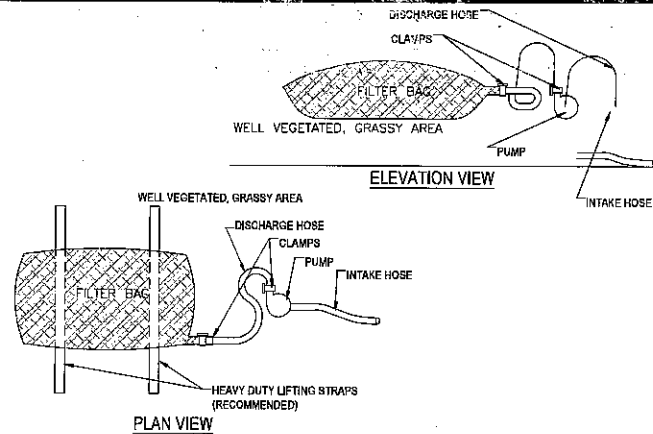
DRAWING TITLE

**SWPPP PLAN 2**

SEVENTY-FIVE (75) HOURS BEFORE DIGGING IS TO COMMENCE. THE CONTRACTORS SHALL NOTIFY THE FOLLOWING AGENCIES: NEW YORK 811 AND ALL OTHER AGENCIES WHICH MIGHT HAVE UNDERGROUND UTILITIES INVOLVING THIS PROJECT AND ARE NONMEMBERS OF NEW YORK 811 CALL

SHEET NO. C62

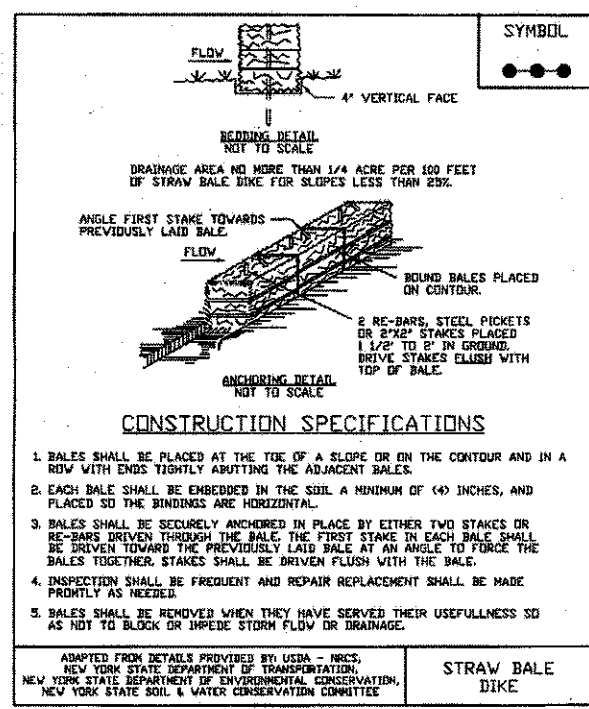




- NOTES**
- LOW VOLUME FILTER BAGS SHALL BE MADE FROM NON-WOVEN GEOTEXTILE MATERIAL SEWN WITH HIGH STRENGTH, DOUBLE STITCHED "P" TYPE SEAMS. THEY SHALL BE CAPABLE OF TRAPPING PARTICLES LARGER THAN 150 MICRONS. HIGH VOLUME FILTER BAGS SHALL BE MADE FROM WOVEN GEOTEXTILES THAT MEET THE FOLLOWING STANDARDS:
- | PROPERTY                 | TEST METHOD | MINIMUM STANDARD |
|--------------------------|-------------|------------------|
| AVG. WIDE WIDTH STRENGTH | ASTM D-484  | 60 LBS           |
| GRAB TENSILE             | ASTM D-492  | 205 LB           |
| PUNCTURE                 | ASTM D-493  | 110 LB           |
| HOLE BURST               | ASTM D-578  | 350 FZ           |
| UV RESISTANCE            | ASTM D-455  | 70%              |
| ADS % RETAINED           | ASTM D-4751 | 80 SIEVE         |
- BAGS SHALL BE LOCATED IN WELL-VEGETATED (GRASSY) AREA AND DISCHARGE ONTO STABLE, EROSION RESISTANT AREAS. WHERE THIS IS NOT POSSIBLE, A GEOTEXTILE UNDERLAYMENT AND FLOW PATH SHALL BE PROVIDED. BAGS MAY BE PLACED ON FILTER STONE TO INCREASE DISCHARGE CAPACITY. BAGS SHALL NOT BE PLACED ON SLOPES GREATER THAN 5% FOR SLOPES EXCEEDING 5%. CLEAN ROCK OR OTHER NON-ERODIBLE AND NON-POLLUTING MATERIAL MAY BE PLACED UNDER THE BAG TO REDUCE SLOPE STEEPNESS.
  - NO DOWNSLOPE SEDIMENT BARRIER IS REQUIRED FOR MOST INSTALLATIONS. COMPOST BERM OR COMPOST FILTER SOCK SHALL BE INSTALLED BELOW BAGS LOCATED IN HQ OR EV WATERBODIES WITHIN 50 FEET OF ANY RECEIVING SURFACE WATER OR WHERE GRASSY AREA IS NOT AVAILABLE.
  - THE PUMP DISCHARGE HOSE SHALL BE INSERTED INTO THE BAGS IN THE MANNER SPECIFIED BY THE MANUFACTURER AND SECURELY CLAMPED. A PIECE OF PVC PIPE IS RECOMMENDED FOR THIS PURPOSE.
  - THE PUMPING RATE SHALL BE NO GREATER THAN 750 GPM OR 1/2 THE MAXIMUM SPECIFIED BY THE MANUFACTURER, WHICHEVER IS LESS. PUMP INTAKES SHALL BE FLOATING AND SCREENED.
  - FILTER BAGS SHALL BE INSPECTED DAILY. IF ANY PROBLEM IS DETECTED, PUMPING SHALL CEASE IMMEDIATELY AND NOT RESUME UNTIL THE PROBLEM IS CORRECTED.
  - A SUITABLE MEANS OF ACCESSING THE BAG WITH MACHINERY REQUIRED FOR DISPOSAL PURPOSES SHALL BE PROVIDED. FILTER BAGS SHALL BE REPLACED WHEN THEY BECOME 1/2 FULL OF SEDIMENT. SPARE BAGS SHALL BE KEPT AVAILABLE FOR REPLACEMENT OF THOSE THAT HAVE FAILED OR ARE FILLED. BAGS SHALL BE PLACED ON STRAPS TO FACILITATE REMOVAL UNLESS BAGS COME WITH LIFTING STRAPS ALREADY ATTACHED.

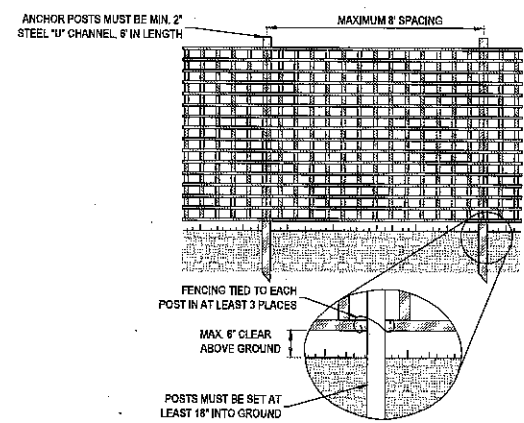
**PUMPED WATER FILTER BAG**  
NTS

**Figure 5A.7**  
**Straw Bale Dike**



ADAPTED FROM DETAILS PROVIDED BY USDA - NRCS, NEW YORK STATE DEPARTMENT OF TRANSPORTATION, NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION, NEW YORK STATE SOIL & WATER CONSERVATION COMMITTEE

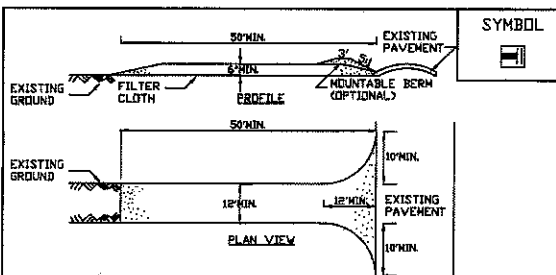
**STRAW BALE DIKE**



- NOTES**
- PROTECTION BARRIER SHALL BE 4' HIGH, CONSTRUCTED OF DURABLE AND HIGHLY VISIBLE MATERIAL (PLASTIC ORANGE CONSTRUCTION FENCE AND SNOW-FENCE MAY BE USED).
  - PROTECTION BARRIERS SHALL BE MAINTAINED THROUGHOUT THE DURATION OF THE WORK AT THE SITE.
  - ADDITIONAL WARNING SIGNS SHOULD ALSO BE PLACED ON THE FENCING AND IN APPROPRIATE AREAS NEAR THE WORK ZONE.

**CONSTRUCTION FENCE DETAIL**  
NTS

**Figure 5A.35**  
**Stabilized Construction Entrance**



- CONSTRUCTION SPECIFICATIONS**
- STONE SIZE - USE 1-4 INCH STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
  - LENGTH - NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY).
  - THICKNESS - NOT LESS THAN SIX (6) INCHES.
  - WIDTH - TWELVE (12) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. TWENTY-FOUR (24) FOOT IF SINGLE ENTRANCE TO SITE.
  - GEOTEXTILE - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
  - SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED BENEATH THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
  - MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
  - WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON A AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
  - PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

ADAPTED FROM DETAILS PROVIDED BY USDA - NRCS, NEW YORK STATE DEPARTMENT OF TRANSPORTATION, NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION, NEW YORK STATE SOIL & WATER CONSERVATION COMMITTEE

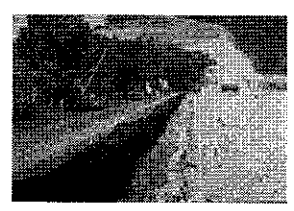
**STABILIZED CONSTRUCTION ENTRANCE**

**STANDARD AND SPECIFICATIONS FOR DUST CONTROL**



- Definition & Scope**
- The control of dust resulting from land-disturbing activities, to prevent surface and air movement of dust from disturbed soil surfaces that may cause off-site damage, health hazards, and traffic safety problems.
- Conditions Where Practice Applies**
- On construction roads, access points, and other disturbed areas subject to surface dust movement and dust blowing where off-site damage may occur if dust is not controlled.
- Design Criteria**
- Construction operations should be scheduled to minimize the amount of area disturbed at one time. Buffer areas of vegetation should be left where practical. Temporary or permanent stabilization measures shall be installed. No specific design criteria is given; see construction specifications below for common methods of dust control.
- Water quality must be considered when materials are selected for dust control. Where there is a potential for the material to wash off to a stream, ingredient information must be provided to the NYSDEC.
- No polymer application shall take place without written approval from the NYSDEC.
- Construction Specifications**
- A. Non-driving Areas - These areas use products and materials applied or placed on soil surfaces to prevent airborne migration of soil particles.
- Vegetative Cover - For disturbed areas not subject to traffic, vegetation provides the most practical method of dust control (see Section 3).
- Mulch (including gravel mulch) - Mulch offers a fast effective means of controlling dust. This can also include rolled erosion control blankets.
- Spray adhesives - These are products generally composed of polymers in a liquid or solid form that are mixed with water to form an emulsion that is sprayed on the soil surface with typical hydroseeding equipment. The mixing ratios and application rates will be in accordance with the manufacturer's recommendations for the specific soils on the site. In no case should the application of these adhesives be made on wet soils or if there is a probability of precipitation within 48 hours of its proposed use. Material Safety Data Sheets will be provided to all applicators and others working with the material.
- B. Driving Areas - These areas utilize water, polymer emulsions, and barriers to prevent dust movement from the traffic surface into the air.
- Sprinkling - The site may be sprayed with water until the surface is wet. This is especially effective on haul roads and access routes to provide short term limited dust control.
- Polymer Additives - These polymers are mixed with water and applied to the driving surface by a water truck with a gravity feed drip bar, spray bar or automated distributor truck. The mixing ratios and application rates will be in accordance with the manufacturer's recommendations. Incorporation of the emulsion into the soil will be done to the appropriate depth based on expected traffic. Compaction after incorporation will be by vibratory roller to a minimum of 95%. The prepared surface shall be moist and no application of the polymer will be made if there is a probability of precipitation within 48 hours of its proposed use. Material Safety Data Sheets will be provided to all applicators working with the material.
- Barriers - Woven geo-textiles can be placed on the driving surface to effectively reduce dust throw and particle migration on haul roads. Stone can also be used for construction roads for effective dust control.
- Windbreak - A silt fence or similar barrier can control air currents at intervals equal to ten times the barrier height. Preserve existing wind barrier vegetation as much as practical.
- Maintenance**
- Maintain dust control measures through dry weather periods until all disturbed areas are stabilized.

**STANDARD AND SPECIFICATIONS FOR SILT FENCE**



- Definition & Scope**
- A temporary barrier of geotextile fabric installed on the contours across a slope used to intercept sediment laden runoff from small drainage areas of undisturbed soil by temporarily ponding the sediment laden runoff allowing settling to occur. The maximum period of use is limited by the ultraviolet stability of the fabric (approximately one year).
- Conditions Where Practice Applies**
- A silt fence may be used subject to the following conditions:
- Maximum allowable slope length and fence length will not exceed the limits shown in the Design Criteria for the specific type of silt fence used; and
  - Maximum ponding depth of 1.5 feet behind the fence; and
  - Erosion would occur in the form of sheet erosion; and
  - There is no concentration of water flowing to the barrier; and
  - Soil conditions allow for proper keying of fabric or other anchorage, to prevent blowouts.
- Design Criteria**
- Design computations are not required for installations of 1 month or less. Larger installation periods should be designed for expected runoff.
  - All silt fences shall be placed as close to the disturbed area as possible, but at least 10 feet from the toe of a slope steeper than 3H:1V, to allow for maintenance and roll down. The area beyond the fence must be undisturbed or stabilized.
  - The type of silt fence specified for each location on the plan shall not exceed the maximum slope length and maximum fence length requirements shown in the following table:
- | Slope  | Steepest     | Silt Fence Length (ft.) |            |          |
|--------|--------------|-------------------------|------------|----------|
|        |              | Standard                | Reinforced | Super    |
| <2%    | < 50:1       | 300/1500                | N/A        | N/A      |
| 2-10%  | 50:1 to 10:1 | 125/1000                | 250/2000   | 300/2500 |
| 10-20% | 10:1 to 5:1  | 100/750                 | 150/1900   | 200/1000 |
| 20-33% | 5:1 to 3:1   | 60/500                  | 80/750     | 100/1000 |
| 33-50% | 3:1 to 2:1   | 40/250                  | 70/350     | 100/500  |
| >50%   | > 2:1        | 20/125                  | 30/175     | 50/250   |
- Standard Silt Fence (SF) is fabric rolls stapled to wood-on stakes driven 16 inches in the ground.  
Reinforced Silt Fence (RSF) is fabric placed against welded wire fabric with anchored steel posts driven 16 inches in the ground.  
Super Silt Fence (SSF) is fabric placed against chain link fence as support backing with posts driven 3 feet in the ground.
- Silt fence shall be removed as soon as the disturbed area has achieved final stabilization.
- The silt fence shall be installed in accordance with the appropriate details. Where ends of filter cloth come together, they shall be overlapped, folded and stapled to prevent sediment bypass. Butt joints are not acceptable. A detail of the silt fence shall be shown on the plan. See Figure 5.30 on page 5.56 for Reinforced Silt Fence as an example of details to be provided.
- Criteria for Silt Fence Materials**
- Silt Fence Fabric: The fabric shall meet the following specifications unless otherwise approved by the appropriate erosion and sediment control plan approval authority. Such approval shall not constitute statewide acceptance.

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200 S. 400 ORTIAN DRIVE, BALDWIN, NY 11513

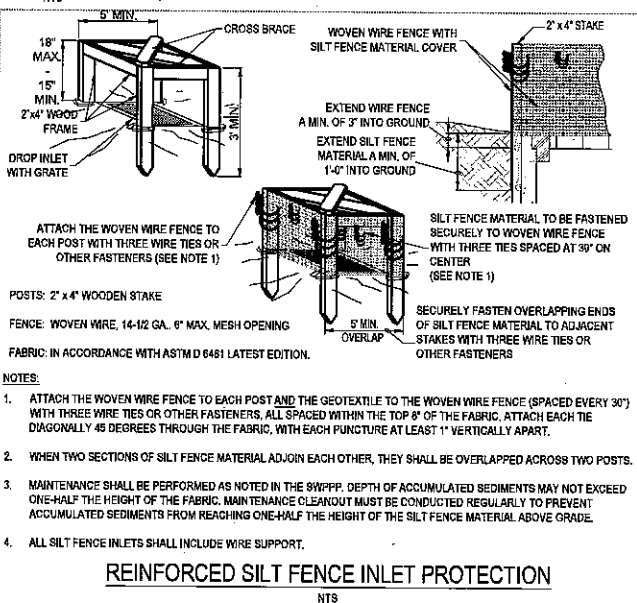
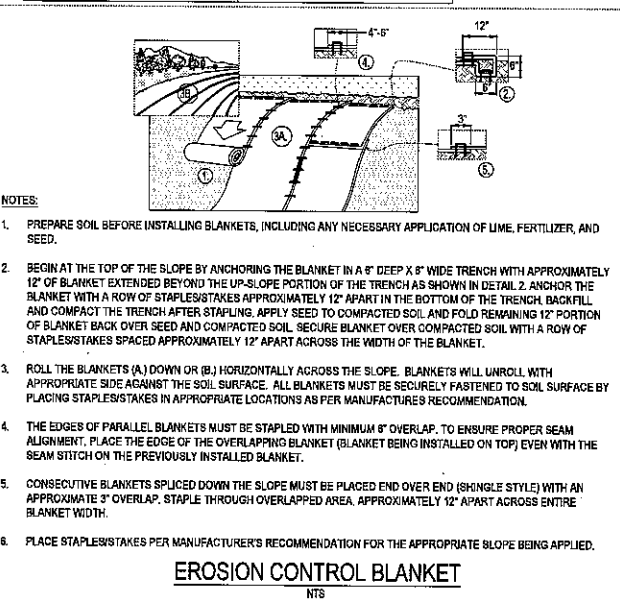
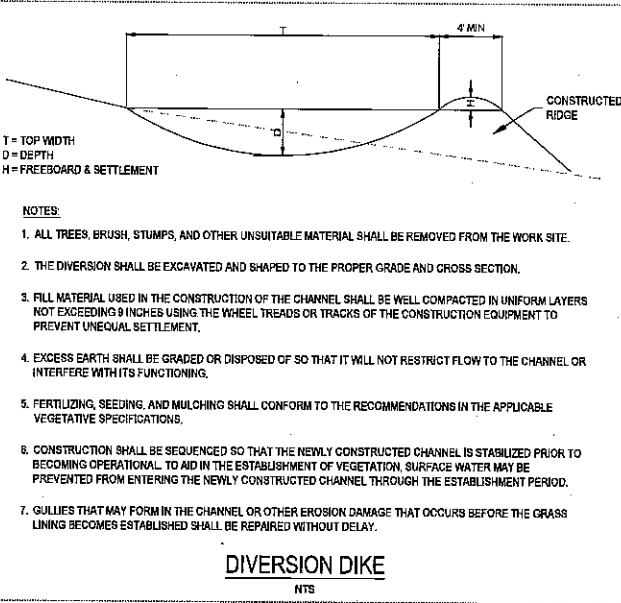
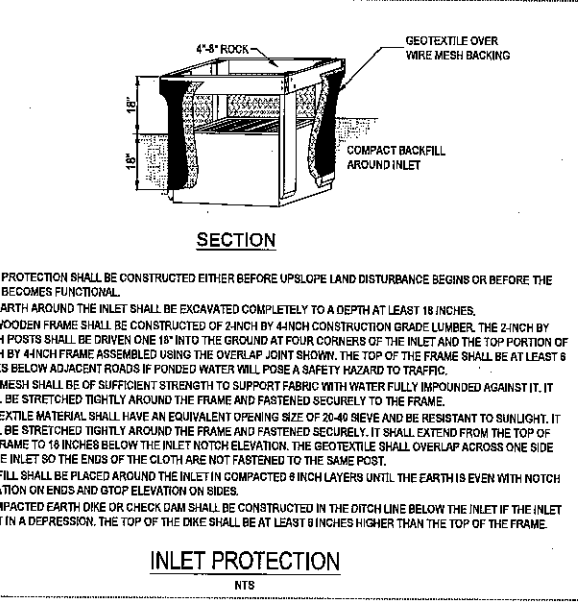
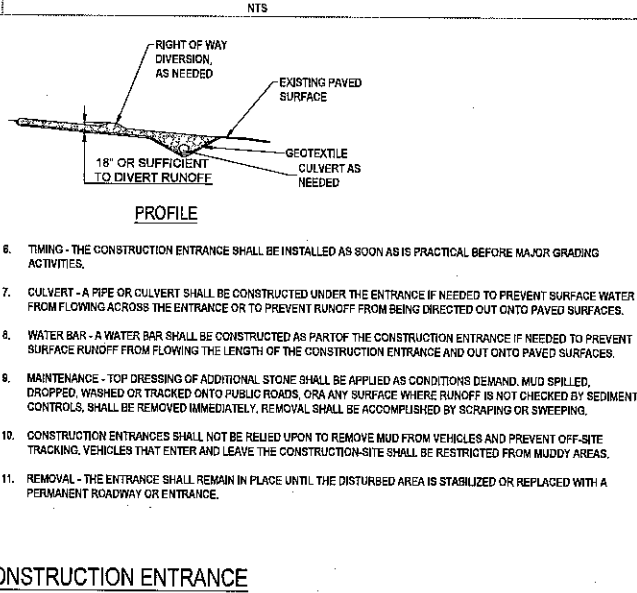
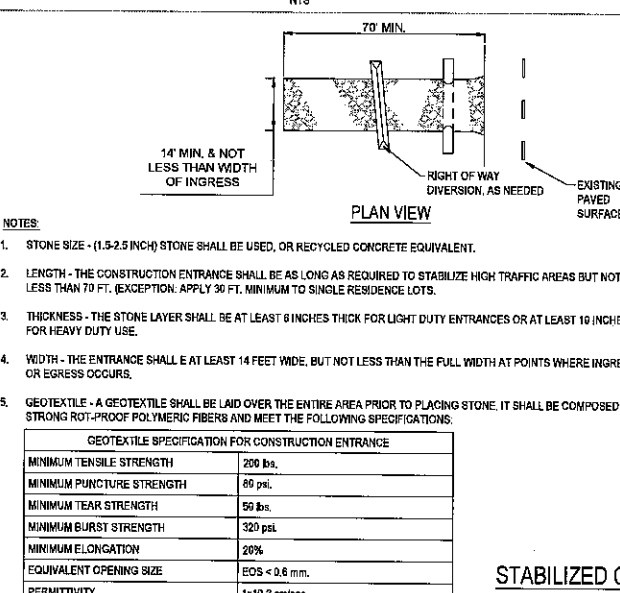
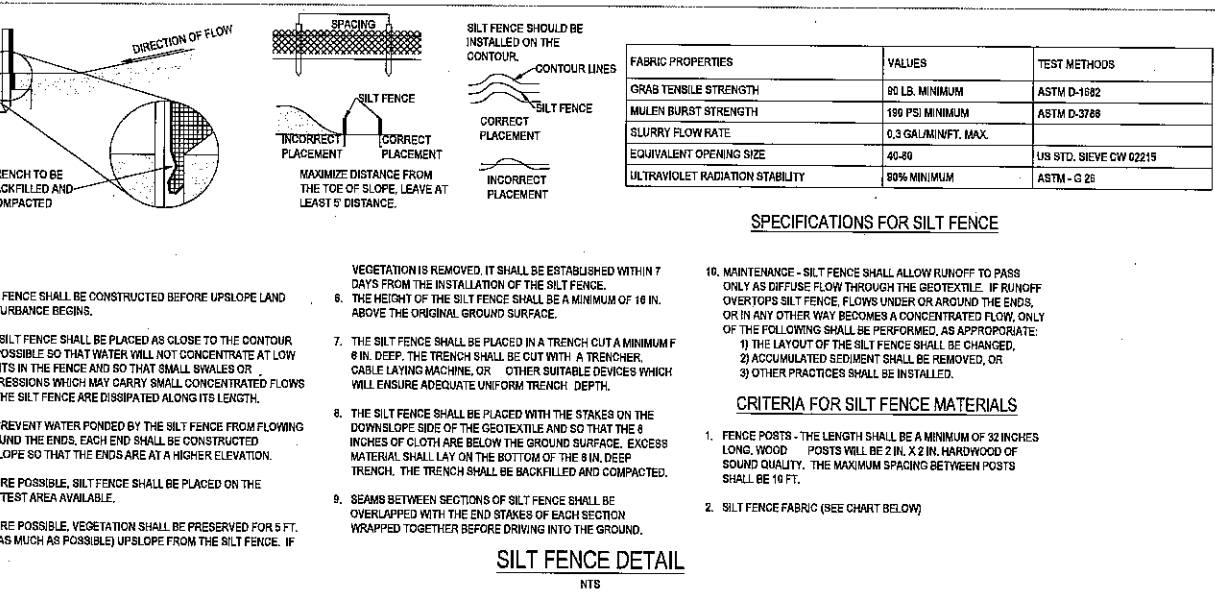
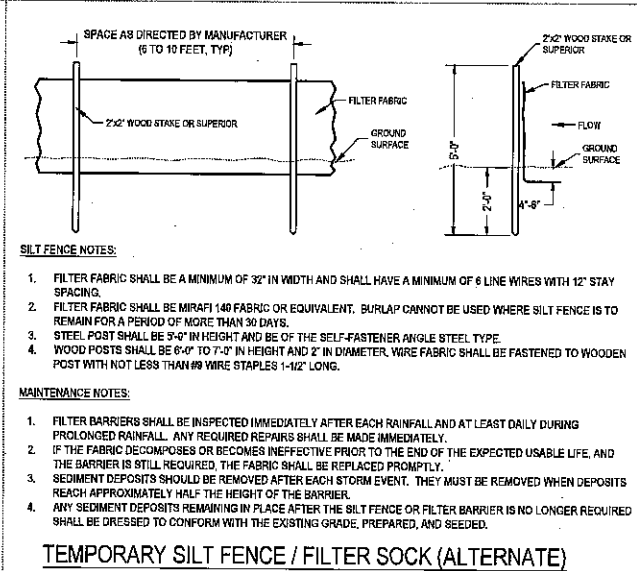
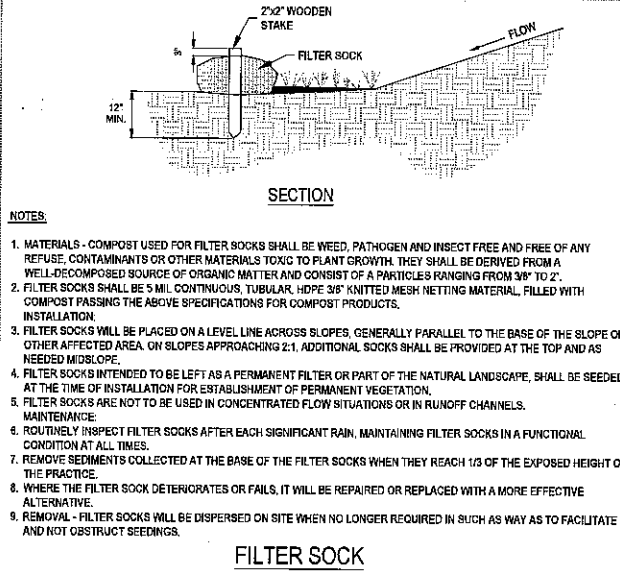
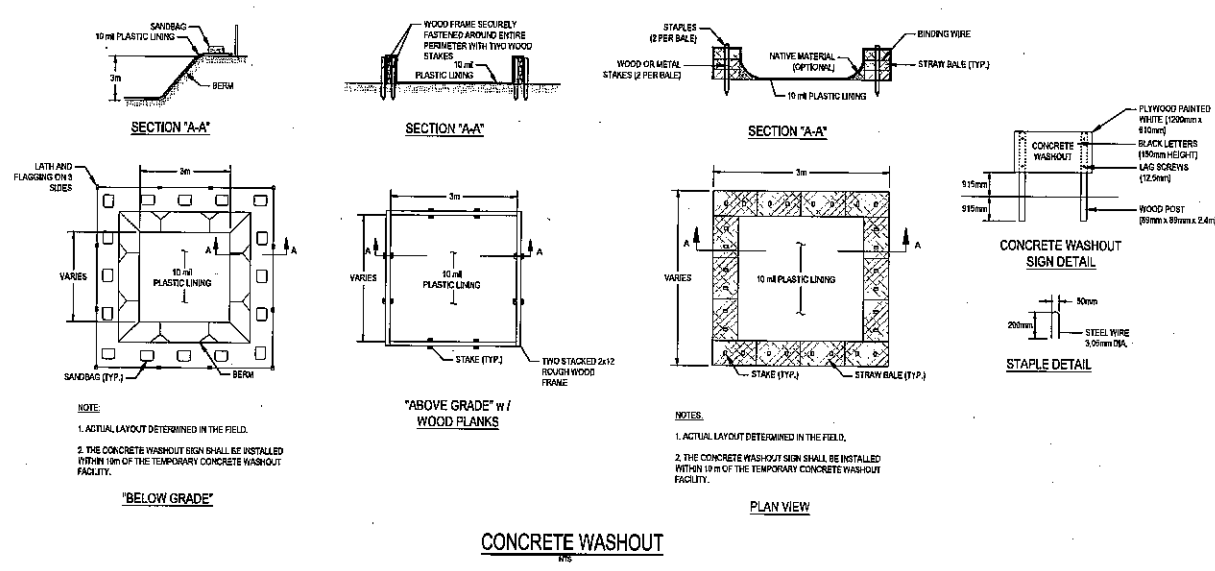
**DELIVERY STATION**

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DATE: 09/2/05

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SCALE: AS SHOWN  
DESIGN: T. LEJA  
DRAWN: S. BAILEY  
CHECKED: J. KOCINSKI  
DRAWING TITLE: SWPPP DETAILS

SHEET NO. 06.2

7/7/14 - 6:3 SWPPP PLANING - 9/2/2011 10:31 AM



NO.	DATE	REVISION DESCRIPTION
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2		FOR PERMIT
3		DATE: 06/04/20
4		JOB NO.: 757184
5		SCALE: AS SHOWN
6		DESIGN: T. LEJA
7		DRAWN: S. BAILEY
8		CHECKED: J. KOCINSKI
9		DRAWING TITLE: SWPPP DETAILS
10		SHEET NO. 06.1

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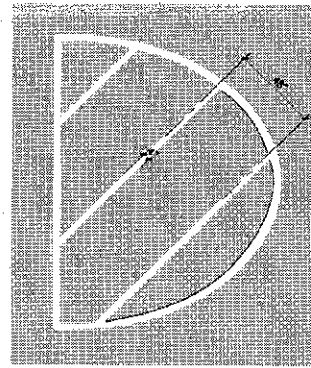


STATE OF NEW YORK  
JUL 1 2020  
124766  
S. BAILEY  
7/1/2020

SWPPP DETAILS

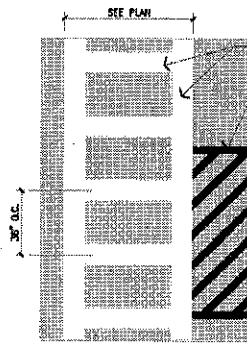
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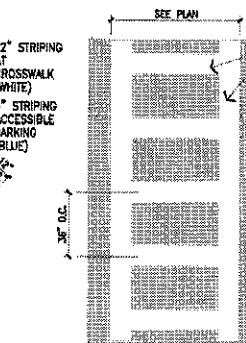
PG-10

18" STRIPING OUTLINE AND HATCH FILL AT 45 DEGREES. PAVEMENT GRAPHICS - TRAFFIC ISLAND. USE TO PROHIBIT VEHICLE TRAVEL AND PARKING. YELLOW AT NO TRAFFIC, BLUE AT ACCESSIBLE PARKING SPACES, WHITE AT VENDOR PARKING (BLACK INDICATES ASPHALT), INCLUDE AT EMERGENCY EXITS INTO THE PARKING LOT AT ALL PARKING SPACES THAT IMPEDE DIRECT ACCESS TO THE THOROUGHFARE.



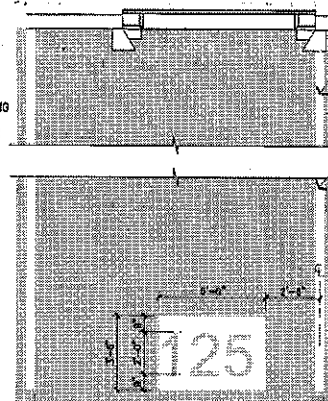
PG-11

12" STRIPING OUTLINE AND HATCH FILL AT 36° O.C. PAVEMENT GRAPHICS - PEDESTRIAN CROSSWALK. USE TO INDICATE PEDESTRIAN CROSSING. WHITE STRIPES, SEE PLAN FOR WIDTH OF CROSSWALK (BLACK INDICATES ASPHALT)



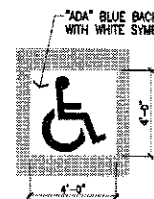
PG-12

12" STRIPING OUTLINE AND HATCH FILL AT 36° O.C. PAVEMENT GRAPHICS - DRIVER ENTRANCE. USE TO DIRECT DRIVER ENTRANCE IN DOCK FIELD. POSITION IN TRUCK COURT TO CORRESPOND WITH THE LOCATION OF THE TRUCKERS LOUNGE AND TRUCKERS ENTRY POINTS. YELLOW STRIPES, SEE PLAN FOR WIDTH OF CROSSWALK (BLACK INDICATES ASPHALT)



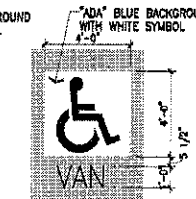
PG-14

4" WIDE X 60"-0" LONG PAINTED STRIPE (WHITE), ALIGN WITH DRIVER'S SIDE EDGE OF DOCK DOOR AND LOWER OPERATOR. TYPICAL EACH ACTIVE DOCK AND LOUVER POSITION. SEE BUILDING PLAN FOR DOCK DOOR NUMBERS. COORDINATE NUMBERS WITH TENANT OF TRAILER PARKING. 5'-0" X 3'-0" (24" TALL LETTERING) PAVEMENT GRAPHICS - TRAILER SPACE NUMBERING. USE TO LABEL TRAILER SPACES. TYPICAL ALL TRUCK SPACES. WHITE GRAPHICS (BLACK INDICATES ASPHALT). SEE PLANS FOR DOCK DOOR NUMBERS. COORDINATE NUMBERS WITH TENANT OF TRAILER PARKING.



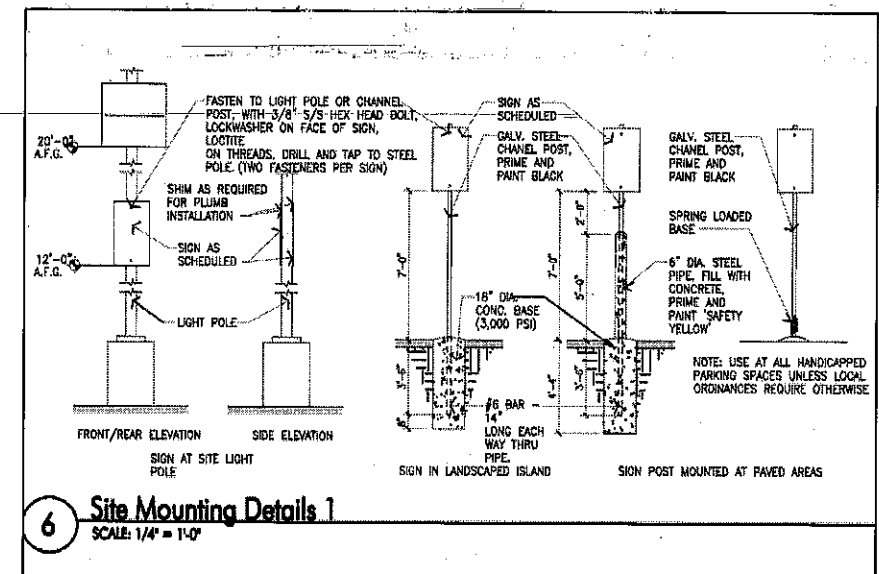
PG-17

4'-0" X 4'-0" PAVEMENT GRAPHICS - STANDARD ACCESSIBLE PARKING SPACE. USE ALL ACCESSIBLE PARKING SPACES. GRAPHICS: WHITE SYMBOL WITH BLUE BACKGROUND (BLACK INDICATES ASPHALT).



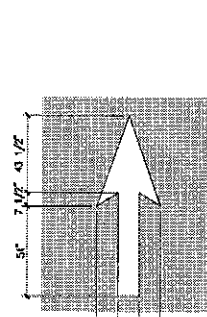
PG-18

4'-0" X 5'-3 1/2" PAVEMENT GRAPHICS - VAN ACCESSIBLE PARKING SPACE. USE AT ALL VAN ACCESSIBLE PARKING SPACES. GRAPHICS: WHITE SYMBOL WITH BLUE BACKGROUND, AND WHITE TEXT (BLACK INDICATES ASPHALT).



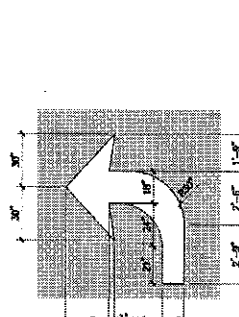
6 Site Mounting Details 1 SCALE: 1/4" = 1'-0"

NO.	DATE	REVISION DESCRIPTION
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2	03/09/09	SUPPLEMENTAL PLAN SHEETS PER PLANNING BOARD COMMENTS
3	03/09/09	REVISED PER TOWNSHIP COMMENTS
4	03/09/09	REVISED PER TOWNSHIP COMMENTS
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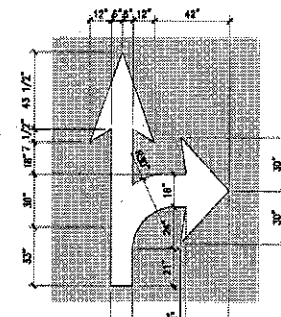
PG-5

8'-0" X 10'-0" PAVEMENT GRAPHICS - STRAIGHT ARROW. USE TO DIRECT TRAFFIC AT ONE-WAY DRIVE AISLES. WHITE GRAPHIC (BLACK INDICATES ASPHALT)



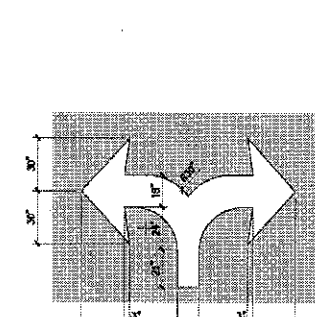
PG-6L (PG-6R OPP.)

8'-0" X 8'-0" PAVEMENT GRAPHICS - LEFT TURN ARROW. USE TO INDICATE TURNING LANES. WHITE GRAPHIC (BLACK INDICATES ASPHALT)



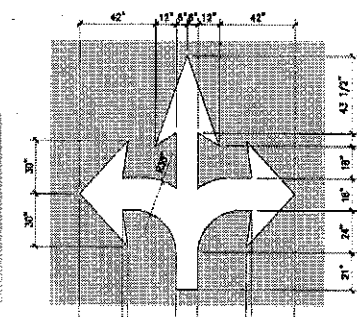
PG-7L (PG-7R OPP.)

