

Name of Municipality: TOWN OF ORANGETOWN Date Submitted: \_\_\_\_\_

### 2021 LAND USE BOARD APPLICATION

*Please check all that apply:*

<input type="checkbox"/> Commercial <input type="checkbox"/> <b>Planning Board</b> <input type="checkbox"/> <b>Zoning Board of Appeals</b>  <input type="checkbox"/> Subdivision <input type="checkbox"/> Number of Lots <input type="checkbox"/> Site Plan <input type="checkbox"/> Conditional Use  <input type="checkbox"/> Special Permit <input type="checkbox"/> Variance <input type="checkbox"/> Performance Standards Review <input type="checkbox"/> Use Variance <input type="checkbox"/> Other (specify): _____	<input type="checkbox"/> Residential <input checked="" type="checkbox"/> <b>Historical Board</b> <input type="checkbox"/> <b>Architectural Board</b>  <input type="checkbox"/> Consultation <input type="checkbox"/> Pre-Preliminary/Sketch <input type="checkbox"/> Preliminary <input type="checkbox"/> Final <input type="checkbox"/> Interpretation
--	---

PERMIT#: ~~50025~~ 51242  
 ASSIGNED RICK OLIVER  
 INSPECTOR: \_\_\_\_\_  
 Referred from Planning Board: YES / NO  
 If yes provide date of Planning Board meeting: \_\_\_\_\_

**Project Name:** GOLDBERG RESIDENCE

**Street Address:** 1 PRIOR CT., PALISADES NY 10964

**Tax Map Designation:** Section: ~~58~~ 80.06 Block: ~~508~~ 1 Lot(s): ~~308~~ 7

**Directional Location:**

On the WEST side of PRIOR COURT, approximately 5 feet SOUTH of the intersection of FERN ROAD, in the Town of Orangetown in the hamlet/village of PALISADES

Acreage of Parcel 0.78  
 School District ORANGETOWN  
 Ambulance District S. ORANGETOWN  
 Water District S. ORANGETOWN

Zoning District R-40  
 Postal District PALISADES  
 Fire District SPARKILL/PALISADES  
 Sewer District PUBLIC/ORANGETOWN

**Project Description:** (If additional space required, please attach a narrative summary.)  
REPLACEMENT OF EXISTING WINDOW SASHES AND ADDITION OF NEW WINDOWS AND PATIO DOORS

The undersigned agrees to an extension of the statutory time limit for scheduling a public hearing.

Date: 3/21/21 Applicant's Signature: [Signature]

# APPLICATION REVIEW FORM

**Applicant:** CAITLIN E. BURCK Phone # (845) 222-7999  
**Address:** 218 Gair st., PIERMONT NY 10968  
Street Name & Number (Post Office) City State Zip Code

**Property Owner:** Ryan Goldberg AND Jennifer Mandell Goldberg Phone # (917) 403-3453  
1 PRIOR COURT, PALISADES NY 10964  
**Address:** \_\_\_\_\_  
Street Name & Number (Post Office) City State Zip Code

**Engineer/Architect/Surveyor:** ALLEN D. ROSS, AIA Phone # (845)255-0114  
153 MAIN ST., New Paltz NY 12561  
**Address:** \_\_\_\_\_  
Street Name & Number (Post Office) City State Zip Code

**Attorney:** \_\_\_\_\_ Phone # \_\_\_\_\_  
**Address:** \_\_\_\_\_  
Street Name & Number (Post Office) City State Zip Code

**Contact Person:** Caitlin Burck Phone # (845) 222-7999  
218 Gair st., PIERMONT NY 10968  
**Address:** \_\_\_\_\_  
Street Name & Number (Post Office) City State Zip Code

## GENERAL MUNICIPAL LAW REVIEW:

This property is within 500 feet of:  
*(Check all that apply)*

**IF ANY ITEM IS CHECKED, A REVIEW MUST BE DONE BY THE ROCKLAND COUNTY COMMISSIONER OF PLANNING UNDER THE STATE GENERAL MUNICIPAL LAW, SECTIONS 239 L, M, N, AND NN.**

- |   |   |
|---|---|
| <input type="checkbox"/> State or County Road | <input type="checkbox"/> State or County Park |
| <input type="checkbox"/> Long Path            | <input type="checkbox"/> County Stream        |
| <input type="checkbox"/> Municipal Boundary   | <input type="checkbox"/> County Facility      |

List name(s) of facility checked above:

\_\_\_\_\_  
\_\_\_\_\_

### Referral Agencies:

- |  |  |
|--|--|
| <input type="checkbox"/> RC Highway Department       | <input type="checkbox"/> RC Division of Environmental Resources  |
| <input type="checkbox"/> RC Drainage Agency          | <input type="checkbox"/> RC Dept. of Health                      |
| <input type="checkbox"/> NYS Dept. of Transportation | <input type="checkbox"/> NYS Dept. of Environmental Conservation |
| <input type="checkbox"/> NYS Thruway Authority       | <input type="checkbox"/> Palisades Interstate Park Commission    |
| <input type="checkbox"/> Adjacent Municipality _____ |  |
| <input type="checkbox"/> Other _____                 |  |

# APPLICATION REVIEW FORM

## FILL IN WHERE APPLICABLE.

( IF THE FOLLOWING DOES NOT APPLY PLEASE MOVE ON TO THE NEXT PAGE )

### If subdivision:

- 1) Is any variance from the subdivision regulations required? \_\_\_\_\_
- 2) Is any open space being offered? \_\_\_\_ If so, what amount? \_\_\_\_\_
- 3) Is this a standard or average density subdivision? \_\_\_\_\_

### If site plan:

- 1) Existing square footage \_\_\_\_\_
- 2) Total square footage \_\_\_\_\_
- 3) Number of dwelling units \_\_\_\_\_

If **special permit**, list special permit use and what the property will be used for.

\_\_\_\_\_  
\_\_\_\_\_

### Environmental Constraints:

Are there **slopes greater than 25%**? If yes, please indicate the amount and show the gross and net area \_\_\_\_\_

Are there **streams** on the site? If yes, please provide the names. \_\_\_\_\_

Are there **wetlands** on the site? If yes, please provide the names and type:

### Project History:

Has this project ever been reviewed before? NO \_\_\_\_\_

If so, provide a narrative, including the list case number, name, date, and the board(s) you appeared before, and the status of any previous approvals.

\_\_\_\_\_  
\_\_\_\_\_

List tax map section, block & lot numbers for all other abutting properties in the same ownership as this project.

\_\_\_\_\_  
\_\_\_\_\_

1/21/21

Ryan Goldberg  
1 Prior Ct  
Palisades, NY 10962

Dear Recipient Name:

To whom it may concern,  
Please allow this letter to serve as our provision of permission for Caitlin Burck to act as our agent in matters pertaining to building department formalities and historic board presentations and approvals as they relate to 1 Prior Ct Palisades NY.

Sincerely,

A handwritten signature in black ink, appearing to be "RB", written in a cursive style.

