

Name of Municipality: TOWN OF ORANGETOWN Date Submitted: 2/5/20

2020 LAND USE BOARD APPLICATION

Please check all that apply:

☐ Commercial

☒ Residential

☐ Planning Board

☒ Zoning Board of Appeals

☐ Subdivision

☐ Number of Lots

☐ Site Plan

☐ Conditional Use

☐ Special Permit

☒ Variance

☐ Performance Standards Review

☐ Use Variance

☐ Other (specify):

☐ Historical Board

☐ Architectural Board

☐ Consultation

☐ Pre-Preliminary/Sketch

☐ Preliminary

☐ Final

☐ Interpretation

PERMIT#: 49733

ASSIGNED

INSPECTOR: Dom

Referred from Planning Board: YES / ☒ NO

If yes provide date of Planning Board meeting:

Project Name: Deis Residence

Street Address: 4 Villa Road, Pearl River, New York 10965

Tax Map Designation:
Section: 69.10 Block: 1 Lot(s): 58
Section: Block: Lot(s):

Directional Location:
On the East side of Villa Road, approximately 75 feet South of the intersection of Casazza Place, in the Town of ORANGETOWN in the hamlet/village of Pearl River.

Acreage of Parcel 0.26

School District Pearl River Union Free

Ambulance District Pearl River

Water District Suez

Zoning District R-15 - Group M

Postal District Pearl River

Fire District Pearl River

Sewer District Orangetown

Project Description: (If additional space required, please attach a narrative summary.)
Existing 1-Story Structure Renovation With a New 2nd Floor Addition. New Front Covered Porch And a New 1-Car Garage Addition Attached on the Side.

The undersigned agrees to an extension of the statutory time limit for scheduling a public hearing.
Date: 2/5/20 Applicant's Signature: [Signature]

APPLICATION REVIEW FORM

Applicant: Ryan & Kerri Deis Phone # 845-323-3680
Address: 4 Villa Road Pearl River New York 10965
Street Name & Number (Post Office) City State Zip Code

Property Owner: Ryan & Kerri Deis Phone # 845-323-3680
Address: 4 Villa Road Pearl River New York 10965
Street Name & Number (Post Office) City State Zip Code

Engineer/Architect/Surveyor: Roberto Palmerini, R.A. Phone # 845-267-8479
Address: 181 Old Tappan Road Tappan New York 10983
Street Name & Number (Post Office) City State Zip Code

Attorney: N/A Phone #
Address:
Street Name & Number (Post Office) City State Zip Code

Contact Person: Ryan & Kerri Deis Phone # 845-323-3680
Address: 4 Villa Road Pearl River NY 10965
Street Name & Number (Post Office) City State Zip Code

GENERAL MUNICIPAL LAW REVIEW:
This property is within 500 feet of:
(Check all that apply)

IF ANY ITEM IS CHECKED, A REVIEW MUST BE DONE BY THE ROCKLAND COUNTY COMMISSIONER OF PLANNING UNDER THE STATE GENERAL MUNICIPAL LAW, SECTIONS 239 L, M, N, AND NN.

- ☐ State or County Road
- ☐ Long Path
- ☐ Municipal Boundary
- ☐ State or County Park
- ☐ County Stream
- ☐ County Facility

List name(s) of facility checked above:

- Referral Agencies:
- ☐ RC Highway Department
- ☐ RC Drainage Agency
- ☐ NYS Dept. of Transportation
- ☐ NYS Thruway Authority
- ☐ Adjacent Municipality
- ☐ Other
- ☐ RC Division of Environmental Resources
- ☐ RC Dept. of Health
- ☐ NYS Dept. of Environmental Conservation
- ☐ Palisades Interstate Park Commission

APPLICATION REVIEW FORM

FILL IN WHERE APPLICABLE.

(IF THE FOLLOWING DOES NOT APPLY PLEASE MOVE ON TO THE NEXT PAGE)

If subdivision:

- 1) Is any variance from the subdivision regulations required? N/A
- 2) Is any open space being offered? ____ If so, what amount? ____
- 3) Is this a standard or average density subdivision? ____

If site plan:

- 1) Existing square footage N/A
- 2) Total square footage ____
- 3) Number of dwelling units ____

If special permit, list special permit use and what the property will be used for.

N/A

Environmental Constraints:

Are there slopes greater than 25%? If yes, please indicate the amount and show the gross and net area No

Are there streams on the site? If yes, please provide the names. No

Are there wetlands on the site? If yes, please provide the names and type:

No

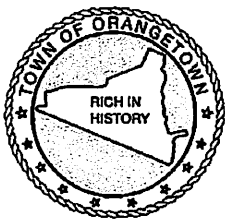
Project History:

Has this project ever been reviewed before? No

If so, provide a narrative, including the list case number, name, date, and the board(s) you appeared before, and the status of any previous approvals.

List tax map section, block & lot numbers for all other abutting properties in the same ownership as this project.