8'-0" X 12'-0" PAVEMENT GRAPHICS - STRAIGHT OR RIGHT TURN ARROW. USE TO INDICATE TURNING LANES. WHITE GRAPHIC (BLACK INDICATES ASPHALT)



PG-8

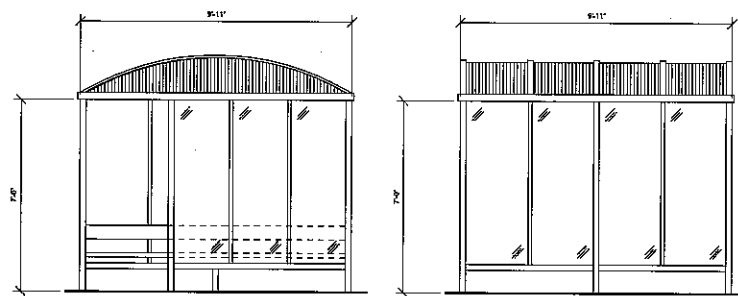
10'-0" X 8'-0" PAVEMENT GRAPHICS - LEFT OR RIGHT TURN ARROW. USE TO INDICATE TURNING LANES. WHITE GRAPHIC (BLACK INDICATES ASPHALT)



PG-9

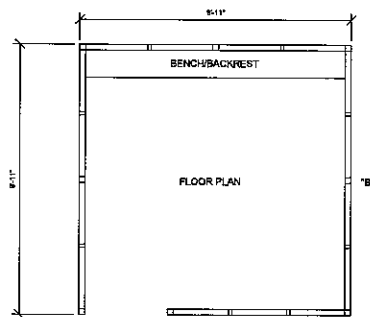
10'-0" X 12'-0" PAVEMENT GRAPHICS - LEFT, STRAIGHT OR RIGHT TURN ARROW. USE TO INDICATE TURNING LANES. WHITE GRAPHIC (BLACK INDICATES ASPHALT)

5 Pavement Graphic Details 1/4" = 1'-0"



ELEVATION "A"

ELEVATION "B"



FLOOR PLAN

PREFABRICATED SMOKERS SHELTER NOT TO SCALE

EXTERIOR ROUTES OF TRAVEL:

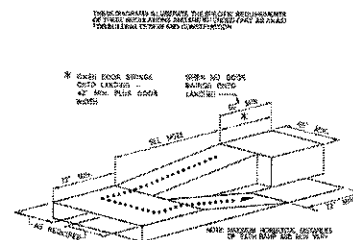
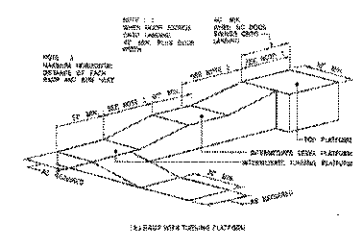
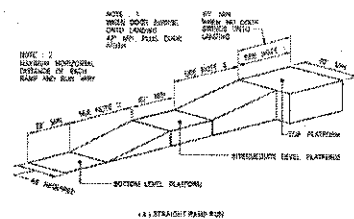
From handicap parking spaces, provide most practical direct accessible route of travel to all building entrances and exterior ground level exits by incorporating accessible ramps, walks, and stairways. Any path of travel will be considered a ramp if its slope is greater than 1:20 (5 percent) of horizontal run.

WALKS AND SIDEWALKS REQUIREMENTS:

- Width = 48"
- Slope = 1 in 20 max.
- Change in level = Max 1/2", 1/4" - 1/2" beveled (1:2) 1 vertical to 2 horizontal
- Cross slope = Max 1/4" per foot
- Level areas at doors and gates = 60" x 60" paving side and 48" wide x 44" deep on path side
- String side strike edge chamfering = 25"
- Hand rail not required

RAMP REQUIREMENTS:

- Width = As required for stairways and exits and min 48"
- Slope = Max 1:12 (1/4" or less preferred)
- Cross slope = Max 1:50
- Landing = See Section below
- Hand rail = Required with slope > 1:20
- Hand rail height = 34" to 38"
- Hand rail gap = 1 1/2" diameter



DELIVERY STATION

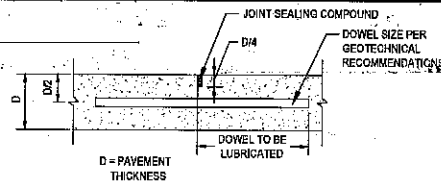


ISSUE FOR PERMIT	DATE: 03/04/20
JOB NO.:	757184
SCALE:	AS SHOWN
DESIGN:	T. LEJA
DRAWN:	T. LEJA
CHECKED:	J. KOCINSKI

CONSTRUCTION DETAILS

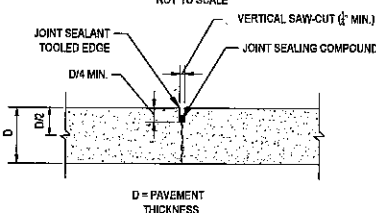
SHEET NO. 071





- NOTES:**
- DOWELS SHALL BE SUPPORTED BY AN APPROVED DEVICE.
  - ALL BARS AND BASKETS SHALL BE EPOXY COATED.
  - DOWELED CONTRACTION JOINTS ARE REQUIRED WHERE PAVEMENT DEPTH IS 7" OR GREATER.
  - DOWELS SHALL BE SMOOTH BARS AND FREE MOVEMENT SHALL BE PROVIDED BY APPLYING A COATING OF GREASE AS A BOND-BREAKING MATERIAL JUST PRIOR TO PLACING THE CONCRETE.

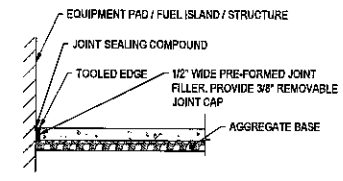
**DOWELED CONTRACTION JOINT DETAIL**



- NOTES:**
- MAXIMUM CONTRACTION JOINT SPACING IS DEPENDENT UPON THE PAVEMENT THICKNESS. REFER TO TABLE BELOW FOR SPACING REQUIREMENTS.
  - ENSURE CONTRACTION JOINT PATTERNS DIVIDE PAVEMENT INTO PANELS AS CLOSE TO SQUARE AS POSSIBLE.

**JOINT SPACING FOR UNREINFORCED CONCRETE**  
(FROM ACI 309.2R-17 TABLE 4.4.4 & ACI 309.4R-13 TABLE 3.5)

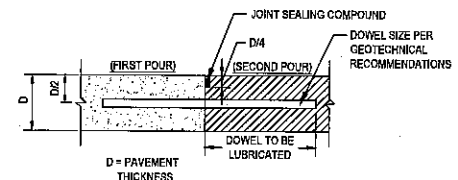
PAVEMENT THICKNESS (IN)	MAXIMUM SPACING (FT)
4 - 4.5	10
5 - 5.5	12.50
6 OR GREATER	15



- NOTES:**
- PLACE ISOLATION JOINTS WHERE CONCRETE PAVEMENT ABUTS SLABS, FUEL ISLANDS, CANOPY COLUMNS, BOLLARDS AND STRUCTURES OR FIXED OBJECTS.
  - PRE-FORMED JOINT FILLER - NON-IMPREGNATED TYPE. CLOSED CELL RESILIENT POLYETHYLENE FOAM, 1/2" THICK UNLESS OTHERWISE NOTED.
  - WHERE SLABS OF DIFFERENT THICKNESSES COME TOGETHER AT ISOLATION JOINTS, THE SUBGRADE/SUBBASE UNDER THE THINNER PAVEMENT SECTIONS SHOULD BE SHAPED TO PROVIDE GRADUAL THICKNESS TRANSITION OVER A DISTANCE OF 4 FT OR MORE.

**ISOLATION JOINT DETAIL**

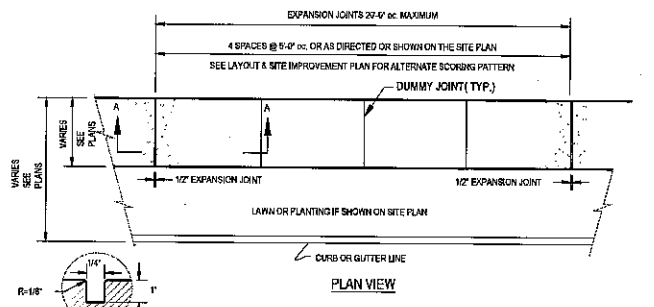
NOT TO SCALE



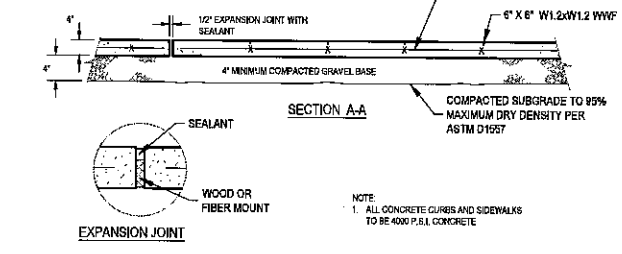
- NOTES:**
- DOWELS SHALL BE SUPPORTED BY AN APPROVED DEVICE.
  - ALL BARS AND BASKETS SHALL BE EPOXY COATED.
  - PLACE CONSTRUCTION JOINTS AT END OF PLACEMENTS AND AT LOCATIONS WHERE PLACEMENT OPERATIONS ARE STOPPED FOR A PERIOD OF MORE THAN 1 HOUR.
  - DOWELS SHALL BE SMOOTH BARS AND FREE MOVEMENT SHALL BE PROVIDED BY APPLYING A COATING OF GREASE AS A BOND-BREAKING MATERIAL JUST PRIOR TO PLACING THE CONCRETE.
  - IN EMERGENCY SITUATIONS SUCH AS LACK OF MATERIALS, SUDDEN CHANGES IN WEATHER OR EQUIPMENT BREAKDOWN, A CONSTRUCTION JOINT SHOULD BE INSTALLED IN PLACE OF THE NEAREST CONTRACTION JOINT LOCATION.
  - CONSTRUCTION JOINTS ARE NOT TO BE LOCATED CLOSER THAN 16'-0" TO ANOTHER PARALLEL JOINT.
  - WHERE SLABS OF DIFFERENT THICKNESSES COME TOGETHER AT JOINTS, THE SUBGRADE/SUBBASE UNDER THE THINNER PAVEMENT SECTIONS SHOULD BE SHAPED TO PROVIDE GRADUAL THICKNESS TRANSITION OVER A DISTANCE OF 4 FT OR MORE.

**CONSTRUCTION JOINT DETAIL**

NOT TO SCALE



**DUMMY JOINT**

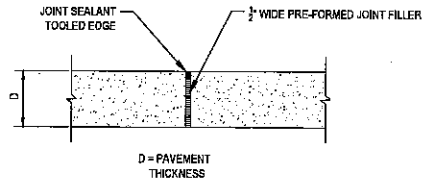


**EXPANSION JOINT**

NOTE: ALL CONCRETE CURBS AND SIDEWALKS TO BE 4000 P.S.I. CONCRETE

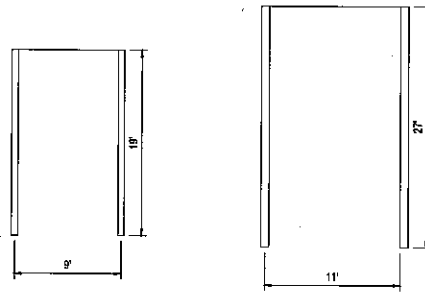
**CONTRACTION JOINT DETAIL**

NOT TO SCALE



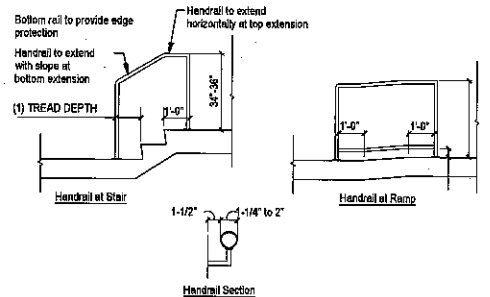
**EXPANSION JOINT**

NOT TO SCALE



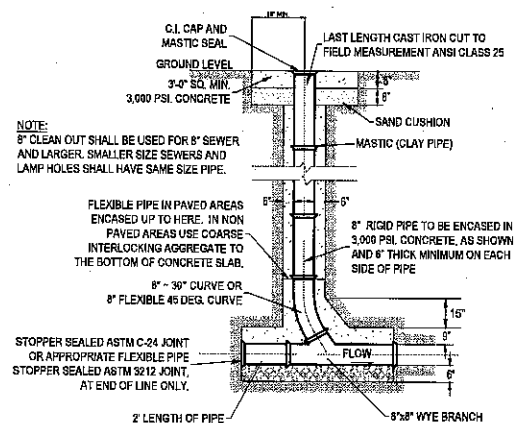
**STANDARD PARKING STALL**

**VAN PARKING STALL**



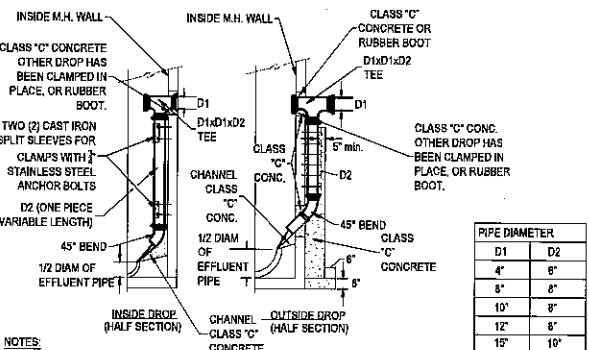
**505 HANDRAILS**

NTS



**CLEAN OUT**

NTS

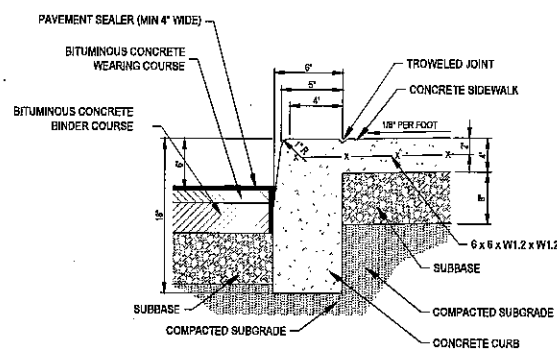


**INSIDE / OUTSIDE DROP DETAIL**

NTS

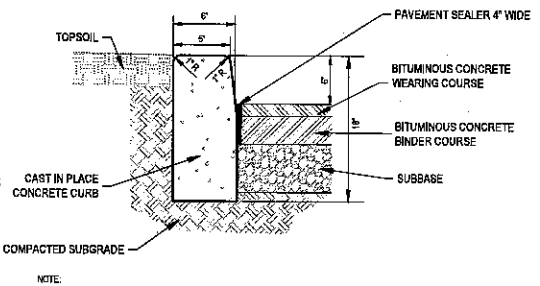
- NOTES:**
- HEIGHT OF DROP IS TO BE AS SHOWN ON THE PLANS OR WILL BE DETERMINED AT THE TIME OF CONSTRUCTION.
  - WHERE CALLED FOR, AND UNLESS OTHERWISE REQUIRED BY THE PLANS, THE OUTSIDE DROP WILL BE CONSTRUCTED WITH NEW MANHOLES.
  - MATERIALS FOR THE TEE, DROP PIPE AND BEND SHALL BE OF ONE TYPE AND BE ONE OF THE FOLLOWING:  
INSIDE DROP: ABS SOLID WALL OR PVC.  
OUTSIDE DROP: ABS SOLID WALL OR PVC.
  - OUTSIDE DROP PIPES REQUIRE A 5" THICK (MINIMUM) CLASS "C" CONCRETE ENCASEMENT ON THREE SIDES OF PIPE

PIPE DIAMETER	D1	D2
4"	4"	6"
6"	6"	8"
8"	8"	10"
10"	10"	12"
12"	12"	14"
14"	14"	16"
16"	16"	18"
18"	18"	20"
20"	20"	24"



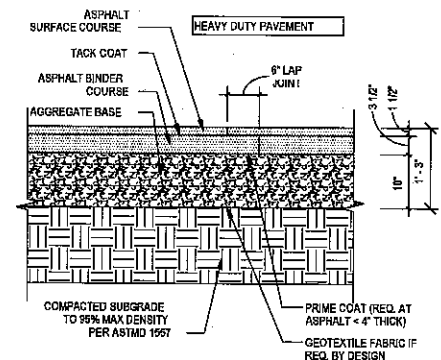
**INTEGRAL CURB & SIDEWALK ONSITE**

NTS



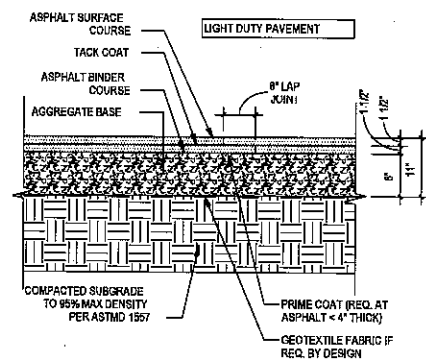
**STRAIGHT FACED CURB DETAIL**

NTS



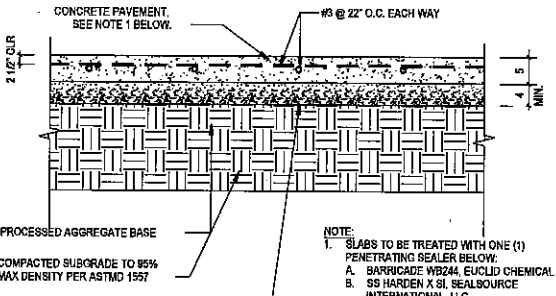
**HEAVY DUTY ASPHALT PAVEMENT SECTION**

SN REQUIRED = 4.61



**LIGHT DUTY ASPHALT PAVEMENT SECTION**

SN REQUIRED = 2.26



**CONCRETE PAVEMENT SECTION**

- NOTE:**
- SLABS TO BE TREATED WITH ONE (1) PENETRATING SEALER BELOW:  
A. BARRICADE WB244, EUCLID CHEMICAL CO.  
B. S3 HARDEN X 51, SEALSOURCE INTERNATIONAL, LLC
  - MACRO SYNTHETIC FIBER REINFORCEMENTS PER GEOTECHNICAL ENGINEER
  - FC-4,500 PSI MIN.

NO.	DATE	REVISION DESCRIPTION
1		FOR PERMIT
2		FOR PERMIT
3		FOR PERMIT
4		FOR PERMIT
5		FOR PERMIT
6		FOR PERMIT
7		FOR PERMIT
8		FOR PERMIT

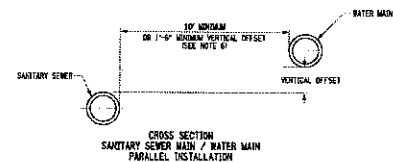
**DELIVERY STATION**



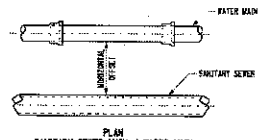
ISSUE:	FOUR PERMIT
DATE:	03/04/20
JOB NO.:	757184
SCALE:	AS SHOWN
DESIGN:	T. LEJA
DRAWN:	T. LEJA
CHECKED:	J. KOCINSKI

**CONSTRUCTION DETAILS**

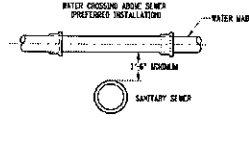
SHEET NO. 07.2



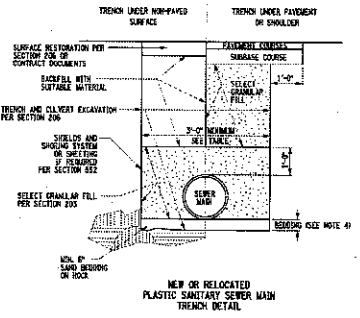
CROSS SECTION  
SANITARY SEWER MAIN / WATER MAIN  
PARALLEL INSTALLATION



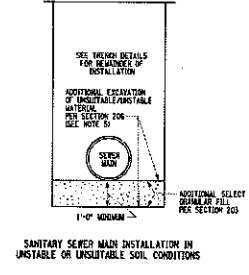
PLAN  
SANITARY SEWER MAIN / WATER MAIN  
PARALLEL INSTALLATION



CROSS SECTION  
SANITARY SEWER MAIN / WATER MAIN  
CROSSING



NEW OR RELOCATED  
PLASTIC SANITARY SEWER MAIN  
TRENCH DETAIL

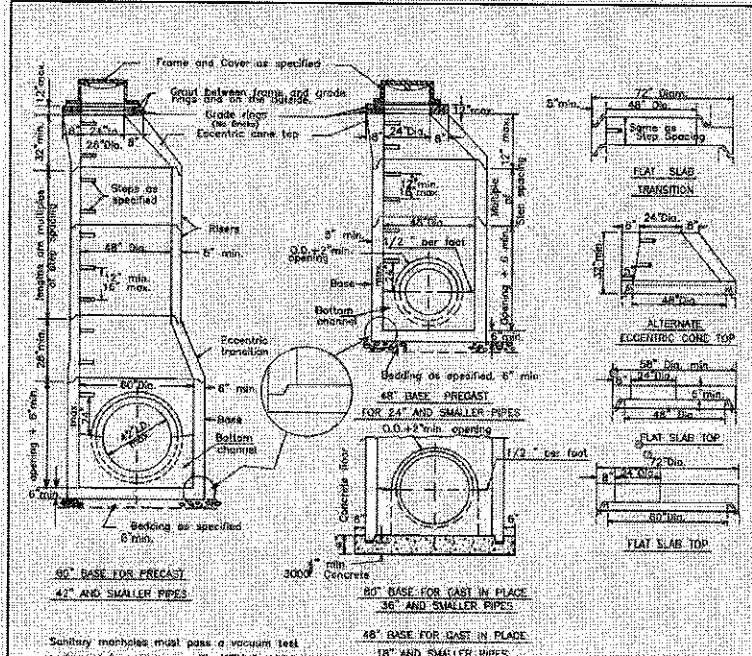


SANITARY SEWER MAIN INSTALLATION IN  
UNSTABLE OR UNSUITABLE SOIL CONDITIONS

- NOTES:
- SEE SPECIAL NOTES ENTITLED "WORK REQUIREMENTS FOR SEWER MAINS AND APPURTENANCES" FOR AN OVERVIEW OF ADDITIONAL REQUIREMENTS AND REQUIREMENTS ARE CONSISTENT WITH "STATE STANDARDS" AS PUBLISHED BY HEALTH EDUCATION SERVICES.
  - IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE EXACT LOCATION OF EXISTING UTILITIES. THE CONTRACTOR SHALL VERIFY THE LOCATION OF EXISTING UTILITIES BY USING APPROPRIATE CLEARANCE FOR THE OTHER SIDE OF THE TRENCH. ALLOWING THE ENGINEER ADEQUATE TIME TO REVIEW CHANGES WITHOUT NECESSITATING DRAWING AND CONSTRUCTION OF WORK ALREADY COMPLETED BY THE CONTRACTOR.
  - THE 10% PAYMENT LINE FOR TRENCH EXCAVATION SHALL BE PER SECTION 101.
  - BEYOND THE 10% PAYMENT LINE, ALL WORK SHALL BE PERFORMED ONLY WHEN NOTED IN THE OTHER REQUIREMENTS OF THESE NOTES OR UNUSUAL CONDITIONS ARE ENCOUNTERED.
  - IF UNUSUAL OR UNUSUAL SOIL CONDITIONS ARE ENCOUNTERED NEAR THE INVERT ELEVATION, A MINIMUM OF 12" OF A MINIMUM OF 2" OF INVERT SHALL BE EXCAVATED AND REPAIRED WITH SELECT GRANULAR FILL. ADDITIONAL PAYMENT WILL BE MADE FOR MATERIAL, PLACE TO TRENCH UNUSUAL OR UNUSUAL CONDITIONS.
  - NEW SANITARY SEWER MAINS INSTALLED PARALLEL TO WATER MAINS SHALL HAVE A MINIMUM OF 10' HORIZONTAL SEPARATION MEASURED EDGE TO EDGE OF PIPE. IN CASES OF UNUSUAL SOIL CONDITIONS, THE CONTRACTOR SHALL VERIFY THE LOCATION OF EXISTING UTILITIES BY USING APPROPRIATE CLEARANCE FOR THE OTHER SIDE OF THE TRENCH. ALLOWING THE ENGINEER ADEQUATE TIME TO REVIEW CHANGES WITHOUT NECESSITATING DRAWING AND CONSTRUCTION OF WORK ALREADY COMPLETED BY THE CONTRACTOR.
  - INSTALL SHALL BE DETAILLED AND COMPLETED IN ACCORDANCE WITH THE REQUIREMENTS OF SECTION 101.

EXCAVATION PAYMENT NOTES	
NO. FEET	TRENCH WIDTH
1	3'-0"
2	3'-0"
3	3'-0"
4	3'-0"
5	3'-0"
6	3'-0"
7	3'-0"
8	3'-0"
9	3'-0"
10	3'-0"
11	3'-0"
12	3'-0"
13	3'-0"
14	3'-0"
15	3'-0"
16	3'-0"
17	3'-0"
18	3'-0"
19	3'-0"
20	3'-0"
21	3'-0"
22	3'-0"
23	3'-0"
24	3'-0"
25	3'-0"
26	3'-0"
27	3'-0"
28	3'-0"
29	3'-0"
30	3'-0"
31	3'-0"
32	3'-0"
33	3'-0"
34	3'-0"
35	3'-0"
36	3'-0"
37	3'-0"
38	3'-0"
39	3'-0"
40	3'-0"
41	3'-0"
42	3'-0"
43	3'-0"
44	3'-0"
45	3'-0"

STATE OF NEW YORK  
DEPARTMENT OF TRANSPORTATION  
U.S. CUSTOMARY STANDARD SHEET  
SANITARY SEWER MAIN PIPE  
INSTALLATION DETAILS  
APPROVED AUGUST 30, 2013 ISSUED UNDER EA 13-003  
BY: ROBERT N. LEE, P.E.  
FOR THE COUNTY CHIEF ENGINEER  
664-01



NOTES:

Sections of the precast manhole shall be cast and assembled with setting oil (longer or all grooves ends up. Lift holes may be provided to each section for handling.

TOP AND TRANSITION for reduction sections may be either eccentric cone, eccentric cone or flat slab.

BASES for Manholes are shown with monolithic floor and riser which may be cast in one or two operations. A keyhole alternative is to cast and slip the floor and base separately. Openings for lead and copper pipes shall be provided, either when the unit is cast or later to meet project requirements. Bottom channels may be formed of concrete precast at the base or by field construction. Floors may also be poured in place.

OPENINGS IN RISER SECTIONS for 18" and smaller riser pipes (Sanitary, Combined & Storm) shall be prefabricated. Flexible connections shall be provided for sanitary, storm and combined sewers. Premium seats shall meet A.S.T.M. C-923.

JOINT SEALS between precast manhole sections and sewers shall be resilient and flexible gasket joints shall meet A.S.T.M. C-485, FEDERAL SPECIFICATIONS SS-5-00210 (210 A) and ANSIS M-118.

MANHOLE JOINTS and GRADE RINGS shall be sealed externally and between the grade rings with a layer of mastic compound such as FibreSeal, Kent Seal or equal.

MATERIALS for bases and other precast sections including reinforcement not specified herein, shall comply with the specifications.

PRECAST MANHOLES shall conform to the requirements of A.S.T.M. C-478.

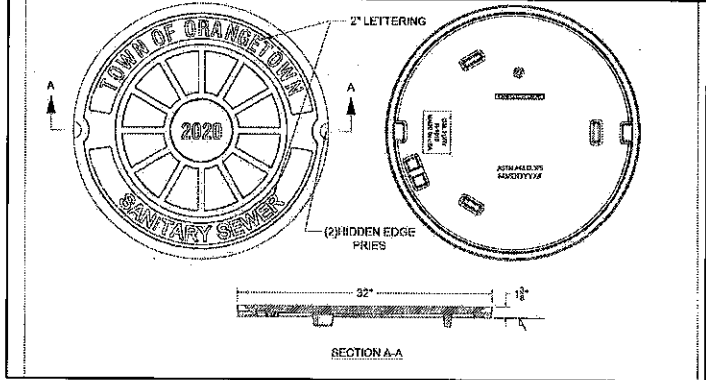
SEAL all lift holes with approved concrete plug.

LANDING PLATFORMS as shown on the LANDING DETAILS shall be installed in manholes that are over 20 feet deep to the invert with a maximum vertical spacing of 20 feet.

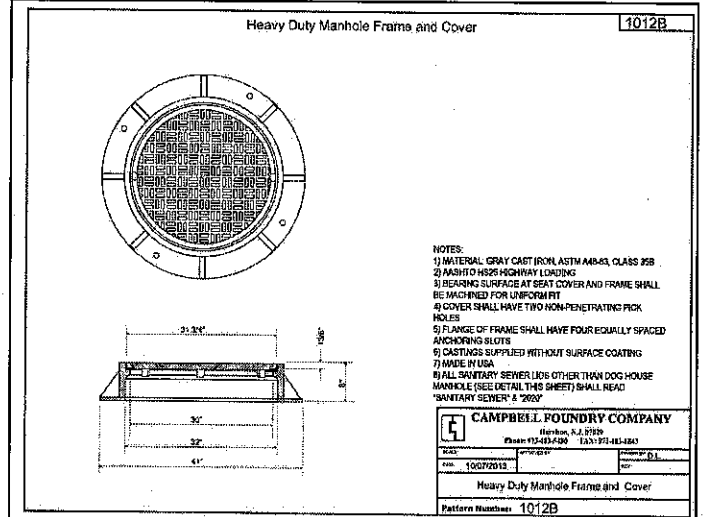
MANHOLE FRAMES - emergency seats will be required on all non-sanitary manholes.

SANITARY MANHOLES shall have a minimum 3" vertical drop from stepping elevations.

PRECAST CONCRETE  
MANHOLE  
42" PIPE OR SMALLER



DOGHOUSE MANHOLE LID  
NOT TO SCALE

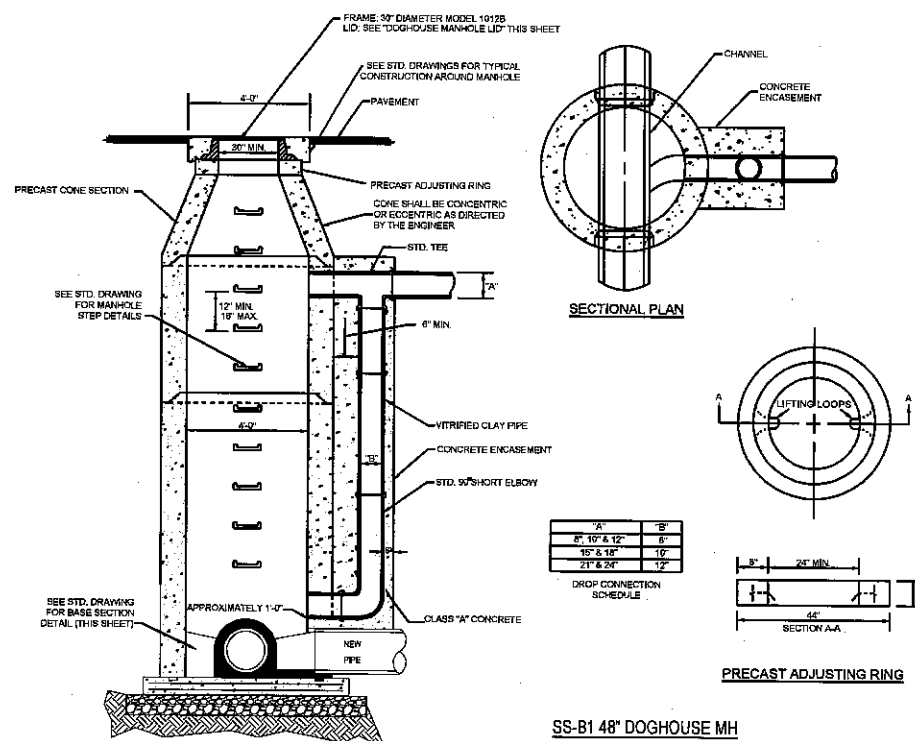


Heavy Duty Manhole Frame and Cover

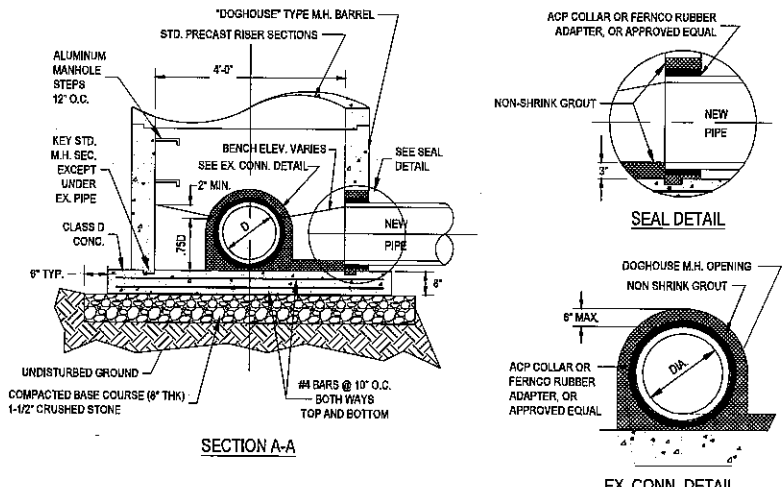
NOTES:

- MATERIAL: GRAY CAST IRON ASTM A148 CLASS B58
- MANHOLE HIGHWAY LOADING
- BEARING SURFACE AT SEAT COVER AND FRAME SHALL BE FINISHED FOR UNIFORMITY
- COVER SHALL HAVE TWO NON-PENETRATING PICK HOLES
- FLANGE OF FRAME SHALL HAVE FOUR EQUALLY SPACED ANCHORING SLOTS
- CASTINGS SUPPLIED WITHOUT SURFACE COATING
- MANHOLE
- ALL SANITARY SEWER LIDS OTHER THAN DOGHOUSE MANHOLE (SEE DETAIL THIS SHEET) SHALL READ "SANITARY SEWER" & "2020"

CAMPBELL FOUNDRY COMPANY  
Harrison, N.J. 07030  
Phone: (973) 484-4300 FAX: (973) 484-4300  
10070213  
Heavy Duty Manhole Frame and Cover  
Platform Number: 1012B



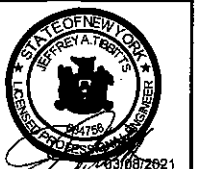
SS-B1 48" DOGHOUSE MH  
NOT TO SCALE



DOGHOUSE MANHOLE EXPANDED DETAIL

NO.	DATE	REVISION DESCRIPTION
1		FOR PERMIT
2		SUPPLEMENTAL PLAN SHEETS FOR MANHOLE CONCRETE
3		REVISED FOR TRENCH CONCRETE
4		REVISED FOR TRENCH CONCRETE
5		FINAL PLANS FOR PERMIT
6		REVISED FOR PERMIT
7		CONSTRUCTION AND SANITARY AS-BUILT
8		ADDITION OF MANHOLE

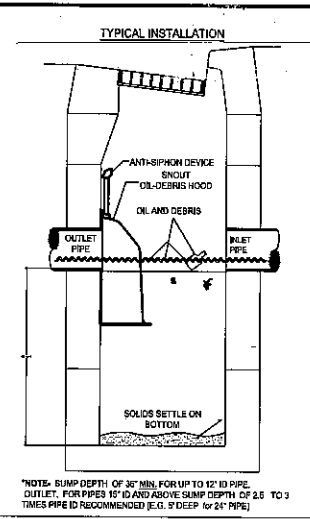
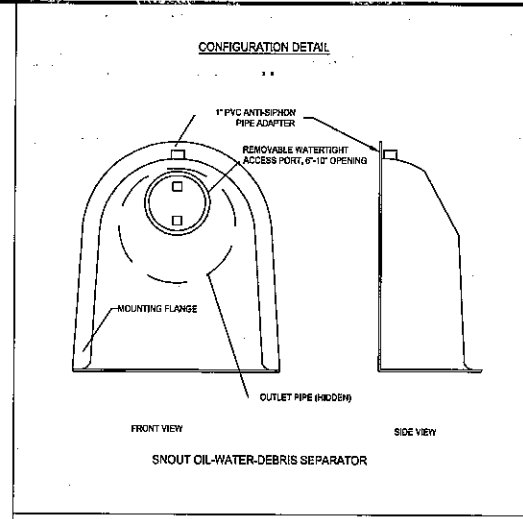
DELIVERY STATION



ISSUE: 7/23/13 1012B  
FEED PERMIT DATE: 08/04/20  
JOB NO.: 757184  
SCALE: AS SHOWN  
DESIGN: T. LEJA  
DRAWN: T. LEJA  
CHECKED: J. KOCINSKI  
DRAWING TITLE

CONSTRUCTION  
DETAILS

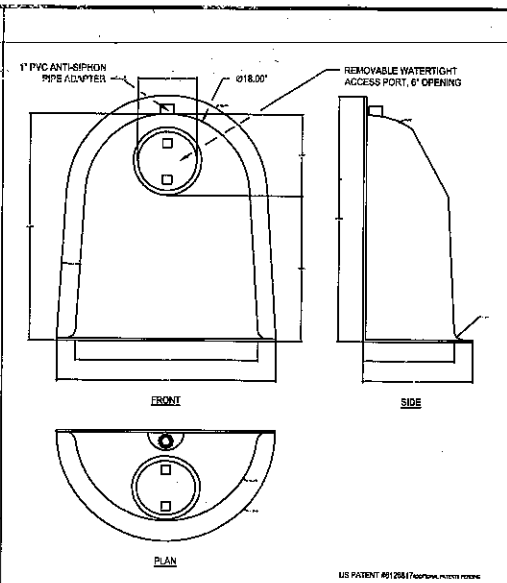
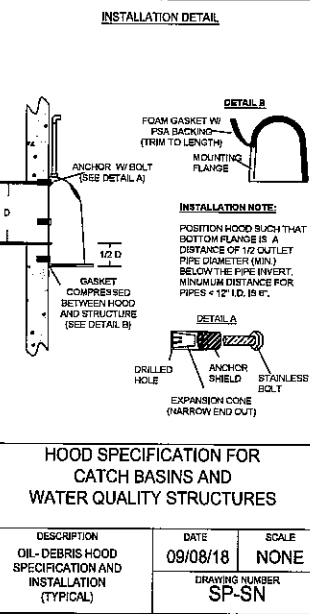
SHEET NO.  
070



**NOTES:**

- ALL HOODS AND TRAPS FOR CATCH BASINS AND WATER QUALITY STRUCTURES SHALL BE AS MANUFACTURED BY: BEST MANAGEMENT PRODUCTS, INC. 8 MATHEWS DRIVE, UNIT A1-A2, EAST HADDAM, CT 06423. TOLL FREE: (800) 504-8008 OR (888) 434-0277. FAX: (877) 434-3197. WEB SITE: www.bmpinc.com OR PRE-APPROVED EQUAL.
- ALL HOODS SHALL BE CONSTRUCTED OF A GLASS REINFORCED RESIN COMPOSITE WITH ISO GEL COAT EXTERIOR FINISH WITH A MINIMUM 0.125\" LAMINATE THICKNESS.
- ALL HOODS SHALL BE EQUIPPED WITH A WATER TIGHT ACCESS PORT, A MOUNTING FLANGE AND AN ANTI-SIPHON VENT PIPE AND ELBOW AS DRAWN. (SEE CONFIGURATION DETAIL.)
- THE SIZE AND POSITION OF THE HOOD SHALL BE DETERMINED BY OUTLET PIPE SIZE AS PER MANUFACTURER'S RECOMMENDATION (SNOUT SIZE ALWAYS LARGER THAN PIPE SIZE).
- THE BOTTOM OF THE HOOD SHALL EXTEND DOWNWARD A MINIMUM DISTANCE EQUAL TO 1/2 THE OUTLET PIPE DIAMETER WITH A MINIMUM DISTANCE OF 5\" FOR PIPES < 12\" I.D.
- THE ANTI-SIPHON VENT SHALL EXTEND ABOVE HOOD BY MINIMUM OF 3\" AND A MAXIMUM OF 12\" ACCORDING TO STRUCTURE CONFIGURATION.
- THE SURFACE OF THE STRUCTURE WHERE THE HOOD IS MOUNTED SHALL BE FINISHED SMOOTH AND FREE OF LOOSE MATERIAL AND PIPE SHALL BE FINISHED FLUSH TO WALL.
- ALL STRUCTURE JOINTS SHALL BE WATER TIGHT.
- THE HOOD SHALL BE SECURELY ATTACHED TO STRUCTURE WALL WITH 1\" STAINLESS STEEL BOLTS AND OIL-RESISTANT GASKET AS SUPPLIED BY MANUFACTURER. (SEE INSTALLATION DETAIL.)
- INSTALLATION INSTRUCTIONS SHALL BE FURNISHED WITH MANUFACTURER SUPPLIED INSTALLATION KIT. INSTALLATION KIT SHALL INCLUDE:
  - INSTALLATION INSTRUCTIONS
  - PVC ANTI-SIPHON VENT PIPE AND ADAPTER
  - OIL-RESISTANT CRUSHED CELL FOAM GASKET WITH PSA BACKING
  - 1/8\" STAINLESS STEEL BOLTS
  - ANCHOR SHIELDS

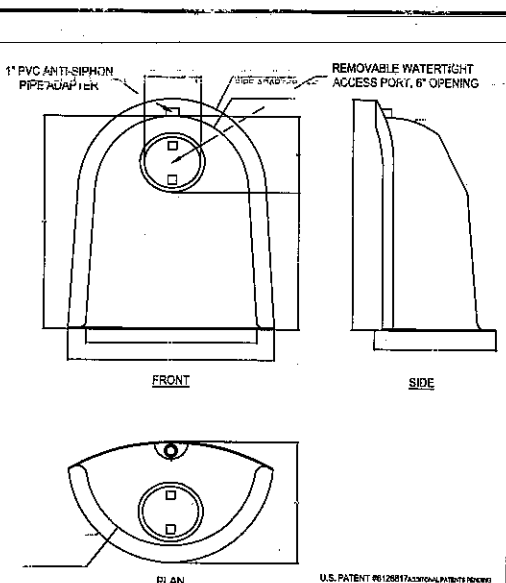
US Patent # 5126817, 7651294, 7857966, 8512556  
Canada Patent # 2285146, 2650158, 2690159 others pending



U.S. PATENT # 5126817 (PENDING), PATENT # 7651294 (PENDING)

**BMP, INC.**  
53 MT. ARCHER ROAD, LYME, CT 06371  
(800) 504-8008 FAX: (860) 434-3195

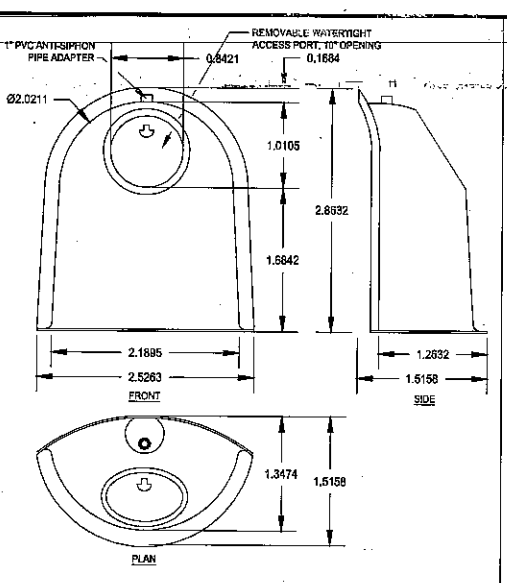
DESCRIPTION	DATE	SCALE
18F SNOUT OIL & DEBRIS STOP	09/14/99	NONE
DRAWING NUMBER	18F	



U.S. PATENT # 5126817 (PENDING), PATENT # 7651294 (PENDING)

**BMP, INC.**  
53 MT. ARCHER ROAD, LYME, CT 06371  
(800) 504-8008 FAX: (860) 434-3195

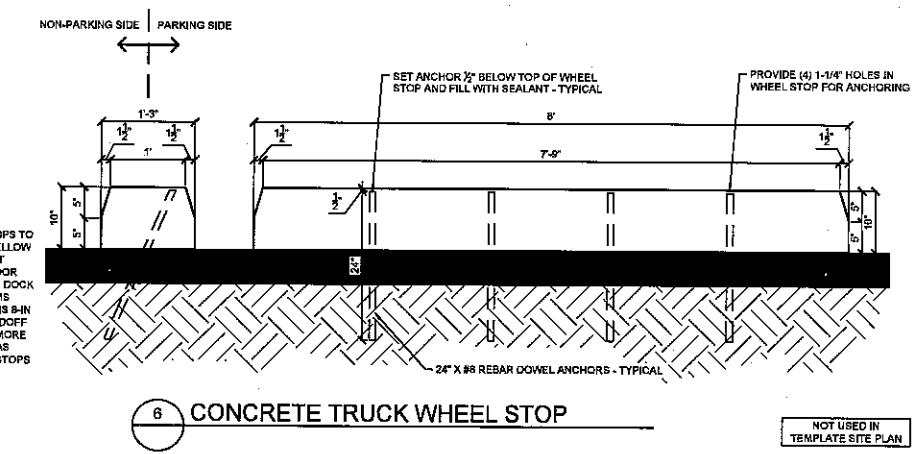
DESCRIPTION	DATE	SCALE
18R SNOUT OIL & DEBRIS STOP	09/16/99	NONE
DRAWING NUMBER	18R	



DESIGNED TO FIT 48\" DIA. STRUCTURES  
RECOMMENDED SLUMP DEPTH 2.5 TO 3X OUTLET PIPE I.D.