SWIS	PRINT KEY	NAME	ADDRESS
392489	78.18-2-21.1	✓ Michael Margolin	44 Fern Rd, Palisades, NY 10964
392489	78.18-2-21.2	✓ Douglas Nguyen	5 Prior Ct, Palisades, NY 10964
392489	80.06-1-3	✓ Joseph Pecorino	1 Justin Ct, Palisades, NY 10964
392489	80.06-1-5	✓ Michael Hrynenko	P.O. Box 50, Palisades, NY 10964
392489	80.06-1-6	✓ Susan Essman	4 Justin Ct, Palisades, NY 10964
392489	80.06-1-7	✓ Jennifer Mandell	1 Prior Ct, Palisades, NY 10964
392489	80.06-1-8	✓ Robert Yu	2 Prior Ct, Palisades, NY 10964
392489	80.06-1-11	✓ Kurt Bridges	3 Prior Ct, Palisades, NY 10964
392489	80.06-1-12	✓ Jae Kun Jeung	4 Prior Ct, Palisades, NY 10964



OFFICE OF BUILDING, ZONING, PLANNING,  
ADMINISTRATION AND ENFORCEMENT  
**TOWN OF ORANGETOWN**  
20 Greenbush Road  
Orangeburg, N.Y. 10962

Jane Slavin, R.A.  
Director

(845)359-8410

Fax: (845) 359-8526

**HISTORICAL AREAS BOARD OF REVIEW REFERRAL LETTER**

Date: March 23, 2021

Applicant: Goldberg

Address: 1 Prior Ct, Palisades, NY

RE: Application Made at: same

Subject Referral for: Chapter 12 Section 12-4 Paragraph A requires HABR Approval

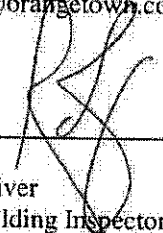
Section: 80.06 Block: 1 Lot: 7

Dear Goldberg:

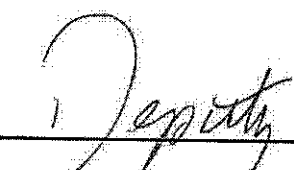
Please be advised that the Building Permit Application, which you submitted on March 23, 2021, has been referred to appear before the H.A.B.R. I have enclosed a copy of your application, where you will find at the bottom the reason for denial.

The Clerk to the Historical Areas Board of Review, Debbie Arbolino, can assist you in the preparation necessary to appear before the board. Please contact her at 845-359-8410 ext. 4331 or [darbolino@orangetown.com](mailto:darbolino@orangetown.com)

Sincerely,

  
Richard Oliver  
Deputy Building Inspector

  
Signature of Director  
NOTE: PLEASE KEEP FOR YOUR RECORDS  
12-31-18-CCC

  
Date  
CC: Rosanna Sfraga  
Liz Decori  
Debbie Arbolino

**PERMIT EXPIRES TWO (2) YEARS FROM DATE OF ISSUANCE.  
TWO SIX (6) MONTH EXTENSIONS MAY BE GRANTED PRIOR TO EXPIRATION DATE.  
APPLICATION FOR BUILDING / DEMOLITION PERMIT**

**TOWN OF ORANGETOWN**

20 Greenbush Road, Orangeburg, NY 10962 Phone: (845) 359-8410 Fax: (845) 359-8526

<b>ZONE:</b> _____	<b>OFFICIAL USE ONLY</b>	<b>ACREAGE:</b> _____
<b>Inspector:</b> _____	<b>Date App Received:</b> <u>3-23-2021</u>	<b>Received By:</b> <u>[Signature]</u>
<b>Permit No.</b> <u>51242</u>	<b>Date Issued:</b> _____	
<b>CO No.</b> _____	<b>Date Issued:</b> _____	
<b>Permit Fee:</b> <u>618.5</u>	<b>Ck#</b> <u>1107</u>	<b>Paid By</b> <u>Mandell/Goldberg</u>
<b>GIS Fee:</b> <u>20</u>	<b>Ck#</b> <u>1106</u>	<b>Paid By</b> _____
<b>Stream Maintenance Fee</b>	<b>Ck #</b> _____	<b>Paid By</b> _____
<b>Additional Fee:</b> _____	<b>Ck#</b> _____	<b>Date Paid</b> _____
<b>1<sup>st</sup> 6 mo. Ext.:</b> _____	<b>Ck #</b> _____	<b>Exp. Date:</b> _____
<b>2<sup>nd</sup> 6 mo. Ext.:</b> _____	<b>Ck #</b> _____	<b>Exp. Date:</b> _____

**APPLICANT COMPLETES:**

Note: See inside for instructions for completing this application.  
**PAGES 2, 3 and PAGE 4 must be reviewed and PAGES 3 & 4 must signed by the applicant.**

**Property Location:** 1 PRIOR COURT PALISADES, NY 10964

**Section:** 80.06 **Block:** 1 **Lot:** 7

**Property Owner:** RYAN GOLDBERG AND JENNIFER MANDELL GOLDBERG

**Mailing Address:** 1 Prior Court, Palisades, NY 10964

**Email:** rdgnyc@gmail.com and mandelljennifer@gmail.com **Phone #:** (917) 747-2242

**Lessee (Business Name):** \_\_\_\_\_

**Mailing Address:** \_\_\_\_\_

**Email:** \_\_\_\_\_ **Phone #:** \_\_\_\_\_

**Type of Business /Use:** SINGLE FAMILY RESIDENCE

**Contact Person:** CAITLIN BURCK **Relation to Project:** INT. DESIGNER

**Email:** CAITLINBURCK@MAC.COM **Phone#:** 845 222-7988

**Architect/Engineer:** ALLEN D. ROSS, AIA **NYS Lic #:** 026839

**Address:** 153 MAIN STREET, NEW PALTZ, NY 12561 **Phone#:** 845 255-0114

**Builder/General Contractor:** Fine Trimwork Inc. **RC Lic #:** H-12497

**Address:** 185 Washington Ave. Elmwood Park, NJ 07407 **Phone#:** 908 377-0489

**Plumber:** Moonlight Plumbing, LLC **RC Lic #:** 19210

**Address:** 21 South Park Ave. Nanuet, NY 10954 **Phone#:** 845 406-0074

**Electrician:** Bilco Electrical Contractors **RC Lic #:** 313

**Address:** 12 Sunrise Ave., New City, NY 10956 **Phone#:** 914 447-0257

**Heat/Cooling:** \_\_\_\_\_ **RC Lic#:** \_\_\_\_\_

**Address:** \_\_\_\_\_ **Phone#:** \_\_\_\_\_

**Existing use of structure or land:** SINGLE FAMILY RESIDENCE

**Proposed Project Description:** \_\_\_\_\_

REPLACEMENT OF WINDOWS AND WINDOW SASHES

**Proposed Square Footage:** \_\_\_\_\_ **Estimated Construction Value (\$):** \$27,000

**BUILDING DEPARTMENT COMPLETES BELOW**

**PLANS REVIEWED:** \_\_\_\_\_

**PERMIT REFERRED / DENIED FOR:**

Chapter 12, Section 12-4. Paragraph A requires HABR approval

FOR OFFICE USE ONLY SECTION BLOCK LOT NAME PERMIT #

**APPLICATION FOR BUILDING/DEMOLITION PERMIT**

**APPLICANT MUST COMPLETE OR APPLICATION WILL NOT BE ACCEPTED**

<b>ZONING BULK REQUIREMENTS</b>			
<b>Zone:</b> R-40	<b>Group:</b> E	<b>Use:</b> Single-Fam. Residential	
	<b>Required</b>	<b>Existing</b>	<b>Proposed</b>
<b>Floor area ratio</b>	0.15	0.11	0.11
<b>Lot area</b>	40,000 SF	33,896 SF	33,896 SF
<b>Lot width</b>	150'	167.17'	167.17'
<b>Street frontage</b>	100'	224.49'	224.49'
<b>Front yard setback</b>	50'	51.6'	51.6'
<b>Side yard setback</b>	30'	55.6'	55.6'
<b>Total side yard setback</b>	80'	106'	106'
<b>Rear yard setback</b>	50'	55.0'	55.0'
<b>Maximum building height</b>	20'	Approx. 23'	Approx. 23'

Number of stories: 2      Construction Type: 5B      Occupancy Class: R

Zoning Chart Information Completed by: Allen Ross Architecture, LLC

- Sewage: (circle one)    Town    County    Private
- How many kitchens on the property? One
- Are there any renters, tenants, lessees or boarders at this property? YES / NO
- Are there any other building permits on this property? YES / NO
- Is the property in a flood plain? YES / NO

**AFFIDAVIT**

State of New York)  
 County of Rockland) SS.:  
 Town / Village of \_\_\_\_\_)

I, X CAROL BUREK being duly sworn, deposes and says that he/she is the (circle one) owner, lessee, engineer, surveyor, architect, builder, or agent of the owner) in fee of the premises to which this application applies; that he/she (the applicant) is duly authorized to make this application and that the statements contained in the papers submitted herein are true to the best of his/her knowledge and belief, and that the work will be performed in the manner set forth in the application and in the plans and specifications filed therewith, and in accordance with the State Uniform Building Code and all other applicable laws, ordinances and regulations of the municipality. I also declare that the structure or area described in this application will not be occupied or used until I have obtained a Certificate of Occupancy or Certificate of Compliance.