N/A



OFFICE OF BUILDING, ZONING, PLANNING,
ADMINISTRATION AND ENFORCEMENT
TOWN OF ORANGETOWN

20 Greenbush Road
Orangeburg, N.Y. 10962

Jane Slavin, R.A.
Director

(845)359-8410

Fax: (845) 359-8526

DENIAL TO ZONING BOARD OF APPEALS

Date: January 31, 2020

Applicant: Deis

Address: 4 Villa Road, Pearl River, NY

RE: Application Made at: same

Chapter 43, Table 3.12, Column 1 - R-15 District, Column 2 - Group M, Column 3 - SFR, Column 5- Minimum lot area- required 15,000 sq. ft. with 11,325 sq. ft. existing and proposed; Column 6 - Minimum lot width- required 100 ft- with 75' existing and proposed; section 5.21 undersized lot applies - Required Front Yrd 30' w/28 feet existing and 22' proposed; Required side yard 15' w/15.8' existing and 11.2' proposed; Required Total Side Yard 30' w/39' existing and 27' proposed; Maximum Building Height 20' permitted w/16' existing and 25'-3" proposed; Maximum Floor Area .20 w/.15 existing and .25 proposed.

5 Variances required

Section: 69.10

Block: 1

Lot: 58

Dear Deis:

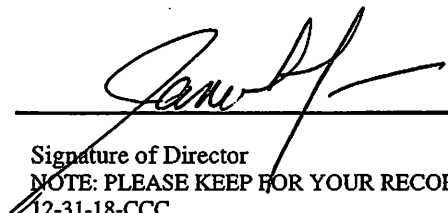
Please be advised that the Building Permit Application, which you submitted on

January 17, 2020, has been denied. I have enclosed a Xerox copy of your application, where you will find at the bottom the reason for denial.

In Accordance with Zoning, Chapter 43 Section 10.322 the time to appeal a determination of a Building Inspector or Similar administrative office is thirty (30) days from the filing of such a determination with the Town Clerk.

The Clerk to the Zoning Board of Appeals, Debbie Arbolino, will assist you in the preparation necessary to appear before the board.

Sincerely,



Signature of Director

NOTE: PLEASE KEEP FOR YOUR RECORDS
12-31-18-CCC

1/31/2020

Date

CC: Rosanna Sfraga
Liz Decort
Debbie Arbolino

PERMIT EXPIRES TWO (2) YEARS FROM DATE OF ISSUANCE.
TWO SIX (6) MONTH EXTENSIONS MAY BE GRANTED PRIOR TO EXPIRATION DATE.
APPLICATION FOR BUILDING / DEMOLITION PERMIT
TOWN OF ORANGETOWN

20 Greenbush Road, Orangeburg, NY 10962

Phone: (845) 359-8410 Fax: (845) 359-8526

ZONE: R-15 OFFICIAL USE ONLY ACREAGE: _____
Inspector: DOM Date App Received: 1-17-2020 Received By: [Signature]
Permit No. 49733 Date Issued: _____
CO No. _____ Date Issued: _____
Permit Fee: \$2,832.1 Ck# 253 Paid By Deis
GIS Fee: \$20.1 Ck# 254 Paid By Deis
Stream Maintenance Fee Ck # _____ Paid By _____
Additional Fee: _____ Ck# _____ Date Paid _____ Paid By _____
1st 6 mo. Ext.: _____ Ck # _____ Exp. Date: _____ Paid By _____
2nd 6 mo. Ext.: _____ Ck # _____ Exp. Date: _____ Paid By _____

APPLICANT COMPLETES:

Note: See inside for instructions for completing this application,
PAGES 2, 3 and PAGE 4 must be reviewed and PAGES 3 & 4 must signed by the applicant.

Property Location: 4 VILLA ROAD, PEARL RIVER, N.Y. 10965

Section: 69.10 Block: 1 Lot: 58

Property Owner: KERRI & RYAN DEIS

Mailing Address: 4 VILLA ROAD, PEARL RIVER, N.Y. 10965

Email: krdeis19@gmail.com Phone #: 845-323-3680

Lessee (Business Name): _____

Mailing Address: _____

Email: _____ Phone #: _____

Type of Business /Use: SINGLE FAMILY RESIDENTIAL

Contact Person: Ryan &/or Kerri Deis

Relation to Project: Owners

Email: krdeis19@gmail.com

Phone#: 845-323-3680

Architect/Engineer: ROBERTO PALMERINI, R.A.

NYS Lic # 028285-1

Address: 181 OLD TAPPAN ROAD, TAPPAN, N.Y. 10983

Phone#: 845-267-8479

Builder/General Contractor: TBD

RC Lic # _____

Address: _____

Phone#: _____

Plumber: TBD

RC Lic # _____

Address: _____

Phone#: _____

Electrician: _____

RC Lic #: _____

Address: _____

Phone#: _____

Heat/Cooling: _____

RC Lic#: _____

Address: _____

Phone#: _____

Existing use of structure or land: SINGLE FAMILY RESIDENTIAL

Proposed Project Description: EXISTING 1-STORY STRUCTURE RENOVATION WITH A 2ND FLOOR ADDITION. NEW FRONT COVERED PORCH AND 1-CAR GARAGE ADDITION.