**BMP, INC.**  
53 MT. ARCHER ROAD, LYME, CT 06371  
(800) 504-8008 FAX: (860) 434-3195

DESCRIPTION	DATE	SCALE
24R SNOUT OIL & DEBRIS STOP	09/13/99	NONE
DRAWING NUMBER	24R	



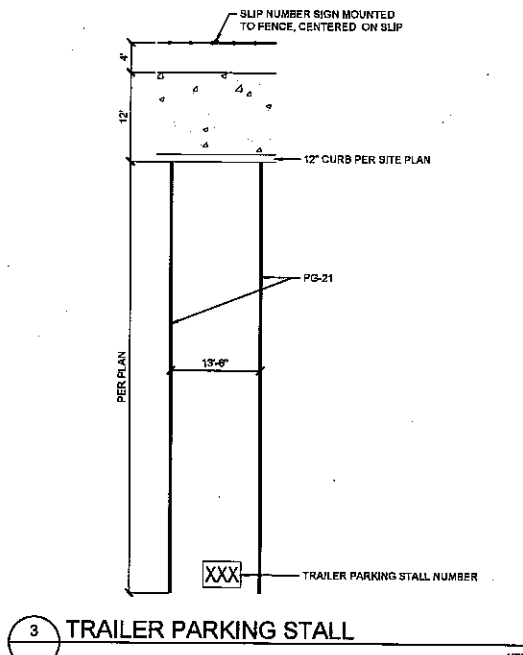
**NOTES:**

- CONCRETE WHEEL STOPS TO BE PAINTED SAFETY YELLOW
- WHEEL STOPS ARE NOT REQUIRED AT DOCK DOOR LOCATIONS THAT HAVE DOCK SEAL/CUSHION SYSTEMS
- IF PARKING SLIP CURB IS 8-IN OR HIGHER WITH STANDOFF DISTANCE OF 6-FT OR MORE FROM OBJECTS SUCH AS FENCES THEN WHEEL STOPS ARE NOT REQUIRED

24\" X #8 REBAR DOVEL ANCHORS - TYPICAL

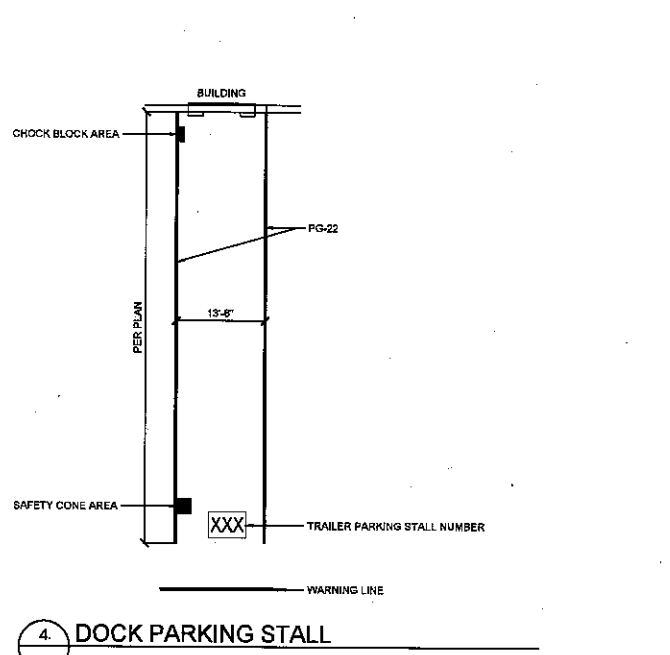
6 CONCRETE TRUCK WHEEL STOP

NOT USED IN TEMPLATE SITE PLAN



3 TRAILER PARKING STALL

NTS



4 DOCK PARKING STALL

NTS

NO.	DATE	REVISION DESCRIPTION
1	09/08/18	FOR PERMIT
2	09/08/18	FOR PERMIT
3	09/08/18	FOR PERMIT
4	09/08/18	FOR PERMIT
5	09/08/18	FOR PERMIT
6	09/08/18	FOR PERMIT
7	09/08/18	FOR PERMIT
8	09/08/18	FOR PERMIT
9	09/08/18	FOR PERMIT
10	09/08/18	FOR PERMIT

NO.	DATE	REVISION DESCRIPTION
1	09/08/18	FOR PERMIT
2	09/08/18	FOR PERMIT
3	09/08/18	FOR PERMIT
4	09/08/18	FOR PERMIT
5	09/08/18	FOR PERMIT
6	09/08/18	FOR PERMIT
7	09/08/18	FOR PERMIT
8	09/08/18	FOR PERMIT
9	09/08/18	FOR PERMIT
10	09/08/18	FOR PERMIT

**DELIVERY STATION**

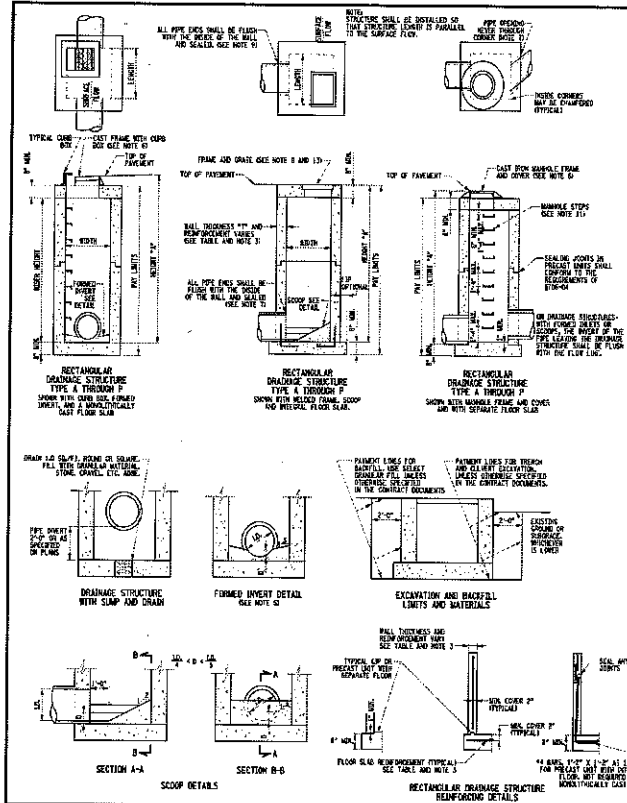
200 & 400 CORTLAND DRIVE, BUAUVELT, NY 10813

STATE OF NEW YORK  
DEPARTMENT OF TRANSPORTATION  
OFFICE OF PERMITS

ISSUE: 09/28/2018  
FOR PERMIT  
DATE: 08/04/20

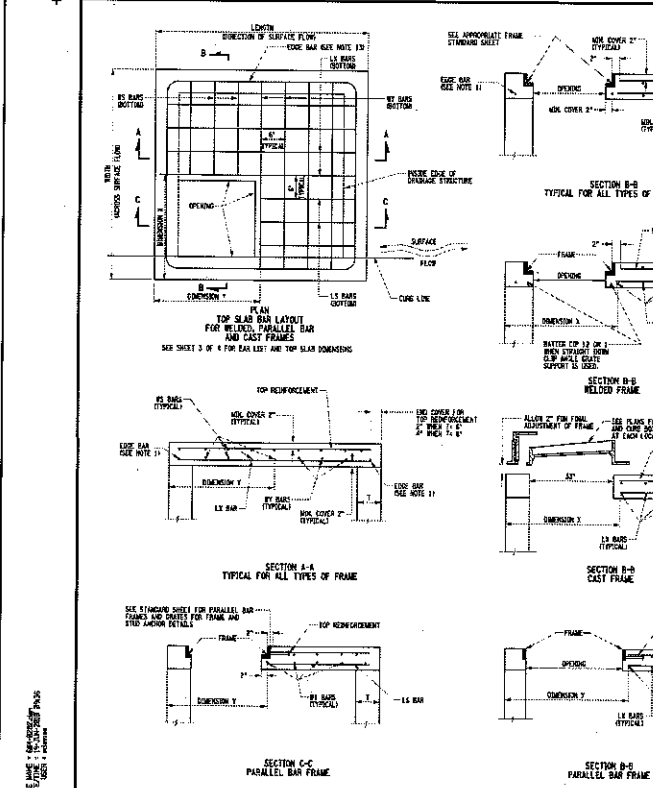
JOB NO.: 757184  
SCALE: AS SHOWN  
DESIGN: T. LEIA  
DRAWN: T. LEIA  
CHECKED: J. KOCINSKI  
DRAWING TITLE: CONSTRUCTION DETAILS

SHEET NO. 071



- GENERAL NOTES:**
1. DRAINAGE STRUCTURES SHALL BE CAST IN PLACE PRECAST CONCRETE. REINFORCEMENT SHALL BE PLACED IN PLACE PRIOR TO CASTING. ALL REINFORCEMENT SHALL BE CAST IN PLACE CONCRETE SHALL BE CAST IN THE FORMS. ALL REINFORCEMENT SHALL BE CAST IN PLACE CONCRETE SHALL BE CAST IN THE FORMS.
  2. ALL REINFORCEMENT SHALL BE CAST IN PLACE CONCRETE SHALL BE CAST IN THE FORMS. ALL REINFORCEMENT SHALL BE CAST IN PLACE CONCRETE SHALL BE CAST IN THE FORMS.
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  5. ALL REINFORCEMENT SHALL BE CAST IN PLACE CONCRETE SHALL BE CAST IN THE FORMS. ALL REINFORCEMENT SHALL BE CAST IN PLACE CONCRETE SHALL BE CAST IN THE FORMS.

STRUCTURE TYPE	INSIDE DIMENSIONS	PAY ITEM
1	3'-0" x 3'-0"	604-02
2	3'-0" x 4'-0"	604-02
3	3'-0" x 5'-0"	604-02
4	3'-0" x 6'-0"	604-02
5	3'-0" x 7'-0"	604-02
6	3'-0" x 8'-0"	604-02
7	3'-0" x 9'-0"	604-02
8	3'-0" x 10'-0"	604-02
9	3'-0" x 11'-0"	604-02
10	3'-0" x 12'-0"	604-02
11	3'-0" x 13'-0"	604-02
12	3'-0" x 14'-0"	604-02
13	3'-0" x 15'-0"	604-02
14	3'-0" x 16'-0"	604-02
15	3'-0" x 17'-0"	604-02
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29	3'-0" x 31'-0"	604-02
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32	3'-0" x 34'-0"	604-02
33	3'-0" x 35'-0"	604-02
34	3'-0" x 36'-0"	604-02
35	3'-0" x 37'-0"	604-02
36	3'-0" x 38'-0"	604-02
37	3'-0" x 39'-0"	604-02
38	3'-0" x 40'-0"	604-02
39	3'-0" x 41'-0"	604-02
40	3'-0" x 42'-0"	604-02
41	3'-0" x 43'-0"	604-02
42	3'-0" x 44'-0"	604-02
43	3'-0" x 45'-0"	604-02
44	3'-0" x 46'-0"	604-02
45	3'-0" x 47'-0"	604-02
46	3'-0" x 48'-0"	604-02
47	3'-0" x 49'-0"	604-02
48	3'-0" x 50'-0"	604-02
49	3'-0" x 51'-0"	604-02
50	3'-0" x 52'-0"	604-02
51	3'-0" x 53'-0"	604-02
52	3'-0" x 54'-0"	604-02
53	3'-0" x 55'-0"	604-02
54	3'-0" x 56'-0"	604-02
55	3'-0" x 57'-0"	604-02
56	3'-0" x 58'-0"	604-02
57	3'-0" x 59'-0"	604-02
58	3'-0" x 60'-0"	604-02
59	3'-0" x 61'-0"	604-02
60	3'-0" x 62'-0"	604-02
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64	3'-0" x 66'-0"	604-02
65	3'-0" x 67'-0"	604-02
66	3'-0" x 68'-0"	604-02
67	3'-0" x 69'-0"	604-02
68	3'-0" x 70'-0"	604-02
69	3'-0" x 71'-0"	604-02
70	3'-0" x 72'-0"	604-02
71	3'-0" x 73'-0"	604-02
72	3'-0" x 74'-0"	604-02
73	3'-0" x 75'-0"	604-02
74	3'-0" x 76'-0"	604-02
75	3'-0" x 77'-0"	604-02
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86	3'-0" x 88'-0"	604-02
87	3'-0" x 89'-0"	604-02
88	3'-0" x 90'-0"	604-02
89	3'-0" x 91'-0"	604-02
90	3'-0" x 92'-0"	604-02
91	3'-0" x 93'-0"	604-02
92	3'-0" x 94'-0"	604-02
93	3'-0" x 95'-0"	604-02
94	3'-0" x 96'-0"	604-02
95	3'-0" x 97'-0"	604-02
96	3'-0" x 98'-0"	604-02
97	3'-0" x 99'-0"	604-02
98	3'-0" x 100'-0"	604-02



**TABLE OF 12" AND 14" DIMENSIONS**

FRAME NO.	WIDTH	LENGTH	INSIDE DIMENSIONS	PAY ITEM
1	3'-0"	3'-0"	2'-6"	604-02
2	3'-0"	4'-0"	2'-6"	604-02
3	3'-0"	5'-0"	2'-6"	604-02
4	3'-0"	6'-0"	2'-6"	604-02
5	3'-0"	7'-0"	2'-6"	604-02
6	3'-0"	8'-0"	2'-6"	604-02
7	3'-0"	9'-0"	2'-6"	604-02
8	3'-0"	10'-0"	2'-6"	604-02
9	3'-0"	11'-0"	2'-6"	604-02
10	3'-0"	12'-0"	2'-6"	604-02
11	3'-0"	13'-0"	2'-6"	604-02
12	3'-0"	14'-0"	2'-6"	604-02
13	3'-0"	15'-0"	2'-6"	604-02
14	3'-0"	16'-0"	2'-6"	604-02
15	3'-0"	17'-0"	2'-6"	604-02
16	3'-0"	18'-0"	2'-6"	604-02
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18	3'-0"	20'-0"	2'-6"	604-02
19	3'-0"	21'-0"	2'-6"	604-02
20	3'-0"	22'-0"	2'-6"	604-02
21	3'-0"	23'-0"	2'-6"	604-02
22	3'-0"	24'-0"	2'-6"	604-02
23	3'-0"	25'-0"	2'-6"	604-02
24	3'-0"	26'-0"	2'-6"	604-02
25	3'-0"	27'-0"	2'-6"	604-02
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27	3'-0"	29'-0"	2'-6"	604-02
28	3'-0"	30'-0"	2'-6"	604-02
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50	3'-0"	52'-0"	2'-6"	604-02
51	3'-0"	53'-0"	2'-6"	604-02
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95	3'-0"	97'-0"	2'-6"	604-02
96	3'-0"	98'-0"	2'-6"	604-02
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98	3'-0"	100'-0"	2'-6"	604-02

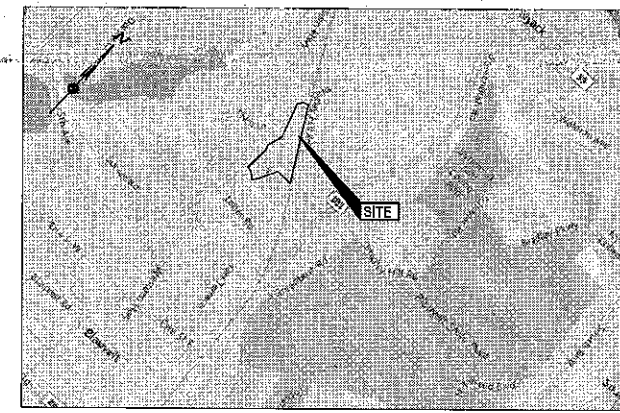
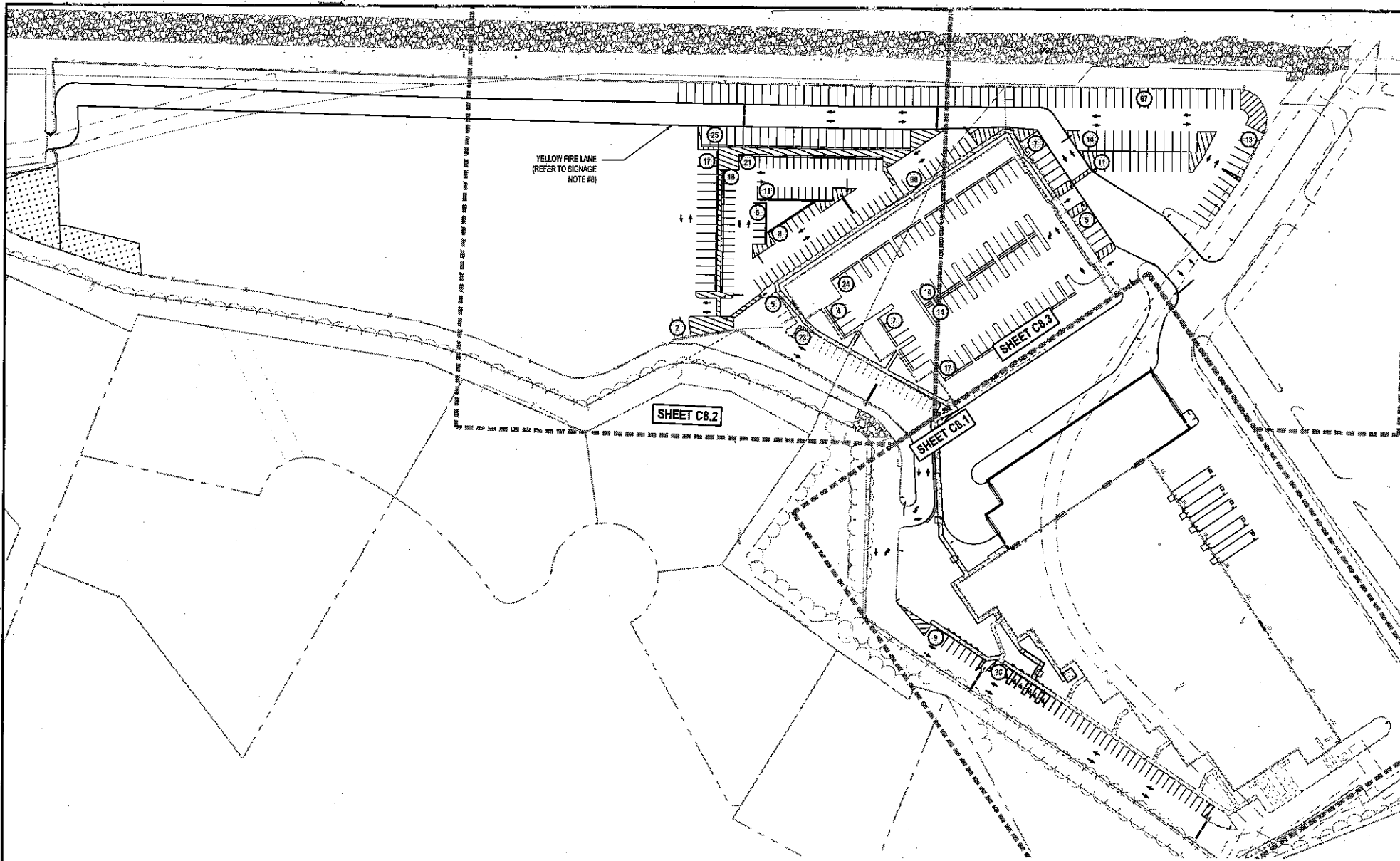
**INITIAL REINFORCEMENT**

ITEM	TYPE	FRAMING	INSIDE DIMENSIONS	PAY ITEM
1	1	1	3'-0" x 3'-0"	604-02
2	1	1	3'-0" x 4'-0"	604-02
3	1	1	3'-0" x 5'-0"	604-02
4	1	1	3'-0" x 6'-0"	604-02
5	1	1	3'-0" x 7'-0"	604-02
6	1	1	3'-0" x 8'-0"	604-02
7	1	1	3'-0" x 9'-0"	604-02
8	1	1	3'-0" x 10'-0"	604-02
9	1	1	3'-0" x 11'-0"	604-02
10	1	1	3'-0" x 12'-0"	604-02
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32	1	1	3'-0" x 34'-0"	604-02
33	1	1	3'-0" x 35'-0"	604-02
34	1	1	3'-0" x 36'-0"	604-02
35	1	1	3'-0" x 37'-0"	604-02
36				





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**GENERAL NOTES**

1. SITE SIGNAGE TO BE PERMITTED AND INSTALLED BY OTHERS
2. FINAL SIGN QUANTITIES SHALL BE COORDINATED AND VERIFIED IN THE FIELD
3. ALL SIGNAGE, STRIPING, AND OTHER TRAFFIC CONTROL DEVICES SHALL BE INSTALLED IN CONFORMANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD)
4. SIGNS WITH DIRECTIONAL ARROWS: ADJUST ARROWS PER FINAL LOCATION
5. STRIPING SHALL BE WHITE ON ASPHALT AND YELLOW ON CONCRETE, UNLESS OTHERWISE NOTED
6. ALL PROPOSED SIGNAGE AND STRIPING SHALL BE INSTALLED IN ACCORDANCE WITH THE TENANT FULFILLMENT WORLDWIDE REAL ESTATE SIGNAGE STANDARDS REVISION 16 DATED QUARTER 2, 2019 OR CURRENT EDITION
7. ADDITIONAL SIGNAGE NOT SHOWN ON GRAPHICS PLANS (E.G. FIRE LANES) MAY BE REQUIRED PER LOCAL CODE AND/OR A.H.J. SUB-CONTRACTOR SHALL COORDINATE WITH LOCAL A.H.J. AND PROVIDE AS REQUIRED

**CODED NOTES:**

1. EXISTING "STOP" SIGN TO REMAIN. IF SIGN IS NOT EXISTING NOR IN ADEQUATE CONDITION, CONTRACTOR TO INSTALL "STOP" SIGN PER DETAIL ON SHEET SERIES C7.0.
2. EXISTING "SPEED LIMIT 10 MPH" SIGN TO REMAIN. IF SIGN IS NOT EXISTING NOR IN ADEQUATE CONDITION CONTRACTOR TO INSTALL "SPEED LIMIT 10 MPH" SIGN PER DETAIL ON SHEET C7.0.

**LEGEND**

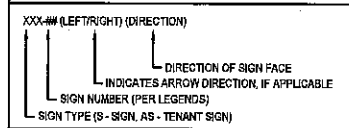
**EXISTING**

REFER TO TOPOGRAPHIC SURVEY

**PROPOSED**

- SPEED HUMP
- SPEED BUMP
- SPEED TABLE
- SIGN (TYPE SPECIFIED BY CODED NOTE)
- PAVEMENT MARKINGS AND ARROWS

**LEGEND**



**GENERAL SIGN FACE LEGEND**

CODE	DESCRIPTION
S-1	"STOP" SIGN
S-2	"DO NOT ENTER"
S-3	SPEED LIMIT, 5 MPH
S-3 (MOD)	SPEED BUMP WITH 5 MPH PLACARD
S-4	SPEED LIMIT, 10 MPH
S-2(L)	PEDESTRIAN CROSSING LEFT ARROW
S-2(R)	PEDESTRIAN CROSSING RIGHT ARROW
S-7(L)	ONE-WAY LEFT ARROW
S-7(R)	ONE-WAY RIGHT ARROW
S-8(L)	LEFT TURN ONLY
S-8(R)	RIGHT TURN ONLY
S-10(L)	NO LEFT TURN
S-10(R)	NO RIGHT TURN
S-12	NO U-TURN
S-13	TRUCKS PROHIBITED
S-14	NO PARKING
S-15	"ACCESSIBLE" PARKING SIGN
S-16	"VAN ACCESSIBLE" PARKING SIGN
S-17	NO FRESH PAINTING

**TENANT SIGN FACE LEGEND**

CODE	DESCRIPTION
AS-1	ADDRESS SIGN
AS-2	FRONT SIGN FOR USE
AS-3	YARD RULES
AS-4	TRUCK ENTRANCE
AS-7	DRIVER'S LOUNGE
AS-8	RESIDING OWNER ENTRANCE
AS-9	EMPLOYEE DRIVER ENTRANCE
AS-10	TRUCKER PARKING
AS-12	TRAILERS MUST BE SET ON WALL
AS-13	NO ENTRANCE
AS-14	NO EXIT
AS-25	EXIT
AS-18	WAYFINDING
AS-17	DRIVE OFF/RAMP-UP AREA, STRAIGHT ARROW
AS-17(L)	DRIVE OFF/RAMP-UP AREA, LEFT ARROW
AS-17(R)	DRIVE OFF/RAMP-UP AREA, RIGHT ARROW
AS-20	DOCK NUMBERS
AS-21	DRIVE OFF AND RAMP UP
AS-23	ASSOCIATE OF THE MONTH
AS-24	VISITOR PARKING
AS-25	VEHICLE PARKING
AS-26	MUSTER AREA
AS-27	NO PARKING SIGNAGE
AS-30	NOV SIGNAGE AREA
AS-31	"CUSTOMER PARKING" SIGN
AS-32	PARKING QUALITY
AS-33	MOVEMENT PROHIBIT SIGN
AS-34	MOVEMENT PROHIBIT SIGN

**STRIPING (PAVEMENT GRAPHIC) LEGEND**

CODE	DESCRIPTION
PG-1	STOP BAR
PG-5	STRAIGHT ARROW
PG-6(L)	LEFT TURN ARROW
PG-6(R)	RIGHT TURN ARROW
PG-7(L)	STRAIGHT OR LEFT TURN ARROW
PG-7(R)	STRAIGHT OR RIGHT TURN ARROW
PG-8	LEFT OR RIGHT TURN ARROW
PG-9	LEFT, STRAIGHT, OR RIGHT TURN ARROW
PG-10	TRAFFIC ISLAND
PG-11	PEDESTRIAN CROSSWALK
PG-12	12" STRIPING ON FLARE AND WALKWAY 30" O.C. (WHITE)
PG-14	TRAILER SPACE NUMBERING
PG-15	SPEED HUMP
PG-16	SPEED BUMP
PG-17	ACCESSIBLE CAR PARKING
PG-18	ACCESSIBLE VAN PARKING
PG-21	PEDESTRIAN WALK
PG-22	TRAILER PARKING STALL
PG-23	DOCK PARKING STALL
PG-24	TRUCK STAND AREA
PG-25	MARKING LINE

**SURVEY (DATED 10/31/2019) BY:**

BLEW & ASSOCIATES, PA  
 3829 N. SHILOH DRIVE  
 FAYETTEVILLE, AR 72703  
 PHONE: (479) 583-1883  
 CONTACT: PAXTON SINGLETON

GESCO PROVIDES NO GUARANTEE TO THE ACCURACY OF THE SURVEY PROVIDED BY BLEW & ASSOCIATES, PA. CONTRACTOR TO VERIFY EXISTING CONDITIONS PRIOR TO BID AND CONSTRUCTION.

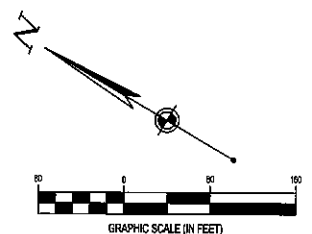
**FLOODPLAIN DESIGNATION:**

ACCORDING TO F.I.R.M. NO. 3807C-0179-G, BEARING AN EFFECTIVE DATE OF 03/03/2014, THE SUBJECT PROPERTIES ARE LOCATED IN A ZONE "X" (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL FLOOD PLAIN).

**BENCHMARK**

	DESCRIPTION	ELEVATION	NORTHING/EASTING
BM 1	1" PIPE	93.58 FT	516832.73 N, 641443.82 E
BM 2	5/8" REBAR	71.22 FT	516739.48 N, 641526.88 E

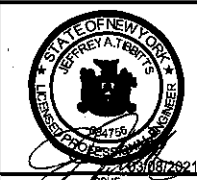
\* ELEVATIONS ESTABLISHED WITH GPS STATIC OBSERVATIONS UTILIZING CNR INE



FORTY-EIGHT (48) HOURS BEFORE DIGGING IS TO COMMENCE. THE CONTRACTORS SHALL NOTIFY THE FOLLOWING AGENCIES: NEWYORK 811 AND ALL OTHER AGENCIES WHICH MIGHT HAVE UNDERGROUND UTILITIES INVOLVING THIS PROJECT AND ARE NONMEMBERS OF NEWYORK 811 CALL.

**DELIVERY STATION**

200 & 400 ORIENTAL DRIVE, ELBA, NY 12051



ISSUE FOR PERMIT  
 DATE: 08/04/20  
 JOB NO.: 757184  
 SCALE: 1" = 80'  
 DESIGN: T. LEJA  
 DRAWN: S. BAILEY  
 CHECKED: J. KOCINSKI  
 DRAWING TITLE

**SIGNAGE PLAN - OVERALL**

SHEET NO. 08

**GENERAL NOTES**

1. SITE SIGNAGE TO BE PERMITTED AND INSTALLED BY OTHERS
2. FINAL SIGN QUANTITIES SHALL BE COORDINATED AND VERIFIED IN THE FIELD
3. ALL SIGNAGE, STRIPING AND OTHER TRAFFIC CONTROL DEVICES SHALL BE INSTALLED IN CONFORMANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD)
4. SIGNS WITH DIRECTIONAL ARROWS: ADJUST ARROWS PER FINAL LOCATION
5. STRIPING SHALL BE WHITE ON ASPHALT AND YELLOW ON CONCRETE, UNLESS OTHERWISE NOTED
6. ALL PROPOSED SIGNAGE AND STRIPING SHALL BE INSTALLED IN ACCORDANCE WITH THE TENANT FULFILLMENT WORLDWIDE REAL ESTATE SIGNAGE STANDARDS REVISION 19 DATED QUARTER 2, 2019 OR CURRENT EDITION
7. ADDITIONAL SIGNAGE NOT SHOWN ON GRAPHICS PLANS (E.G. FIRE LANES) MAY BE REQUIRED PER LOCAL CODE AND/OR A.H.J. SUB-CONTRACTOR SHALL COORDINATE WITH LOCAL A.H.J. AND PROVIDE AS REQUIRED

**CODED NOTES:**

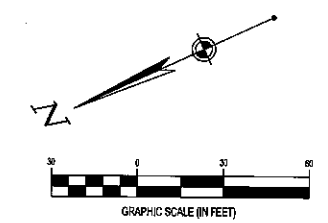
1. EXISTING "STOP" SIGN TO REMAIN, IF SIGN IS NOT EXISTING NOR IN ADEQUATE CONDITION, CONTRACTOR TO INSTALL "STOP" SIGN PER DETAIL ON SHEET SERIES C7.0.
2. EXISTING "SPEED LIMIT 10 MPH" SIGN TO REMAIN, IF SIGN IS NOT EXISTING NOR IN ADEQUATE CONDITION CONTRACTOR TO INSTALL "SPEED LIMIT 10 MPH" SIGN PER DETAIL ON SHEET C7.0.

**LEGEND**

**EXISTING**  
REFER TO TOPOGRAPHIC SURVEY

**PROPOSED**

- SPEED HUMP
- SPEED BUMP
- SPEED TABLE
- SIGN (TYPE SPECIFIED BY CODED NOTE)
- PAVEMENT MARKINGS AND ARROWS



**TENANT SIGN FACE LEGEND**

CODE	DESCRIPTION
AS-1	ADDRESS SIGN
AS-2	TRUCKS PROHIBITED SIGN
AS-5	YARD RULES
AS-6	TRUCK ENTRANCE
AS-7	DRIVERS STORAGE
AS-8	RECEIVING DRIVER ENTRANCE
AS-9	SHIPPING DRIVER ENTRANCE
AS-10	TRUCKS PARKING
AS-11	TRAILERS MUST BE OFF FROM WALL
AS-12	NO ENTRANCE
AS-13	NO EXIT
AS-14	NO EXIT
AS-15	EXIT
AS-16	WAYFINDING
AS-17	TRUCK OFF-PARKING AREA, STRAIGHT ARROW
AS-17(L)	TRUCK OFF-PARKING AREA, LEFT ARROW
AS-17(R)	TRUCK OFF-PARKING AREA, RIGHT ARROW
AS-18	TRUCKS PROHIBITED
AS-19	TRUCKS PROHIBITED
AS-20	TRUCKS PROHIBITED
AS-21	TRUCKS PROHIBITED
AS-22	TRUCKS PROHIBITED
AS-23	TRUCKS PROHIBITED
AS-24	TRUCKS PROHIBITED
AS-25	TRUCKS PROHIBITED
AS-26	TRUCKS PROHIBITED
AS-27	TRUCKS PROHIBITED
AS-28	TRUCKS PROHIBITED
AS-29	TRUCKS PROHIBITED
AS-30	TRUCKS PROHIBITED
AS-31	TRUCKS PROHIBITED
AS-32	TRUCKS PROHIBITED
AS-33	TRUCKS PROHIBITED
AS-34	TRUCKS PROHIBITED
AS-35	TRUCKS PROHIBITED
AS-36	TRUCKS PROHIBITED
AS-37	TRUCKS PROHIBITED
AS-38	TRUCKS PROHIBITED
AS-39	TRUCKS PROHIBITED
AS-40	TRUCKS PROHIBITED
AS-41	TRUCKS PROHIBITED
AS-42	TRUCKS PROHIBITED
AS-43	TRUCKS PROHIBITED
AS-44	TRUCKS PROHIBITED
AS-45	TRUCKS PROHIBITED
AS-46	TRUCKS PROHIBITED
AS-47	TRUCKS PROHIBITED
AS-48	TRUCKS PROHIBITED
AS-49	TRUCKS PROHIBITED
AS-50	TRUCKS PROHIBITED

**STRIPING (PAVEMENT GRAPHIC) LEGEND**

CODE	DESCRIPTION
PG-1	STOP BAR
PG-5	STRAIGHT ARROW
PG-6(L)	LEFT TURN ARROW
PG-6(R)	RIGHT TURN ARROW
PG-7(L)	STRAIGHT OR LEFT TURN ARROW
PG-7(R)	STRAIGHT OR RIGHT TURN ARROW
PG-8	LEFT OR RIGHT TURN ARROW
PG-9	LEFT, STRAIGHT, OR RIGHT TURN ARROW
PG-10	TRAFFIC ISLAND
PG-11	RESTRICTION CROSSWALK
PG-12	ONE-WAY CROSSWALK
PG-13	ONE-WAY CROSSWALK
PG-14	TRAILER SPACE NUMBERING
PG-15	SPEED HUMP
PG-16	SPEED BUMP
PG-17	ACCESSIBLE CAR PARKING
PG-18	ACCESSIBLE VAN PARKING
PG-19	PROHIBITION TABLE
PG-20	PAVEMENT MARKING STALL
PG-22	DOCK PARKING STALL
PG-23	DOCK PARKING STALL
PG-24	DOCK PARKING STALL
PG-25	DOCK PARKING STALL
PG-26	DOCK PARKING STALL
PG-27	DOCK PARKING STALL
PG-28	DOCK PARKING STALL
PG-29	DOCK PARKING STALL
PG-30	DOCK PARKING STALL
PG-31	DOCK PARKING STALL
PG-32	DOCK PARKING STALL
PG-33	DOCK PARKING STALL
PG-34	DOCK PARKING STALL
PG-35	DOCK PARKING STALL
PG-36	DOCK PARKING STALL
PG-37	DOCK PARKING STALL
PG-38	DOCK PARKING STALL
PG-39	DOCK PARKING STALL
PG-40	DOCK PARKING STALL
PG-41	DOCK PARKING STALL
PG-42	DOCK PARKING STALL
PG-43	DOCK PARKING STALL
PG-44	DOCK PARKING STALL
PG-45	DOCK PARKING STALL
PG-46	DOCK PARKING STALL
PG-47	DOCK PARKING STALL
PG-48	DOCK PARKING STALL
PG-49	DOCK PARKING STALL
PG-50	DOCK PARKING STALL

**GENERAL SIGN FACE LEGEND**

CODE	DESCRIPTION
S-1	"STOP" SIGN
S-2	"DO NOT ENTER"
S-3	SPEED LIMIT, 5 MPH
S-3 (MOD)	SPEED BUMP WITH 5 MPH PLACARD
S-4	SPEED LIMIT, 10 MPH
S-5(L)	PEDESTRIAN CROSSING, LEFT ARROW
S-5(R)	PEDESTRIAN CROSSING, RIGHT ARROW
S-6(L)	ONE-WAY, LEFT ARROW
S-6(R)	ONE-WAY, RIGHT ARROW
S-9(L)	LEFT TURN ONLY
S-9(R)	RIGHT TURN ONLY
S-10(L)	NO LEFT TURN
S-10(R)	NO RIGHT TURN
S-11	U-TURN
S-13	TRUCKS PROHIBITED
S-14	NO PARKING
S-15	"ACCESSIBLE" PARKING SIGN
S-16	"VAN ACCESSIBLE" PARKING SIGN
S-17	NO TRUCKS SIGN

**FLOODPLAIN DESIGNATION:**

ACCORDING TO F.I.R.M. NO. 3667C-0179-G, BEARING AN EFFECTIVE DATE OF 03/03/2014, THE SUBJECT PROPERTIES ARE LOCATED IN A ZONE "X" (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL FLOOD PLAIN).