**Signature and Mailing Address**

X Carol Burek  
 \_\_\_\_\_  
218 GATE ST  
 \_\_\_\_\_  
Piermont NY 10968  
 \_\_\_\_\_

SWORN to before me this 23 day of March, 2021

Witness: Alexa Raymond  
 (If not witnessed by Building Department personnel, Notary signature is required.) \_\_\_\_\_, Notary Public

<b>OFFICIAL USE ONLY:</b>	
Checked by: _____	Date: _____
Permit Granted for: _____	
_____	
_____	
_____	
Signature: _____	Date: _____
Director, OBZPAE	



# Historical Areas Board of Review(HABR)

Town of Orangetown Building Department  
20 Greenbush Road, Orangeburg, New York 10962

58-526-3.6-

PROPERTY ADDRESS: 1 PRIOR CT., PALISADES Section/Block/Lot: \_\_\_\_\_

1. Provide a narrative summary explaining the project and including any facts pertaining to this project which applicant feels would be of interest to the Board;
2. Architectural Plans;
3. It is preferable to the HABR if the Architect would appear at the meeting with the Applicant.
4. Please bring SAMPLES of building materials to the meeting.
5. Materials checklist: (please provide the brand name, type, style, model and color numbers):

	COLOR	MATERIAL	MANUFACTURER
Roof:	-		
Siding:	-		
Decorative Siding:	-		
Soffits & Fascia:	-		
Gutters & Leaders:	-		
Windows:	WHITE	EXT- VINYL CLAD	ANDERSON
Trim:	WHITE	PVC	AZEK
Shutters:	-		
Front Door:	-		
Back Door:	WHITE	EXT- VINYL CLAD	ANDERSON
Garage Door(s):	-		
Other Door(s):	WHITE	EXT- VINYL CLAD	ANDERSON
Lighting:	-		
Lighting:	-		
Stone or Rock being used on Structure:	-		
Stone or Rock being used on walkway(s):	-		
Other:	-		

# GOLDBERG RESIDENCE RENOVATIONS



## NOTES

### GENERAL NOTES:

- SCOPE OF WORK: INTERIOR RENOVATIONS TO RESIDENCE AT 1 PRIOR COURT, PALISADES, NY. IT IS THE INTENT THAT THE WORK INCLUDED SHALL COVER THE MANUFACTURE, FABRICATION, DELIVERY, INSTALLATION AND/OR ERECTION, WITH ALL INCIDENTALS THERE TO, AS SHOWN ON THE DOCUMENTS, AS SPECIFIED HEREIN, AND AS REQUIRED BY JOB CONDITIONS.

### DEMOLITION NOTES:

- CONTRACTOR SHALL PERFORM ALL OPERATIONS OF DEMOLITION AND REMOVAL INDICATED ON THE DRAWINGS AND AS MAY BE REQUIRED BY THE WORK. ALL WORK SHALL BE DONE CAREFULLY AND NEATLY, IN A SYSTEMATIC MANNER. NO STRUCTURAL ELEMENTS SHALL BE REMOVED UNTIL PORTIONS AFFECTED ARE ADEQUATELY SUPPORTED BY EITHER TEMPORARY SHORING OR NEW STRUCTURAL ELEMENTS AS REQUIRED TO PROTECT THE STABILITY AND INTEGRITY OF THE SITE AND WORK. THE DESIGN OF THE TEMPORARY SHORING IS THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL ADJOINING PROPERTY AFFECTED BY ANY OPERATIONS OF DEMOLITION SHALL BE PROTECTED PER THE REQUIREMENTS OF THE LOCAL AUTHORITIES.
- THE CONTRACTOR SHALL PROVIDE, ERECT, AND MAINTAIN ALL TEMPORARY BARRIER AND GUARDS, AND ALL TEMPORARY SHORING AND BRACING AS REQUIRED BY ALL REGULATING AUTHORITIES.
- THE CONTRACTOR SHALL FILE ALL NECESSARY CERTIFICATES OF INSURANCE, OBTAIN ALL REQUIRED PERMITS, AND PAY ALL FEES, AND PROVIDE ANY AND ALL BONDS REQUIRED BY THE STATE OF NEW YORK, COUNTY OF ROCKLAND, AND TOWN OF ORANGETOWN IN ORDER TO DO THE WORK HEREIN DESCRIBED.

## PROJECT DIRECTORY

### OWNER:

RYAN GOLDBERG AND JENNIFER MANDELL GOLDBERG  
1 PRIOR CT,  
PALISADES, NY 10964

### ARCHITECT:

ALLEN ROSS ARCHITECTURE, LLC  
153 MAIN STREET  
NEW PALTZ, NY 12561  
845.255.0114

2 GREENWICH OFFICE PARK  
SUITE 300  
GREENWICH, CT 06831  
aross@allenrossarchitecture.com

### INTERIOR DESIGNER:

CAITLIN BURCK  
218 GARR STREET,  
PIERMONT, NY 10968  
845.222.7999

## DRAWING LIST

### GENERAL:

T-001 COVER SHEET & GENERAL NOTES

### ARCHITECTURAL:

A-100 CRAWL SPACE PLAN  
A-101 FIRST FLOOR PLAN  
A-102 SECOND FLOOR PLAN

### STRUCTURAL:

S-100 FIRST FLOOR & CRAWL SPACE FRAMING PLAN  
S-101 SECOND FLOOR FRAMING PLAN

## DRAWING SYMBOLS

	ELEVATION LEVEL
	START POINT
	BUILDING SECTION / ELEVATION REFERENCE
	DETAIL REFERENCE
	DETAIL REFERENCE
	INTERIOR ELEVATION REFERENCE
	WINDOW NUMBER
	DOOR NUMBER
	ROOM NUMBER
	MILLWORK NUMBER
	PLUMBING NUMBER