(EXISTING 1,553 SQ.FT., PROPOSED 1,289 SQ.FT. ADDITIONAL:INCLUDES NEW GARAGE & FRONT PORCH)

Proposed Square Footage: 2,842 SQ.FT. TOTAL Estimated Construction Value (\$): \$150,000

BUILDING DEPARTMENT COMPLETES BELOW

PLANS REVIEWED: _____

PERMIT REFERRED / DENIED FOR: _____

Chapter 43, Table 3.12, Column 1 - R-15 District, Column 2 - Group M, Column 3 - SFR, Column 5- Minimum lot area- required 15,000 sq. ft. with 11,325 sq. ft. existing and proposed; Column 6 - Minimum lot width- required 100 ft- with 75' existing and proposed; section 5.21 undersized lot applies - Required Front Yrd 30' w/28 feet existing and 22' proposed; Required side yard 15' w/15.8' existing and 11.2' proposed; Required Total Side Yard 30' w/39' existing and 27' proposed; Maximum Building Height 20' permitted w/16' existing and 25'-3" proposed; Maximum Floor Area .20 w/.15 existing and .25 proposed.

5 Variances required

FOR OFFICE
USE ONLY

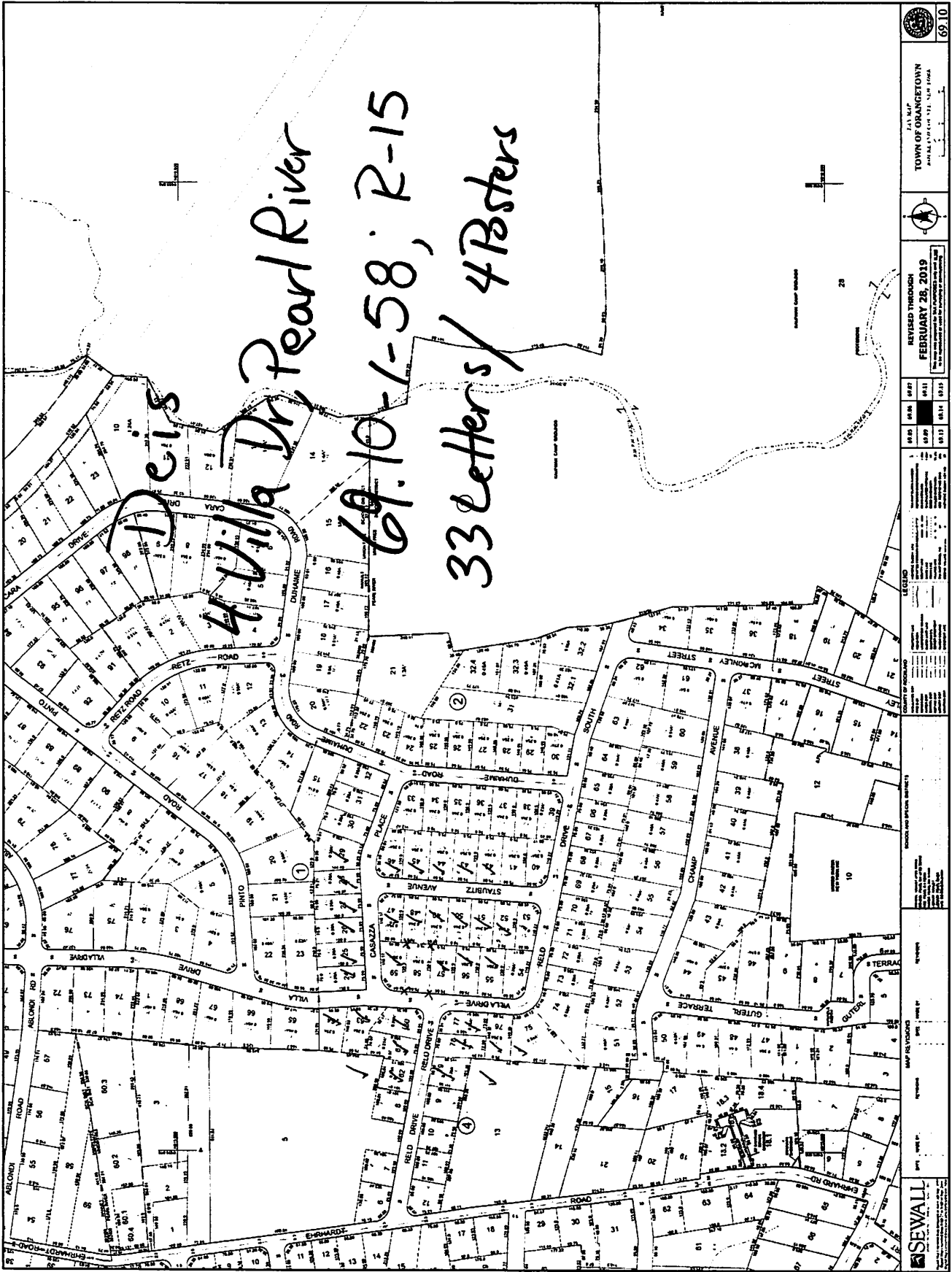
SECTION

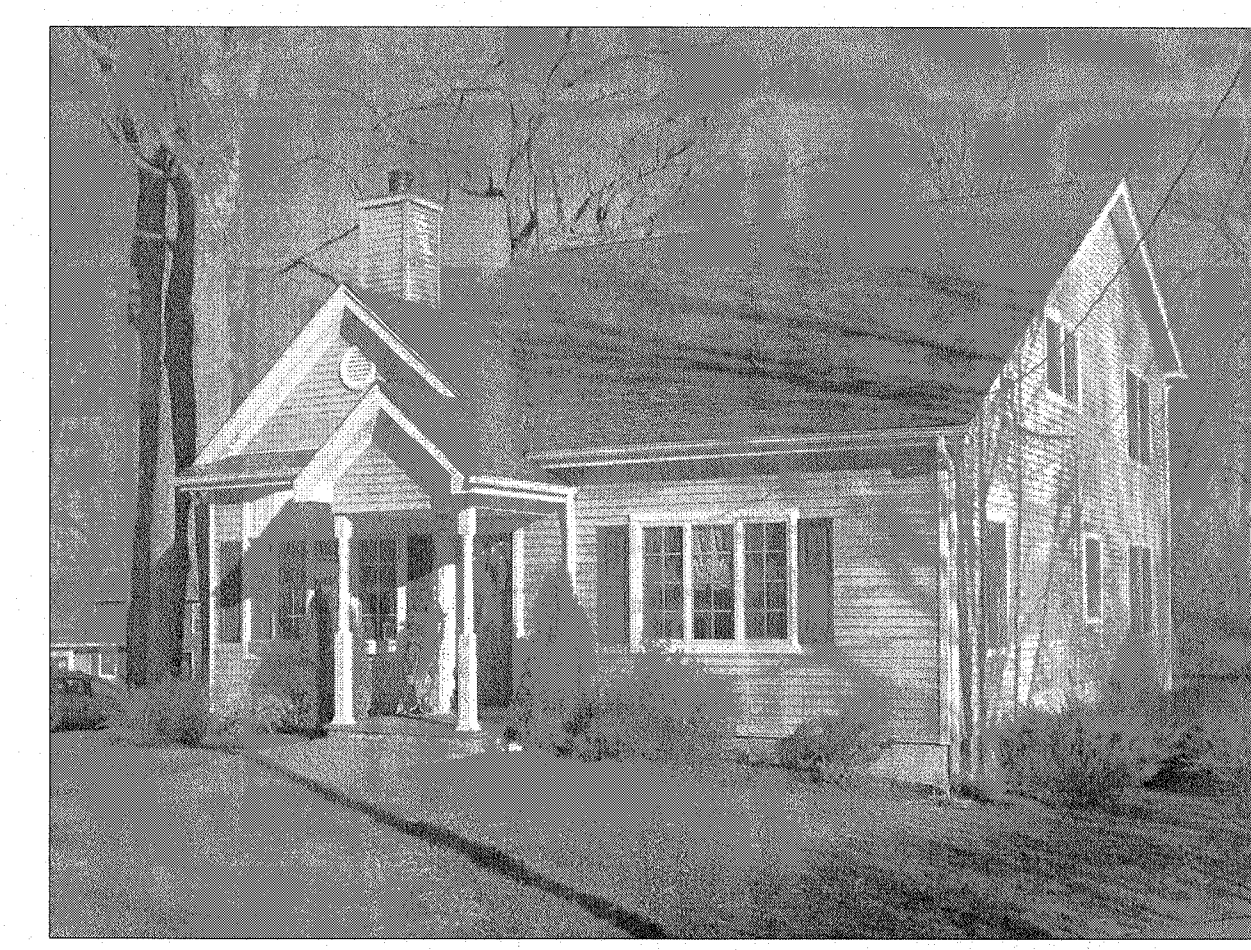
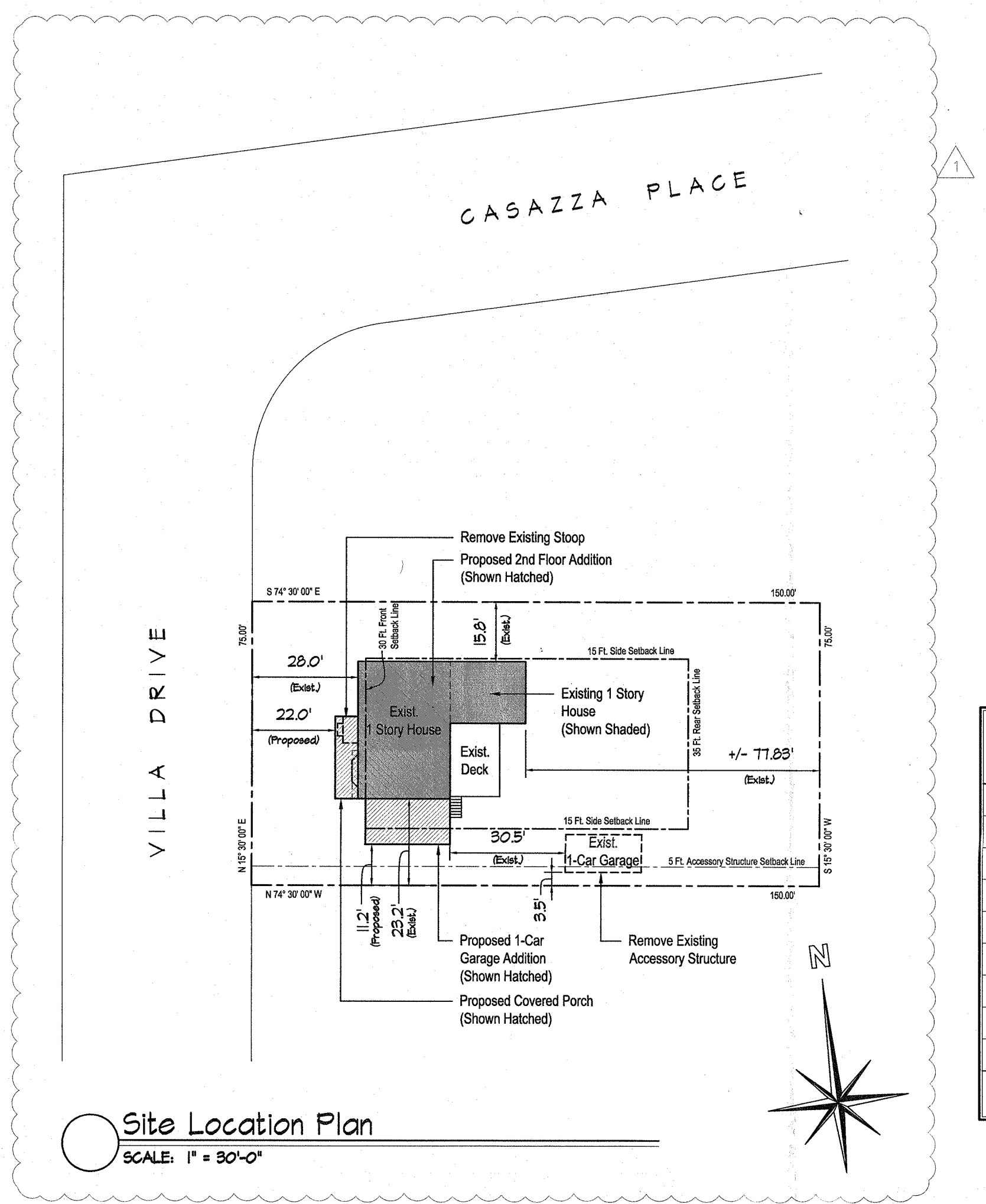
BLOCK