FORTY-EIGHT (48) HOURS BEFORE DIGGING IS TO COMMENCE, THE CONTRACTORS SHALL NOTIFY THE FOLLOWING AGENCIES: NEWYORK 811 AND ALL OTHER AGENCIES WHICH MIGHT HAVE UNDERGROUND UTILITIES INVOLVING THIS PROJECT AND ARE NONMEMBERS OF NEWYORK 811 CALL.

MATCH LINE SHEET C8.3 (SITE PLAN - PARKING SOUTH)

**BENCHMARK**

DESCRIPTION	ELEVATION	NORTHING/EASTING
BM 1 1" PIPE	93.56 FT	816832.73 N, 641443.82 E
BM 2 5/8" REBAR	71.22 FT	818739.46 N, 641528.88 E

**SURVEY (DATED 10/31/2019) BY:**  
BLEW & ASSOCIATES, PA  
3825 N. SHILOH DRIVE  
FAYETTEVILLE, AR 72703  
PHONE: (479) 582-1883  
CONTACT: PAXTON SINGLETON

CEISO PROVIDES NO GUARANTEE TO THE ACCURACY OF THE SURVEY PROVIDED BY BLEW & ASSOCIATES, PA, CONTRACTOR TO VERIFY EXISTING CONDITIONS PRIOR TO BID AND CONSTRUCTION.

\* ELEVATIONS ESTABLISHED WITH GPS STATIC OBSERVATIONS UTILIZING ONLINE POSITIONING USER SERVICE (CEISO) FOR POST PROCESSING. (MAY 10, 2019)

DELIVERY STATION



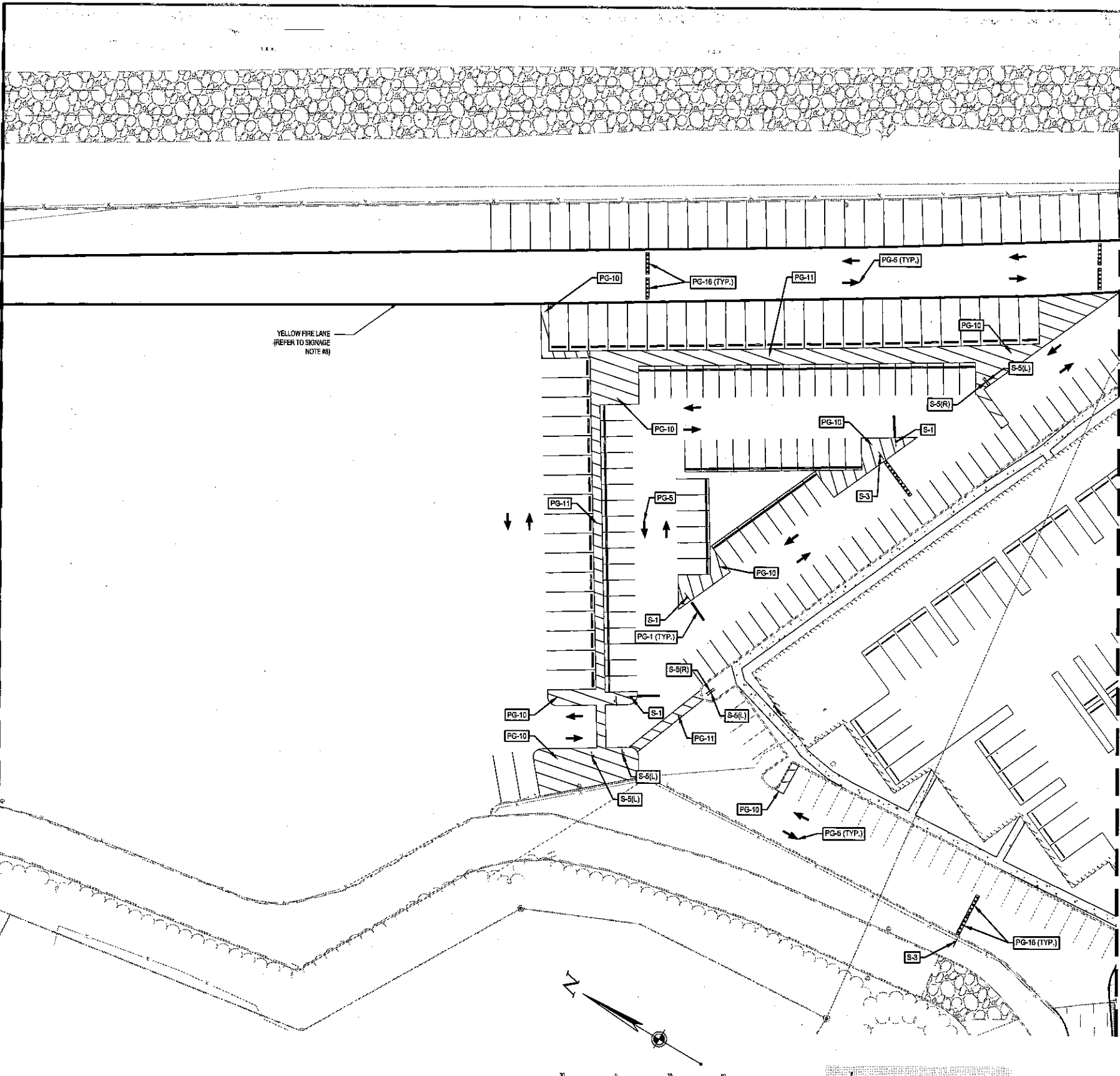
ISSUE FOR PERMIT  
DATE: 08/04/20  
JOB NO.: 757184  
SCALE: 1" = 30'  
DESIGN: T. LEJA  
DRAWN: S. BAILEY  
CHECKED: J. KOCINSKI

DRAWING TITLE  
**SIGNAGE PLAN - WEST**

SHEET NO.

200 & 400 ORIENTAL DRIVE, BLDG. 11, NY 10013

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MATCH LINE SHEET CA.3 (SITE PLAN - PARKING SOUTH)

**LEGEND**

**EXISTING**

REFER TO TOPOGRAPHIC SURVEY

**PROPOSED**

- SPEED HUMP
- SPEED BUMP
- SPEED TABLE
- SIGN (TYPE SPECIFIED BY CODED NOTE)
- PAVEMENT MARKINGS AND ARROWS

**GENERAL NOTES**

1. SITE SIGNAGE TO BE PERMITTED AND INSTALLED BY OTHERS
2. FINAL SIGN QUANTITIES SHALL BE COORDINATED AND VERIFIED IN THE FIELD
3. ALL SIGNAGE, STRIPING, AND OTHER TRAFFIC CONTROL DEVICES SHALL BE INSTALLED IN CONFORMANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD)
4. SIGNS WITH DIRECTIONAL ARROWS: ADJUST ARROWS PER FINAL LOCATION
5. STRIPING SHALL BE WHITE ON ASPHALT AND YELLOW ON CONCRETE UNLESS OTHERWISE NOTED
6. ALL PROPOSED SIGNAGE AND STRIPING SHALL BE INSTALLED IN ACCORDANCE WITH THE TENANT FULFILLMENT WORLDWIDE REAL ESTATE SIGNAGE STANDARDS REVISION 16 DATED QUARTER 2, 2019 OR CURRENT EDITION
7. ADDITIONAL SIGNAGE NOT SHOWN ON GRAPHICS PLANS (E.G. FIRE LANES) MAY BE REQUIRED PER LOCAL CODE AND/OR A.H.A. SUB-CONTRACTOR SHALL COORDINATE WITH LOCAL A.H.U. AND PROVIDE AS REQUIRED

**CODED NOTES:**

1. EXISTING "STOP" SIGN TO REMAIN. IF SIGN IS NOT EXISTING NOR IN ADEQUATE CONDITION, CONTRACTOR TO INSTALL "STOP" SIGN PER DETAIL ON SHEET SERIES C7.A.
2. EXISTING "SPEED LIMIT 10 MPH" SIGN TO REMAIN. IF SIGN IS NOT EXISTING NOR IN ADEQUATE CONDITION CONTRACTOR TO INSTALL "SPEED LIMIT 10 MPH" SIGN PER DETAIL ON SHEET C7.A.

**GENERAL SIGN FACE LEGEND**

CODE	DESCRIPTION
S-1	"STOP" SIGN
S-2	DO NOT ENTER
S-3	SPEED LIMIT, 5 MPH
S-3 (MOD)	SPEED BUMP WITH 5 MPH PLACARD
S-4	SPEED LIMIT, 10 MPH
S-5(L)	PEDESTRIAN CROSSING LEFT ARROW
S-5(R)	PEDESTRIAN CROSSING RIGHT ARROW
S-6(L)	ONE-WAY / LEFT ARROW
S-6(R)	ONE-WAY / RIGHT ARROW
S-8(L)	LEFT TURN ONLY
S-8(R)	RIGHT TURN ONLY
S-11(L)	NO LEFT TURN
S-11(R)	NO RIGHT TURN
S-12	NO TURN
S-13	TRUCKS PROHIBITED
S-14	NO PARKING
S-15	"ACCESSIBLE" PARKING SIGN
S-16	"VAN ACCESSIBLE" PARKING SIGN
S-17	NO TRESPASSING

**TENANT SIGN FACE LEGEND**

CODE	DESCRIPTION
AS-1	ADDRESS SIGN
AS-2	YELLOW VISION LIGHTS
AS-5	YARD RULES
AS-6	TRUCK ENTRANCE
AS-7	ENGINEER'S CHANGE
AS-8	RECEIVING DRIVER ENTRANCE
AS-9	SHIPPING DRIVER ENTRANCE
AS-10	TRAILER PARKING
AS-11	TOWELERS MUST BE SEPT FROM HALL
AS-12	NO ENTRANCE
AS-14	NO EXIT
AS-15	EXIT
AS-16	WAYFINDING
AS-17	DRIVE OFF/BACK UP AREA, STRAIGHT ARROW
AS-17(L)	DRIVE OFF/BACK UP AREA, LEFT ARROW
AS-17(R)	DRIVE OFF/BACK UP AREA, RIGHT ARROW
AS-20	DOCK NUMBERS
AS-21	DRIVWAY AND PARKING
AS-22	ASSOCIATE OF THE MONTH
AS-24	WATER PARKING
AS-25	TRUCK PARKING
AS-26	MUSTER AREA
AS-28	MAX VEHICLE PARKING
AS-31	MAX VEHICLE AREA
AS-31	"CUSTOMER PARKING" SIGN
AS-32	PARKING LOCK SIGN
AS-33	NO PARKING

**STRIPING (PAVEMENT GRAPHIC) LEGEND**

CODE	DESCRIPTION
PG-1	STOP BAR
PG-5	STRAIGHT ARROW
PG-6(L)	LEFT TURN ARROW
PG-6(R)	RIGHT TURN ARROW
PG-7(L)	STRAIGHT OR LEFT TURN ARROW
PG-7(R)	STRAIGHT OR RIGHT TURN ARROW
PG-8	LEFT OR RIGHT TURN ARROW
PG-9	LEFT, STRAIGHT, OR RIGHT TURN ARROW
PG-10	TRAFFIC ISLAND
PG-11	PEDESTRIAN CROSSWALK
PG-12	1" STRIPING COULDER ONE-WAY @ 30' O.C. WHITE
PG-14	TRAILER SPACE NUMBERING
PG-19	SPEED HUMP
PG-18	SPEED BUMP
PG-17	ACCESSIBLE CAR PARKING
PG-18	ACCESSIBLE VAN PARKING
PG-21	PEDESTRIAN TABLE
PG-22	TRAILER PARKING STALL
PG-23	DOCK PARKING STALL
PG-23	MAX STALL AREA

BENCHMARK			
	DESCRIPTION	ELEVATION	NORTHING/EASTING
BM 1	1" PIPE	93.58 FT	818832.73 N, 641443.82 E
BM 2	5/8" REBAR	71.22 FT	818739.48 N, 641528.88 E

**SURVEY (DATED 10/31/2019) BY:**  
 BLEW & ASSOCIATES, PA  
 3825 N. SHILOH DRIVE  
 FAYETTEVILLE, AR 72703  
 PHONE: (479) 582-1853  
 CONTACT: PAXTON SINGLETON

CEISO PROVIDES NO GUARANTEE TO THE ACCURACY OF THE SURVEY PROVIDED BY BLEW & ASSOCIATES, PA. CONTRACTOR TO VERIFY EXISTING CONDITIONS PRIOR TO BID AND CONSTRUCTION.

**FLOODPLAIN DESIGNATION:**

ACCORDING TO F.I.R.M. NO. 38687C-0179-G, BEARING AN EFFECTIVE DATE OF 03/03/2014, THE SUBJECT PROPERTIES ARE LOCATED IN A ZONE "X" (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL FLOOD PLAN).



FORTY-EIGHT (48) HOURS BEFORE DIGGING IS TO COMMENCE, THE CONTRACTORS SHALL NOTIFY THE FOLLOWING AGENCIES: NEWYORK 811 AND ALL OTHER AGENCIES WHICH MIGHT HAVE UNDERGROUND UTILITIES INVOLVING THIS PROJECT AND ARE NONMEMBERS OF NEWYORK 811 CALL.

NO.	DATE	REVISION DESCRIPTION
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		

**DELIVERY STATION**



ISSUE FOR PERMIT  
 DATE: 08/04/20  
 JOB NO.: 757184  
 SCALE: 1" = 30'  
 DESIGN: T. LEJA  
 DRAWN: S. BAILEY  
 CHECKED: J. KOCINSKI

**SIGNAGE PLAN - PARKING MIDDLE**

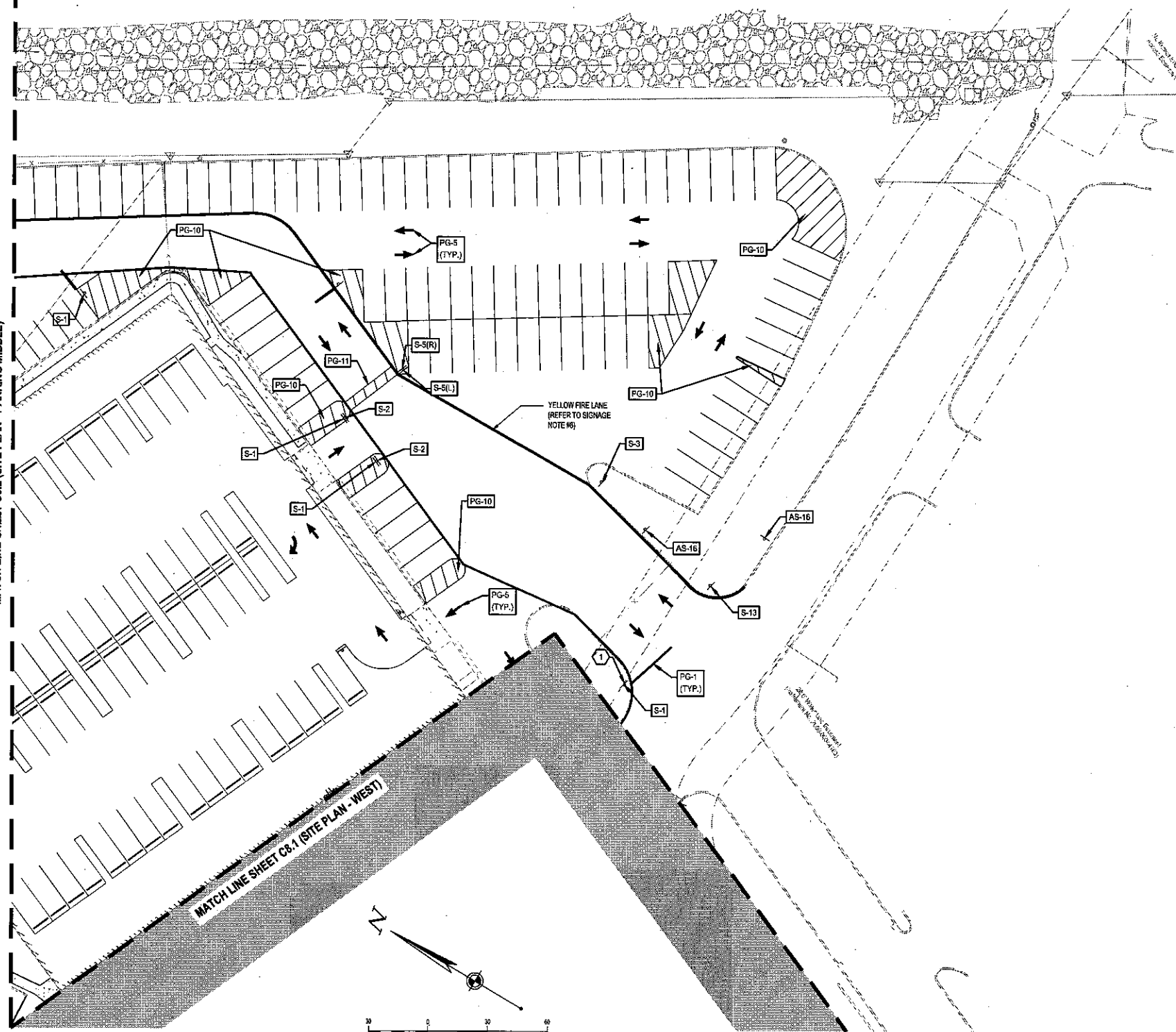
SHEET NO.



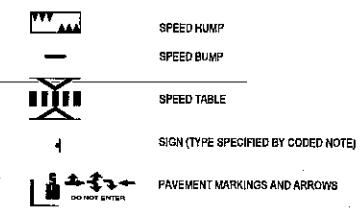
CONTRACTOR: THESE DRAWINGS ARE THE PROPERTY OF CB&G, LLC.

MATCH LINE SHEET C8.2 (SITE PLAN - PARKING MIDDLE)

MATCH LINE SHEET C8.1 (SITE PLAN - WEST)



**LEGEND**  
EXISTING  
REFER TO TOPOGRAPHIC SURVEY  
PROPOSED



**GENERAL NOTES**

1. SITE SIGNAGE TO BE PERMITTED AND INSTALLED BY OTHERS
2. FINAL SIGN QUANTITIES SHALL BE COORDINATED AND VERIFIED IN THE FIELD
3. ALL SIGNAGE, STRIPING, AND OTHER TRAFFIC CONTROL DEVICES SHALL BE INSTALLED IN CONFORMANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD)
4. SIGNS WITH DIRECTIONAL ARROWS: ADJUST ARROWS PER FINAL LOCATION
5. STRIPING SHALL BE WHITE ON ASPHALT AND YELLOW ON CONCRETE, UNLESS OTHERWISE NOTED
6. ALL PROPOSED SIGNAGE AND STRIPING SHALL BE INSTALLED IN ACCORDANCE WITH THE TENANT FULFILLMENT WORLDWIDE REAL ESTATE SIGNAGE STANDARDS REVISION 16 DATED QUARTER 2, 2019 OR CURRENT EDITION
7. ADDITIONAL SIGNAGE NOT SHOWN ON GRAPHICS PLANS (E.G. FIRE LINES) MAY BE REQUIRED PER LOCAL CODE AND/OR A.H.J. SUB-CONTRACTOR SHALL COORDINATE WITH LOCAL A.H.J. AND PROVIDE AS REQUIRED

**CODED NOTES:**

1. EXISTING "STOP" SIGN TO REMAIN, IF SIGN IS NOT EXISTING NOR IN ADEQUATE CONDITION, CONTRACTOR TO INSTALL "STOP" SIGN PER DETAIL ON SHEET C7.0.
2. EXISTING "SPEED LIMIT 10 MPH" SIGN TO REMAIN, IF SIGN IS NOT EXISTING NOR IN ADEQUATE CONDITION CONTRACTOR TO INSTALL "SPEED LIMIT 10 MPH" SIGN PER DETAIL ON SHEET C7.0.

**GENERAL SIGN FACE LEGEND**

CODE	DESCRIPTION
S-1	"STOP" SIGN
S-2	DO NOT ENTER
S-3	SPEED LIMIT, 5 MPH
S-3 (MOD)	SPEED BUMP WITH 5 MPH PLACARD
S-4	SPEED LIMIT, 10 MPH
S-5(L)	PEDESTRIAN CROSSING, LEFT ARROW
S-5(R)	PEDESTRIAN CROSSING, RIGHT ARROW
S-6(L)	LANE-REDUCED, LEFT ARROW
S-6(R)	LANE-REDUCED, RIGHT ARROW
S-7(L)	LEFT TURN ONLY
S-7(R)	RIGHT TURN ONLY
S-7(LR)	NO LEFT TURN
S-7(RR)	NO RIGHT TURN
S-8	NO TRUCKS
S-13	TRUCKS PROHIBITED
S-14	NO PARKING
S-15	"ACCESSIBLE" PARKING SIGN
S-16	"VAN ACCESSIBLE" PARKING SIGN
S-17	NO TRESPASSING

**TENANT SIGN FACE LEGEND**

CODE	DESCRIPTION
AS-1	ADDRESS SIGN
AS-2	PROTECTED WALKWAY USER
AS-5	YARD RULES
AS-6	TRUCK ENTRANCE
AS-7	DRIVER'S ENTRANCE
AS-8	RECEIVING DRIVER ENTRANCE
AS-9	SHIPMENT DRIVER ENTRANCE
AS-10	TRAILER PARKING
AS-11	TRAILERS MUST BE SFT FROM WALL
AS-12	NO ENTRANCE
AS-14	NO EXIT
AS-15	EXIT
AS-16	WAYFINDING
AS-17	DRIVER OFFICE UP AREA, STRAIGHT ARROW
AS-17(L)	DRIVER OFFICE UP AREA, LEFT ARROW
AS-17(R)	DRIVER OFFICE UP AREA, RIGHT ARROW
AS-21	DOCK NUMBERS
AS-22	GROUP OFF AND PICK UP
AS-23	ASSOCIATE OF THE MONTH
AS-24	VISITOR'S PARKING
AS-25	VENDOR PARKING
AS-26	MUSTER AREA
AS-29	BIODIVERSITY PARKING
AS-31	SOX-SERVICES AREA
AS-31	"CUSTOMER PARKING" SIGN
AS-32	PARKING LOCATION
AS-33	SECURITY PHOTO SIGN

**STRIPING (PAVEMENT GRAPHIC) LEGEND**

CODE	DESCRIPTION
PG-1	STOP BAR
PG-5	STRAIGHT ARROW
PG-9(L)	LEFT TURN ARROW
PG-9(R)	RIGHT TURN ARROW
PG-10(L)	STRAIGHT OR LEFT TURN ARROW
PG-10(R)	STRAIGHT OR RIGHT TURN ARROW
PG-11	LEFT OR RIGHT TURN ARROW
PG-6	LEFT STRAIGHT OR RIGHT TURN ARROW
PG-10	TRAFFIC ISLAND
PG-11	PEDESTRIAN CROSSWALK
PG-12	TOP CROSSING OUTLINE AND HAZY @ 30' ON C/WAY
PG-14	TRAILER SPACE NUMBERING
PG-15	SPEED HUMP
PG-16	SPEED BUMP
PG-17	ACCESSIBLE CAR PARKING
PG-18	ACCESSIBLE VAN PARKING
PG-21	PEDESTRIAN TABLE
PG-21	TRAILER PARKING STALL
PG-22	DOCK PARKING STALL
PG-23	PAV. STRIP AREA

**FLOODPLAIN DESIGNATION:**

ACCORDING TO F.I.R.M. NO. 3997C-0179-G, BEARING AN EFFECTIVE DATE OF 03/02/2014, THE SUBJECT PROPERTIES ARE LOCATED IN A ZONE "X" (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL FLOOD PLAIN).



FORTY-EIGHT (48) HOURS BEFORE DIGGING IS TO COMMENCE, THE CONTRACTORS SHALL NOTIFY THE FOLLOWING AGENCIES: NEW YORK 311 AND ALL OTHER AGENCIES WHICH MIGHT HAVE UNDERGROUND UTILITIES INVOLVING THIS PROJECT AND ARE NONMEMBERS OF NEW YORK 311 CALL.

**BENCHMARK**

DESCRIPTION	ELEVATION	NORTHING/EASTING
BM 1	1" PIPE	83.56 FT 816832.73 N, 841443.82 E
BM 2	5/8" REBAR	71.22 FT 818739.46 N, 841528.88 E

**SURVEY (DATED 10/31/2019) BY:**  
BLEW & ASSOCIATES, PA  
3825 N. SHILOH DRIVE  
FAVETTESVILLE, AR 72703  
PHONE: (479) 582-1883  
CONTACT: PAXTON SINGLETON

CEISO PROVIDES NO GUARANTEE TO THE ACCURACY OF THE SURVEY PROVIDED BY BLEW & ASSOCIATES, PA. CONTRACTOR TO VERIFY EXISTING CONDITIONS PRIOR TO BID AND CONSTRUCTION.

\* ELEVATIONS ESTABLISHED WITH GPS STATIC OBSERVATIONS UTILIZING ONLINE POSITIONING USER SERVICE (OPUS) FOR POST PROCESSING (NAD 83 DATUM)

NO.	DATE	REVISION DESCRIPTION
1	04/20/20	ISSUE FOR PERMIT
2	04/20/20	REVISIONS TO SIGNAGE PLAN SHEETS PER PLANNING BOARD COMMENTS
3	04/20/20	SUPPLEMENTAL PLAN SHEETS PER PLANNING BOARD COMMENTS
4	04/20/20	REVISED SIGNAGE PLAN SHEETS PER PLANNING BOARD COMMENTS
5	04/20/20	REVISED SIGNAGE PLAN SHEETS PER PLANNING BOARD COMMENTS
6	04/20/20	REVISED SIGNAGE PLAN SHEETS PER PLANNING BOARD COMMENTS
7	04/20/20	REVISED SIGNAGE PLAN SHEETS PER PLANNING BOARD COMMENTS
8	04/20/20	REVISED SIGNAGE PLAN SHEETS PER PLANNING BOARD COMMENTS
9	04/20/20	REVISED SIGNAGE PLAN SHEETS PER PLANNING BOARD COMMENTS
10	04/20/20	REVISED SIGNAGE PLAN SHEETS PER PLANNING BOARD COMMENTS
11	04/20/20	REVISED SIGNAGE PLAN SHEETS PER PLANNING BOARD COMMENTS
12	04/20/20	REVISED SIGNAGE PLAN SHEETS PER PLANNING BOARD COMMENTS
13	04/20/20	REVISED SIGNAGE PLAN SHEETS PER PLANNING BOARD COMMENTS
14	04/20/20	REVISED SIGNAGE PLAN SHEETS PER PLANNING BOARD COMMENTS
15	04/20/20	REVISED SIGNAGE PLAN SHEETS PER PLANNING BOARD COMMENTS
16	04/20/20	REVISED SIGNAGE PLAN SHEETS PER PLANNING BOARD COMMENTS
17	04/20/20	REVISED SIGNAGE PLAN SHEETS PER PLANNING BOARD COMMENTS
18	04/20/20	REVISED SIGNAGE PLAN SHEETS PER PLANNING BOARD COMMENTS
19	04/20/20	REVISED SIGNAGE PLAN SHEETS PER PLANNING BOARD COMMENTS
20	04/20/20	REVISED SIGNAGE PLAN SHEETS PER PLANNING BOARD COMMENTS

DELIVERY STATION



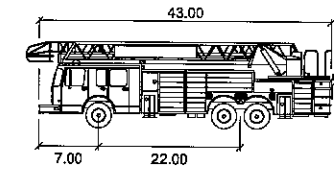
ISSUE FOR PERMIT  
DATE: 04/20/20

JOB NO.: 757164  
SCALE: 1" = 30'  
DESIGN: T. LEJA  
DRAWN: S. BAILEY  
CHECKED: J. KOCHINSKI  
DRAWING TITLE

**SIGNAGE PLAN - PARKING SOUTH**

SHEET NO. C8.2

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**Aerial Fire Truck**

	feet
Width	: 8.50
Track	: 8.50
Lock to Lock Time	: 6.0
Steering Angle	: 33.3

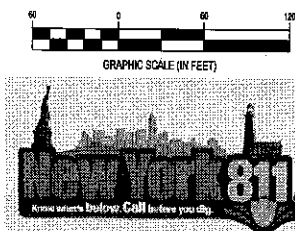
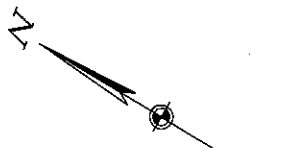
**LEGEND**

**EXISTING**

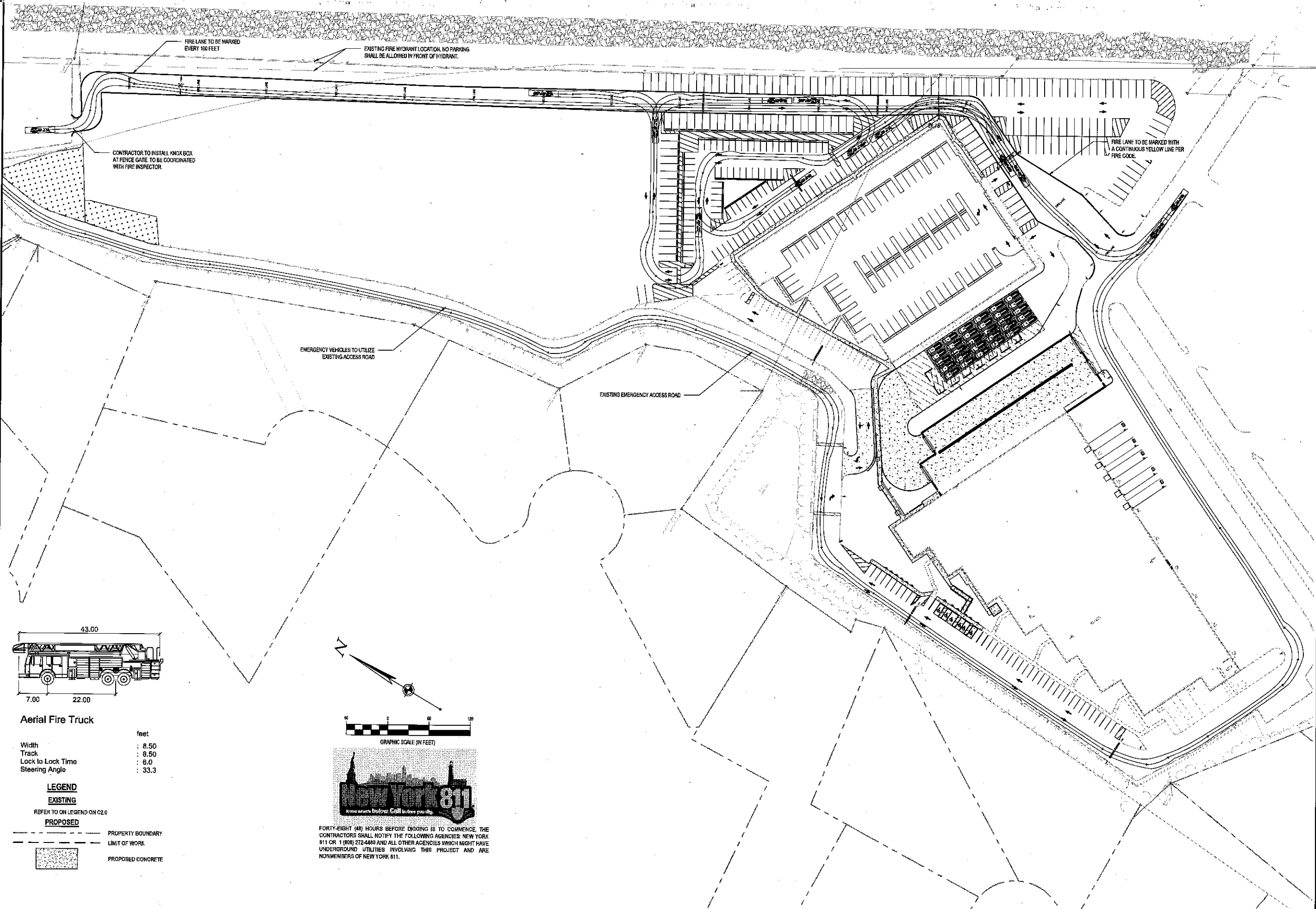
REFER TO OH LEGEND ON C2.0

**PROPOSED**

- PROPERTY BOUNDARY
- - - LIMIT OF WORK
- ▨ PROPOSED CONCRETE



FORTY-EIGHT (48) HOURS BEFORE DIGGING IS TO COMMENCE, THE CONTRACTORS SHALL NOTIFY THE FOLLOWING AGENCIES: NEW YORK 811 OR 1 (800) 272-4489 AND ALL OTHER AGENCIES WHICH MIGHT HAVE UNDERGROUND UTILITIES INVOLVING THIS PROJECT AND ARE NONMEMBERS OF NEW YORK 811.



NO.	DATE	REVISION DESCRIPTION
0	03/25/20	• CONTRACT
1	06/02/20	• SUPPLEMENTAL PLAN SHEETS PER PLANNING BOARD COMMENTS
2	06/02/20	• SUPPLEMENTAL PLAN SHEETS PER PLANNING BOARD COMMENTS
3	06/02/20	• REVISED FOR TOWNSHIP COMMENTS
4	06/02/20	• REVISED SITE NUMBER LAYOUT PER PLANNING COMMENTS
5	10/14/20	• FINAL PLAN FOR PERM
6	01/07/21	• REVISED STORM LAYOUT
7	01/07/21	• CONTRACTOR STORAGE AND SANITARY FACILITY
8	01/07/21	• STREET
9	01/07/21	• VARIATION #202003

**DELIVERY STATION**

200 & 400 CRTIANI DRIVE, BLAUVELT, NY 10813



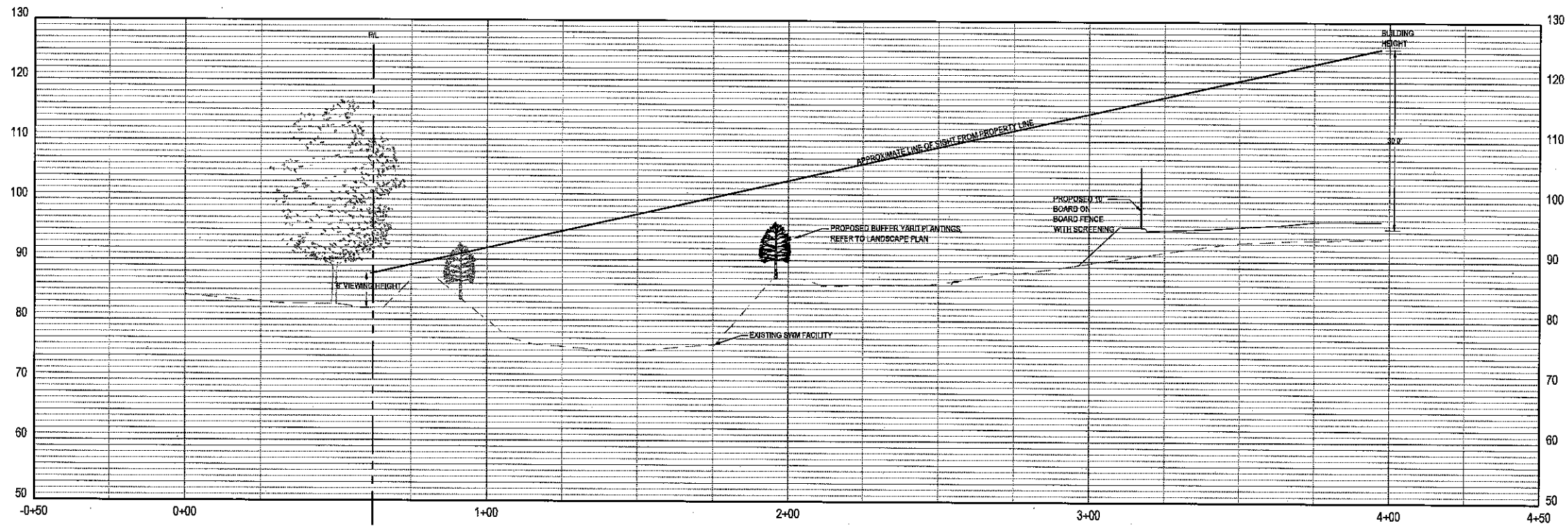
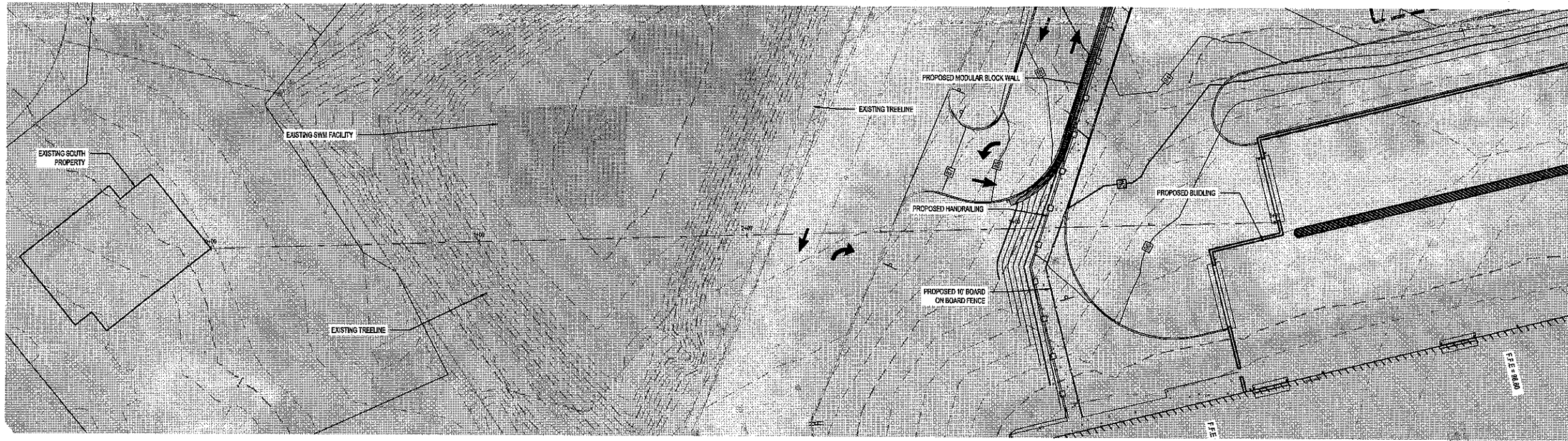
ISSUE FOR PERMIT  
 DATE: 05/04/20  
 JOB NO.: 797184  
 SCALE: AS SHOWN  
 DESIGNER: T. LEJA  
 DRAWN: M. HAMILTON  
 CHECKED: J. KOCINSKI

**CIRCULATION PLAN**

SHEET NO. C100





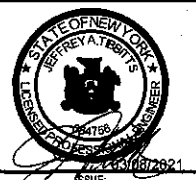


SOUTH PROPERTY PROFILE  
SCALE: 1" = 20' HORIZ.; 1" = 10' VERT.