## ABBREVIATIONS

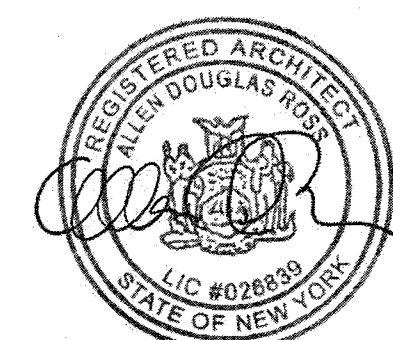
A.B.	ANCHOR BOLT	INSUL.	INSULATION
ACC.	ACCESSIBLE	INT.	INTERIOR
ACT.	ACOUSTIC CEILING TILE	MAX.	MAXIMUM
ADD1.	ADDITIONAL	M.D.O.	MEDIUM DENSITY OVERLAY PLYWOOD
ADJ.	ADJACENT	MIN.	MINIMUM
A.E.D.	AUTOMATED EXTERNAL DEFIBRILLATOR	N.A.	NOT PART OF WORK
A.F.F.	ABOVE FINISH FLOOR	N.I.C.	NOT IN CONTRACT
APPROX.	APPROXIMATE	N.T.S.	NOT TO SCALE
ARCH.	ARCHITECT	O/V.	OVER
A.S.F.	ABOVE SUB FLOOR	O.C.	ON CENTER
B.	BOTTOM	OPNG.	OPENING
B.D.	BOARD	OPP.	OPPOSITE
BET.	BETWEEN	PLYWD.	PLYWOOD
BIT.	BITUMINOUS	PNL.	PANEL
B.O.	BOTTOM OF	P.T.	PRESERVATIVE PRESSURE TREATED
CANT.	CANTILEVERED	PTD.	PAINTED
CL.	CLOSET	RECEPT.	RECEPTACLE
C.	CENTERLINE	REIN.	REINFORCED
CLG.	CEILING	REQ.	REQUIRED
COL.	COLUMN	RM.	ROOM
CONC.	CONCRETE	R.O.	ROUGH OPENING
CONT.	CONTINUOUS	R.T.U.	ROUGH TOP UNIT
DEMO.	DEMOLISH	SCRN.	SCREEN
DIA.	DIAMETER	S.F.	SQUARE FEET
DR.	DOOR	SIM.	SIMILAR
DS.	DOWNSPOUT	SLP.	SLOPE
DWG.	DRAWING	SQ.	SQUARE
EL.	ELEVATION	S.S.	STAINLESS STEEL
ELEC.	ELECTRICAL	ST.	STONE
ELEV.	ELEVATION	STD.	STANDARD
ELEVIS.	ELEVATIONS	STL.	STEEL
E.O.	EDGE OF	STRUC.	STRUCTURAL
EQ.	EQUAL	SUBFLR.	SUB FLOOR
EQUIP.	EQUIPMENT	T.	TOP
E.T.R.	EXISTING TO REMAIN	T&B.	TOP AND BOTTOM
EXT.	EXTERIOR	T.B.D.	TO BE DECIDED
EXTG.	EXISTING	T.&G.	TONGUE AND GROOVE
F.A.I.	FRESH AIR INTAKE	THK.	THICK
F.F.	FINISH FLOOR	T.O.	TOP OF
FIN.	FINISH	T.R.M.	TOILET ROOM
FLR.	FLOOR	TYP.	TYPICAL
F.M.F.M.	FACE OF MASONRY TO FACE OF MASONRY	UNL.	UNIVERSAL
F.O.	FACE OF	UN/O.	UNLESS NOTED OTHERWISE
FOUND.	FOUNDATION	V.I.F.	VERIFY IN FIELD
F.R.	FIBER REINFORCED	VERT.	VERTICAL
FTG.	FOOTING	W.C.	WATER CLOSET
GALV.	GALVANIZED	W/.	WITH
G.S.	GIPSUM BOARD	WIND.	WINDOW
HORIZ.	HORIZONTAL	WD.	WOOD
		W.W.F.	WELDED WIRE FABRIC

03/22/2021 PERMITTING - R2  
03/11/2021 PERMITTING - R1

ALLEN ROSS ARCHITECTURE  
GREENWICH, CT 203.832.3534  
NEW PALTZ, NY AllenRossArchitecture.com 845.255.0114






**GOLDBERG  
RESIDENCE**  
1 PRIOR CT  
PALISADES, NY

**COVER SHEET  
GENERAL NOTES**

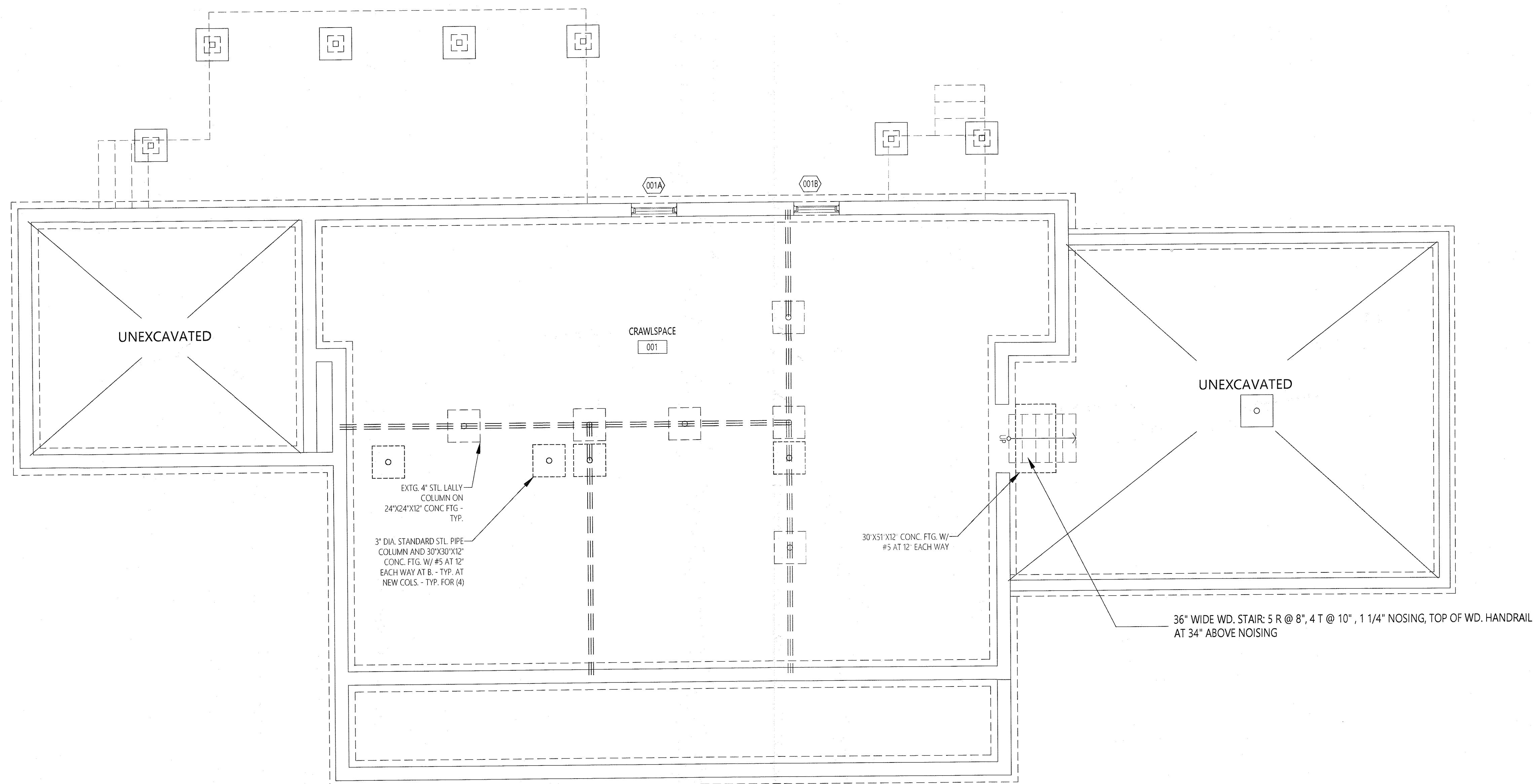


PROJECT NO.  
184  
GOL

**T-001**

- LEGEND:
-  EXISTING WALL
  -  NEW WALL
  -  WALL ABOVE
  -  EXISTING COLUMN W/ FOOTING
  -  NEW COLUMN W/ FOOTING

NOTES:  
 1. ALL INTERIOR DOORS TO BE 1-3/4" THICK, TYP.