LOT

NAME

PERMIT#

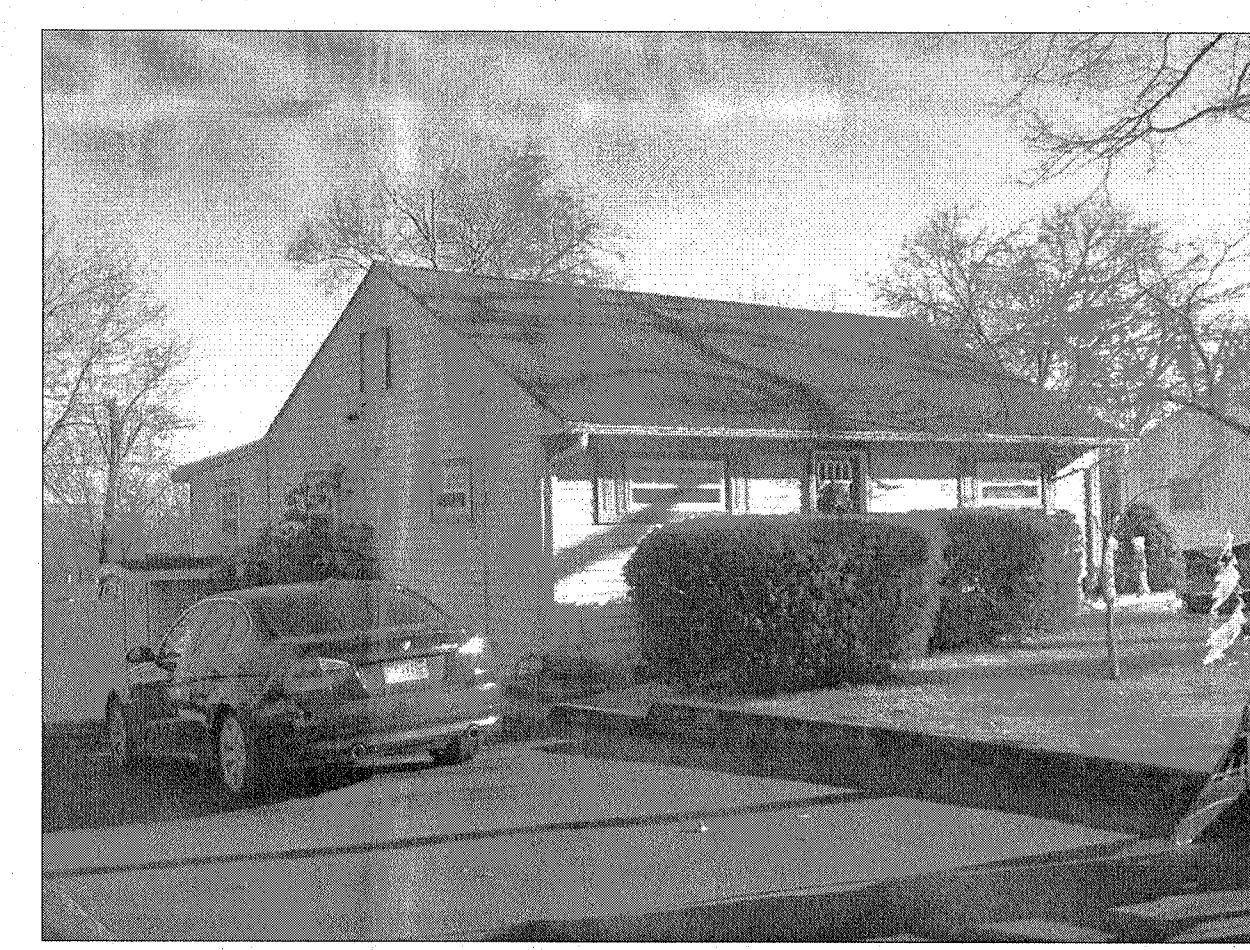




PROPERTY ON LEFT SIDE
SCALE: N.T.S.
10 Villa Road



PROPERTY ACROSS STREET
SCALE: N.T.S.
49 South Reid Drive

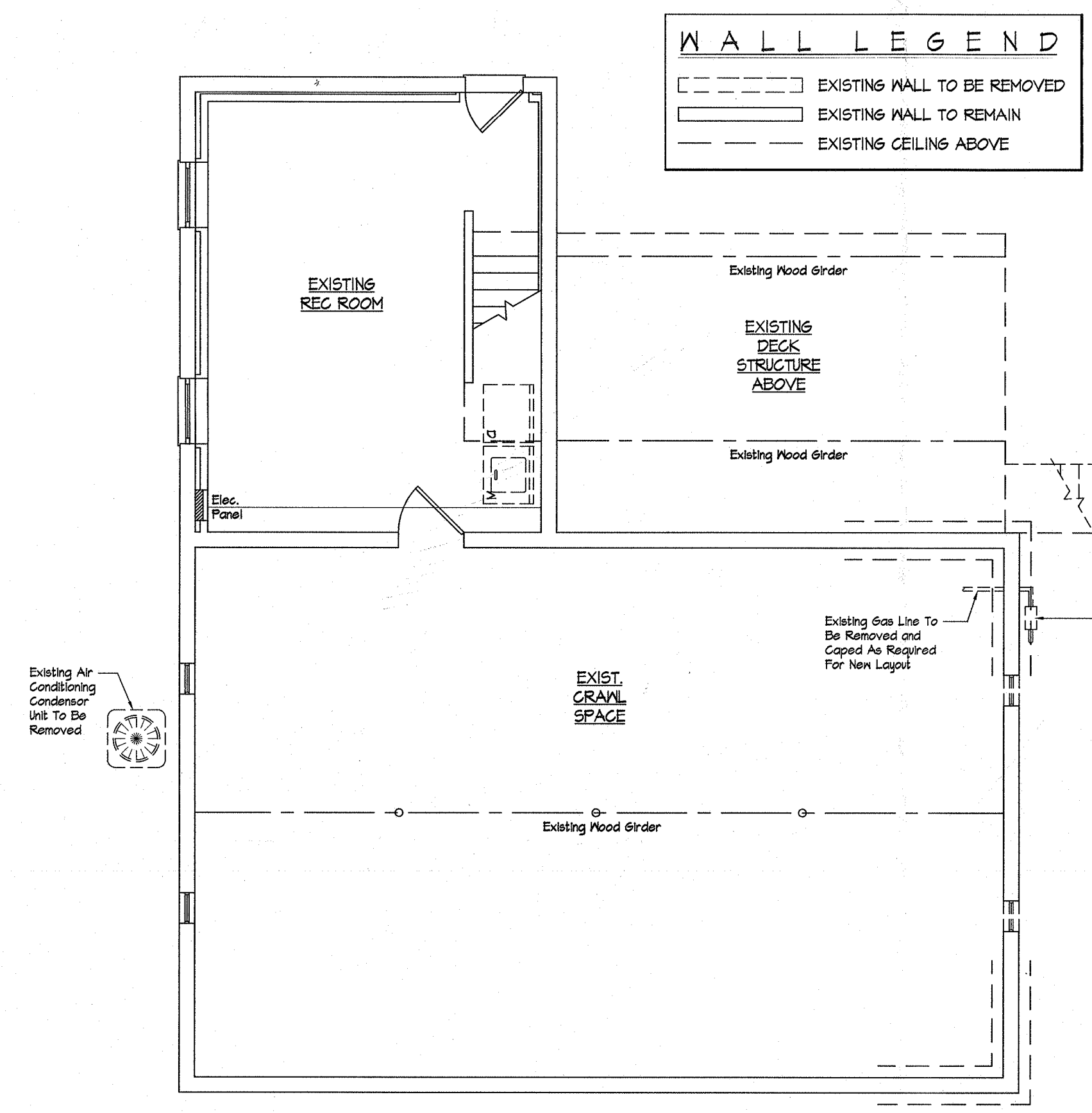


PROPERTY ON RIGHT SIDE
SCALE: N.T.S.
53 South Reid Drive

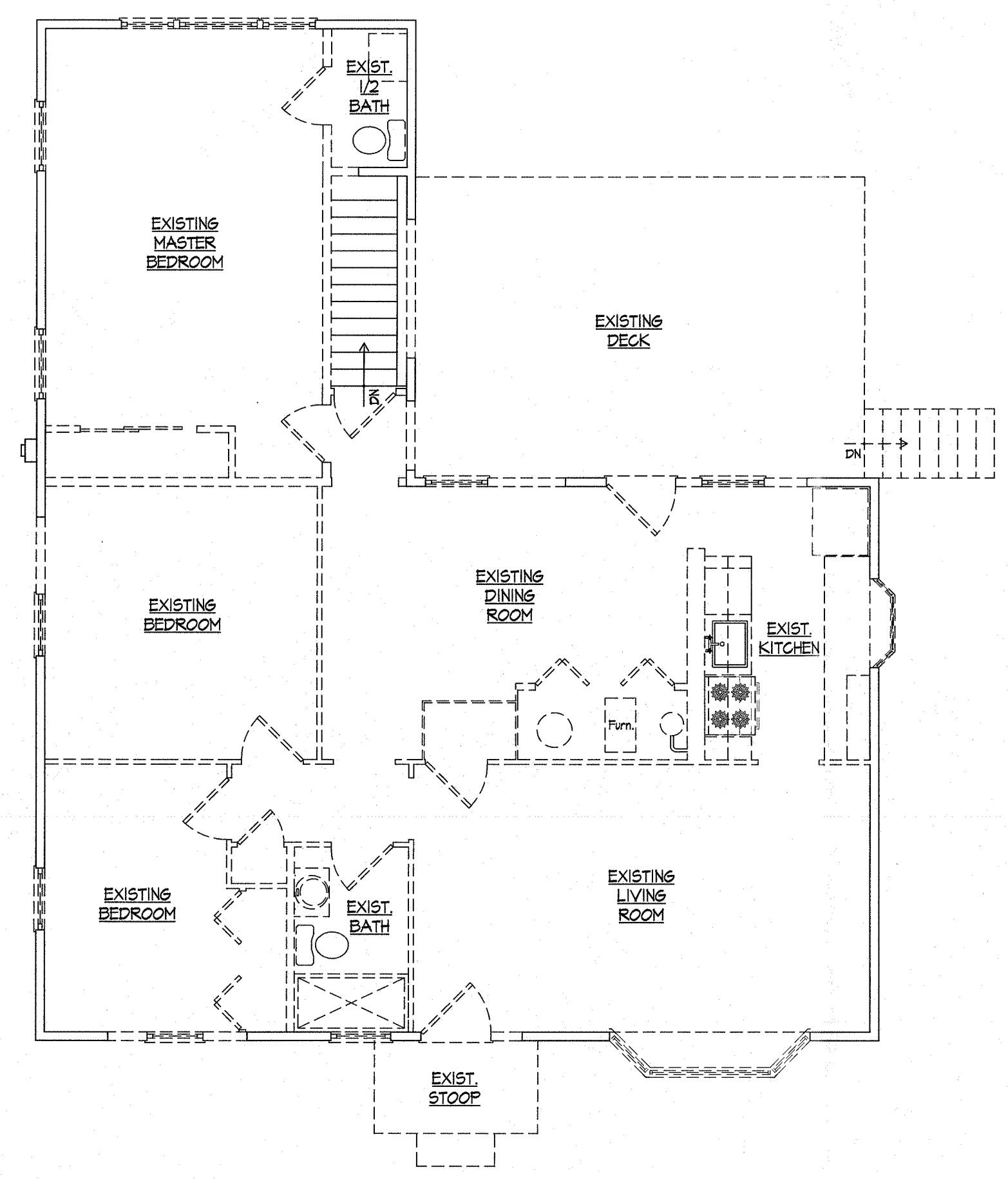
ZONING DATA:				
4 VILLA ROAD, PEARL RIVER, NY 10965 RESIDENTIAL DISTRICT: R-15 (SINGLE FAMILY DETACHED RESIDENCES)				