NO.	DATE	REVISION DESCRIPTION
1	08/02/20	FOR PERMIT
2	08/02/20	REVISIONS TO PERMIT COMMENTS
3	08/02/20	REVISIONS TO PERMIT COMMENTS
4	08/02/20	REVISIONS TO PERMIT COMMENTS
5	08/02/20	REVISIONS TO PERMIT COMMENTS
6	08/02/20	REVISIONS TO PERMIT COMMENTS
7	08/02/20	REVISIONS TO PERMIT COMMENTS
8	08/02/20	REVISIONS TO PERMIT COMMENTS
9	08/02/20	REVISIONS TO PERMIT COMMENTS
10	08/02/20	REVISIONS TO PERMIT COMMENTS

# DELIVERY STATION

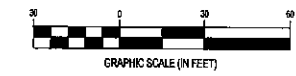
200 E. 400 ORTHAUX DRIVE, ELBAWELT, NY 10813



ISSUE FOR PERMIT	DATE: 08/02/20
JOB NO.:	757184
SCALE:	1" = 80'
DESIGN:	T. LEJA
DRAWN:	T. LEJA
CHECKED:	J. KOJINSKI

## LINE OF SIGHT - SOUTH PROPERTY

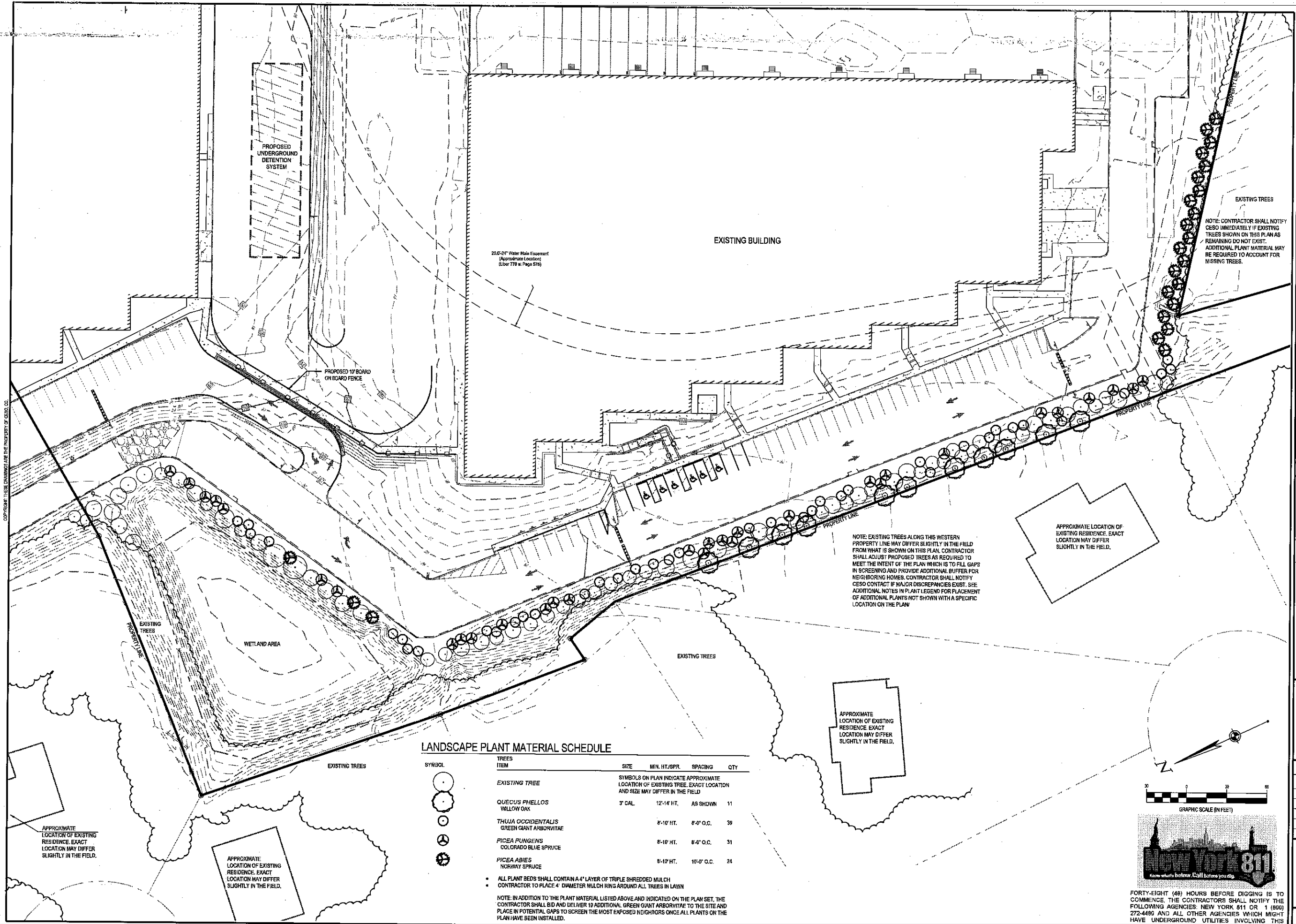
SHEET NO. C10.2



FORTY-EIGHT (48) HOURS BEFORE DIGGING IS TO COMMENCE. THE CONTRACTORS SHALL NOTIFY THE FOLLOWING AGENCIES: NEWYORK 811 AND ALL OTHER AGENCIES WHICH MIGHT HAVE UNDERGROUND UTILITIES INVOLVING THIS PROJECT AND ARE NONMEMBERS OF NEWYORK 811 (C&I).

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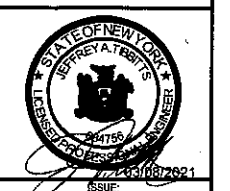


NO.	DATE	REVISION DESCRIPTION
0	03/20/20	CONTRACT
1	03/20/20	SUPPLEMENTAL PLANS PER PLANNING BOARD COMMENTS
2	03/20/20	SUPPLEMENTAL PLANS PER PLANNING BOARD COMMENTS
3	03/20/20	REVISED FOR PLANNING BOARD COMMENTS
4	03/20/20	REVISED FOR PLANNING BOARD COMMENTS
5	03/20/20	REVISED FOR PLANNING BOARD COMMENTS
6	03/20/20	REVISED FOR PLANNING BOARD COMMENTS
7	03/20/20	REVISED FOR PLANNING BOARD COMMENTS
8	03/20/20	REVISED FOR PLANNING BOARD COMMENTS
9	03/20/20	REVISED FOR PLANNING BOARD COMMENTS

NOTE: CONTRACTOR SHALL NOTIFY CESO IMMEDIATELY IF EXISTING TREES SHOWN ON THIS PLAN AS REMAINING DO NOT EXIST. ADDITIONAL PLANT MATERIAL MAY BE REQUIRED TO ACCOUNT FOR MISSING TREES.

**DELIVERY STATION**

200 & 400 BRITANNI DRIVE, BLAUVELT, NY 10513



ISSUE FOR PERMIT  
DATE: 03/20/20

JOB NO.: 757184  
SCALE: 1" = 30'  
DESIGN: ADH  
DRAWN: MSD  
CHECKED: ADH  
DRAWING TITLE

**LANDSCAPE PLAN**

SHEET NO. 110

**LANDSCAPE PLANT MATERIAL SCHEDULE**

TREES ITEM	SIZE	MIN. HT./SPR.	SPACING	QTY
EXISTING TREE	SYMBOLS ON PLAN INDICATE APPROXIMATE LOCATION OF EXISTING TREE. EXACT LOCATION AND SIZE MAY DIFFER IN THE FIELD.			
QUECUS PHELLOS WILLOW OAK	3" CAL.	12'-14" HT.	AS SHOWN	11
THUJA OCCIDENTALIS GREEN GIANT ARBORVITAE		8'-10" HT.	8'-0" O.C.	39
PICEA PLUNGENS COLORADO BLUE SPRUCE		8'-10" HT.	8'-0" O.C.	31
PICEA ABIES NORWAY SPRUCE		8'-10" HT.	10'-0" O.C.	24

• ALL PLANT BEDS SHALL CONTAIN A 4" LAYER OF TRIPLE SHREDDED MULCH  
• CONTRACTOR TO PLACE 4" DIAMETER MULCH RING AROUND ALL TREES IN LAWN

NOTE: IN ADDITION TO THE PLANT MATERIAL LISTED ABOVE AND INDICATED ON THE PLAN SET, THE CONTRACTOR SHALL BID AND DELIVER 10 ADDITIONAL GREEN GIANT ARBORVITAE TO THE SITE AND PLACE IN POTENTIAL GAPS TO SCREEN THE MOST EXPOSED NEIGHBORS ONCE ALL PLANTS ON THE PLAN HAVE BEEN INSTALLED.

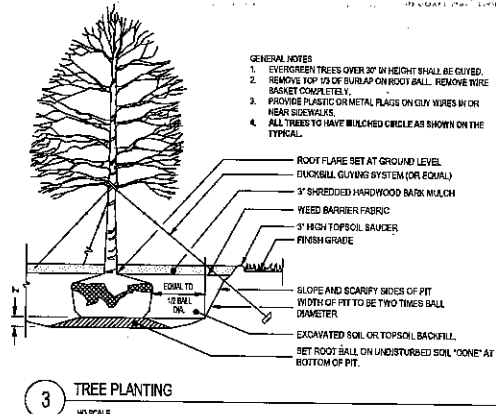
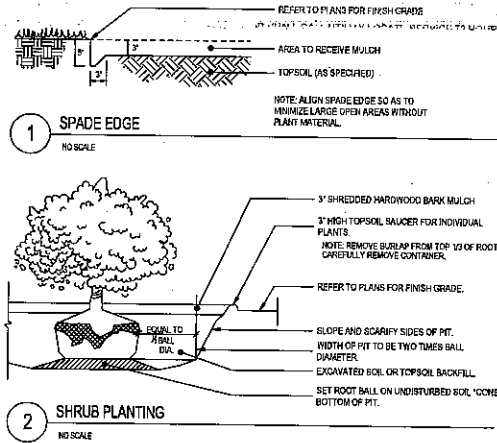


FORTY-EIGHT (48) HOURS BEFORE DIGGING IS TO COMMENCE, THE CONTRACTORS SHALL NOTIFY THE FOLLOWING AGENCIES: NEW YORK 811 OR 1 (800) 272-4480 AND ALL OTHER AGENCIES WHICH MIGHT HAVE UNDERGROUND UTILITIES INVOLVING THIS

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**GENERAL NOTES: LANDSCAPE PLAN**

- CONTRACTOR TO VERIFY WITH OWNER AND UTILITY COMPANIES THE LOCATIONS OF ALL UTILITIES PRIOR TO CONSTRUCTION, TO DETERMINE IN THE FIELD THE ACTUAL LOCATIONS AND ELEVATIONS OF ALL EXISTING UTILITIES, WHETHER SHOWN ON THE PLANS OR NOT. THE CONTRACTOR SHALL HAVE UTILITY LOCATE SERVICE 72 HOURS PRIOR TO CONSTRUCTION.
- SITE CONDITIONS BASED UPON SURVEY PROVIDED BY OWNER. CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS BY DETAILED INSPECTION PRIOR TO SUBMITTING BID AND BEGINNING CONSTRUCTION.
- REFER TO SITE CIVIL DRAWINGS FOR ADDITIONAL REQUIREMENTS AND COORDINATE WORK WITH OTHER SITE RELATED DEVELOPMENT DRAWING AS NEEDED.
- REESTABLISH EXISTING TURF IN AREAS DISTURBED BY GRADING OR UTILITY TRENCHING IN THE RIGHT-OF-WAY.
- CONTRACTOR SHALL EXAMINE FINISH SURFACE, GRADES, TOPSOIL QUALITY AND DEPTH. DO NOT START ANY WORK UNTIL UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED. VERIFY LIMITS OF WORK BEFORE STARTING.
- CONTRACTOR TO REPORT ALL DAMAGES TO EXISTING CONDITIONS AND INCONSISTENCIES WITH PLANS TO LANDSCAPE ARCHITECT.
- CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE IN ALL LANDSCAPE BEDS AND ALL LAWN AREAS.
- CONTRACTOR TO FINE GRADE AND ROCK-HOUND ALL TURF AREAS PRIOR TO SEEDING. TO PROVIDE A SMOOTH AND CONTINUAL SURFACE, FREE OF IRREGULARITIES (BUMPS OR DEPRESSIONS) & EXTRANEOUS MATERIAL OR DEBRIS.
- REMOVE EXISTING WEEDS FROM PROJECT SITE PRIOR TO THE ADDITION OF ORGANIC AMENDMENTS AND FERTILIZER. APPLY AMENDMENTS AND FERTILIZER AS NEEDED.
- QUANTITIES SHOWN ARE INTENDED TO ASSIST CONTRACTOR IN EVALUATING THEIR OWN TAKE OFFS AND ARE NOT GUARANTEED AS ACCURATE REPRESENTATIONS OF REQUIRED MATERIALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS BID QUANTITIES AS REQUIRED BY THE PLANS AND SPECIFICATIONS. IF THERE IS A DISCREPANCY BETWEEN THE NUMBER LABELED ON THE PLANT LEGEND AND THE QUANTITY OF GRAPHIC SYMBOLS SHOWN, THE GREATER QUANTITY SHALL GOVERN.
- COORDINATE LANDSCAPE INSTALLATION WITH INSTALLATION OF UNDERGROUND SPRINKLER AND DRAINAGE SYSTEMS.
- ALL SIZES AND QUALITY OF PLANT MATERIAL SHALL MEET THE MINIMUM SPECIFICATIONS OF THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-2014). THE LANDSCAPE CONTRACTOR SHALL INSTALL ALL PLANT MATERIAL IN SIZE AS INDICATED IN THE PLANT SCHEDULE UNLESS OTHERWISE SPECIFIED ON THE PLAN SET. ALL PLANTS THAT DO NOT MEET THE SIZE AND SPECIFICATIONS SET FORTH BY THE AMERICAN STANDARD FOR NURSERY STOCK WILL BE REJECTED BY LANDSCAPE ARCHITECT AT NO COST TO OWNER.
- ONCE PROJECT IS AWARDED, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE TO SECURE ALL PLANT MATERIAL IN THE SIZE SPECIFIED ON PLAN PRIOR TO INSTALLATION. IN THE EVENT THE PLANT MATERIAL IS NOT AVAILABLE IN THE SIZE SPECIFIED, THE CONTRACTOR SHALL INSTALL LARGER AT NO COST TO OWNER.
- THE LANDSCAPE CONTRACTOR SHALL OBTAIN WRITTEN APPROVAL FOR ALL PLANT MATERIAL SUBSTITUTIONS FROM THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. PLANT SUBSTITUTIONS WITHOUT PRIOR WRITTEN APPROVAL THAT DO NOT COMPLY WITH THE DRAWINGS AND SPECIFICATIONS MAY BE REJECTED BY THE LANDSCAPE ARCHITECT AND REPLACED BY CONTRACTOR AT NO COST TO THE OWNER.
- PRIOR TO MOBILIZATION THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT, IN WRITING, IF HE/SHE BELIEVES ANY OF THE PLANT MATERIAL IDENTIFIED ON THE PLAN MAY NOT BE SUITABLE FOR THE SITE OR MAY DIE. SUBSTITUTION REQUESTS WILL BE GRANTED BY THE LANDSCAPE ARCHITECT PRIOR TO THE START OF CONSTRUCTION ACTIVITIES. IF NOTIFICATION IS NOT GIVEN TO THE LANDSCAPE ARCHITECT ALL PLANTING WHICH FAILS TO GROW (EXCEPT FOR DEFECTS RESULTING FROM LACK OF ADEQUATE MAINTENANCE AS DETERMINED BY THE OWNER, NEGLIGENCE OR VANDALISM) SHALL BE REPLACED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.
- WHERE PROPOSED TREE LOCATIONS OCCUR UNDER EXISTING OVERHEAD UTILITIES OR GROWING EXISTING TREES, NOTIFY LANDSCAPE ARCHITECT TO ADJUST TREE LOCATIONS.
- ALL PLANT MASSES TO BE TOP DRESSED WITH MULCH AS SPECIFIED IN PLANT SCHEDULE. SPREAD UNIFORMLY IN DEPTH OVER THE PLANTING BEDS AS DELINEATED ON THE PLANS UNLESS OTHERWISE NOTED.
- BED EDGE TO BE NO LESS THAN 12" AND NO MORE THAN 18" FROM OUTER EDGE OF PLANT MATERIAL BRANCHING. WHERE GROUND-COVER OCCURS, PLANT TO LIMITS OF AREA AS SHOWN.
- ALL PLANTS SHALL BE GUARANTEED FOR 1 YEAR AFTER SUBSTANTIAL COMPLETION OCCURS AND FINAL ACCEPTANCE BY OWNER.
- LANDSCAPE MAINTENANCE PERIOD BEGINS IMMEDIATELY AFTER THE COMPLETION OF ALL PLANTING OPERATIONS AND WRITTEN ACCEPTANCE FROM THE OWNER AND LANDSCAPE ARCHITECT. MAINTAIN TREES, SHRUBS, LAWNS AND OTHER PLANTS AS PER THE SPECIFICATIONS. LANDSCAPE MAINTENANCE IS THE LANDSCAPING CONTRACTORS RESPONSIBILITY UNTIL FINAL ACCEPTANCE BY THE OWNER.
- ALL LANDSCAPE MAINTENANCE SHALL BE IN ACCORDANCE WITH LOCAL GOVERNING STANDARDS
- REFER TO PROJECT MANUAL OR WRITTEN SPECIFICATIONS, IF AVAILABLE, FOR ADDITIONAL REQUIREMENTS.
- ALL TREES MUST BE STRAIGHT TRUNKED AND FULL HEADED AND MEET ALL REQUIREMENTS SPECIFIED.
- ALL TREES MUST BE GUYED OR STAKED.
- ANY PLANT MATERIAL WHICH DIES, TURNS BROWN, OR DEQUALIFIES (PRIOR TO TOTAL ACCEPTANCE OF THE WORK) SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES, QUANTITY, AND SIZE AND MEETING ALL PLANT LIST SPECIFICATIONS.



**ORANGETOWN STANDARD NOTES:**

- THE TREE PROTECTION AND PRESERVATION GUIDELINES ADOPTED PURSUANT TO SECTION 21-34 OF THE LAND DEVELOPMENT REGULATIONS OF THE TOWN OF ORANGETOWN WILL BE IMPLEMENTED IN ORDER TO PROTECT AND PRESERVE BOTH INDIVIDUAL SPECIMEN TREES AND BUFFER AREA WITH MANY TREES. STEPS THAT WILL BE TAKEN TO RESERVE AND PROTECT TREES TO REMAIN ARE AS FOLLOWS:
    - NO CONSTRUCTION EQUIPMENT SHALL BE PARKED UNDER THE TREE CANOPY.
    - THERE WILL BE NO EXCAVATION OR STOCKPILING OF EARTH UNDERNEATH THE TREES.
    - TREES DESIGNATED TO BE PRESERVED SHALL BE MARKED CONSPICUOUSLY ON ALL SIDES AT A 5 TO 10 FOOT HEIGHT.
  - THE TREE PROTECTION ZONE FOR TREES DESIGNATED TO BE PRESERVED WILL BE ESTABLISHED BY ONE OF THE FOLLOWING METHODS:
    - ONE (1) FOOT RADIUS FROM TRUNK PER INCH DBH
    - DRIP LINE OF THE TREE CANOPY. THE METHOD CHOSEN SHOULD BE BASED ON PROVIDING THE MAXIMUM PROTECTION ZONE POSSIBLE. A BARRIER OF SNOW FENCE OR EQUAL IS TO BE PLACED AND MAINTAINED ONE YARD BEYOND THE ESTABLISHED TREE PROTECTION ZONE. IF IT IS AGREED THAT THE TREE PROTECTION ZONE OF A SELECTED TREE MUST BE VIOLATED, ONE OF THE FOLLOWING METHOD MUST BE EMPLOYED TO MITIGATE THE IMPACT:
      - LIGHT TO HEAVY IMPACTS - MINIMUM OF EIGHT INCHES OF WOOD CHIPS INSTALLED IN THE AREA TO BE PROTECTED. CHIPS SHALL BE REMOVED UPON COMPLETION OF WORK.
      - LIGHT IMPACTS ONLY - INSTALLATION OF 3/4 INCH OF PLYWOOD OR BOARDS, OR EQUAL OVER THE AREA TO BE PROTECTED.
- THE BUILDER OR ITS AGENT MAY NOT CHANGE GRADE WITHIN THE TREE PROTECTION ZONE OF A PRESERVED TREE UNLESS SUCH GRADE CHANGE HAS RECEIVED FINAL APPROVAL FROM THE PLANNING BOARD. IF THE GRADE LEVEL IS TO BE CHANGED MORE THAN SIX (6) INCHES, TREES DESIGNATED TO BE PRESERVED SHALL BE WELLED AND/OR PRESERVED IN A RAISED BED, WITH THE TREE WELL RADIUS OF THREE (3) FEET LARGER THAN THE TREE CANOPY.

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NO.	DATE	REVISION DESCRIPTION
0	03/12/20	FOR PERMIT
1	06/02/20	SUPPLEMENTAL PLAN SHEETS PER PLANNING BOARD COMMENTS
2	06/02/20	SUPPLEMENTAL PLAN SHEETS PER PLANNING BOARD COMMENTS
3	06/02/20	REVISED PER COMMENTS
4	06/02/20	REVISED PER COMMENTS
5	11/10/20	REVISED PER COMMENTS
6	01/04/21	REVISED PER COMMENTS
7	01/04/21	CONTRACTOR STORM AND SANITARY AS BUILT
8	01/04/21	ADDITION OF SIDEWALK

**DELIVERY STATION**



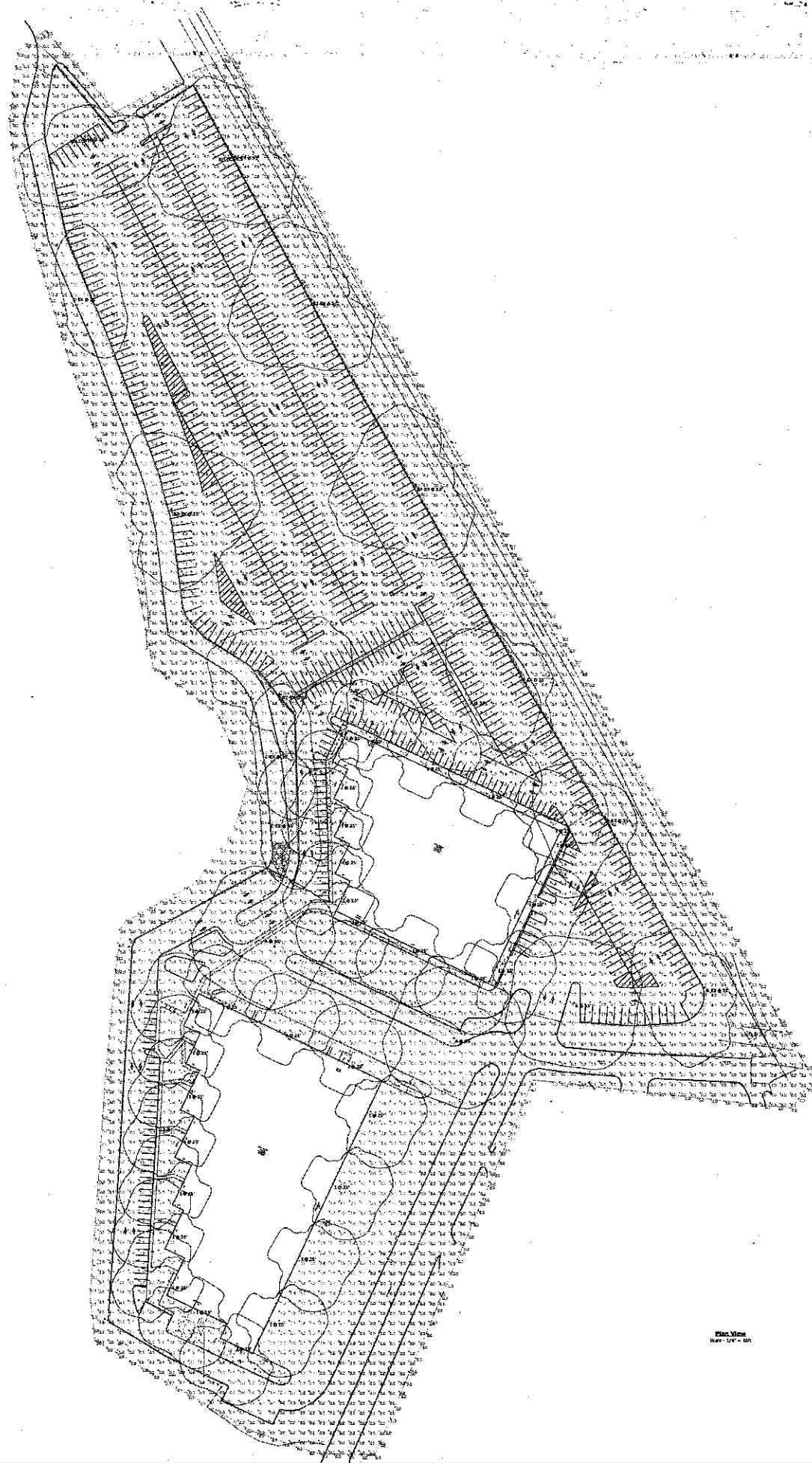
ISSUE: FOR PERMIT  
DATE: 05/04/20

JOB NO.: 757184  
SCALE: AS SHOWN  
DESIGN: T. LEJA  
DRAWN: S. BAILEY  
CHECKED: J. KOCINSKI

DRAWING TITLE  
**LANDSCAPE DETAILS AND NOTES**

SHEET NO.

200 & 400 ORTANI DRIVE, BLAUVELT, NY 10913



Plan View  
Scale: 1/8" = 1'-0"

Symbol	Zone	Lighting	Footcandle	Footcandle	Footcandle	Footcandle	Footcandle	Footcandle	Footcandle
+	A	Lighting	0.9 fc	10.9 fc	0.0 fc	N/A	N/A	100%	100%
+	B2-EX	Lighting	1.0 fc	10.9 fc	0.0 fc	N/A	N/A	100%	100%
+		Lighting	1.0 fc	10.9 fc	0.0 fc	N/A	N/A	100%	100%
+		Lighting	1.0 fc	10.9 fc	0.0 fc	N/A	N/A	100%	100%
+	C-EX	Lighting	1.0 fc	10.9 fc	0.0 fc	N/A	N/A	100%	100%
+	Ex-Ex	Lighting	1.0 fc	10.9 fc	0.0 fc	N/A	N/A	100%	100%

Statistics

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #1	+	0.9 fc	10.9 fc	0.0 fc	N/A	N/A
Central Building Lot	X	1.6 fc	6.4 fc	0.0 fc	N/A	N/A
North Entry Road	X	1.2 fc	4.8 fc	0.0 fc	N/A	N/A
North Parking Lot	X	1.0 fc	10.9 fc	0.0 fc	N/A	N/A
PROPERTY LINE	+	0.0 fc	0.1 fc	0.0 fc	N/A	N/A
South Building Lot	X	1.0 fc	3.5 fc	0.0 fc	N/A	N/A

AMAZON DATA BLAUWELT NV SITE LAYOUT 2.20.20

Retaining Wall Construction Plans For

# DXY-4 Blauvelt, New York

## DRAWING INDEX

SHEET NO.	DESCRIPTION
RW 1.01	COVER SHEET
RW 2.01	SPECIFICATIONS
RW 3.01	PLAN VIEW
RW 4.01	ELEVATION & CROSS-SECTION
RW 5.01	DETAILS

## REFERENCE STANDARDS

### DESIGN

1. AASHTO STANDARD SPECIFICATIONS FOR HIGHWAY BRIDGES, 17TH EDITION, (2002).
2. NATIONAL CONCRETE MASONRY ASSOCIATION DESIGN MANUAL FOR SEGMENTAL RETAINING WALLS - 3RD EDITION (2010).
3. MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES - ASCE/SEI 7-10.
4. INTERNATIONAL BUILDING CODE, 2015 EDITION.

### SEGMENTAL RETAINING WALL UNITS

1. AASHTO M 194 - STANDARD SPECIFICATION FOR CHEMICAL ADMIXTURES FOR CONCRETE.
2. ASTM C94 - STANDARD SPECIFICATION FOR READY-MIXED CONCRETE.
3. ASTM C136 - STANDARD TEST METHOD FOR SIEVE ANALYSIS OF FINE AND COARSE AGGREGATES.
4. ASTM C143 - STANDARD TEST METHOD FOR SLUMP OF HYDRAULIC-CEMENT CONCRETE.
5. ASTM C260 - STANDARD SPECIFICATION FOR AIR-ENTRAINING ADMIXTURES FOR CONCRETE.
6. ASTM C696 - STANDARD TEST METHOD FOR RESISTANCE OF CONCRETE TO RAPID FREEZING AND THAWING.
7. ASTM C920 - STANDARD SPECIFICATION FOR ELASTOMERIC JOINT SEALANTS
8. ASTM C1611 - STANDARD TEST METHOD FOR SLUMP FLOW OF SELF-CONSOLIDATING CONCRETE.
9. ASTM C1776 - STANDARD SPECIFICATION FOR WET-CAST PRECAST MODULAR RETAINING WALL UNITS.
10. ASTM D6938 - STANDARD TEST METHOD FOR DETERMINING CONNECTION STRENGTH BETWEEN GEOSYNTHETIC REINFORCEMENT AND SEGMENTAL CONCRETE UNITS (MODULAR CONCRETE BLOCKS).
11. ASTM D6916 - STANDARD TEST METHOD FOR DETERMINING SHEAR STRENGTH BETWEEN SEGMENTAL CONCRETE UNITS (MODULAR CONCRETE BLOCKS).

### GEOSYNTHETICS

1. AASHTO M 288 - GEOTEXTILE SPECIFICATION FOR HIGHWAY APPLICATIONS.
2. ASTM D4354 - STANDARD PRACTICE FOR SAMPLING OF GEOSYNTHETICS FOR TESTING.
3. ASTM D4355 - STANDARD TEST METHOD FOR DETERMINATION OF GEOTEXTILES.
4. ASTM D4491 - STANDARD TEST METHODS FOR WATER PERMEABILITY OF GEOTEXTILES BY PERMITTIVITY.
5. ASTM D4533 - STANDARD TEST METHOD FOR TRAPEZOID TEARING STRENGTH OF GEOTEXTILES.
6. ASTM D4595 - STANDARD TEST METHOD FOR TENSILE PROPERTIES OF GEOTEXTILES BY THE WIDE-WIDTH STRIP METHOD.
7. ASTM D4932 - STANDARD TEST METHOD FOR GRAB BREAKING LOAD AND ELONGATION OF GEOTEXTILES.
8. ASTM D4751 - STANDARD TEST METHOD FOR DETERMINING APPARENT OPENING SIZE OF A GEOTEXTILE.
9. ASTM D4759 - STANDARD PRACTICE FOR DETERMINING PERFORMANCE OF GEOSYNTHETICS.
10. ASTM D4573 - STANDARD GUIDE FOR IDENTIFICATION, STORAGE, AND HANDLING OF GEOSYNTHETIC ROLLS AND SAMPLES.
11. ASTM D5262 - STANDARD TEST METHOD FOR EVALUATING THE UNCONFINED TENSION CREEP AND CREEP RUPTURE BEHAVIOR OF GEOSYNTHETICS.
12. ASTM D5521 - STANDARD TEST METHOD FOR DETERMINING THE COEFFICIENT OF SOIL AND GEOSYNTHETIC OR GEOSYNTHETIC AND GEOSYNTHETIC FRICTION BY THE DIRECT SHEAR METHOD.
13. ASTM D5818 - STANDARD PRACTICE FOR EXPOSURE AND RETRIEVAL OF SAMPLES TO EVALUATE INSTALLATION DAMAGE OF GEOSYNTHETICS.
14. ASTM D6241 - STANDARD TEST METHOD FOR THE STATIC PUNCTURE STRENGTH OF GEOTEXTILES AND GEOTEXTILE-RELATED PRODUCTS USING A 50-MM PROBE.
15. ASTM D6637 - STANDARD TEST METHOD FOR DETERMINING TENSILE PROPERTIES OF GEOGRIDS BY THE SINGLE OR MULTI-RIB TENSILE METHOD.
16. ASTM D6908 - STANDARD TEST METHOD FOR MEASURING GEOSYNTHETIC PULLOUT RESISTANCE IN SOIL.
17. ASTM D8992 - STANDARD TEST METHOD FOR ACCELERATED TENSILE CREEP AND CREEP-RUPTURE OF GEOSYNTHETIC MATERIALS BASED ON TIME-TEMPERATURE SUPERPOSITION USING THE STEPPED ISOTHERMAL METHOD.

### SOILS

1. AASHTO M 145 - AASHTO SOIL CLASSIFICATION SYSTEM.
2. AASHTO T 104 - STANDARD METHOD OF TEST FOR SOUNDNESS OF AGGREGATE BY USE OF SODIUM SULFATE OR MAGNESIUM SULFATE.
3. AASHTO T 287 - STANDARD METHOD OF TEST FOR DETERMINATION OF ORGANIC CONTENT IN SOILS BY LOSS OF IGNITION.
4. ASTM C33 - STANDARD SPECIFICATION FOR CONCRETE AGGREGATES.
5. ASTM D448 - STANDARD CLASSIFICATION FOR SIZES OF AGGREGATES FOR ROAD AND BRIDGE CONSTRUCTION.
6. ASTM D698 - STANDARD TEST METHOD FOR LABORATORY COMPACTION CHARACTERISTICS OF SOIL USING STANDARD EFFORT (12,400 FT-LBF/FT (2,700 KN-M/M)).
7. ASTM D1241 - STANDARD SPECIFICATION FOR MATERIALS FOR SOIL-AGGREGATE SUBBASE, BASE AND SURFACE COURSES.
8. ASTM D1556 - STANDARD TEST METHOD FOR DENSITY AND UNIT WEIGHT OF SOIL IN PLACE BY SAND-CONE METHOD.
9. ASTM D1557 - STANDARD TEST METHOD FOR LABORATORY COMPACTION CHARACTERISTICS OF SOIL USING MODIFIED EFFORT (58,000 FT-LBF/FT (2,700 KN-M/M)).
10. ASTM D2487 - STANDARD PRACTICE FOR CLASSIFICATION OF SOILS FOR ENGINEERING PURPOSES (UNIFIED SOIL CLASSIFICATION SYSTEM).
11. ASTM D2488 - STANDARD PRACTICE FOR DESCRIPTION AND IDENTIFICATION OF SOILS (VISUAL-MANUAL PROCEDURE).
12. ASTM D3080 - STANDARD TEST METHOD FOR DIRECT SHEAR TEST OF SOILS UNDER CONSOLIDATED DRAINED CONDITIONS.
13. ASTM D4254 - STANDARD TEST METHOD FOR MINIMUM INDEX DENSITY AND UNIT WEIGHT OF SOILS AND CALCULATION OF RELATIVE DENSITY.
14. ASTM D4318 - STANDARD TEST METHOD FOR LIQUID LIMIT, PLASTIC LIMIT, AND PLASTICITY INDEX OF SOILS.
15. ASTM D4767 - TEST METHOD FOR CONSOLIDATED-UNDRAINED TRIAXIAL COMPRESSION TEST FOR COHESIVE SOILS.
16. ASTM D4972 - STANDARD TEST METHOD FOR PH OF SOILS.
17. ASTM D8813 - STANDARD TEST METHODS FOR PARTICLE-SIZE DISTRIBUTION (GRADATION) OF SOILS USING SIEVE ANALYSIS.
18. ASTM D6938 - STANDARD TEST METHOD FOR IN-PLACE DENSITY AND WATER CONTENT OF SOIL AND AGGREGATE BY NUCLEAR METHODS (SHALLOW DEPTH).
19. ASTM G51 - STANDARD TEST METHOD FOR MEASURING PH OF SOIL FOR USE IN CORROSION TESTING.
20. ASTM G57 - STANDARD TEST METHOD FOR FIELD MEASUREMENT OF SOIL RESISTIVITY USING THE WENNER FOUR-ELECTRODE METHOD.

### DRAINAGE PIPE

1. ASTM D3034 - STANDARD SPECIFICATION FOR TYPE PSM POLY (VINYL CHLORIDE) (PVC) SEWER PIPE AND FITTINGS.
2. ASTM F2648 - STANDARD SPECIFICATION FOR 2 TO 60 INCH (50 TO 1500 MM) ANNUAL CORRUGATED PROFILE WALL POLYETHYLENE (PE) PIPE AND FITTINGS FOR LAND DRAINAGE APPLICATIONS.
3. ASTM D2412 - STANDARD TEST METHOD FOR DETERMINATION OF EXTERNAL LOADING CHARACTERISTICS OF PLASTIC PIPE BY PARALLEL-PLATE LOADING

REVISION  
DATE 09/16/20  
ISSUED FOR PERMIT



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**COVER SHEET**  
Retaining Wall Construction Plans For  
**DXY-4**  
**BLAUVELT, NEW YORK**

Designed By: **S.N.S.**  
Checked By: **J.C.H.**  
Project No.: **20066**  
Date: **08/31/20**  
Scale: **As Shown**

**RW 1.01**



CONSTRUCTION AND INSPECTION REQUIREMENTS - CONCORD WALL XL RETAINING WALL

1.0 GENERAL

1.1 CONSTRUCTION INSPECTION OF THE SEGMENTAL RETAINING WALL SHALL BE PERFORMED BY THE DESIGNATED INSPECTION ENGINEER. THE INSPECTION ENGINEER SHALL BE A LICENSED PROFESSIONAL ENGINEER AND EMPLOYED BY A GEOTECHNICAL ENGINEERING FIRM DULY LICENSED AND AUTHORIZED TO PRACTICE WITHIN THE JURISDICTION OF THE PROJECT LOCATION.

1.2 THE INDIVIDUAL(S) DESIGNATED AS THE ON-SITE INSPECTOR SHALL BE AN EMPLOYEE OF THE SAME GEOTECHNICAL ENGINEERING FIRM AS THE INSPECTION ENGINEER. THE ON-SITE INSPECTOR SHALL HAVE ADEQUATE KNOWLEDGE OF THE PROJECT, GENERAL KNOWLEDGE OF THE LOCAL GEOLOGY AND BE FAMILIAR WITH THE PROJECT RETAINING WALL CONSTRUCTION PLANS AS WELL AS THE ACCEPTED MEANS AND METHODS OF SEGMENTAL RETAINING WALL AND MECHANICALLY STABILIZED EARTH RETAINING WALL CONSTRUCTION.