03/22/2021 PERMITTING - R2  
 03/11/2021 PERMITTING - R1

ALLEN ROSS ARCHITECTURE  
 GREENWICH, CT 203.832.3534  
 NEW PALTZ, NY allenrossarchitecture.com 845.255.0114

**GOLDBERG RESIDENCE**  
 1 PRIOR CT  
 PALISADES, NY

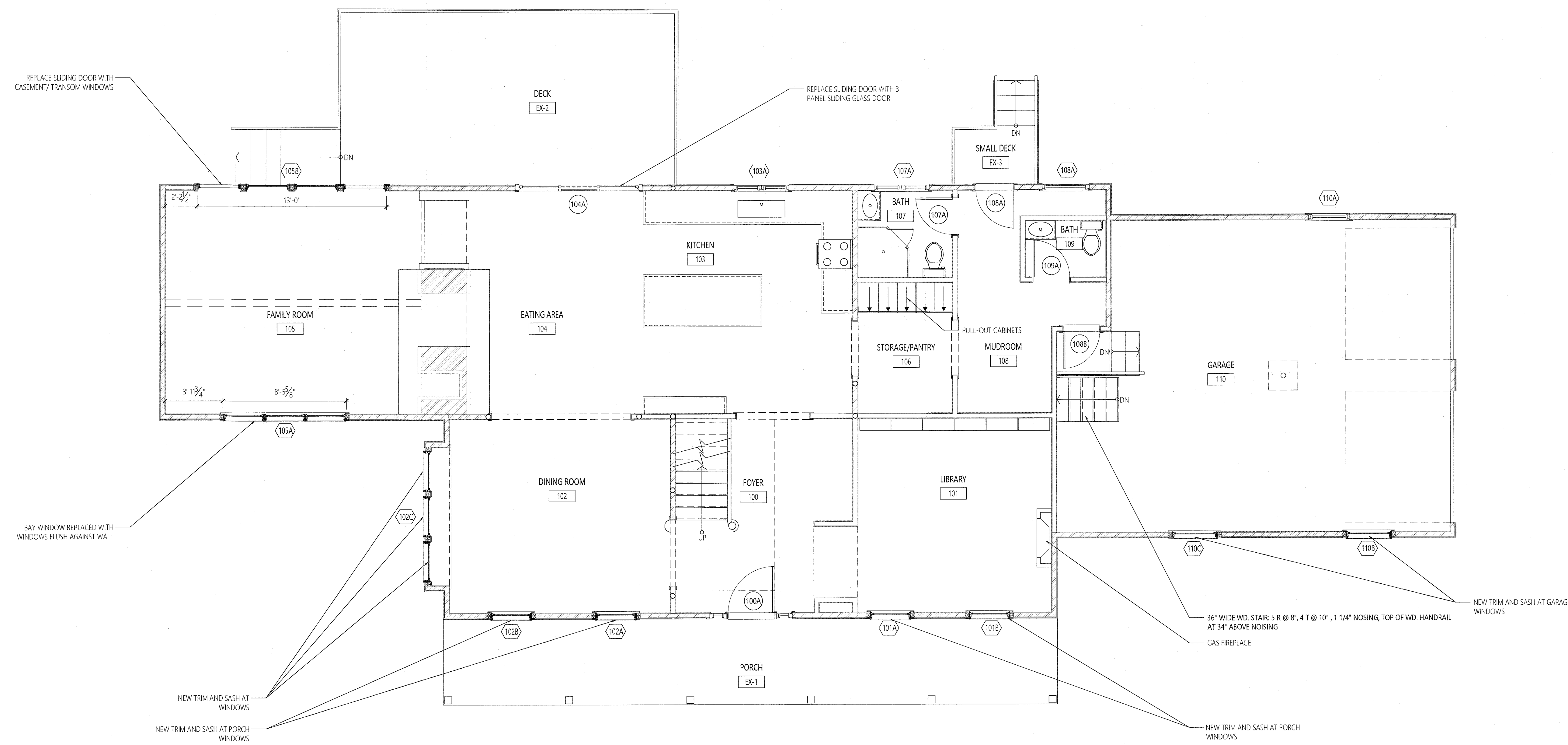
**CRAWL SPACE PLAN**

1 CRAWL SPACE PLAN  
 SCALE: 1/4" = 1'-0"

This block contains the professional seals for Allen Douglas Ross, a Registered Architect in the State of New York (Lic #026839), and a circular seal for the State of New York. To the right of the seals is the project information: PROJECT NO. 184 GOL, and a large graphic 'A-100'.

**LEGEND:**  
 - - - - - EXISTING WALL  
 = = = = = NEW WALL  
 - - - - - WALL ABOVE

**NOTES:**  
 1. ALL INTERIOR DOORS TO BE 1-3/4" THICK, TYP.  
 2. ALL DIMENSIONS MEASURED TO R.O.



03/22/2021 PERMITTING - R2  
 03/11/2021 PERMITTING - R1

ALLEN ROSS ARCHITECTURE  
 GREENWICH, CT 203.832.3534  
 NEW PALTZ, NY [AllenRossArchitecture.com](http://AllenRossArchitecture.com) 845.255.0114

**GOLDBERG RESIDENCE**  
 1 PRIOR CT  
 PALISADES, NY

**FIRST FLOOR PLAN**

1 FIRST FLOOR PLAN  
 SCALE: 1/4" = 1'-0"

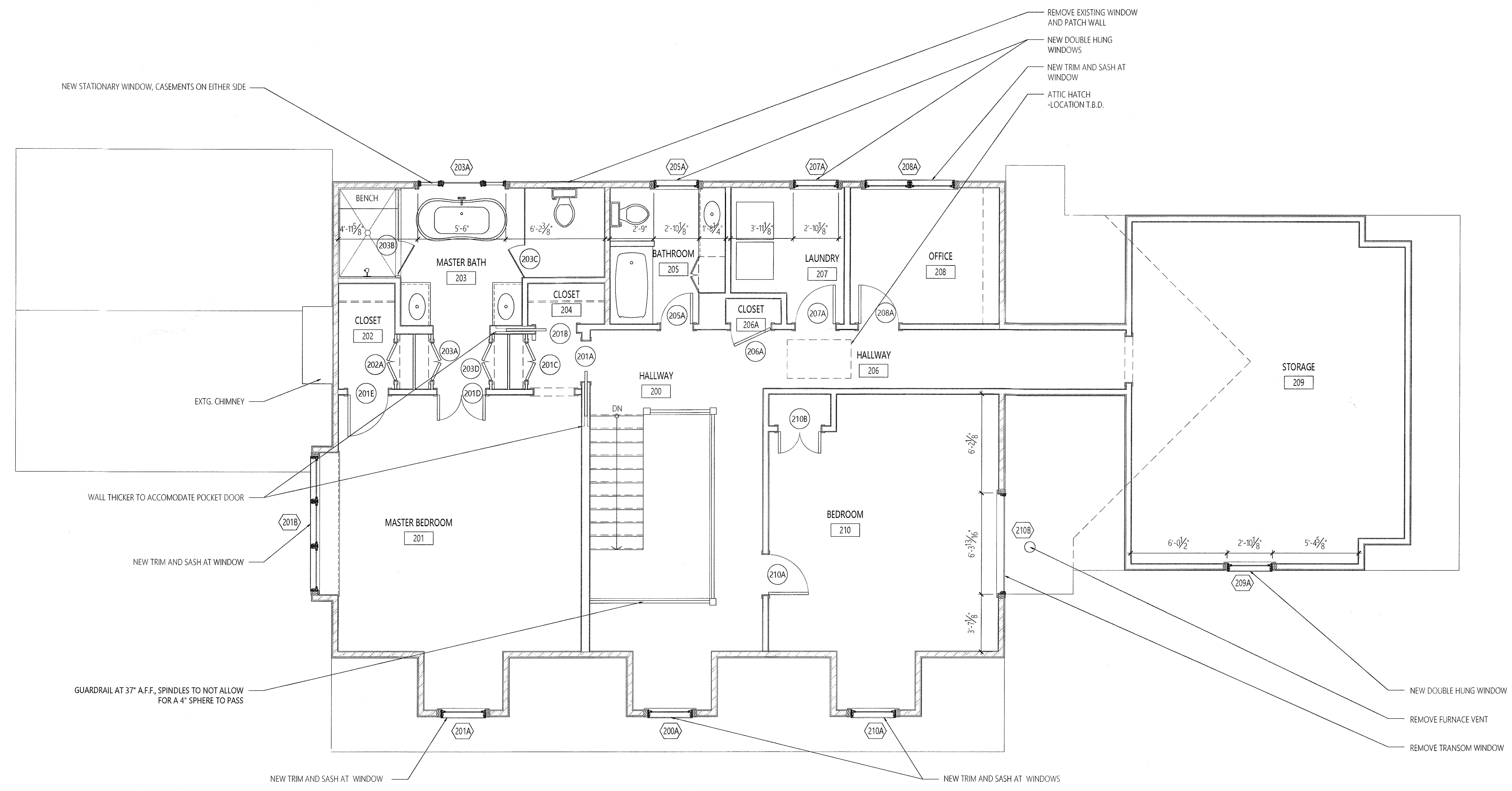
REGISTERED ARCHITECT  
 ALLEN DOUGLAS ROSS  
 L.I.C. #026836  
 STATE OF NEW YORK