CATEGORY	REQUIRED / ALLOWED	EXISTING	PROPOSED	COMMENTS
MINIMUM LOT AREA	15,000 SQ. FT.	11,325 SQ. FT.	NO CHANGE	EXISTING NON-COMFORMING
MINIMUM LOT WIDTH	100 FEET	75 FEET	NO CHANGE	EXISTING NON-COMFORMING
MAXIMUM FLOOR AREA RATIO	0.20 (20%)	0.1547 (15.47%)	0.2509 (25.09%)	* VARIANCE REQUIRED
FRONT YARD SETBACK	30 FEET MINIMUM	28 FEET	22 FEET	EXISTING NON-COMFORMING * VARIANCE REQUIRED
SIDE YARD SETBACK	15 FEET MINIMUM [EXCEPTION 5.21(C)]	15.8 FEET	11.2 FEET	* VARIANCE REQUIRED
TOTAL SIDE YARD SETBACK	30 FEET MINIMUM [EXCEPTION 5.21(C)]	39 FEET	27 FEET	* VARIANCE REQUIRED
REAR YARD SETBACK	35 FEET MINIMUM	+/- 77.83 FEET	NO CHANGE	
BUILDING HEIGHT	20 FEET [EXCEPTION 5.21(E)]	+/- 16 FEET	+/- 25.25 FEET	* VARIANCE REQUIRED

*** INFORMATION FOR THIS ZONING DATA TAKEN FROM THE SURVEY OF THE PROPERTY PREPARED BY ROCKLAND BERGEN SURVEYERS, DATED: DECEMBER 13, 1950