1.3 THE INSPECTION ENGINEER SHALL SUPERVISE AND DIRECT THE ACTIVITIES OF THE ON-SITE INSPECTOR.

2.0 MATERIALS

2.1 FOUNDATION SOIL

2.1.1 ASSUMPTIONS HAVE BEEN MADE REGARDING THE SHEAR STRENGTH OF FOUNDATION SOIL. THE ASSUMPTIONS ARE BASED, IN PART, ON INFORMATION PROVIDED IN THE GEOTECHNICAL INVESTIGATION REPORT PREPARED BY PROFESSIONAL SERVICE INDUSTRIES ENGINEERING, P.L.L.C. THE EFFECTIVE SHEAR STRENGTH PARAMETERS OF THE FOUNDATION SOIL ASSUMED FOR THE DESIGN ARE AS FOLLOWS:

(SILTY SAND - MED. DENSE TO DENSE);  $\phi' = 30^\circ$ ,  $C' = 0$  PSF,  $\gamma = 120$  PCF

2.1.2 PRIOR TO CONSTRUCTION OF THE RETAINING WALL, THE INSPECTION ENGINEER SHALL INSPECT THE CONDITIONS AT THE WALL LOCATION TO VERIFY THAT THE ASSUMED SHEAR STRENGTH PARAMETERS FOR THE FOUNDATION SOILS ARE ADEQUATELY CONSERVATIVE. IF, BASED UPON THIS INITIAL OBSERVATION, THE INSPECTION ENGINEER'S OPINIONS DIFFER WITH THE DESIGN PARAMETERS LISTED IN 2.1.1, THE INSPECTION ENGINEER SHALL NOT ALLOW WORK TO COMMENCE IN THE AREAS IN QUESTION UNTIL AN APPROPRIATE COURSE OF ACTION CAN BE DETERMINED.

2.2 RETAINED SOIL

2.2.1 IN-SITU (UNDISTURBED) AND RECOMPACTED FILL SOIL IN THE RETAINED ZONE BEHIND THE WALL ARE ASSUMED TO EXHIBIT THE MINIMUM SHEAR STRENGTH PARAMETERS LISTED BELOW.

(SILTY SAND - MED. DENSE TO DENSE);  $\phi' = 30^\circ$ ,  $C' = 0$  PSF,  $\gamma = 120$  PCF

2.2.2 THE RETAINED ZONE IS ASSUMED TO EXTEND TO A DISTANCE BEHIND THE FACE OF THE RETAINING WALL THAT IS A MINIMUM OF 3 TIMES THE WALL HEIGHT.

2.3 CONCRETE SEGMENTAL RETAINING WALL UNITS

2.3.1 THE CONCRETE SEGMENTAL RETAINING WALL SYSTEM SHALL BE COMPRISED OF CONCORD WALL XL UNITS.

2.3.2 THE CONCRETE SEGMENTAL UNITS SHALL CONFORM TO THE REQUIREMENTS OF ASTM C1372 AND HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 4,000 PSI AND A MAXIMUM ABSORPTION OF 10 PCF AS DETERMINED IN ACCORDANCE WITH ASTM C-140. ALL UNITS SHALL BE FREE OF CRACKS, CHIPS OR OTHER DEFECTS THAT WOULD INTERFERE WITH THE PROPER PLACEMENT OF THE UNIT OR THAT MIGHT IMPAIR THE STRENGTH OR SUCCESSFUL PERFORMANCE OF THE CONSTRUCTED WALL. DIMENSIONS OF THE CONCRETE SEGMENTAL UNITS SHALL NOT DIFFER MORE THAN  $\pm 1/16$  INCH FROM THE WALL UNIT DETAILS SHOWN HEREIN AS MEASURED IN ACCORDANCE WITH ASTM C-140.

2.3.3 THE COLOR OF THE CONCRETE SEGMENTAL BLOCK RETAINING WALL UNITS SHALL BE GRANITE AS MANUFACTURED BY UNILOK, INC.

2.4 GEOTEXTILE FABRIC

2.4.1 THE TYPE A GEOTEXTILE FABRIC SHALL BE A NOMINAL 8 OZ. NONWOVEN POLYPROPYLENE FABRIC EXHIBITING THE FOLLOWING PHYSICAL PROPERTIES.

PROPERTY	STANDARD	MARV
GRAB TENSILE/ELONGATION	ASTM D4832	205 LBS./50%
CBR PUNCTURE RESISTANCE	ASTM D6241	500 LBS.
TRAPEZOIDAL TEAR	ASTM D4533	80 LBS.
FLOW RATE	ASTM D4491	95 GAL./MIN./S.F.
NO. 4	ASTM D4751	NO. 80 US SIEVE
PERMITTIVITY	ASTM D4751	.01/SEC

APPROVED MATERIALS INCLUDE TENCATE MIRAFI 180N, PROPEX GEOTEX 801 OR APPROVED EQUAL

2.5 GEOSYNTHETIC REINFORCEMENT

2.5.1 THE GEOSYNTHETIC REINFORCEMENT SHALL BE MIRAGRID 3XT AS SHOWN IN THE APPROVED CONSTRUCTION DRAWINGS.

2.6 DRAINAGE FILL, UNIT FILL & REINFORCED BACKFILL

2.6.1 DRAINAGE FILL, UNIT FILL AND REINFORCED BACKFILL SHALL BE A DURABLE, CRUSHED STONE MEETING THE REQUIREMENTS OF ASTM C33 FOR SIZE NO. 57 PER THE FOLLOWING GRADATION.

SIEVE SIZE	% PASSING
1-1/2 INCH	100
1 INCH	95-100
1/2 INCH	25-60
NO. 4	0-10
NO. 8	0-5

2.6.2 COMPACTED REINFORCED FILL SHALL EXHIBIT MINIMUM SHEAR STRENGTH PARAMETERS AS FOLLOWS:

INTERNAL FRICTION ANGLE,  $\phi' = 38^\circ$ ,  
EFFECTIVE COHESION,  $C' = 0$  PSF,  
UNIT WEIGHT  $\gamma = 110$  PCF

2.7 LEVELING PAD

2.7.1 THE LEVELING PAD SHALL BE CONSTRUCTED WITH CRUSHED STONE MEETING THE REQUIREMENTS OF 2.6 ABOVE OR UNREINFORCED CONCRETE.

2.7.2 CONCRETE FOR USE IN THE LEVELING PAD SHALL BE AASHTO CLASS B CONCRETE WITH A MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 2,500 PSI. CONCRETE USED IN THE CONSTRUCTION OF THE LEVELING PAD SHALL BE CURED A MINIMUM OF 12 HOURS PRIOR TO PLACEMENT OF THE SEGMENTAL RETAINING WALL UNITS.

2.8 COLLECTION DRAIN SYSTEM

2.8.1 COLLECTION DRAIN PIPE SHALL BE 4-INCH DIAMETER, 3-HOLE PERFORATED/SLOTTED HDPE OR PVC PIPE WITH A SMOOTH INTERIOR AND A MINIMUM PIPE STIFFNESS OF 22 PSI PER ASTM D2412.

2.8.2 COLLECTION DRAIN PIPES, OUTLET PIPES AND FITTINGS SHALL ALL BE MADE BY THE SAME MANUFACTURER. OUTLET PIPES SHALL BE FURNISHED WITHOUT PERFORATIONS/SLOTS.

3.0 EXCAVATION AND FOUNDATION PREPARATION

3.1 THE CONTRACTOR SHALL EXCAVATE TO THE LINES AND GRADES SHOWN ON THE RETAINING WALL CONSTRUCTION DRAWINGS. EXCAVATIONS FOR CONSTRUCTION OF THE RETAINING WALLS SHALL CONFORM TO OSHA REQUIREMENTS FOR SAFE EXCAVATIONS.

3.2 ALL IN-SITU OVERBURDEN SOIL SHALL BE EXCAVATED BEHIND THE WALL FACE TO A MINIMUM DISTANCE OF 7 FEET. THE OVERBURDEN SOIL BEYOND THE 7-FT. LIMIT SHALL BE BENCH CUT WITH NEAR VERTICAL AND HORIZONTAL FACES. VERTICAL BENCH HEIGHT SHALL NOT EXCEED 3 FEET. HORIZONTAL BENCH LENGTH SHALL NOT BE LESS THAN 3 FEET.

3.3 THE COST OF ANY OVER-EXCAVATION AND REPLACEMENT WITH MATERIAL MEETING THE APPROVAL OF THE INSPECTION ENGINEER SHALL BE AS QUANTIFIED BY THE INSPECTION ENGINEER AND ONLY AS DIRECTED BY THE OWNER'S WRITTEN CONTRACT CHANGE ORDER. DISTURBANCE OF SOIL OTHERWISE OUTSIDE THE LIMITS OF EXCAVATION SHALL BE AVOIDED.

3.4 BEFORE WALL CONSTRUCTION BEGINS, THE CONTRACTOR SHALL CLEAR AND GRUB THE REINFORCED SOIL ZONE AND REMOVE TOPSOIL, BRUSH, FROZEN SOIL, AND ORGANIC MATERIAL. THE CONTRACTOR SHALL REMOVE AND REPLACE ALL EXISTING FOUNDATION MATERIAL DESIGNATED BY THE INSPECTION ENGINEER AS UNSUITABLE IN ACCORDANCE WITH SECTION 3.3.

3.5 THE INSPECTION ENGINEER SHALL INSPECT THE FOUNDATION ZONE PRIOR TO PLACEMENT OF THE LEVELING PAD.

4.0 LEVELING PAD PREPARATION

4.1 THE LEVELING PAD SHALL BE CONSTRUCTED SO AS TO PROVIDE A LEVEL, HARD SURFACE UPON WHICH TO PLACE THE FIRST COURSE OF SEGMENTAL RETAINING WALL UNITS.

4.2 THE LEVELING PAD SHALL EXTEND AT LEAST 6 INCHES BEYOND THE FRONT AND 6 INCHES BEYOND THE BACK OF THE BASE RETAINING WALL UNIT. MINIMUM LEVELING PAD WIDTH FOR SEGMENTAL RETAINING WALL UNITS SHALL BE AS FOLLOWS:

BASE BLOCK WIDTH	LEVELING PAD WIDTH
12 INCHES	24 INCHES (2.0 FEET)

4.3 THE FIRST COURSE OF SEGMENTAL RETAINING WALL UNITS SHALL BE PLACED IN FULL CONTACT WITH THE LEVELING PAD.

5.0 WALL SYSTEM CONSTRUCTION

5.1 THE FIRST COURSE OF BLOCK UNITS SHALL BE PLACED WITH THE FRONT FACE EDGES TIGHTLY ABUTTED TOGETHER ON THE PREPARED LEVELING PAD AT THE LOCATIONS AND ELEVATIONS SHOWN ON THE APPROVED CONSTRUCTION SHOP DRAWINGS. NO GAP GREATER THAN 1/4 INCH SHALL BE PERMITTED BETWEEN HORIZONTALLY ADJACENT BLOCK UNITS. THE WALL CONTRACTOR SHALL TAKE SPECIAL CARE TO ENSURE THAT THE BOTTOM COURSE OF BLOCK UNITS ARE IN FULL CONTACT WITH THE LEVELING PAD, ARE SET LEVEL AND TRUE AND ARE PROPERLY ALIGNED ACCORDING TO THE LOCATIONS SHOWN ON THE CONSTRUCTION DRAWINGS.

5.2 SOIL FILL SHALL BE PLACED AND COMPACTED IN FRONT OF THE BOTTOM COURSES OF THE WALL PRIOR TO PLACEMENT OF THE FOURTH SUCCESSIVE BLOCK COURSE. DRAINAGE FILL SHALL BE PLACED IN THE V-SHAPED JOINTS BETWEEN ADJACENT BLOCKS TO A MINIMUM DISTANCE OF 12 INCHES BEHIND THE BLOCK UNIT.

5.3 REINFORCED BACKFILL, PLACED BEYOND 4 FEET OF THE BACK OF THE BLOCK FACING UNITS, SHALL BE PLACED IN 8 INCH MAXIMUM LIFTS AND COMPACTED BY A MINIMUM OF THREE (3) PASSES OF A VIBRATORY PLATE COMPACTOR WITH A MINIMUM WEIGHT OF 185 LBS AND CENTRIFUGAL FORCE OF 3,375 LBS. (I.E. WACKER NEUSON WP 1540A). THE CONTRACTOR SHALL CONSTRUCT TEST STRIPS WITH THE SPECIFIED BACKFILL MATERIAL PLACED AT THE MAXIMUM LIFT THICKNESS SPECIFIED AND COMPACTED WITH THE CONTRACTOR'S SELECTED EQUIPMENT. THE MINIMUM NUMBER OF PASSES REQUIRED TO ACHIEVE FULL COMPACTION OF THE BACKFILL MATERIAL (I.E. NO FURTHER VISUAL DEFORMATION OF THE BACKFILL SURFACE) SHALL BE RECORDED BY THE INSPECTOR. THE RECORDED NUMBER OF PASSES TO ACHIEVE COMPACTION OF THE MATERIAL SHALL BE THE MINIMUM NUMBER OF PASSES REQUIRED FOR ACTUAL CONSTRUCTION OF THE REINFORCED BACKFILL ZONE. AT NO TIME SHALL THE MINIMUM NUMBER OF PASSES OF ANY COMPACTOR BE LESS THAN 3 IN THE FINAL CONSTRUCTION.

5.4 DRAINAGE FILL SHALL BE PLACED AS UNIT FILL BETWEEN HORIZONTALLY ADJACENT BLOCK UNITS. THE TOP OF THE BLOCK UNIT SHALL BE BROOM-CLEANED PRIOR TO PLACEMENT OF SUBSEQUENT BLOCK COURSES. NO ADDITIONAL COURSES OF BLOCKS MAY BE STACKED BEFORE THE UNIT FILL AND REINFORCED FILL IS PLACED AND COMPACTED ON THE BLOCK COURSE BELOW.

5.5 PLACE GEOTEXTILE FABRIC AS REQUIRED ON THE APPROVED CONSTRUCTION DRAWINGS. PROVIDE 12 INCH MINIMUM OVERLAP BETWEEN ADJACENT GEOTEXTILE PANELS. GEOTEXTILE THAT IS DAMAGED DURING INSTALLATION SHALL BE REPAIRED BY CUTTING OUT THE AFFECTED AREA AND THEN PATCHED WITH A GEOTEXTILE PANEL THAT OVERLAPS THE AFFECTED AREA BY AT LEAST 12 INCHES.

5.6 INSTALL BLOCK UNITS IN ACCORDANCE WITH MANUFACTURER'S WRITTEN INSTALLATION INSTRUCTIONS. GEOGRID, UNIT FILL, GEOTEXTILE AND PROPERLY COMPACTED REINFORCED BACKFILL SHALL BE COMPLETE FOR EACH BLOCK COURSE BEFORE SUBSEQUENT BLOCK COURSES ARE PLACED. NO "BLOCK STACKING" OF THE SEGMENTAL RETAINING WALL UNITS WILL BE PERMITTED.

5.7 CAP UNITS SHALL BE FIELD-CUT TO MAINTAIN A MAXIMUM GAP BETWEEN ADJACENT UNITS OF 1/4-INCH ON ALL VISIBLE SURFACES OF THE UNIT.

5.8 CAP/COPING UNITS SHALL BE ADHERED TO THE BLOCK UNIT BELOW WITH AN EXTERIOR GRADE CONCRETE BONDING ADHESIVE RECOMMENDED BY THE BLOCK MANUFACTURER.

5.9 THE ELEVATION OF RETAINED FILL SHALL NOT BE LESS THAN 2 BLOCK COURSES (12 INCHES) BELOW THE ELEVATION OF THE REINFORCED BACKFILL THROUGHOUT THE CONSTRUCTION OF THE RETAINING WALL.

5.10 INSTALL THE GEOSYNTHETIC REINFORCEMENT AT THE LOCATIONS AND ELEVATIONS SHOWN ON THE APPROVED CONSTRUCTION DRAWINGS.

5.11 GEOSYNTHETIC (GEOGRID) REINFORCEMENT SHALL BE CONTINUOUS THROUGHOUT THE EMBEDMENT LENGTH AND INSTALLED WITH ITS PRINCIPAL REINFORCEMENT DIRECTION (ROLL DIRECTION) ORIENTED PERPENDICULAR TO THE WALL FACE. NO SPLICING, SEWN SEAMS OR ANY OTHER CONNECTIONS ARE PERMITTED. THE WIDTH OF GEOSYNTHETIC PANELS SHALL NOT EXCEED 6 FEET. GEOSYNTHETIC REINFORCEMENT PANELS SHALL EXTEND TO WITHIN 2 INCHES OF THE BLOCK FACE. MINIMUM CUT LENGTH OF THE GEOGRID REINFORCEMENT SHALL BE THE LENGTH (L) SHOWN ON THE CONSTRUCTION DRAWINGS PLUS 10 INCHES.

EXAMPLE: L = 5'-6", CUT LENGTH = 5'-6" + 10" = 6'-4"

5.12 GEOSYNTHETIC REINFORCEMENT SHALL BE TENSIONED SUCH THAT ALL FOLDS AND WRINKLES ARE REMOVED BEFORE THE REINFORCED BACKFILL IS PLACED. GEOSYNTHETIC REINFORCEMENT SHALL BE STAKED OR ANCHORED AS NECESSARY TO MAINTAIN TAUT CONDITION PRIOR TO BACKFILL PLACEMENT. ADJACENT GEOSYNTHETIC REINFORCEMENT PANELS SHALL BE ABUTTED AT THE BLOCK FACE (NO OVERLAP).

5.13 THE WALL CONTRACTOR SHALL VERIFY THAT THE GEOSYNTHETIC REINFORCEMENT TYPE CORRESPONDS TO THE TYPE SHOWN ON THE APPROVED CONSTRUCTION DRAWINGS BEFORE THE REINFORCEMENT IS INSTALLED.

5.14 GEOSYNTHETIC REINFORCEMENT LENGTH "L" IS MEASURED FROM THE BACK OF THE BLOCK UNIT AND IS GIVEN ON THE WALL ELEVATION PROFILE DRAWINGS IN "FEET".

5.15 CONSTRUCTION EQUIPMENT MAY NOT OPERATE DIRECTLY ON THE GEOSYNTHETIC REINFORCEMENT. CONSTRUCTION EQUIPMENT MAY OPERATE IN THE REINFORCED ZONE OF THE RETAINING WALL ONLY AFTER A MINIMUM UN-COMPACTED LIFT THICKNESS OF 6 INCHES OF REINFORCED BACKFILL MATERIAL HAS BEEN PLACED.

5.16 CONNECT REINFORCEMENT TO BLOCK UNITS IN ACCORDANCE WITH THE MANUFACTURER'S WRITTEN INSTALLATION INSTRUCTIONS AND THE DETAILS SHOWN.

5.17 ASPHALT ROOFING SHINGLES, ROLLED ROOFING OR 1/8" NYLON SOLID BRAID ROPE MAY BE USED AS SHIMS BETWEEN VERTICAL COURSES OF BLOCK UNITS TO PROVIDE ELEVATION ADJUSTMENT IN ORDER TO MAINTAIN FACE BATTER AND UNIFORM BLOCK COURSE ELEVATION. THE CONTRACTOR SHALL TAKE PRECAUTIONS TO FULLY AND EQUALLY SUPPORT A "SHIMMED" BLOCK UNIT TO PREVENT POINT LOAD CONCENTRATIONS THAT MAY CAUSE BLOCK CRACKING.

5.18 INSTALL THE COLLECTION DRAIN SYSTEM AS SHOWN ON THE APPROVED CONSTRUCTION DRAWINGS.

6.0 BACKFILL COMPACTION AND INSPECTION

6.1 THE INSPECTION ENGINEER SHALL INSPECT AND DOCUMENT COMPACTION OF DRAINAGE FILL, REINFORCED BACKFILL AND RETAINED SOIL FILL PLACED ADJACENT TO THE RETAINING WALL STRUCTURE IN ACCORDANCE WITH THESE REQUIREMENTS. INSPECTION RECORDS SHALL DOCUMENT THE FOLLOWING:

THE REQUIRED MINIMUM DRY UNIT WEIGHT	PASS/FAIL ASSESSMENT
ACTUAL DRY UNIT WEIGHT	TEST LOCATION STATION NUMBER
ALLOWABLE MOISTURE CONTENT	TEST ELEVATION
ACTUAL MOISTURE CONTENT	DISTANCE FROM WALL FACE

6.2 THE COMPACTED DENSITY AND MOISTURE CONTENT OF THE RETAINED SOIL FILL SHALL BE TESTED/OBSERVED AT THE FOLLOWING MINIMUM FREQUENCY:

- 6.2.1 AT LEAST ONCE PER EVERY 2,000 SQUARE FEET OF PLAN AREA AND AT LEAST ONCE PER EVERY 1 FOOT (12 INCHES) OF VERTICAL FILL LIFT PLACED.
- 6.2.2 RETAINED SOIL FILL SHALL BE PLACED IN 12-INCH MAXIMUM LIFTS AND COMPACTED TO 95% STANDARD PROCTOR DENSITY IN ACCORDANCE WITH ASTM D698. MOISTURE CONTENT SHALL BE  $\pm 2\%$  OF OPTIMUM.

6.3 THE INSPECTION ENGINEER SHALL VERIFY THAT THE DURABLE CRUSHED STONE AND REINFORCED BACKFILL MATERIALS FURNISHED BY THE CONTRACTOR ARE CONSISTENT WITH THE REQUIREMENTS OF THESE SPECIFICATIONS.

6.4 THE INSPECTION ENGINEER SHALL VISUALLY OBSERVE AND DOCUMENT THE COMPACTION METHODS EMPLOYED BY THE CONTRACTOR IN THE PLACEMENT OF THE REINFORCED BACKFILL MATERIALS FOR CONSISTENCY WITH THE REQUIREMENTS OF THIS SPECIFICATION.

6.4.1 THE INSPECTOR'S VISUAL OBSERVATIONS OF THE REINFORCED FILL PLACEMENT SHALL BE DOCUMENTED AT THE MINIMUM FREQUENCY REQUIRED FOR TESTING OF RETAINED SOIL FILL IN 6.2.1 ABOVE. DOCUMENTED VISUAL OBSERVATION OF THE REINFORCED BACKFILL PLACEMENT AND COMPACTION SHALL BE RECORDED BY THE INSPECTOR ON A MINIMUM OF EVERY OTHER BLOCK COURSE CONSTRUCTED.

6.4.2 WRITTEN DOCUMENTATION OF VISUAL OBSERVATION OF COMPACTION BY THE INSPECTOR SHALL INCLUDE THE WALL NUMBER, TYPE OF MATERIAL PLACED, BEGIN AND END WALL STATION OF SECTION OBSERVED, APPROXIMATE PLAN AREA OF FILL PLACEMENT OBSERVED AND APPROXIMATE ELEVATION OF COMPACTED FILL LIFT OBSERVED.

7.0 DRAINAGE AND EROSION PROTECTION

7.1 AT THE END OF EACH WORK DAY, THE WALL CONTRACTOR SHALL ENSURE THAT THE GRADE OF THE SURFACE OF THE COMPACTED RETAINING WALL BACKFILL WILL NOT PERMIT SURFACE WATER RUN-OFF TO FLOW TOWARD THE RETAINING WALL FACE AND OVERTOP THE RETAINING WALL CREST.

7.2 DURING SITE CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR PROTECTION OF THE RETAINING WALL AGAINST SURFACE WATER AT ALL TIMES BY THE USE OF BERMS, DIVERSION DITCHES, TEMPORARY DRAINS, AND ALL OTHER MEANS NECESSARY.

7.3 WATER SHALL NOT BE PERMITTED TO POND BEHIND THE RETAINING WALL AT ANY TIME.

8.0 INSPECTION ENGINEER REQUIREMENTS

8.1 THE INSPECTION ENGINEER SHALL INSPECT CONSTRUCTION OF THE WALL FOR CONFORMANCE TO THE RETAINING WALL CONSTRUCTION PLANS AND THESE CONSTRUCTION REQUIREMENTS.

8.2 THE INSPECTION ENGINEER SHALL NOTIFY THE WALL CONTRACTOR OF DEFICIENCIES DISCOVERED IN THE RETAINING WALL INSTALLATION. IF REPAIRS ARE NOT EFFECTED IN A TIMELY MANNER TO THE SATISFACTION OF THE INSPECTION ENGINEER AND THESE REQUIREMENTS, THE INSPECTION ENGINEER SHALL INFORM CESO, INC. AND JOHN CLINTON HINES, P.E. IN WRITING OF THE SPECIFIC DEFICIENCIES.

8.3 THE INSPECTION ENGINEER SHALL DOCUMENT AND MAINTAIN RECORDS OF ALL INSPECTION RESULTS.

8.4 THE INSPECTION ENGINEER IS RESPONSIBLE FOR READING AND UNDERSTANDING THE RETAINING WALL CONSTRUCTION DRAWINGS AND REQUIREMENTS. ANY DESIGNATED RETAINING WALL INSPECTOR SHALL BE IN POSSESSION OF A COMPLETE SET OF THE APPROVED RETAINING WALL CONSTRUCTION DRAWINGS WHEN PERFORMING INSPECTION DUTIES ON SITE.

9.0 FIELD INSPECTION FORMS

THE INSPECTION ENGINEER SHALL PREPARE AND COMPLETE FIELD INSPECTION FORMS THAT DOCUMENT THE FOLLOWING INSPECTION ITEMS.

9.1 RETAINING WALL MATERIALS

9.1.1 VERIFY THAT THE SEGMENTAL RETAINING WALL UNITS PROVIDED FOR THE RETAINING WALL CONSTRUCTION MEET THE REQUIREMENTS OF SECTION 2.3 AND THAT THE SEGMENTAL BLOCK UNITS ARE PALLETIZED AND STACKED IN THE APPROVED MATERIAL STAGING AREA SUCH THAT THEY DO NOT BECOME DAMAGED OR STAINED BY SOIL.

9.1.2 VERIFY THAT THE GEOSYNTHETIC REINFORCEMENT PROVIDED FOR THE RETAINING WALL CONSTRUCTION MEETS THE REQUIREMENTS OF SECTION 2.5. VERIFY THAT THE GEOSYNTHETIC REINFORCEMENT ROLLS ARE WRAPPED IN PROTECTIVE MATERIAL, UNDAMAGED AND HANDLED AND STORED IN ACCORDANCE WITH ASTM D4873

9.1.3 VERIFY THAT THE GEOTEXTILE FABRIC PROVIDED FOR THE RETAINING WALL RECONSTRUCTION MEETS THE REQUIREMENTS OF SECTION 2.4. VERIFY THAT THE GEOTEXTILE FABRIC ROLLS ARE WRAPPED IN PROTECTIVE MATERIAL, UNDAMAGED AND HANDLED AND STORED IN ACCORDANCE WITH ASTM D4873.

9.1.4 VERIFY THAT THE DRAINAGE FILL AND REINFORCED BACKFILL MEET THE GRADATION REQUIREMENTS OF SECTION 2.6 FOR CRUSHED NO. 57 STONE. VERIFY THE GRADATION OF THE REINFORCED FILL MATERIAL FOR EVERY 5,000 CUBIC YARDS OF MATERIAL PLACED IN ACCORDANCE WITH ASTM D6913.

9.1.5 VERIFY THAT THE RETAINED SOIL FILL (BEYOND THE LIMITS OF THE REINFORCED FILL ZONE) IS ASILTY SAND FILL OR SILTY SAND WITH GRAVEL FILL. VERIFY THE GRAIN SIZE DISTRIBUTION IN ACCORDANCE WITH ASTM D6913 FOR EVERY 200 CUBIC YARDS OF MATERIAL PLACED.

9.2 RETAINING WALL CONSTRUCTION

9.2.1 LEVELING PAD  
VERIFY THAT THE LEVELING PAD IS CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF SECTION 4.0 AND THAT IT IS OTHERWISE CONSISTENT WITH THE REQUIREMENTS OF THE CONSTRUCTION DRAWINGS. VERIFY THAT THE MATERIALS USED TO CONSTRUCT THE LEVELING PAD MEET THE REQUIREMENTS OF SECTION 2.7.

9.2.2 RETAINING WALL SYSTEM CONSTRUCTION  
VERIFY THAT CONSTRUCTION OF THE RETAINING WALL SYSTEM MEETS THE REQUIREMENTS OF SECTION 5.0.

9.2.3 MODULAR BLOCK UNIT CONSTRUCTION TOLERANCE  
A. FACING BATTER: VERIFY THAT THE HORIZONTAL SET-BACK BETWEEN VERTICALLY-ADJACENT UNITS IS CONSISTENT AT 3/4 INCHES PER BLOCK COURSE.  
B. HORIZONTAL TOLERANCE: VERIFY THAT THE WALL FACE DEVIATES NO MORE THAN 2 INCHES OVER A SPAN OF 10 FEET FROM A PLANE DEFINED BY A STRAIGHT EDGE THAT IS ORIENTED VERTICALLY AT THE WALL FACE.  
C. VERTICAL TOLERANCE: VERIFY THAT THE ELEVATION OF UNITS DEVIATES NO MORE THAN 1 INCH OVER A SPAN OF 10 FEET AS DETERMINED WITH A STRAIGHT EDGE PLACED HORIZONTALLY ACROSS THE TOP OF THE UNITS.

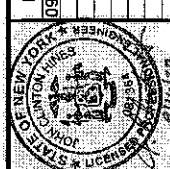
9.2.4 GEOTEXTILE  
A. VERIFY THAT THE GEOTEXTILE IS INSTALLED AT THE LOCATIONS SPECIFIED ON THE CONSTRUCTION DRAWINGS AND IS OVERLAPPED A MINIMUM OF 12 INCHES.  
B. VERIFY THAT ANY GEOTEXTILE THAT IS DAMAGED DURING INSTALLATION IS REMOVED BY CUTTING OUT THE AFFECTED AREA AND THEN PATCHED WITH A GEOTEXTILE PANEL THAT OVERLAPS THE AFFECTED AREA BY AT LEAST 12 INCHES IN ALL DIMENSIONS.

9.2.5 REINFORCED FILL INSTALLATION  
A. VERIFY THAT CRUSHED NO. 57 STONE FILL IN THE REINFORCED ZONE IS INSTALLED IN LIFTS AND COMPACTED AS REQUIRED IN SECTION 5.3.  
B. DOCUMENT COMPACTION TESTING IN ACCORDANCE WITH THE REQUIREMENTS OF SECTION 6.0.  
C. VERIFY THAT REINFORCED BACKFILL PLACED ON LAYERS OF GEOSYNTHETIC REINFORCEMENT IS GRADED PERPENDICULAR TO THE WALL FACE AND AWAY FROM THE SEGMENTAL RETAINING WALL FACING UNITS SO AS TO FURTHER TENSION THE GEOSYNTHETIC REINFORCEMENT PANEL.

9.2.6 GEOSYNTHETIC REINFORCEMENT  
A. VERIFY THAT PANELS OF GEOSYNTHETIC REINFORCEMENT ARE CUT TO THE LENGTHS SPECIFIED ON THE CONSTRUCTION DRAWINGS AND ARE INSTALLED IN THE CORRECT ORIENTATION PERPENDICULAR TO THE RETAINING WALL FACE.  
B. VERIFY THAT THE GEOSYNTHETIC REINFORCEMENT INSTALLATION OTHERWISE FOLLOWS THE REQUIREMENTS SET FORTH IN SECTIONS 5.10 THROUGH 5.16.

9.2.7 CAP / COPING UNITS  
VERIFY THAT CAP UNITS ARE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS 5.7 AND 5.8.

REVISION  
ISSUED FOR PERMIT  
DATE 08/31/20



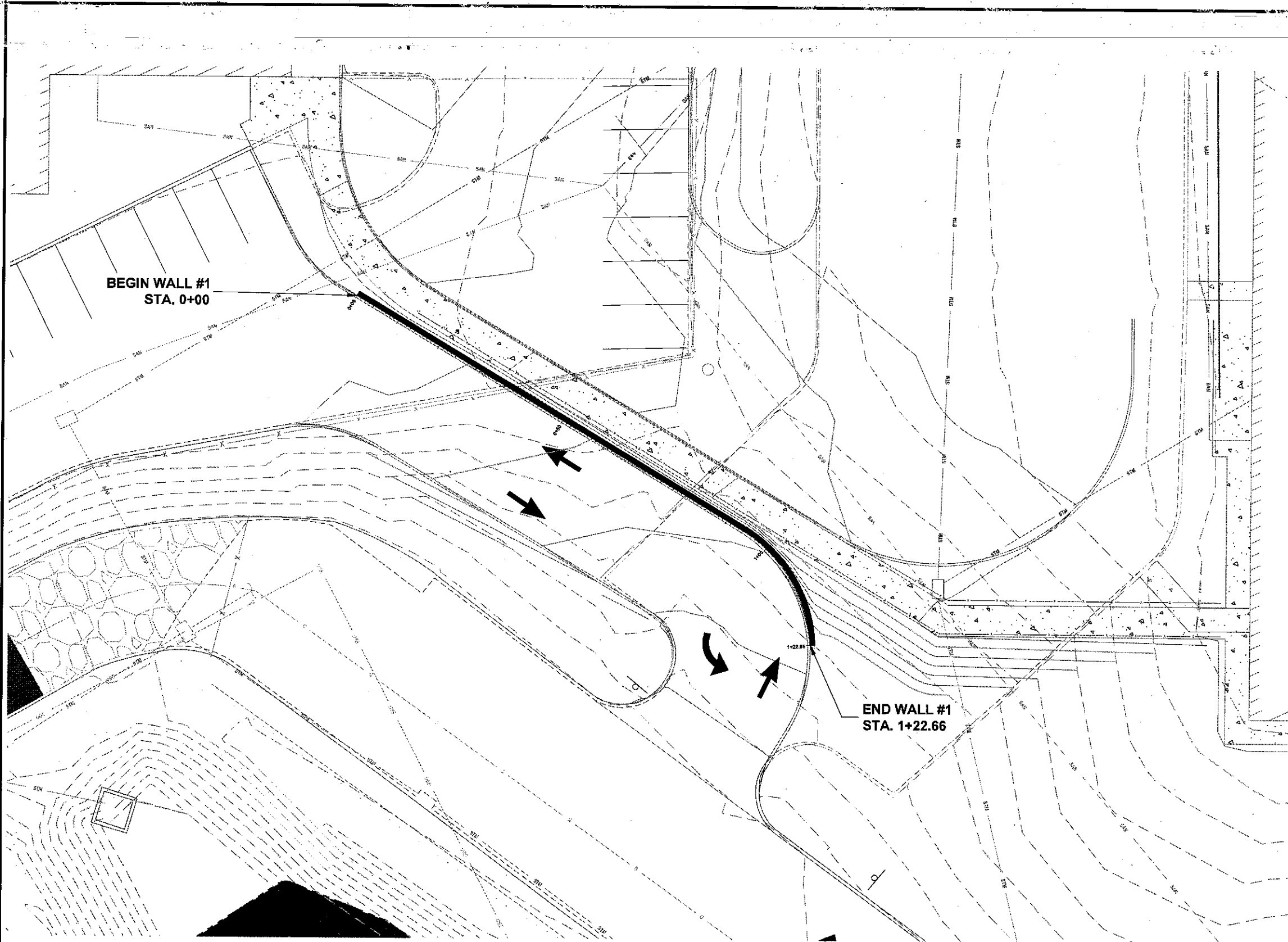
John Clinton Hines, P.E.  
geotechnical design  
4030 W. Canal Rd., Suite 317 • Columbus, OH 43225  
p 614-291-9276 • www.jchines.com  
www.jchines.com

for  
CESO, Inc.  
3601 Rigby Road  
Suite 300  
Miamisburg, OH 45342

for  
SPECIFICATIONS  
Retaining Wall Construction Plans For  
DXY-4  
BLAUVELT, NEW YORK

Designed By: S.N.S.  
Checked By: J.C.H.  
Project No.: 20066  
Date: 08/31/20  
Scale: As Shown

RW 2.01



**GENERAL NOTES**

1. ALL WORK SHALL COMPLY WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL CODES. ALL NECESSARY LICENSES AND PERMITS SHALL BE OBTAINED BY THE CONTRACTOR AT HIS EXPENSE UNLESS ALREADY OBTAINED BY THE OWNER.
2. THE CONTRACTOR SHALL COORDINATE LOCATION AND INSTALLATION OF ALL UNDERGROUND UTILITIES AND APPURTENANCES TO MINIMIZE DISRUPTION TO THE EXISTING CURBING, PAVING AND OTHER UTILITIES.
3. THE EXISTING UTILITIES SHOWN ARE FOR THE CONTRACTOR'S CONVENIENCE ONLY. THERE MAY BE OTHER UTILITIES THAT ARE NOT SHOWN ON THESE DRAWINGS. THE UTILITIES SHOWN ARE AS PROVIDED IN AS-BUILT DRAWING FILES PREPARED BY OTHERS. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE LOCATION OF THE UTILITIES SHOWN. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATIONS OF ALL UTILITIES WITHIN THE LIMITS OF WORK. ANY DAMAGE TO EXISTING UTILITIES BY THE CONTRACTOR SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
4. DEVIATIONS FROM THESE PLANS AND SPECIFICATIONS WITHOUT PRIOR CONSENT OF THE ENGINEER AND/OR THE LOCAL MUNICIPAL BUILDING CODE OFFICIAL MAY BE CAUSE FOR THE WORK TO BE DEEMED UNACCEPTABLE BY THE OWNER.
5. THE CONTRACTOR SHALL FURNISH AND MAINTAIN ALL NECESSARY BARRICADES AROUND THE WORK AND SHALL PROVIDE PROTECTION AGAINST WATER DAMAGE AND SOIL EROSION TO THE WORK AREA.
6. ALL WORK SHALL BE PERFORMED IN A FINISHED AND WORKMANLIKE MANNER TO THE SATISFACTION OF THE OWNER AND IN ACCORDANCE WITH BEST RECOGNIZED TRADE PRACTICES.
7. THE CONTRACTOR SHALL PROVIDE SAFE EXCAVATIONS INCLUSIVE OF TEMPORARY SHEETING OR SHORING AS NEEDED IN ACCORDANCE WITH OSHA GUIDELINES.
8. CONTRACTOR SHALL NOT OPERATE HEAVY EQUIPMENT WITHIN FIVE FEET OF THE RETAINING WALL FACE.
9. CONTRACTOR SHALL NOT STAGE MATERIALS FOR CONSTRUCTION OF THE RETAINING WALL TWENTY FEET OF THE RETAINING WALL CREST.
10. AN INSPECTION ENGINEER SHALL BE DESIGNATED TO INSPECT WALL CONSTRUCTION IN ACCORDANCE WITH THESE REQUIREMENTS. INSPECTION SERVICES SHALL BE PROVIDED BY THE CONTRACTOR IN ACCORDANCE WITH THE TERMS OF THE CONTRACT.
11. THE CONTRACTOR IS RESPONSIBLE FOR PROTECTION OF THE RETAINING WALL AGAINST SURFACE WATER AT ALL TIMES BY THE USE OF BERMS, DIVERSION DITCHES, TEMPORARY DRAINS, AND ALL OTHER MEANS THAT ARE REQUIRED. AT NO TIME SHALL SURFACE WATER BE PERMITTED TO DRAIN TOWARD THE CREST OR BASE OF THE SEGMENTAL RETAINING WALL PRIOR TO COMPLETION OF CONSTRUCTION.