PROJECT NO. 184 GOL

**A-101**

LEGEND:  
 [Hatched Line] EXISTING WALL  
 [Solid Line] NEW WALL  
 [Dashed Line] WALL ABOVE

NOTES:  
 1. ALL INTERIOR DOORS TO BE 1-3/4" THICK, TYP.



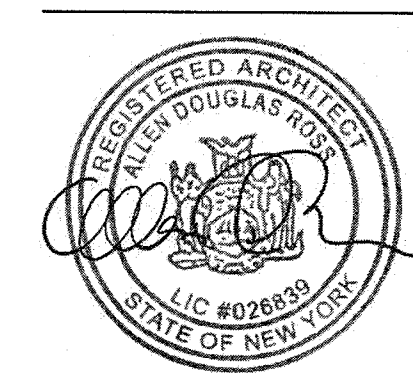
03/22/2021 PERMITTING - R2  
 03/11/2021 PERMITTING - R1

ALLEN ROSS ARCHITECTURE  
 GREENWICH, CT 203.832.3534  
 NEW PALTZ, NY AllenRossArchitecture.com 845.255.0114

**GOLDBERG RESIDENCE**  
 1 PRIOR CT  
 PALISADES, NY

**SECOND FLOOR PLAN**

1 SECOND FLOOR PLAN  
 SCALE: 1/4" = 1'-0"



PROJECT NO.  
 184  
 GOL  
**A-102**

NOTES:  
 1. WINDOWS 101A, 101B, 102A, 102B, 110B AND 110C HAVE A NEW SASH



1 WEST ELEVATION  
 SCALE: 1/4" = 1'-0"



2 SOUTH ELEVATION  
 SCALE: 1/4" = 1'-0"

03/22/2021 PERMITTING - R2  
 03/11/2021 PERMITTING - R1

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**GOLDBERG RESIDENCE**  
 1 PRIOR CT  
 PALISADES, NY