DATE	REVISION	ISSUED FOR PERMIT
09/16/20		



John Clinton Hines P.E.  
 Professional Engineer  
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 513.854.8570 • www.jchines.com  
 jhines@jchines.com

For: **CESO, Inc.**  
 3601 Rigby Road  
 Suite 300  
 Miamisburg, OH 45342

**PLAN VIEW**  
 Retaining Wall Construction Plans For  
**DXY-4**  
 BLAUVELT, NEW YORK

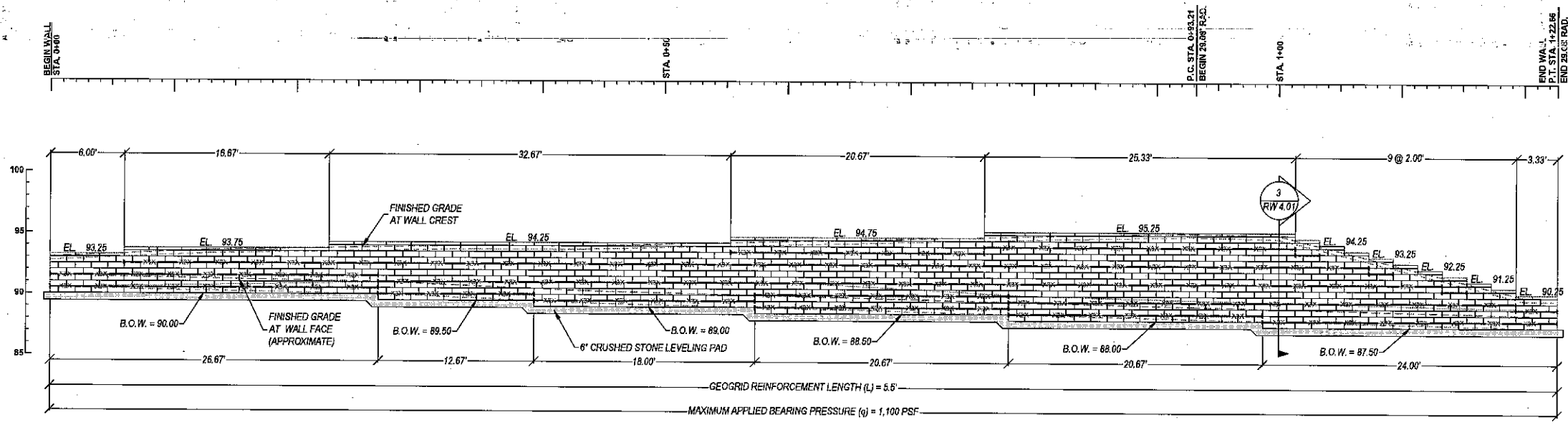
Designed By: **S.N.S.**  
 Checked By: **J.C.H.**  
 Project No.: **20066**  
 Date: **08/31/20**  
 Scale: **As Shown**

**RW 3.01**

**1 PLAN VIEW - RETAINING WALL**  
 SCALE: 1" = 10'

THE PLAN VIEW OF THE RETAINING WALLS SHOWN HERE IS REPRODUCED FROM ELECTRONIC FILES FURNISHED BY CESO, INC. THIS VIEW IS PROVIDED ONLY FOR IDENTIFICATION OF THE INDIVIDUAL RETAINING WALL STRUCTURES. HORIZONTAL LOCATION OF THE SEGMENTAL RETAINING WALL SHALL BE AS INDICATED ON THE FINAL CIVIL PLANS PREPARED BY CESO, INC.





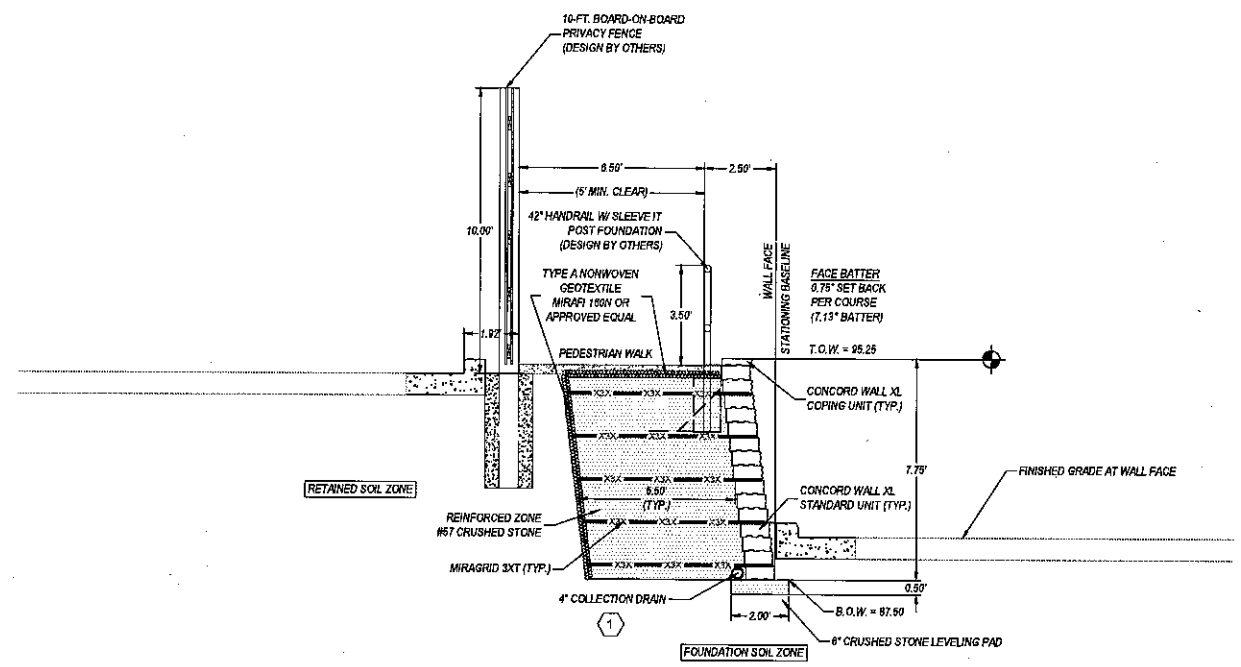
**2** RETAINING WALL NO. 1 - WALL STA. 0+00.00 - WALL STA. 1+22.66  
SCALE: 1"=5'

**GENERAL NOTES**

1. THE INSPECTION ENGINEER SHALL INSPECT THE FOUNDATION SOILS PRIOR TO PLACEMENT OF THE BLOCK LEVELING PAD TO VERIFY THAT THE FOUNDATION SOILS ARE ADEQUATE TO SAFELY SUPPORT THE MAXIMUM APPLIED BEARING PRESSURE INDICATED AT ANY GIVEN LOCATION ALONG THE RETAINING WALL ALIGNMENT.
2. HORIZONTAL CONTROL FOR WALL LAYOUT SHALL BE IN ACCORDANCE WITH SITE PLANS PREPARED BY CESO, INC.

**CROSS-SECTION NOTES**

1. CONTRACTOR SHALL SELECT FINAL LOCATION OF OUTLET TO PROVIDE POSITIVE DRAINAGE.



**3** CRITICAL DESIGN SECTION- WALL 1 STA. 1+00.00  
SCALE: 1"=3'

LEGEND	
	SRW UNITS - CONCORD WALL XL UNITS
	ELEVATION OF TOP OF WALL CAP
	ELEVATION OF BOTTOM OF WALL AND TOP OF LEVELING PAD
	FIELD MODIFIED BLOCK LENGTH
	GEOSYNTHETIC REINFORCEMENT MIRAFIX 3XT GEOGRID
	TERMINATION OF REINFORCEMENT OR CHANGE IN EMBEDMENT LENGTH
	L = 5.5'
	q = 1,100 psf
	GEOGRID REINFORCEMENT LENGTH
	MAXIMUM APPLIED BEARING PRESSURE

REVISION	DATE	ISSUED FOR PERMIT
	08/16/20	



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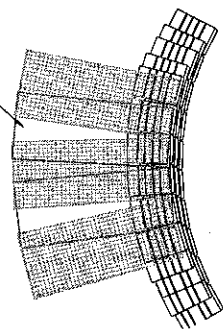
CESO, Inc.  
3601 Rigby Road  
Suite 300  
Miamisburg, OH 45342

**ELEVATION & CROSS-SECTION**  
Refining Wall Construction Plans For  
**DXY-4**  
BLAUVELT, NEW YORK

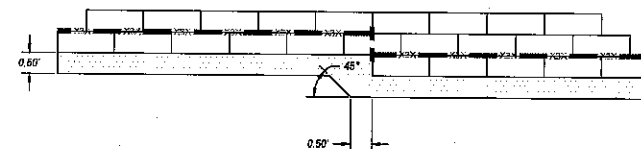
Designed By:	S.N.S.
Checked By:	J.C.H.
Project No.:	20066
Date:	08/31/20
Scale:	As Shown

**RW 4.01**

OVERLAP GEOGRID INSTALLATION WITH SUCCESSIVE COURSES TO COVER GAPS BETWEEN GEOGRID REINFORCEMENT PANELS

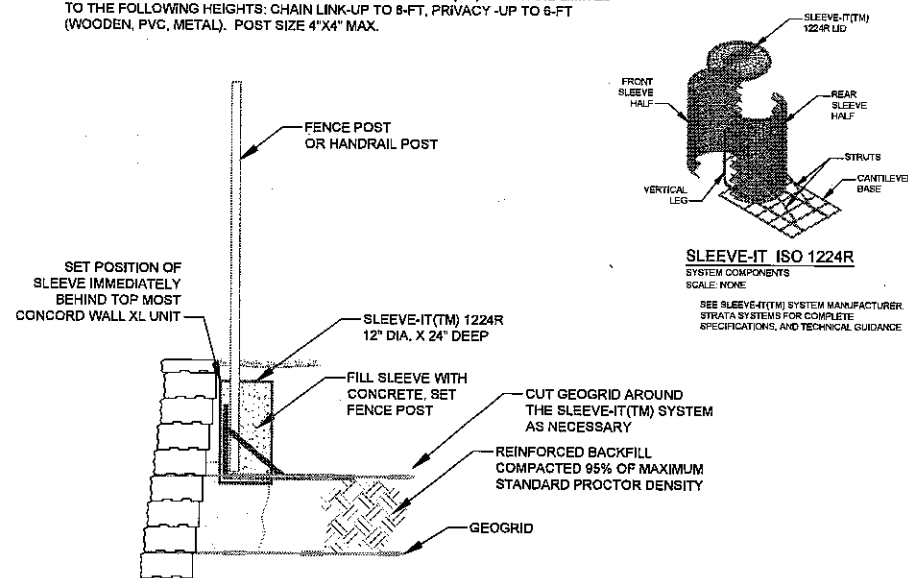


**4** CONCAVE RADIUS GEOGRID PLACEMENT DETAIL  
SCALE: NONE



**5** LEVELING PAD STEP DETAIL  
SCALE: NONE

\*FENCING SYSTEMS APPROVED FOR USE WITH SLEEVE-IT(TM) 1224R ARE LIMITED TO THE FOLLOWING HEIGHTS: CHAIN LINK-UP TO 8-FT, PRIVACY -UP TO 6-FT (WOODEN, PVC, METAL). POST SIZE 4"X4" MAX.



**6** FENCE POST W/ SLEEVE-IT DETAILS  
SCALE: NONE

DATE	09/16/20
REVISION	ISSUED FOR PERMIT

Professional Engineer  
**John Clinton Hines P.E.**  
 43314 Camelot Road • Suite 319 • Cincinnati, OH 45255  
 p 513-453-4570 • www.jchines.com  
 Registration Certificate # 75022

**CESO, Inc.**  
 3601 Rigby Road  
 Suite 300  
 Miamisburg, OH 45342

**DETAILS**  
 Penology Wall Construction Plans For  
**DXV-4**  
**BLAUVELT, NEW YORK**

Designed By:	S.N.S.
Checked By:	J.C.H.
Project No.:	20066
Date:	08/31/20
Scale:	As Shown

**RW 5.01**



As to Parcel 1: (For Information Only) Section 65.18 Block 1 Lot 1

All that certain plot, piece or parcel of land, siting and being in the Hamlet of Blauvelt, Town of Orangeburg, County of Rockland and State of New York, being shown and designated as Lot #2 on a certain subdivision map entitled, "Site Plan, Bradley Industrial Park, Section III" made by Adler, Caruso & Young P.C., dated 3/17/82 and filed in the Rockland County Clerk's Office on 3/18/82 in Book 99 of Maps as Page 20, as Map #5413, being more particularly bounded and described as follows:

Beginning at a point in the northerly line of lands now or formerly of Ebenhard, as it appears on the aforesaid map, where the same is intersected by the division line between Lots 1 and 2, as they appear on said map and which point is located 622.12 feet from the easterly line of Western Highway, 41.25 feet wide as shown on said map, and running thence:

- (1) Along said division line between Lots 1 and 2, North 60 degrees 25' 20" East, 323.28 feet to a point in the westerly line of the Central Right-of-Way; Thence along said right-of-way, the following two courses and distances:
(2) South 26 degrees 49' 00" East, 336.46 feet;
(3) South 29 degrees 34' 40" East, 725.50 feet to a point; thence
(4) Turning and running in a nonreversing direction through other lands of Bradley Industrial Park, along a curve to the left having a radius of 2,835 feet, its length of 628.43 feet to a point; thence
(5) Continuing along other lands of Bradley Industrial Park and lands now or formerly of Ebenhard, aforesaid, North 45 degrees 28' 10" West, 479.83 feet to the point or place of beginning.

Subject to a 90 foot access and utility easement to Bradley Industrial Park, Inc., running parallel to course #5 above described and being measured at right angles thereto.

- Together with an easement for ingress and egress and utility purposes, 110 feet in width and running from the northerly line of the premises above described in a nonreversing direction to Western Highway.
Beginning at a point in the northerly line of lands now or formerly of Ebenhard, where the same is intersected by the division line between Lots One & Two as they appear on said map, and running thence:
(1) Along the lands now or formerly of Ebenhard, North 48 degrees 28' 10" West, 622.12 feet to a point in the easterly line of Western Highway; Thence along the easterly line of Western Highway, following two courses and distances:
(2) North 1 degree 10' 50" West, 123.07 feet to a Rockland County Highway Monument; and
(3) North 10 degrees 54' 20" West, 0.66 feet to the Town Line between the Town of Orangeburg and Clarkstown; thence
(4) Along said Town Line, North 77 degrees 29' 30" East, 21.57 feet to a point; thence
(5) South 48 degrees 28' 10" East, parallel to the first course herein, 732.28 feet to a point in the northerly line of Lot #2 as shown on said map; thence
(6) Along the northerly line of Lot #2, South 60 degrees 25' 20" West, 116.26 feet to the point or place of beginning.

Said premises being more particularly bounded and described as follows:

All that certain plot, piece or parcel of land, siting and being in the Hamlet of Blauvelt, Town of Orangeburg, County of Rockland and State of New York, being shown and designated as Lot #2 on a certain subdivision map entitled, "Site Plan, Bradley Industrial Park, Section III" made by Adler, Caruso & Young P.C., dated 3/17/82 and filed in the Rockland County Clerk's Office on 3/18/82 in Book 99 of Maps as Page 20, as Map #5413, being more particularly bounded and described as follows:

Beginning at a point in the line of Section 65.17, Block 1, Lot 8, lands now or formerly of the Onondaga Hill, where the same is intersected by the division line between premises being described herein and Section 65.13, Block 1, Lot 2, 4882 point being measured along the line of Lot 2, South 48 degrees 28' 10" West, 50 seconds East, a distance of 608.48 feet from the corner of Lot 2 and the easterly line of Western Highway (A.K.A. County Highway Route 15 - variable width - public right of way), thence:

- 1. Along the line of Lot 2, North 60 degrees 25' 20" East, a distance of 336.06 feet to a point in the westerly line of lands of Consolidated Rail Corp. (F.N.A. West Shore Railroad), thence the following three courses along the lands of Consolidated Rail Corp.:
2. South 26 degrees 49' 00" East, a distance of 337.39 feet to a point, thence;
3. South 23 degrees 11' 00" East, a distance of 1.89 feet to a point, thence;
4. South 29 degrees 34' 40" East, a distance of 729.50 feet to a point and being in the line of Section 65.18, Block 1, Lot 2, lands now or formerly of Bradley Industrial Park, thence;
5. Along Lot 22 and along a curve to the left having a radius of 2835.00 feet, an arc length of 633.65 feet, a central angle of 12 degrees 48 minutes 22 seconds, bearing a chord of North 43 degrees 31' 00" West, 49 seconds East, and a chord distance of 632.34 feet on an iron pipe and a point of tangency and corner to Lot 8, thence;
6. Along the line of Lot 8, North 48 degrees 28' 10" West, 50 seconds East, a distance of 479.83 feet to the point and place of beginning.

Together with a curve bounded and run 1100 feet with easement for ingress and egress as set forth in Ex. 5, Page 44, of said subdivision map as described as follows:

All that certain plot, piece or parcel of land, siting and being in the Hamlet of Blauvelt, Town of Orangeburg, County of Rockland and State of New York, being shown and designated as Lot #1 on a certain subdivision map entitled, "Site Plan, Bradley Industrial Park, Section III" made by Adler, Caruso & Young P.C., dated 3/17/82 and filed in the Rockland County Clerk's Office on 3/18/82 in Book 99 of Maps as Page 20, as Map #5413, being more particularly bounded and described as follows:

Beginning at a point on the easterly side of Western Highway, as widened, said point being where the division line between land herein and land now or formerly of Onondaga Hill Care Inc. (Section 65.13, Block 2, Lot 16) intersects with the easterly side of Western Highway;

- Running thence along said division line, North 77 degrees 28' 10" West, 50 seconds East, 1249 feet;
Thence South 48 degrees 28' 10" West, 50 seconds East, 732.27 feet to other land now or formerly of Pomack Holding, LLC (Section 65.13, Block 1, Lot 1);
Thence South 60 degrees 24' 00" West, 40 seconds West, 116.26 feet;
Thence North 48 degrees 28' 10" West, 50 seconds East, 609.35 feet to the easterly side of Western Highway;
Thence along the easterly side of Western Highway, North 01 degree 11' 00" South 30 seconds West, 134.52 feet;
Thence still along the easterly side of Western Highway, North 10 degrees 55' 00" South 30 seconds West, 1.72 feet to the point or place of beginning.

As to Parcel II: (For Information Only) Section 65.18 Block 1 Lot 2

All that certain tract of land lying in the Hamlet of Blauvelt, Town of Orangeburg, Rockland County, New York, lying West of the West Shore Railroad Company's land and bounded and described as follows:

- Beginning at a point on the corner line of the West Shore Railroad, as the track was laid in March 1887, and being the southeast corner of the piece herein described, and running thence South 70 degrees 00' West, 41 feet;
Thence North 21 degrees 21' 00" East, 212.2 feet to the northerly line of lands formerly of David H. Amos and lands formerly of Joseph H. Leiper;
Thence North 74 degrees 49' 00" West along the said northerly line, 149 feet;
Thence North 74 degrees 50' West along said northerly line, 138.3 feet;
Thence North 76 degrees 15' West, still along said northerly line, 298.4 feet to a corner of the land formerly of John C. Blauvelt;
Thence North 7 degrees 37' East, along the easterly line of the said Blauvelt's land, 161.2 feet;
Thence North 49 degrees 57' East along the said easterly line, 166.3 feet;
Thence North 1 degree 40' East along the said northerly line, 246.5 feet;
Thence North 11 degrees 00' West, along the said easterly line, 317 feet;
Thence North 24 degrees 00' West, still along the said easterly line of Blauvelt's land, 387 feet to the center of a large white oak tree situated in the Northeast corner of said Blauvelt's land and in the Southeast corner of land formerly of Isaac B. Campbell as well as in the West line of property herein described.

Thence from the center of said white oak tree, North 14 degrees East along the easterly line of said Blauvelt's land, 203.5 feet to a point, about 6 feet southerly from a spring on east of line on said Campbell's land.

Beginning at a point in the line of Section 65.17, Block 1, Lot 8, lands now or formerly of the Onondaga Hill, where the same is intersected by the division line between premises being described herein and Section 65.13, Block 1, Lot 2, 4882 point being measured along the line of Lot 2, South 48 degrees 28' 10" West, 50 seconds East, a distance of 608.48 feet from the corner of Lot 2 and the easterly line of Western Highway (A.K.A. County Highway Route 15 - variable width - public right of way), thence:

- 1. Along the line of Lot 2, North 60 degrees 25' 20" East, a distance of 336.06 feet to a point in the westerly line of lands of Consolidated Rail Corp. (F.N.A. West Shore Railroad), thence the following three courses along the lands of Consolidated Rail Corp.:
2. South 26 degrees 49' 00" East, a distance of 337.39 feet to a point, thence;
3. South 23 degrees 11' 00" East, a distance of 1.89 feet to a point, thence;
4. South 29 degrees 34' 40" East, a distance of 729.50 feet to a point and being in the line of Section 65.18, Block 1, Lot 2, lands now or formerly of Bradley Industrial Park, thence;
5. Along Lot 22 and along a curve to the left having a radius of 2835.00 feet, an arc length of 633.65 feet, a central angle of 12 degrees 48 minutes 22 seconds, bearing a chord of North 43 degrees 31' 00" West, 49 seconds East, and a chord distance of 632.34 feet on an iron pipe and a point of tangency and corner to Lot 8, thence;
6. Along the line of Lot 8, North 48 degrees 28' 10" West, 50 seconds East, a distance of 479.83 feet to the point and place of beginning.

Excepting therefrom, however, the portion thereof now owned by the West Shore Railroad Company, or its successors.

Said premises being more particularly bounded and described as follows:

All that certain tract of land lying in the Hamlet of Blauvelt, Town of Orangeburg, Rockland County, New York, lying West of the West Shore Railroad Company's land and bounded and described as follows:

Beginning at an iron pipe at the intersection of the northerly point of the premises being described herein, Section 65.17, Block 1, Lot 8, and Section 65.18, Block 1, Lot 1; 632.34 feet on an iron pipe and a point of tangency and corner to Lot 8, thence:

- 1. Completed field work was completed on October 20, 2019 with a field visit on March 13, 2020. The revisit only covered the area shown on sheet 2 of 6 per client request.
2. The Bath of Heating for this survey is per GPS coordinate observation New York State, Eastern Zone NAD83.
Latitude = N 41°04'29.8484"
Longitude = W 73°17'10.8000"
Convergence Angle = 0°17'30.073"
3. Distances shown on plan are:
Combined scale factor (grid to ground) = 1.000742495
Elevations established with GPS using observation of existing online positioning user service (OPUS) for post processing (NAD 1983 datum)
4. Some features on this plan may be shown out of scale for clarity.
5. Dimensions on this plan are expressed in feet and decimal parts thereof unless otherwise noted. Readings are referred to an assumed meridian and are used to denote angles only. Measurements were found at points where indicated.
6. Dimensions on this plan are expressed in feet and decimal parts thereof unless otherwise noted. Readings are referred to an assumed meridian and are used to denote angles only. Measurements were found at points where indicated.
7. Any corrections and adjustments shown on this survey are based on those set forth in the description furnished to surveyor, and there is no representation that all applicable surveys and restrictions are shown hereon.
8. Names and addresses of adjoining property owners were taken from Rockland County 2019 Final Tax Roll and Deeds.
9. The nearest fire hydrant is as shown on survey.
10. No surveyor or any other person other than a licensed New York surveyor may provide legal advice concerning the amount of Title to the property described in this survey ("the subject property"). The purpose of this survey, and the comments attached to the schedule B-1 enclosure, is only to show the location of boundaries and physical encumbrances in relation thereto. To the extent that the survey indicates that the legal instrument "affects" the subject property, such statement is only intended to indicate that property boundaries included in such instrument include some or all of the subject property. The surveyor does not purport to describe how such instruments affect the subject property or the enforceability or legal consequences of such instruments.
11. All bearings and distances shown hereon are measured dimensions unless otherwise noted hereon. Measured dimensions, if differing from measured dimensions, will be followed by "(M)" and the 9 digit number of the reference document the dimension originated. Reference documents noted hereon were obtained by the surveyor and any and all representations based hereon should be verified by a licensed surveyor or title insurer for verification.
12. Contour Interval = 1 foot.
13. Total number of tripod marking systems observed in survey area at the time of the survey is 05, which includes 2 designated ADA marking systems.
14. Surveyor notes that the property above the right-of-way of Bradley Hill Road. Access to the right-of-way may be subject to other agreements or proper governmental approval.
15. There was no evidence of monitor wells, or any test borings on the subject property at the time of the survey.
16. At the time of the survey, there was no observable evidence of site use as a cemetery, inland grass site or burial ground.
17. At the time of the survey, there was no observable evidence of site use as a wild waste dump, camp, or sanitary landfill.
18. At the time of the survey, there were no changes in street right-of-way lines either completed or proposed, and available from controlling jurisdiction or observable evidence of street corner or sidewalk construction repairs, and answer to FOL request number FRB-19-006750 received October 21, 2019 from Hal Law - Records Assistance Officer for the New York State Department of Transportation, Hudson Valley Region.
19. There was no observable evidence of Earth moving work, building construction or building additions within recent months.
20. The corner intersecting street at the intersection of Bradley Hill Road and State Highway 303, which is approximately 1100' from the Southeast corner of the subject property as shown.

1. South 48 degrees 28' 10" West, 50 seconds East, a distance of 727.71 feet to a point, thence;

2. Southwesterly along a curve to the right having a radius of 2835.00 feet, an arc length of 633.65 feet, a central angle of 12 degrees 48 minutes 22 seconds, bearing a chord of South 43 degrees 31' 00" West, 49 seconds East, and a chord distance of 632.34 feet to a point of tangency, thence;

- 3. South 29 degrees 34' 40" East, a distance of 729.50 feet to a point, thence;
4. South 35 degrees 26' 00" West, 18 seconds East, a distance of 193.04 feet to a point, thence;
5. South 29 degrees 34' 40" East, a distance of 533.90 feet to a point and corner of Section 65.18, Block 1, Lot 1,12, lands now or formerly of Bradley Industrial Park;
Thence, the following two courses along the line of Lot 1,12;
6. North 02 degrees 18' 00" West, 37 seconds West, a distance of 137.50 feet to a point, thence;
7. North 84 degrees 41' 00" West, 45 seconds West, a distance of 396.26 feet to a point and corner of Section 65.18, Block 1, Lot 24;
Thence, the following three courses along Lot 24;

- 8. North 02 degrees 18' 00" West, 37 seconds West, a distance of 137.50 feet to a point, thence;
9. North 21 degrees 45' 00" West, 54 seconds West, a distance of 66.59 feet to a point, thence;
10. North 58 degrees 15' 00" West, 49 seconds West, a distance of 141.25 feet to a concrete monument and corner to Section 65.18, Block 1, Lot 23, thence;
11. Along the line of Lot 23, and partly along the line of Section 65.17, Block 1, Lot 26, North 07 degrees 06' 00" West, 54 seconds West, a distance of 220.76 feet to a point in the line of Lot 26, thence;
12. Along the line of Lot 26, and along the line of Section 65.17, Block 1, Lot 25, North 21 degrees 30' 00" West, 14 seconds West, a distance of 300.40 feet to a point in the line of Lot 25, thence;
13. Along the line of Lot 25, South 81 degrees 15' 00" West, 06 seconds West, a distance of 24.63 feet to a concrete monument and corner to Section 65.17, Block 1, Lot 21, thence;
14. Along the line of Lot 21, North 06 degrees 14' 00" West, 55 seconds West, a distance of 177.47 feet to a concrete monument, and corner to Section 65.17, Block 1, Lot 12,4, thence;

- 15. Along the line of Lot 12, North 06 degrees 14' 00" West, 55 seconds West, a distance of 232.22 feet to a point and corner to Section 65.17, Block 1, Lot 9, thence;
16. Partly along the line of Lot 9,4, and partly along the line of Section 70.06, Block 1, Lot 54, lands now or formerly of Rockland Meeting, Religious Society of Friends, North 33 degrees 04' 00" West, 42 seconds West, a distance of 249.90 feet to a point in the line of Lot 9,4, thence;
17. North 08 degrees 42' 00" West, 20 seconds West, a distance of 176.65 feet to a point, thence;
18. North 03 degrees 20' 00" West, 26 seconds West, a distance of 176.65 feet to a point, thence;
19. North 73 degrees 47' 00" West, 41 seconds West, a distance of 148.46 feet to a point, thence;
20. North 85 degrees 23' 00" West, 01 seconds West, a distance of 80.40 feet to a point, thence;
21. North 63 degrees 20' 00" West, 26 seconds West, a distance of 176.65 feet to a point, thence;
22. Partly along the line of Lot 50,4, and partly along the line of Section 70.06, Block 1, Lot 54, lands now or formerly of Rockland Meeting, Religious Society of Friends, North 33 degrees 04' 00" West, 42 seconds West, a distance of 249.90 feet to a point in the line of Lot 9,4, thence;

- 23. Along the line of Lot 54, South 08 degrees 26' 00" West, 27 seconds West, a distance of 30.71 feet to a point, and corner to Section 70.06, Block 1, Lot 1,4 thence;
24. Along the line of Lot 1,4, North 08 degrees 18' 00" West, 35 seconds West, a distance of 21.10 feet to a point, thence;
25. Along the line of Lot 1,4, along the line of Section 70.06, Block 1, Lot 1,3, and along the line of 70.06, Block 1, Lot 1,4, North 03 degrees 40' 00" West, 30 seconds East, a distance of 882.30 feet to a point and corner to Lot 1,4, Section 70.06, Block 1, Lot 1,7, and Section 75.17, Block 1, Lot 4,1;
Thence, the following two (2) courses along Lot 1,4;
26. North 11 degrees 54' 00" West, 06 seconds West, a distance of 42.90 feet to a point, thence;
27. South 80 degrees 35' 00" West, 52 seconds West, a distance of 232.52 feet to a point, thence;

- 28. Along the line of Lot 4,1 and along the line of Section 65.18, Block 1, Lot 25, North 03 degrees 16' 00" West, 15 seconds East, a distance of 362.24 feet to a concrete monument and corner to Lot 24, thence;
29. Along the line of Lot 24, South 85 degrees 18' 00" West, 33 seconds East, a distance of 213.36 feet to the point and place of beginning.

- 1. North 84 degrees 41' 00" West, 45 seconds East, a distance of 396.26 feet to a point, thence;
2. South 81 degrees 15' 00" West, 49 seconds East, a distance of 137.50 feet to a point in the westerly line of lands of Consolidated Rail Corp. (F.N.A. West Shore Railroad);
Thence, the following three courses along the line of Consolidated Rail Corp.;
3. South 29 degrees 34' 40" East, a distance of 729.50 feet to a point, thence;
4. South 81 degrees 15' 00" West, 49 seconds East, a distance of 137.50 feet to a point, thence;
5. South 29 degrees 34' 40" East, a distance of 729.50 feet to a point in the line of Bradley Hill Road Extension as per Town Board Meeting 01-28-80 (Resolution No. 75).

Thence, the following three courses along the line of Consolidated Rail Corp.:

- 1. North 84 degrees 41' 00" West, 45 seconds East, a distance of 396.26 feet to a point, thence;
2. South 81 degrees 15' 00" West, 49 seconds East, a distance of 137.50 feet to a point in the westerly line of lands of Consolidated Rail Corp. (F.N.A. West Shore Railroad);
Thence, the following three courses along the line of Consolidated Rail Corp.:

Thence, the following three courses along the line of Consolidated Rail Corp.:

- 1. Completed field work was completed on October 20, 2019 with a field visit on March 13, 2020. The revisit only covered the area shown on sheet 2 of 6 per client request.
2. The Bath of Heating for this survey is per GPS coordinate observation New York State, Eastern Zone NAD83.
Latitude = N 41°04'29.8484"
Longitude = W 73°17'10.8000"
Convergence Angle = 0°17'30.073"
3. Distances shown on plan are:
Combined scale factor (grid to ground) = 1.000742495
Elevations established with GPS using observation of existing online positioning user service (OPUS) for post processing (NAD 1983 datum)
4. Some features on this plan may be shown out of scale for clarity.
5. Dimensions on this plan are expressed in feet and decimal parts thereof unless otherwise noted. Readings are referred to an assumed meridian and are used to denote angles only. Measurements were found at points where indicated.
6. Dimensions on this plan are expressed in feet and decimal parts thereof unless otherwise noted. Readings are referred to an assumed meridian and are used to denote angles only. Measurements were found at points where indicated.
7. Any corrections and adjustments shown on this survey are based on those set forth in the description furnished to surveyor, and there is no representation that all applicable surveys and restrictions are shown hereon.
8. Names and addresses of adjoining property owners were taken from Rockland County 2019 Final Tax Roll and Deeds.
9. The nearest fire hydrant is as shown on survey.
10. No surveyor or any other person other than a licensed New York surveyor may provide legal advice concerning the amount of Title to the property described in this survey ("the subject property"). The purpose of this survey, and the comments attached to the schedule B-1 enclosure, is only to show the location of boundaries and physical encumbrances in relation thereto. To the extent that the survey indicates that the legal instrument "affects" the subject property, such statement is only intended to indicate that property boundaries included in such instrument include some or all of the subject property. The surveyor does not purport to describe how such instruments affect the subject property or the enforceability or legal consequences of such instruments.
11. All bearings and distances shown hereon are measured dimensions unless otherwise noted hereon. Measured dimensions, if differing from measured dimensions, will be followed by "(M)" and the 9 digit number of the reference document the dimension originated. Reference documents noted hereon were obtained by the surveyor and any and all representations based hereon should be verified by a licensed surveyor or title insurer for verification.
12. Contour Interval = 1 foot.
13. Total number of tripod marking systems observed in survey area at the time of the survey is 05, which includes 2 designated ADA marking systems.
14. Surveyor notes that the property above the right-of-way of Bradley Hill Road. Access to the right-of-way may be subject to other agreements or proper governmental approval.
15. There was no evidence of monitor wells, or any test borings on the subject property at the time of the survey.
16. At the time of the survey, there was no observable evidence of site use as a cemetery, inland grass site or burial ground.
17. At the time of the survey, there was no observable evidence of site use as a wild waste dump, camp, or sanitary landfill.
18. At the time of the survey, there were no changes in street right-of-way lines either completed or proposed, and available from controlling jurisdiction or observable evidence of street corner or sidewalk construction repairs, and answer to FOL request number FRB-19-006750 received October 21, 2019 from Hal Law - Records Assistance Officer for the New York State Department of Transportation, Hudson Valley Region.
19. There was no observable evidence of Earth moving work, building construction or building additions within recent months.
20. The corner intersecting street at the intersection of Bradley Hill Road and State Highway 303, which is approximately 1100' from the Southeast corner of the subject property as shown.

None apparent at the time of the survey.

Thence along the line of Bradley Hill Road Extension, the following three (3) courses:

- 6. North 82 degrees 32' 00" West, 02 seconds West, a distance of 530.66 feet to a point, thence;
7. South 28 degrees 13' 00" East, 49 seconds East, a distance of 61.57 feet to a point, thence;
8. South 82 degrees 32' 00" West, 02 seconds East, a distance of 55.65 feet to a point in the westerly line of Consolidated Rail Corp.;
Thence, the following two (2) courses along the line of Consolidated Rail Corp.:

- 9. South 29 degrees 34' 40" East, a distance of 336.28 feet to a point, thence;
10. South 29 degrees 34' 40" East, a distance of 18.26 feet to a point and corner to Section 70.06, Block 1, Lot 50,4, lands of Bradley Industrial Park;
Thence, the following eleven (11) courses along Lot 50,4:

- 11. South 42 degrees 50' 00" West, 03 seconds West, a distance of 422.21 feet to a point, thence;
12. South 08 degrees 36' 00" West, 21 seconds West, a distance of 170.79 feet to a point, thence;
13. South 22 degrees 21' 00" West, 08 seconds West, a distance of 45.13 feet to a point, thence;
14. South 44 degrees 46' 00" West, 57 seconds West, a distance of 103.92 feet to a point, thence;
15. South 36 degrees 28' 00" West, 05 seconds West, a distance of 93.59 feet to a point, thence;
16. South 20 degrees 36' 00" West, 14 seconds West, a distance of 84.46 feet to a point, thence;
17. North 84 degrees 41' 00" West, 45 seconds West, a distance of 159.83 feet to a point, thence;
18. North 70 degrees 45' 00" West, 48 seconds West, a distance of 171.74 feet to a point, thence;

- 19. North 73 degrees 47' 00" West, 41 seconds West, a distance of 148.46 feet to a point, thence;
20. North 85 degrees 23' 00" West, 01 seconds West, a distance of 80.40 feet to a point, thence;
21. North 63 degrees 20' 00" West, 26 seconds West, a distance of 176.65 feet to a point, thence;
22. Partly along the line of Lot 50,4, and partly along the line of Section 70.06, Block 1, Lot 54, lands now or formerly of Rockland Meeting, Religious Society of Friends, North 33 degrees 04' 00" West, 42 seconds West, a distance of 249.90 feet to a point in the line of Lot 9,4, thence;

- 23. Along the line of Lot 54, South 08 degrees 26' 00" West, 27 seconds West, a distance of 30.71 feet to a point, and corner to Section 70.06, Block 1, Lot 1,4 thence;
24. Along the line of Lot 1,4, North 08 degrees 18' 00" West, 35 seconds West, a distance of 21.10 feet to a point, thence;
25. Along the line of Lot 1,4, along the line of Section 70.06, Block 1, Lot 1,3, and along the line of 70.06, Block 1, Lot 1,4, North 03 degrees 40' 00" West, 30 seconds East, a distance of 882.30 feet to a point and corner to Lot 1,4, Section 70.06, Block 1, Lot 1,7, and Section 75.17, Block 1, Lot 4,1;
Thence, the following two (2) courses along Lot 1,4;

- 26. North 11 degrees 54' 00" West, 06 seconds West, a distance of 42.90 feet to a point, thence;
27. South 80 degrees 35' 00" West, 52 seconds West, a distance of 232.52 feet to a point, thence;

- 28. Along the line of Lot 4,1 and along the line of Section 65.18, Block 1, Lot 25, North 03 degrees 16' 00" West, 15 seconds East, a distance of 362.24 feet to a concrete monument and corner to Lot 24, thence;
29. Along the line of Lot 24, South 85 degrees 18' 00" West, 33 seconds East, a distance of 213.36 feet to the point and place of beginning.

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12. Contour Interval = 1 foot.
13. Total number of tripod marking systems observed in survey area at the time of the survey is 05, which includes 2 designated ADA marking systems.
14. Surveyor notes that the property above the right-of-way of Bradley Hill Road. Access to the right-of-way may be subject to other agreements or proper governmental approval.
15. There was no evidence of monitor wells, or any test borings on the subject property at the time of the survey.
16. At the time of the survey, there was no observable evidence of site use as a cemetery, inland grass site or burial ground.
17. At the time of the survey, there was no observable evidence of site use as a wild waste dump, camp, or sanitary landfill.
18. At the time of the survey, there were no changes in street right-of-way lines either completed or proposed, and available from controlling jurisdiction or observable evidence of street corner or sidewalk construction repairs, and answer to FOL request number FRB-19-006750 received October 21, 2019 from Hal Law - Records Assistance Officer for the New York State Department of Transportation, Hudson Valley Region.
19. There was no observable evidence of Earth moving work, building construction or building additions within recent months.
20. The corner intersecting street at the intersection of Bradley Hill Road and State Highway 303, which is approximately 1100' from the Southeast corner of the subject property as shown.

None apparent at the time of the survey.