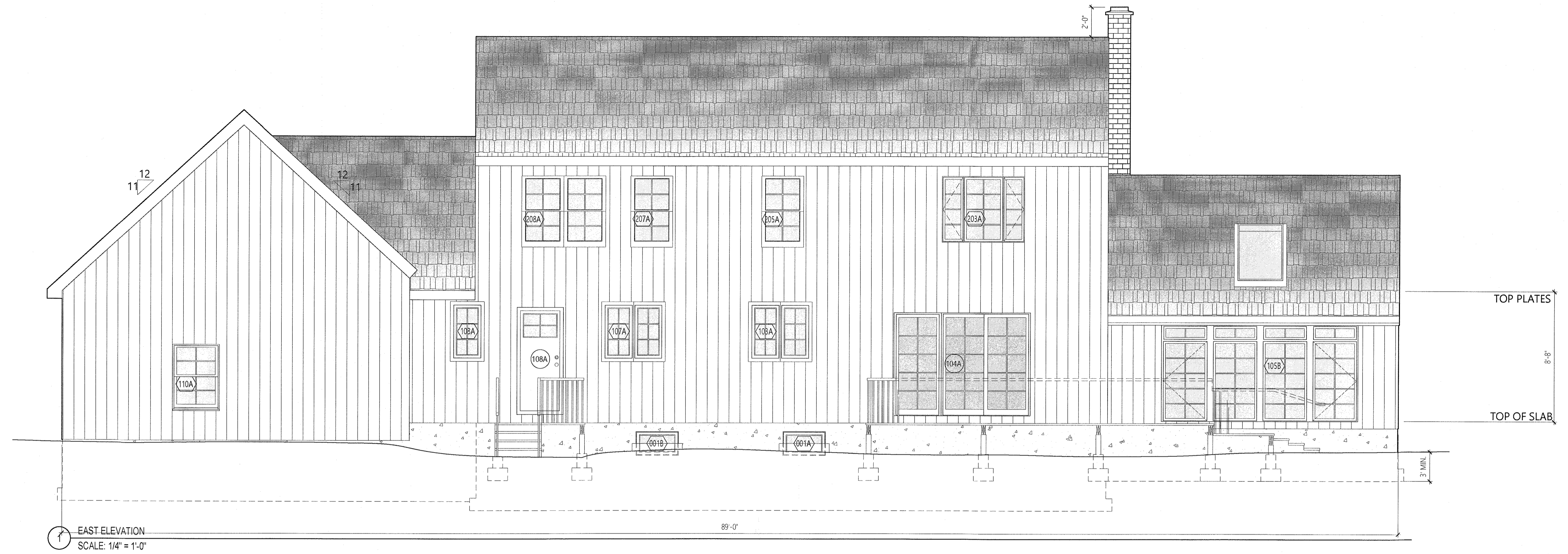
ELEVATIONS  
 EXISTING CONDITIONS

REGISTERED ARCHITECT  
 ALLEN DOUGLAS ROSS  
 LIC #026839  
 STATE OF NEW YORK

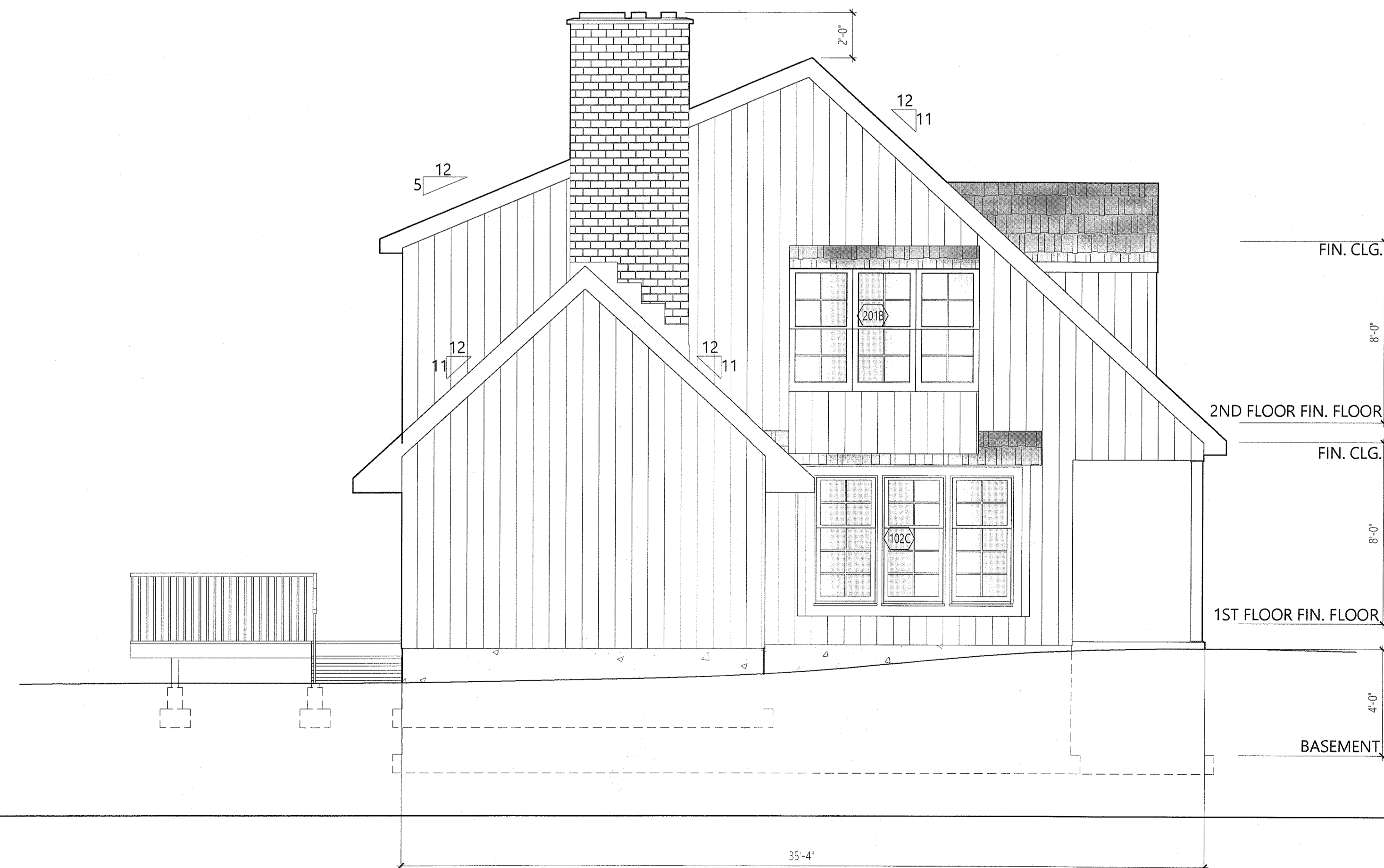
PROJECT NO.  
 184  
 GOL

**A-200**

NOTES:  
 1. WINDOWS 102C, 201B, AND 208A HAVE A NEW SASH



1 EAST ELEVATION  
 SCALE: 1/4" = 1'-0"



2 NORTH ELEVATION  
 SCALE: 1/4" = 1'-0"

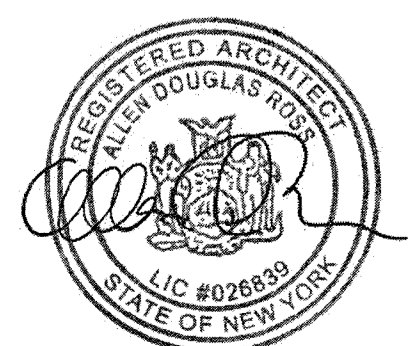
03/22/2021	PERMITTING - R2
03/11/2021	PERMITTING - R1

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**GOLDBERG RESIDENCE**

1 PRIOR CT  
 PALISADES, NY

ELEVATIONS  
 EXISTING CONDITIONS



PROJECT NO.  
 184  
 GOL  
**A-201**

STRUCTURAL LEGEND:

○ COLUMN BELOW

○ COLUMN ABOVE

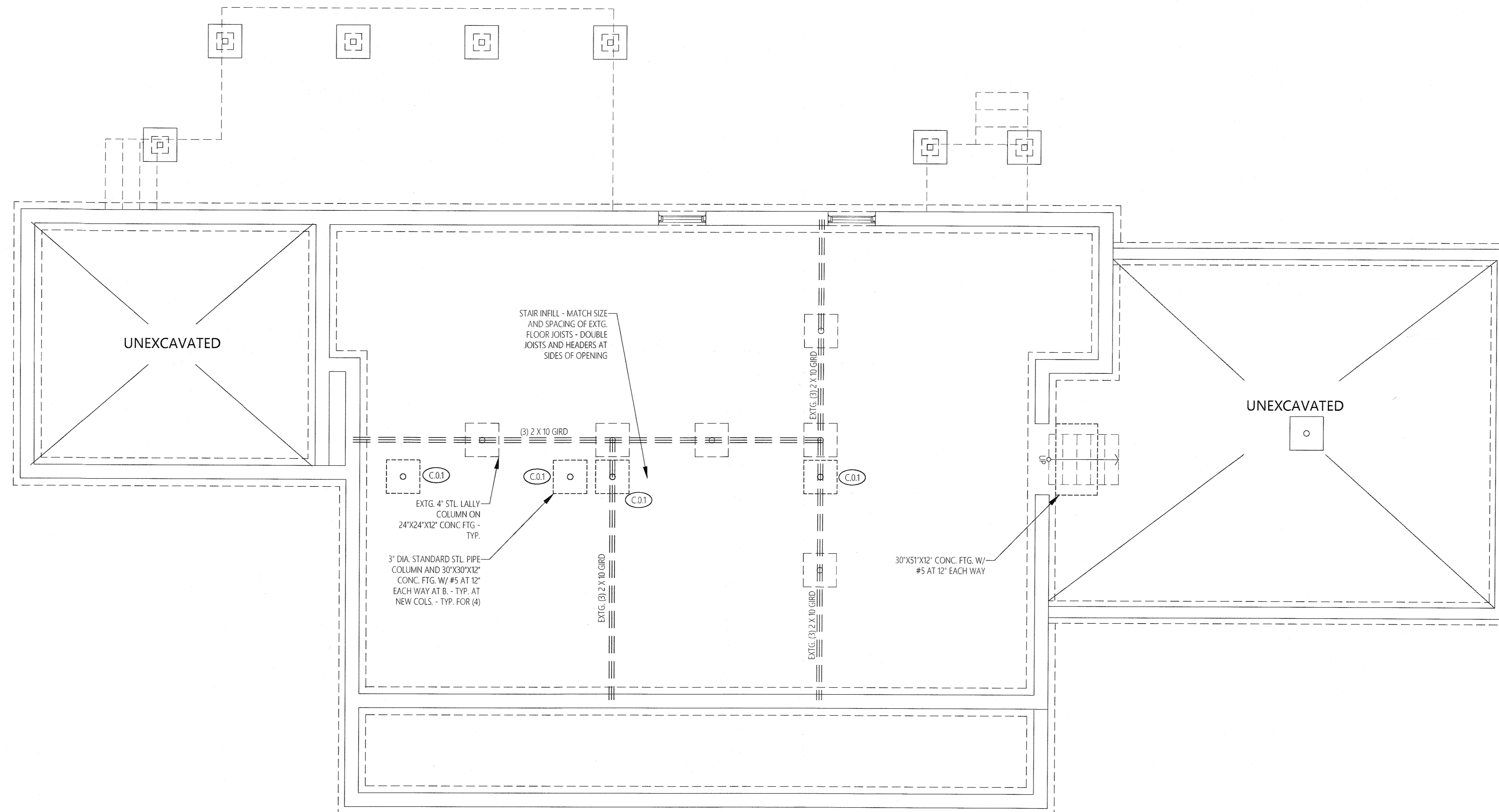
STRUCTURAL NOTES:

1. MAINTAIN MIN. 2" CLEARANCE BETWEEN ALL WD. FRAMING & FIREPLACE/ CHIMNEY MASONRY

BEAM/HEADER SCHEDULE:

COLUMN SCHEDULE:

C.01 3" Ø STEEL PIPE



03/22/2021 PERMITTING - R2  
03/11/2021 PERMITTING - R1

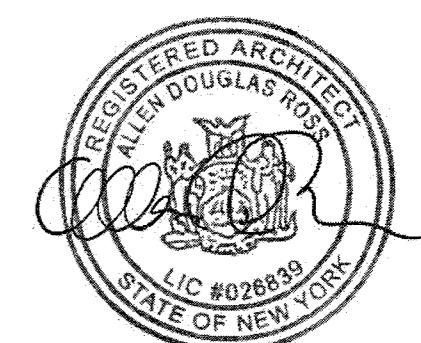
ALLEN ROSS ARCHITECTURE  
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# GOLDBERG RESIDENCE

1 PRIOR CT  
PALISADES, NY

## FIRST FLOOR & CRAWL SPACE FRAMING PLAN

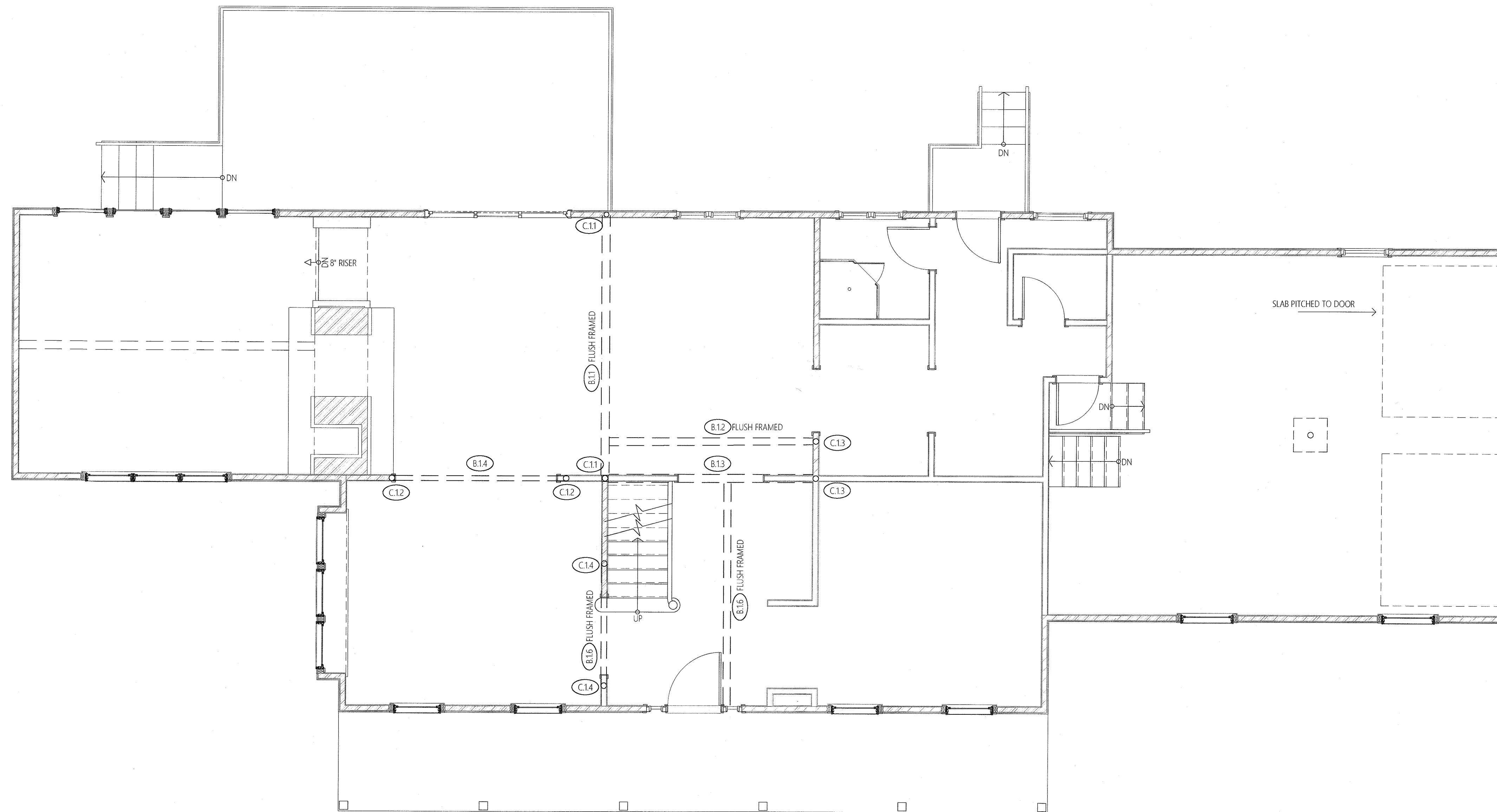
1 CRAWL SPACE AND FIRST FLOOR FRAMING PLAN SHOWN ON THE CRAWL SPACE PLAN  
SCALE: 1/4" = 1'-0"



PROJECT NO.  
184  
GOL

# S-100





**STRUCTURAL LEGEND:**

- COLUMN BELOW
- COLUMN ABOVE

**STRUCTURAL NOTES:**

1 MAINTAIN MIN. 2" CLEARANCE BETWEEN ALL WD. FRAMING & FIREPLACE/CHIMNEY MASONRY

**BEAM/HEADER SCHEDULE:**

- B.11 (3) 1 3/4" x 9 1/4" LVL'S W/ (2) 3/8" x 9" STEEL FLITCH PLATES - FLUSH FRAMED
- B.12 (3) 1 3/4" x 9 1/4" LVL'S W/ (2) 3/8" x 9" STEEL FLITCH PLATES - FLUSH FRAMED
- B.13 (2) 1 3/4" x 9 1/4" LVL'S W/ (1) 3/8" x 9" STEEL FLITCH PLATE - FRAMED LOW
- B.14 (2) 1 3/4" x 9 1/4" LVL'S W/ (1) 3/8" x 9" STEEL FLITCH PLATE - FRAMED LOW
- B.15 (2) 1 3/4" x 9 1/4" LVL'S W/ (1) 3/8" x 9" STEEL FLITCH PLATE - FLUSH FRAMED
- B.16 (2) 1 3/4" x 9 1/4" LVL'S W/ (1) 3/8" x 9" STEEL FLITCH PLATE - FRAMED LOW

**COLUMN SCHEDULE:**

- C.11 3-1/2" X 3-1/2" PSL
- C.12 3-1/2" X 3-1/2" PSL
- C.13 3-1/2" X 3-1/2" PSL
- C.14 3-1/2" X 3-1/2" PSL

03/22/2021 PERMITTING - R2  
03/11/2021 PERMITTING - R1

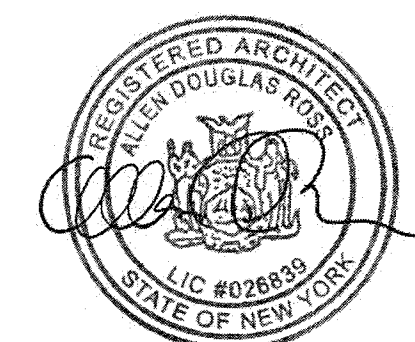
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NEW PALTZ, NY AllenRossArchitecture.com 845.255.0114

**GOLDBERG RESIDENCE**

1 PRIOR CT  
PALISADES, NY

**SECOND FLOOR FRAMING PLAN**

1 SECOND FLOOR FRAMING SHOWN ON FIRST FLOOR PLAN  
SCALE: 1/4" = 1'-0"



PROJECT NO.  
**184 GOL**  
**S-101**