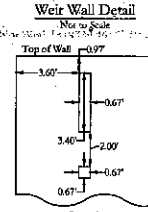
Thence along the line of Bradley Hill Road Extension, the following three (3) courses:

- 6. North 82 degrees 32' 00" West, 02 seconds West, a distance of 530.66 feet to a point, thence;
7. South 28 degrees 13' 00" East, 49 seconds East, a distance of 61.57 feet to a point, thence;
8. South 82 degrees 32' 00" West, 02 seconds East, a distance of 55.65 feet to a point in the westerly line of Consolidated Rail Corp.;
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- 9. South 29 degrees 34' 40" East, a distance of 336.28 feet to a point, thence;
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Thence, the following eleven (11) courses along Lot 50,4:

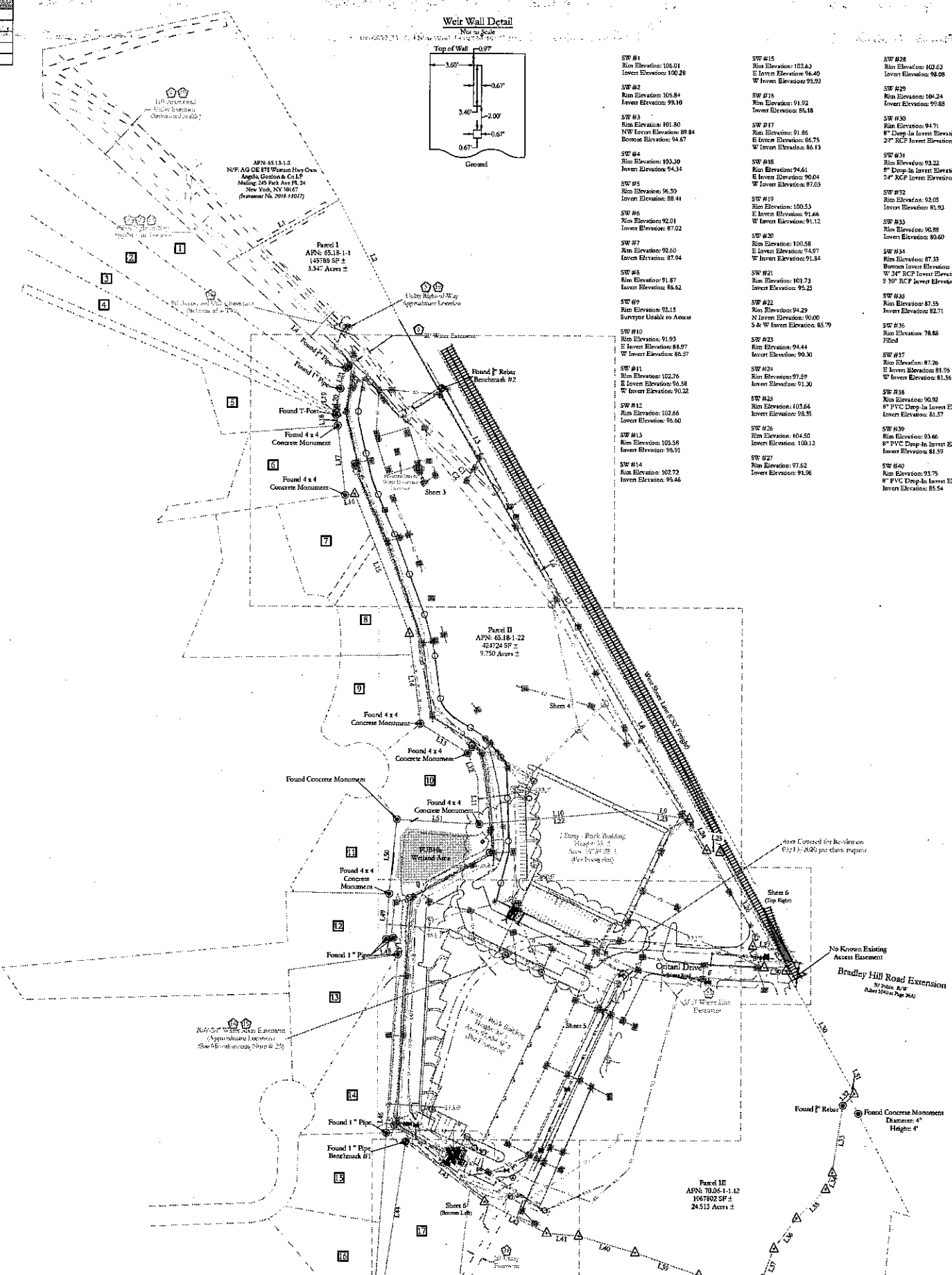
- 11. South 42 degrees 50' 00" West, 03 seconds West, a distance of 422.21 feet to a point, thence;
12. South 08 degrees 36' 00" West, 21 seconds West, a distance of 170.79 feet to a point, thence;
13. South 22 degrees 21' 00" West, 08 seconds West, a distance of 45.13 feet to a point, thence;
14. South 44 degrees 46' 00" West, 57 seconds West, a distance of 103.92 feet to a point, thence;
15. South 36 degrees 28' 00" West, 05 seconds West, a distance of 93.59 feet to a point, thence;
16. South 20 degrees 36' 0

Benchmark #1	Benchmark #2
Type: 1" Pipe	Type: 5/8" Rebar
Neatling: 81632.73	Neatling: 818730.46
Easting: 641443.82	Easting: 641528.88
Elevation: 93.58	Elevation: 71.22



**Adjacent Information**

- 1 APN: 65.17-1-8  
Owner: James O'Connell  
Mailing: P.O. Box 113  
Blauvelt, NY 10913  
(Instrument No. 2004-0869)
- 2 APN: 65.17-1-9  
Owner: Lois Barabona  
Mailing: 837 Western Hwy  
Blauvelt, NY 10913  
(Instrument No. 2004-73874)
- 3 APN: 65.17-1-10  
Owner: Paula J. Hill & Carolyn C. Hill  
Mailing: 849 Western Hwy  
Blauvelt, NY 10913  
(Instrument No. 2007-31444)
- 4 APN: 65.17-1-11  
Owner: Anneke Burke & Christopher O'Mara  
Mailing: 835 Western Hwy  
Blauvelt, NY 10913  
(Instrument No. 2017-19176)
- 5 APN: 65.17-1-12  
Owner: Richard McDaniel  
Mailing: P.O. Box 203  
Blauvelt, NY 10913  
(Instrument No. 2001-41113)
- 6 APN: 65.17-1-21  
Owner: Catherine Lee  
Mailing: 4 Piper Ct  
Blauvelt, NY 10913  
(Instrument No. 2009-13174)
- 7 APN: 65.17-1-25  
Owner: Marcia A. Colucci & Angela L. Colucci  
Mailing: 2 Haring Pl  
Blauvelt, NY 10913  
(Instrument No. 2018-20965)
- 8 APN: 65.17-1-26  
Owner: Benjamin Morone & Louise Morone  
Mailing: 1 Haring Pl  
Blauvelt, NY 10913  
(Instrument No. 2007-21873)
- 9 APN: 65.18-1-23  
Owner: James Albert & Franческа Albert  
Mailing: 1 Avia Ct  
Blauvelt, NY 10913  
(Instrument No. 2013-34534)
- 10 APN: 65.18-1-24  
Owner: Margaret Hsu  
Mailing: 6 Avia Ct  
Blauvelt, NY 10913  
(Instrument No. 2004-46801)
- 11 APN: 65.18-1-25  
Owner: Jason Piretti & Laura Piretti  
Mailing: 4 Avia Ct  
Blauvelt, NY 10913  
(Instrument No. 2017-21942)
- 12 APN: 65.17-1-41  
Owner: Devia Darnand  
Mailing: 751 Western Hwy  
Blauvelt, NY 10913  
(Instrument No. 2003-26664)
- 13 APN: 70.06-1-17  
Owner: Julie Ann M. Canone  
Mailing: 7 Sgt Demosia Rd  
Blauvelt, NY 10913  
(Instrument No. 2017-34749)
- 14 APN: 70.06-1-16  
Owner: Nana Maddalena  
Mailing: 6 Sgt Demosia Rd  
Blauvelt, NY 10913  
(Instrument No. 2002-72493)
- 15 APN: 70.06-1-15  
Owner: Denis M. Noonan & Joan P. Noonan  
Mailing: 5 Sgt Demosia Rd  
Blauvelt, NY 10913  
(Instrument No. 2018-26952)
- 16 APN: 70.06-1-14  
Owner: Robert D'Orto & Kimberly D'Orto  
Mailing: 4 Sgt Demosia Rd  
Blauvelt, NY 10913  
(Instrument No. 2013-34536)
- 17 APN: 70.06-1-54  
Owner: Rockland Meeting Religious Society of Friends  
Mailing: 60 Leber Rd  
Blauvelt, NY 10913  
(Deed Book 734 Page 863)



**Storm Water Structures**

SW #1 Run Elevation: 106.01 Invert Elevation: 100.28	SW #15 Run Elevation: 102.82 Invert Elevation: 96.40 W Invert Elevation: 93.03	SW #28 Run Elevation: 103.63 Invert Elevation: 98.98	SW #41 Run Elevation: 83.00 Invert Elevation: 71.00	Invert Elevation: 65.05	SW #58 Run Elevation: 74.54 Invert Elevation: 67.18	SW #71 Run Elevation: 91.96 Invert Elevation: 85.62	NW #1: RCP Invert Elevation: 68.3
SW #2 Run Elevation: 105.84 Invert Elevation: 99.10	SW #16 Run Elevation: 91.92 Invert Elevation: 85.18	SW #29 Run Elevation: 104.24 Invert Elevation: 93.83	SW #42 Run Elevation: 84.47 Invert Elevation: 72.82	SW #59 Run Elevation: 73.22 Invert Elevation: 62.67	SW #72 Run Elevation: 92.14 Invert Elevation: 85.69	SW #85 Run Elevation: 92.14 Invert Elevation: 85.69	SW #78 Run Elevation: 73.48 Invert Elevation: 69.52
SW #3 Run Elevation: 101.50 Invert Elevation: 99.84	SW #17 Run Elevation: 91.86 Invert Elevation: 86.75 W Invert Elevation: 86.13	SW #30 Run Elevation: 94.71 Invert Elevation: 90.30 24" RCP Invert Elevation: 87.71	SW #43 Run Elevation: 84.47 Invert Elevation: 72.82	SW #60 Run Elevation: 73.18 Invert Elevation: 62.67	SW #73 Run Elevation: 91.96 Invert Elevation: 85.62	SW #86 Run Elevation: 92.14 Invert Elevation: 85.69	SW #81 Run Elevation: 73.48 Invert Elevation: 69.52
SW #4 Run Elevation: 103.30 Invert Elevation: 94.34	SW #18 Run Elevation: 94.61 Invert Elevation: 90.04 W Invert Elevation: 87.03	SW #31 Run Elevation: 93.22 Invert Elevation: 88.57	SW #44 Run Elevation: 83.17 Invert Elevation: 71.00	SW #61 Run Elevation: 73.18 Invert Elevation: 62.67	SW #74 Run Elevation: 91.96 Invert Elevation: 85.62	SW #87 Run Elevation: 92.14 Invert Elevation: 85.69	SW #82 Run Elevation: 73.48 Invert Elevation: 69.52
SW #5 Run Elevation: 96.50 Invert Elevation: 88.41	SW #19 Run Elevation: 100.53 Invert Elevation: 91.44 W Invert Elevation: 91.12	SW #32 Run Elevation: 92.05 Invert Elevation: 81.92	SW #45 Run Elevation: 79.22 Invert Elevation: 69.74 Bottom Invert Elevation: 63.30	SW #62 Run Elevation: 73.18 Invert Elevation: 62.67	SW #75 Run Elevation: 91.96 Invert Elevation: 85.62	SW #88 Run Elevation: 92.14 Invert Elevation: 85.69	SW #83 Run Elevation: 73.48 Invert Elevation: 69.52
SW #6 Run Elevation: 92.01 Invert Elevation: 87.02	SW #20 Run Elevation: 100.58 Invert Elevation: 94.97 W Invert Elevation: 91.44	SW #33 Run Elevation: 90.88 Invert Elevation: 80.60	SW #46 Run Elevation: 84.14 Invert Elevation: 73.83 Bottom Invert Elevation: 75.07	SW #63 Run Elevation: 74.23 Invert Elevation: 69.07	SW #76 Run Elevation: 91.96 Invert Elevation: 85.62	SW #89 Run Elevation: 92.14 Invert Elevation: 85.69	SW #84 Run Elevation: 73.48 Invert Elevation: 69.52
SW #7 Run Elevation: 92.60 Invert Elevation: 87.94	SW #21 Run Elevation: 101.73 Invert Elevation: 95.23	SW #34 Run Elevation: 87.55 Invert Elevation: 82.71	SW #47 Run Elevation: 89.09 Invert Elevation: 85.24	SW #64 Run Elevation: 73.18 Invert Elevation: 62.67	SW #77 Run Elevation: 91.96 Invert Elevation: 85.62	SW #90 Run Elevation: 92.14 Invert Elevation: 85.69	SW #85 Run Elevation: 73.48 Invert Elevation: 69.52
SW #8 Run Elevation: 91.87 Invert Elevation: 86.62	SW #22 Run Elevation: 94.29 Invert Elevation: 90.00 S & W Invert Elevation: 85.79	SW #35 Run Elevation: 94.44 Invert Elevation: 90.30	SW #48 Run Elevation: 84.22 Invert Elevation: 70.07	SW #65 Run Elevation: 73.18 Invert Elevation: 62.67	SW #78 Run Elevation: 91.96 Invert Elevation: 85.62	SW #91 Run Elevation: 92.14 Invert Elevation: 85.69	SW #86 Run Elevation: 73.48 Invert Elevation: 69.52
SW #9 Run Elevation: 92.15 Invert Elevation: 85.7	SW #23 Run Elevation: 94.44 Invert Elevation: 90.30	SW #36 Run Elevation: 94.44 Invert Elevation: 90.30	SW #49 Run Elevation: 84.22 Invert Elevation: 70.07	SW #66 Run Elevation: 73.18 Invert Elevation: 62.67	SW #79 Run Elevation: 91.96 Invert Elevation: 85.62	SW #92 Run Elevation: 92.14 Invert Elevation: 85.69	SW #87 Run Elevation: 73.48 Invert Elevation: 69.52
SW #10 Run Elevation: 91.93 Invert Elevation: 85.97	SW #24 Run Elevation: 92.76 Invert Elevation: 90.58 W Invert Elevation: 90.22	SW #37 Run Elevation: 92.76 Invert Elevation: 81.96	SW #50 Run Elevation: 76.30 Invert Elevation: 69.81	SW #67 Run Elevation: 73.18 Invert Elevation: 62.67	SW #80 Run Elevation: 91.96 Invert Elevation: 85.62	SW #93 Run Elevation: 92.14 Invert Elevation: 85.69	SW #88 Run Elevation: 73.48 Invert Elevation: 69.52
SW #11 Run Elevation: 102.76 Invert Elevation: 90.58	SW #25 Run Elevation: 104.55 Invert Elevation: 100.12	SW #38 Run Elevation: 90.92 Invert Elevation: 81.57	SW #51 Run Elevation: 73.45 Invert Elevation: 69.09	SW #68 Run Elevation: 73.18 Invert Elevation: 62.67	SW #81 Run Elevation: 91.96 Invert Elevation: 85.62	SW #94 Run Elevation: 92.14 Invert Elevation: 85.69	SW #89 Run Elevation: 73.48 Invert Elevation: 69.52
SW #12 Run Elevation: 102.66 Invert Elevation: 90.60	SW #26 Run Elevation: 104.55 Invert Elevation: 100.12	SW #39 Run Elevation: 93.66 Invert Elevation: 81.59	SW #52 Run Elevation: 73.48 Invert Elevation: 69.09	SW #69 Run Elevation: 73.18 Invert Elevation: 62.67	SW #82 Run Elevation: 91.96 Invert Elevation: 85.62	SW #95 Run Elevation: 92.14 Invert Elevation: 85.69	SW #90 Run Elevation: 73.48 Invert Elevation: 69.52
SW #13 Run Elevation: 105.58 Invert Elevation: 95.91	SW #27 Run Elevation: 97.62 Invert Elevation: 91.96	SW #40 Run Elevation: 93.75 Invert Elevation: 85.54	SW #53 Run Elevation: 73.48 Invert Elevation: 69.09	SW #70 Run Elevation: 91.96 Invert Elevation: 85.62	SW #83 Run Elevation: 91.96 Invert Elevation: 85.62	SW #96 Run Elevation: 92.14 Invert Elevation: 85.69	SW #91 Run Elevation: 73.48 Invert Elevation: 69.52
SW #14 Run Elevation: 103.72 Invert Elevation: 95.46			SW #54 Run Elevation: 73.48 Invert Elevation: 69.09	SW #71 Run Elevation: 91.96 Invert Elevation: 85.62	SW #84 Run Elevation: 91.96 Invert Elevation: 85.62	SW #97 Run Elevation: 92.14 Invert Elevation: 85.69	SW #92 Run Elevation: 73.48 Invert Elevation: 69.52

**Sanitary Sewer Structures**

SS #1 Run Elevation: 92.22 Invert Elevation: 86.60	SS #7 Run Elevation: 72.89 Invert Elevation: 65.37	SS #14 Run Elevation: 83.12 Invert Elevation: 67.52
SS #2 Run Elevation: 94.47 Invert Elevation: 89.37	SS #8 Run Elevation: 71.16 Invert Elevation: 66.89	SS #15 Run Elevation: 104.29 Invert Elevation: 96.49
SS #3 Run Elevation: 90.45 Invert Elevation: 83.93	SS #9 Run Elevation: 97.09 Invert Elevation: 90.04	SS #16 Run Elevation: 96.49 Invert Elevation: 96.79
SS #4 Run Elevation: 91.07 Invert Elevation: 69.84	SS #10 Run Elevation: 92.20 Invert Elevation: 90.90	SS #17 Run Elevation: 96.49 Invert Elevation: 96.79
SS #5 Run Elevation: 85.51 Invert Elevation: 68.69	SS #11 Run Elevation: 96.38 Invert Elevation: 91.23	SS #18 Run Elevation: 96.49 Invert Elevation: 96.79
SS #6 Run Elevation: 79.36 Invert Elevation: 66.06	SS #12 Run Elevation: 96.22 Invert Elevation: 92.02	SS #19 Run Elevation: 96.49 Invert Elevation: 96.79
	SS #13 Run Elevation: 89.54 Invert Elevation: 72.87	

LINE BEARING	DISTANCE	AREA	PERIMETER	DELTA ANGLE
L1B1	N 60° 31' 04" E	33.32	1.22(3)	27.62
L1B2	N 60° 25' 20" E	33.28	1.27(3)	27.62
L2B1	S 2° 44' 02" E	338.46	1.27(8)	N 62° 32' 02" W
L2B2	S 2° 49' 40" E	338.46	1.28(8)	S 2° 10' 04" E
L3B1	S 2° 29' 24" E	1.28(3)	1.28(3)	S 2° 13' 49" E
L3B2	S 2° 34' 40" E	723.56	1.25(8)	S 2° 38' 17" E
L4B1	N 48° 22' 02" W	479.83	1.28(8)	S 82° 32' 02" E
L4B2	N 48° 28' 10" W	479.83	1.30(8)	S 2° 24' 31" E
L5B1	S 48° 32' 52" E	42.73	1.30(3)	S 2° 39' 18" E
L5B2	S 48° 28' 50" E	72.71	1.31(3)	S 2° 53' 18" E
L6B1	S 2° 21' 33" E	11.75	1.31(3)	S 2° 59' 21" E
L6B2	S 2° 28' 18" E	11.73	1.32(3)	S 4° 13' 50" W
L7B1	S 3° 21' 22" E	193.04	1.32(8)	S 42° 30' 00" W
L7B2	S 3° 15' 23" E	193.04	1.33(8)	S 0° 47' 02" W
L8B1	S 2° 24' 29" E	533.90	1.33(8)	S 0° 30' 21" W
L8B2	S 2° 28' 14" E	533.90	1.34(8)	S 22° 34' 53" W
L9B1	N 81° 14' 30" W	131.15	1.34(3)	S 22° 21' 00" W
L9B2	N 81° 14' 33" W	131.15	1.35(3)	S 44° 30' 42" W
L10B1	S 84° 48' 07" W	89.26	1.35(3)	S 2° 53' 18" E
L10B2	S 84° 41' 43" W	99.22	1.36(3)	S 36° 11' 50" W
L11B1	N 02° 14' 32" W	117.54	1.36(3)	S 36° 18' 03" W
L11B2	N 02° 18' 57" W	117.50	1.37(3)	S 2° 39' 59" W
L12B1	N 21° 34' 58" W	66.41	1.37(3)	S 2° 58' 18" W
L12B2	N 21° 46' 54" W	66.97	1.38(3)	N 86° 17' 59" W
L13B1	N 58° 12' 18" W	141.13	1.38(3)	N 86° 17' 59" W
L13B2	N 58° 14' 47" W	141.29	1.39(3)	N 70° 42' 03" W
L14B1	N 06° 35' 58" W	238.25	1.39(3)	N 70° 42' 03" W
L14B2	N 07° 06' 34" W	238.78	1.40(3)	N 73° 47' 41" W
L15B1	N 21° 26' 26" W	380.40	1.40(3)	N 73° 47' 41" W
L15B2	N 21° 30' 14" W	380.40	1.41(3)	N 87° 21' 13" W
L16B1	S 81° 26' 57" W	24.37	1.41(3)	N 87° 23' 04" W
L16B2	S 81° 13' 06" W	24.09	1.42(3)	N 83° 18' 11" W
L17B1	N 06° 01' 40" W	177.50	1.42(3)	N 03° 29' 28" W
L17B2	N 06° 14' 55" W	177.47	1.43(3)	N 52° 31' 02" W
L18B1	N 07° 44' 34" W	27.33	1.43(3)	N 51° 04' 43" W
L18B2	N 06° 33' 27" W	27.32	1.44(3)	S 08° 39' 34" W
L19B1	N 05° 33' 48" E	5.84	1.45(3)	S 08° 39' 34" W
L19B2	N 05° 40' 20" E	5.07	1.45(3)	N 78° 14' 50" W
L20B1	N 05° 16' 59" E	62.05	1.45(3)	N 78° 14' 50" W
L20B2	N 05° 42' 30" E	62.30	1.46(3)	N 05° 57' 03" E
L21B1	N 13° 33' 48" E	53.50	1.46(3)	N 05° 57' 03" E
L21B2	N 13° 02' 21" E	54.00	1.46(3)	N 05° 40' 51" E
L22B1	N 84° 49' 40" E	366.30	1.47(3)	N 13° 02' 21" E
L22B2	N 84° 41' 43" E	366.30	1.47(3)	N 11° 54' 06" W
L23B1	S 81° 18' 15" W	137.13	1.48(3)	S 80° 27' 28" W
L23B2	S 81° 18' 15" W	137.13	1.48(3)	S 80° 27' 28" W
L24B1	S 2° 23' 54" E	89.81	1.49(3)	N 05° 59' 28" E
L24B2	S 2° 27' 30" E	89.81	1.50(3)	N 05° 42' 07" E
L25B1	S 81° 21' 10" E	33.69	1.50(3)	N 84° 16' 18" W
L25B2	S 81° 23' 04" E	33.69	1.51(3)	S 80° 48' 57" E

CURVE	RADIUS	ARC LENGTH	CHORD BEARING	CHORD LENGTH	DELTA ANGLE
C1(A)	2835.00'	629.45'	N 43° 27' 24" W	628.15'	12° 43' 16"
C1(B)	2835.00'	629.45'	N/A	N/A	N/A
C2(A)	2835.00'	629.45'	S 43° 27' 28" E	628.15'	12° 43' 16"
C2(B)	2835.00'	629.45'	S 43° 31' 09" E	632.34'	12° 48' 22"

**Legend**

- Found Monument (As Noted)  Fire Hydrant
- Elevation Benchmark  Fire Department Connection
- Sanitary Sewer Manhole  Water Valve
- Sanitary Sewer Manhole  Light Pole
- Storm Water Manhole  Electric Box
- Ground Inlet/Drainage Inlet  Electric Cabinet
- Gas Meter  Electric Vault
- Gas Valve  Sign
- Utility Vault - Unknown  ADA Parking Space
- Cable Television Vault  Single Gate Post

**Boundary**

- Boundary - Adjacent
- Easement
- Match Line
- Tree Line
- Fence Line
- Right-of-Way
- Storm Drain
- UG Cable TV Line

**Per Observed Markings**

- UG Electric
- UG Gas
- UG Water
- UG Sewer
- UG Unknown
- UG Water

**Per Maps Provided**

- UG Electric
- UG Gas
- UG Water
- UG Sewer
- UG Unknown
- UG Water

**Other Symbols**

- Concrete
- Asphalt
- Gravel
- No Parking
- Wetland

Scale: 1" = 150'

0 150 300 450

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**BLEW & ASSOCIATES, PA**  
CIVIL ENGINEERS & LAND SURVEYORS

3825 N. SHILOH DRIVE  
FAYETTEVILLE, ARKANSAS 72703  
OFFICE: 479-434-5066  
FAX: 479-582-1883  
www.blewinc.com

DESIGNED BY: C.E.A. - 10/31/2019	REVIEWED BY: J.B./P.R.S.	DRAWN BY: M.V.
CHECKED BY:	DATE:	SCALE:
PROJECT NO: 2019-1116	DATE: 10/31/2019	SCALE: AS SHOWN

200 Oriani Drive, Blauvelt, NY 10913

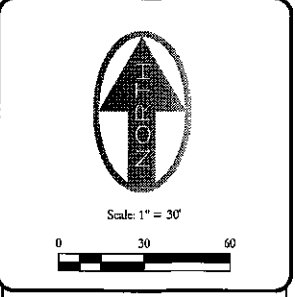
**CESO, Inc.**

Parcel I  
 APN: 6518-1-1  
 Ponic Holding, LLC  
 Address 877 Western Highway  
 Mailing Address 500 Bradley Hill Road  
 Blauvelt, NY 10913  
 (Deed Instrument No. 1997-00048856)  
 140'00" x 5'  
 3.547 Acres ±  
 (Zone R-40)

Parcel II  
 APN: 6518-1-22  
 AG OE 200 Orisani Drive Center, LLC  
 Address: 200 Orisani Drive  
 Mailing Address Unknown  
 (Deed Instrument No. 2019-00019024)  
 6240'1" x 5' ±  
 9.49 Acres ±  
 (Zone LD)

Benchmark #1	Benchmark #2
Type: 1" Pipe	Type: 5/8" Rebar
Northing: 816832.73	Northing: 818739.46
Easting: 641443.82	Easting: 641528.88
Elevation: 93.58	Elevation: 71.22

- Legend**
- Found Monument (As Noted) / Fire Hydrant
  - ▲ Elevation Benchmark
  - △ Searched For - Not Found
  - Searched For - Not Found
  - ⊙ Storm Water Manhole
  - ⊕ Gas Meter
  - ⊕ Gas Valve
  - ⊕ Cable Television Vault
  - ⊕ Cable Television Vault
  - ⊕ Fire Department Connection
  - ⊕ Water Valve
  - ⊕ Light Pole
  - ⊕ Electric Cabinet
  - ⊕ Electric Cabinet
  - ⊕ Electric Vach
  - ⊕ Sign
  - ⊕ Utility Vault - Unknown
  - ⊕ ADA Parking Space
  - ⊕ Single Gate Post
- Boundary**
- Boundary - Adjacent
  - Easement
  - Marchline
  - Tree Line
  - Fence Line
  - Fence w/lotting
  - Searched For - Not Found
  - Storm Drain
  - UG Cable TV Line
- Per Observed Markings**
- UG Electric
  - UG Gas
  - UG Water
  - UG Water
- Per Maps Provided**
- UG Electric
  - UG Gas
  - UG Water
  - UG Water
- (M) Measured/Calculated Dimension  
 (R) Record Dimension  
 N/F Now or Formerly  
 R/W Right-of-Way  
 C/L Centerline  
 BHL Building Height Location  
 FFE Finished Floor Elevation  
 UG Underground



**BLEW & ASSOCIATES, PA**  
 CIVIL ENGINEERS & LAND SURVEYORS  
 3825 N. SHILOH DRIVE  
 FAYETTEVILLE, ARKANSAS 72703  
 OFFICE: 479.443.4506  
 FAX: 479.582.1883  
 www.BLEWINC.com

DESIGNED BY DATE: C.E.A. - 10/31/2019	REVIEWED BY: J.B./P.R.S.	APPROVED BY: M.V.
DRAWN BY DATE: Rockland County, New York	JOB NUMBER: 19-5589	
LOCATION: 200 Orisani Drive, Blauvelt, NY 10913		
FOR THE DESIGN AND CONSTRUCTION: <b>CESO, Inc.</b>		

Benchmark #1	Benchmark #2
Type 1" Pipe	Type 3/8" Rebar
Northing 816832.73	Northing 818739.46
Easting 641443.82	Easting 641528.86
Elevation 93.58	Elevation 71.22

Parcel II  
 APN: 6516-1-22  
 260 OE 200 Oriani Drive, LLC  
 Address: 200 Oriani Drive  
 Mailing Address: Unknown  
 (Deed Instrument No. 2019-20113024)  
 4260/1 SF ±  
 9.749 Acres ±  
 (Zone LD)

Parcel III  
 APN: 1906-1-112  
 Bradley Industrial Park  
 Address: 400 Oriani Drive  
 Mailing Address: 500 Bradley Hill Road  
 Bauxville, NY 10913  
 (Description per Reference # 3)  
 1067802 SF ±  
 24.517 Acres ±  
 (Zone LD)

- Found Monument (As Noted) Fire Hydrant
- Elevation Benchmark Fire Department Connection
- Sanctified For - Not Found Water Valve
- Sanitary Sewer Manhole Light Pole
- Cleanout Electric Box
- Storm Water Manhole Electric Cabinet
- Ground Water/Drainage Hole Electric Vault
- Gas Meter Sign
- Gas Valve Utility Vault - Unknown
- Cable Television Pedestal ADA Parking Space
- Cable Television Vault Single Cow Foot
- Boundary - Adjacent Concrete
- Easement Asphalt
- Matchline Gravel
- Time Line No Parking
- Fence - Existing Wetland
- Sanitary Sewer
- Storm Drain
- UG Cable TV Line
- Per Observed Markings Per Maps Provided
- UG Electric UG Electric
- UG Gas UG Gas
- UG Water UG Water
- (M) Measured/Calculated Dimension
- (R) Record Dimension
- N/P Not on Formerly
- R/W Right-of-Way
- C/L Centerline
- BHL Building Height Location
- FFH Finished Floor Elevation
- UG Underground

Scale: 1" = 30'

**BLEW & ASSOCIATES, PA**  
 CIVIL ENGINEERS & LAND SURVEYORS  
 3825 N. SHILOH DRIVE  
 FAYETTEVILLE, ARKANSAS 72703  
 OFFICE 479-443-4506  
 FAX 479-582-1883  
 www.BLEWPA.com

DRAWN BY DATE: C.E.A. - 10/31/2019  
 CHECKED BY: J.B./P.R.S.  
 SURVEYED BY: M.V.  
 COUNTY & STATE: Rockland County, New York  
 JOB NUMBER: 19-5589

LOCATION: 200 Oriani Drive, Bauxville, NY 10913  
 FOR THE CLIENT AND EXISTING: **CSO, Inc.**

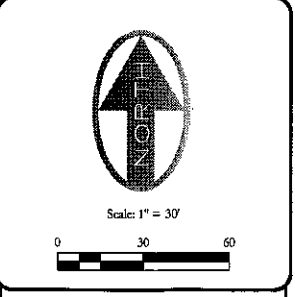




- Legend**
- Found Monument (As Noted) Fire Hydrant
  - Elevation Benchmark
  - Sanitary Sewer - Not Found
  - Sanitary Sewer Manhole
  - Chamion
  - Storm Water Manhole
  - Ground Water/Drainage Inlet
  - Gas Meter
  - Gas Valve
  - Cable Television Pedestal
  - Cable Television Vault
  - Fire Department Connection
  - Water Valve
  - Light Pole
  - Electric Box
  - Electric Cabinet
  - Electric Vault
  - Sign
  - Utility Vault - Unknown
  - ADA Parking Space
  - Single Gate Post
- Boundary**
- Boundary - As Noted
  - Easement
  - Marshline
  - Tax Line
  - Fence - Existing
  - Fence - Existing
  - Sanitary Sewer
  - Storm Drain
  - UG Cable TV Line
- Per Observed Markings**
- UG Electric
  - UG Gas
  - UG Water
- Per Maps Provided**
- UG Electric
  - UG Gas
  - UG Water
- Dimensions**
- (M) Measured/Calculated Dimension
  - (R) Record Dimension
  - N/F Noted or Formerly
  - R/W Right-of-Way
  - C/L Centerline
  - BHL Building Height Location
  - FFE Finished Floor Elevation
  - UG Underground

**Table of Benchmarks**

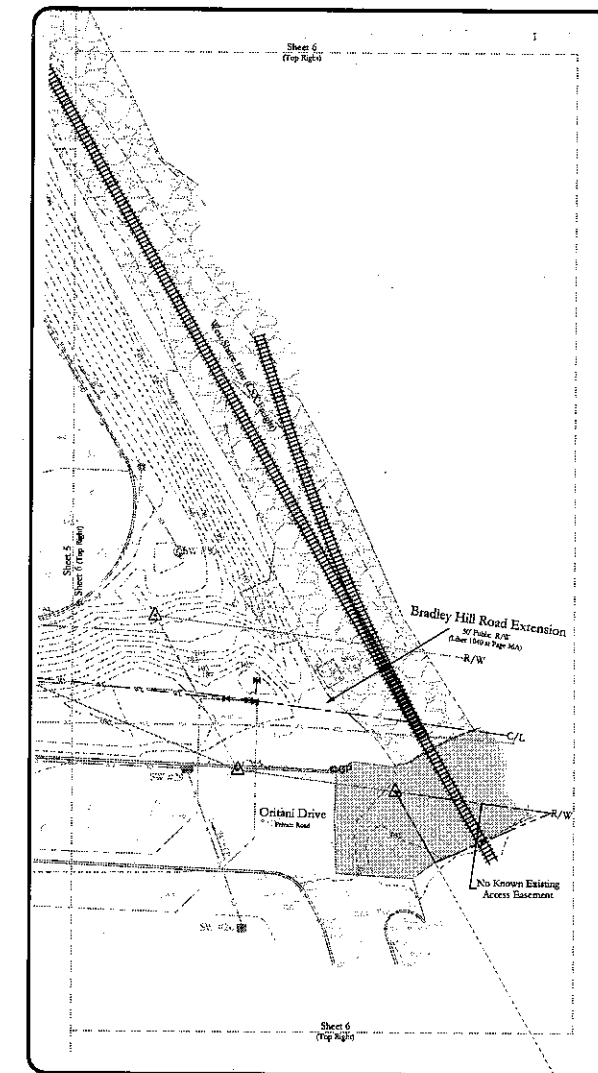
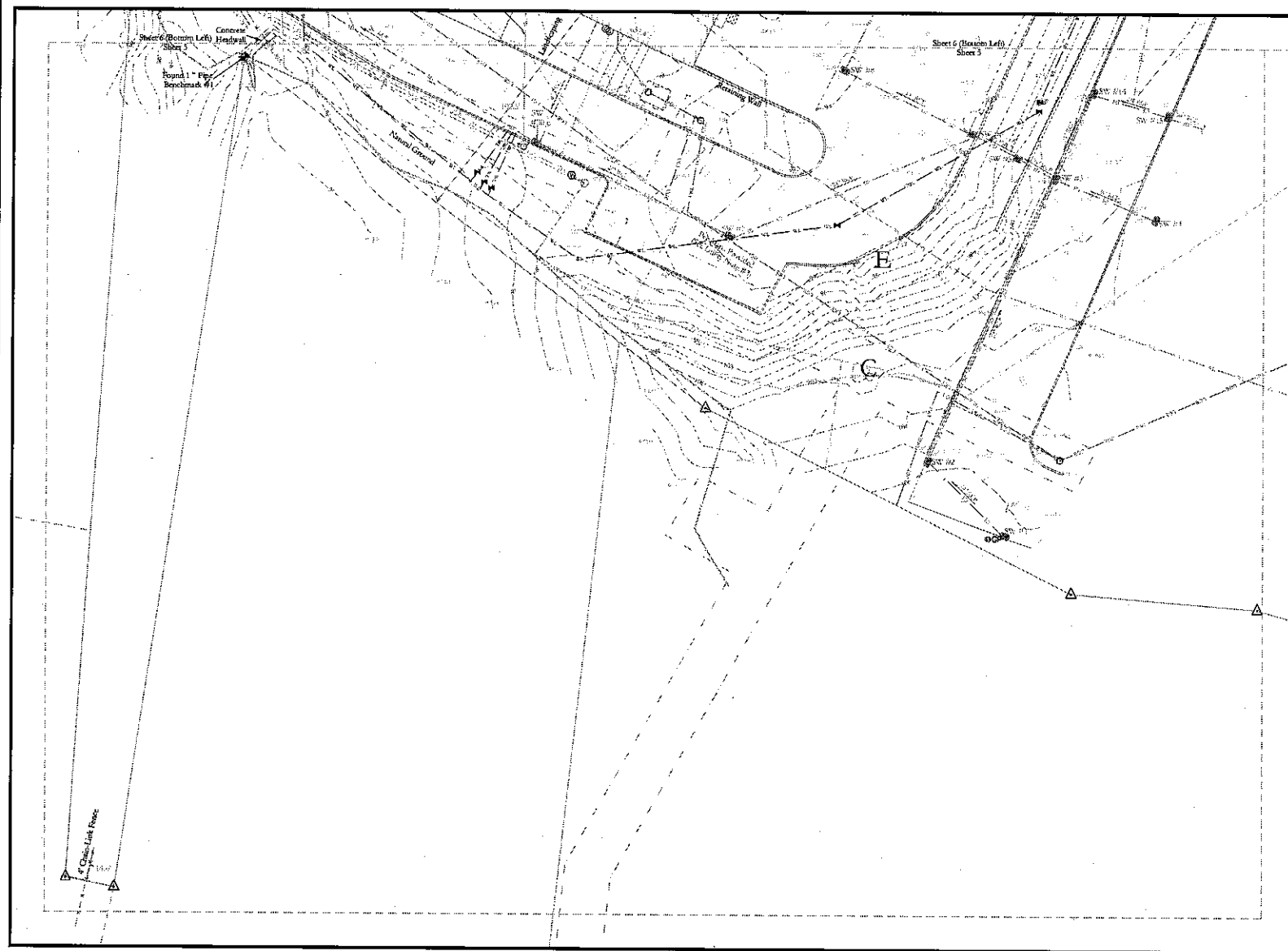
Benchmark #1	Type	Benchmark #2	Type
	1" Pipe		5/8" Rebar
Northing 816832.73		Northing 818739.46	
Easting 641443.82		Easting 641528.88	
Elevation 93.58		Elevation 71.22	



Parcel III  
 APN: 7004-1-1.12  
 Bradley Industrial Park  
 Address: 400 Oriani Drive  
 Mailing Address: 500 Bradley Hill Road  
 Blauvelt, NY 10913  
 (Description per Reference # 3)  
 107,802 SF ±  
 2.5115 Acres ±  
 (Zone L2)

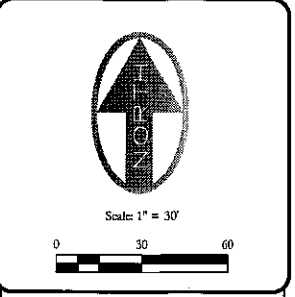
**BLEW & ASSOCIATES, PA**  
 CIVIL ENGINEERS & LAND SURVEYORS  
 3825 N. SHILOH DRIVE  
 FAYETTEVILLE, ARKANSAS 72703  
 OFFICE: 479-443-4506  
 FAX: 479-562-7883  
 www.BLEWING.com

DATE: 10/31/2019	REVISION: J.B./P.R.S.	ISSUED BY: M.V.
COUNTY & STATE: Rockland County, New York	JOB NUMBER: 19-5589	
ADDRESS: 200 Oriani Drive, Blauvelt, NY 10913		
FOR THE USE AND BENEFIT OF: <b>CESO, Inc.</b>		



Benchmark #1	Benchmark #2
Type 1" Pipe	Type 1/2" Rebar
Northing 816832.73	Northing 818739.46
Easting 641443.82	Easting 641528.88
Elevation 93.58	Elevation 71.22

- Legend**
- Found Monument (As Noted)
  - Elevation Benchmark
  - Searched For - Not Found
  - Sanitary Sewer Manhole
  - Cleanout
  - Storm Water Manhole
  - Ground Hole/Drainage Inlet
  - Gas Meter
  - Gas Valve
  - Cable Television Pedestal
  - Cable Television Vault
  - Fire Hydrant
  - Fire Department Connection
  - Water Valve
  - Light Pole
  - Electric Box
  - Electric Cabinet
  - Electric Vault
  - Sign
  - Utility Vault - Unknown
  - ADA Parking Space
  - Single Gas Post
- Boundary**
- Boundary - Adjacent
  - Easement
  - Matchline
  - Tree Line
  - Fence Line
  - Fence w/Lining
  - Sanitary Sewer
  - Storm Drain
  - UG Cable TV Lin
- Per Observed Markings**
- UG Electric
  - UG Gas
  - UG Water
- Per Maps Provided**
- UG Electric
  - UG Gas
  - UG Water
- (M) Measured/Calculated Dimension**
- (R) Record Dimension**
- N/F** Not or Formerly
- R/W** Right-of-Way
- C/L** Centerline
- BHL** Building Height Location
- FFE** Finished Floor Elevation
- UG** Underground



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DATE BY & DATE	APPROVED BY	SURVEYED BY
C.E.A. - 10/31/2019	J.B./P.R.S.	M.V.
COUNTY & STATE	JOB NUMBER	
Rockland County, New York	19-5589	
LOCATION	200 Ontario Drive, Blauvelt, NY 10913	
FOR THE USE AND BENEFIT OF:	CESO, Inc.	