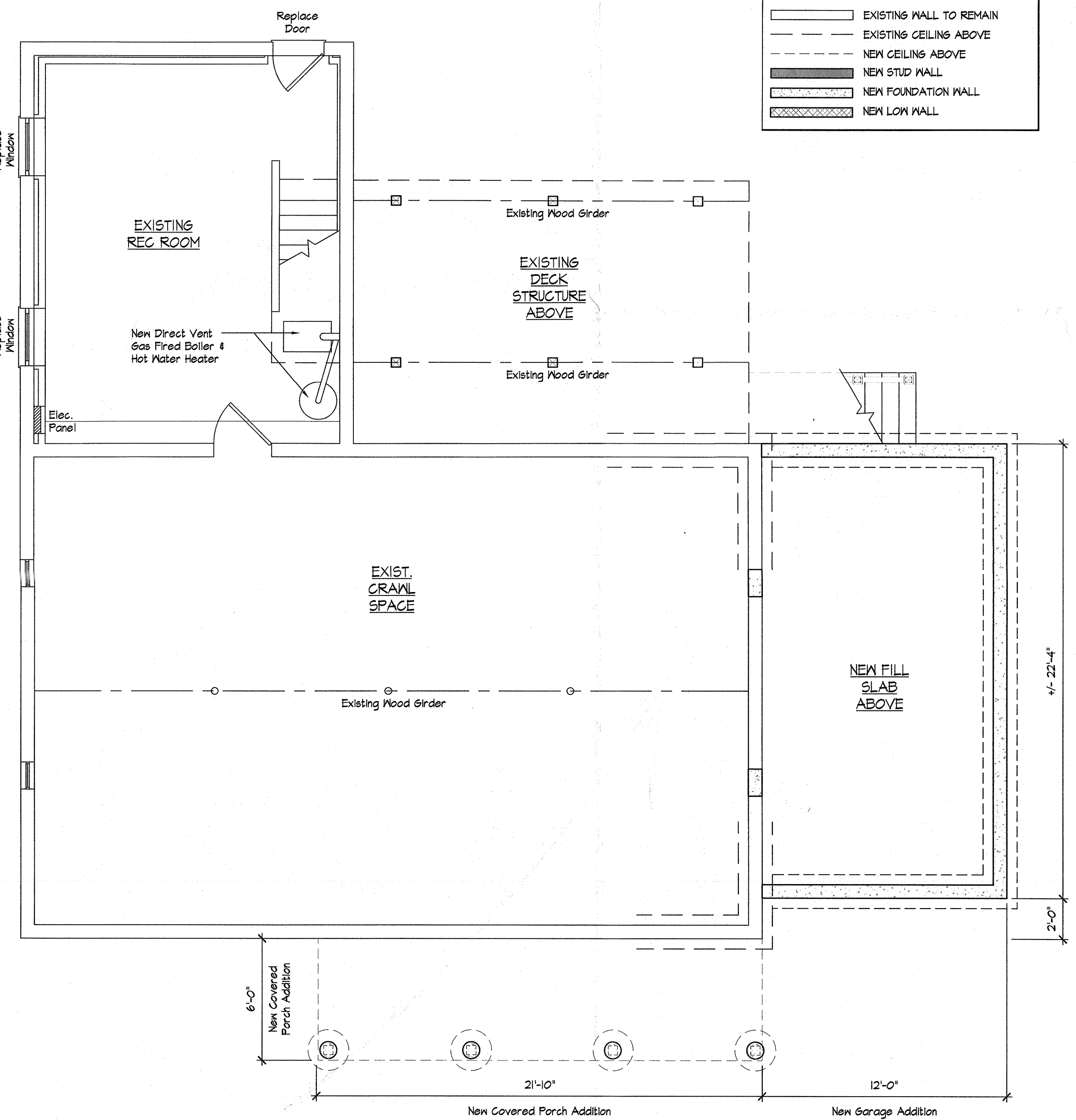
WALL LEGEND			
	EXISTING WALL TO REMAIN		EXISTING CEILING ABOVE
	EXISTING WALL TO BE REMOVED		NEW CEILING ABOVE
	NEW STUD WALL		NEW FOUNDATION WALL
	NEW FOUNDATION WALL		NEW LOW WALL



1 Proposed Demolition Plan - Foundation
SCALE: 3/16"=1'-0"



2 Proposed Demolition Plan - 1st Floor
SCALE: 3/16"=1'-0"

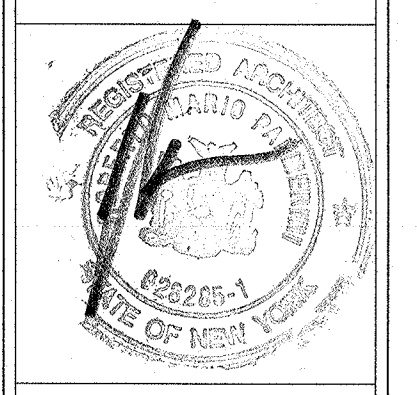


3 Proposed Foundation Plan
SCALE: 1/4"=1'-0"

RECORD OF ISSUES			
ISSUE	DATE	DESCRIPTION	
1	01-14-2020	For Zoning Approval	
2	01-29-2020	Big Dept. Comments	

Renovation & 2nd Floor Addition For:
DEIS RESIDENCE
4 VILLA ROAD
PEARL RIVER, N.Y. 10965

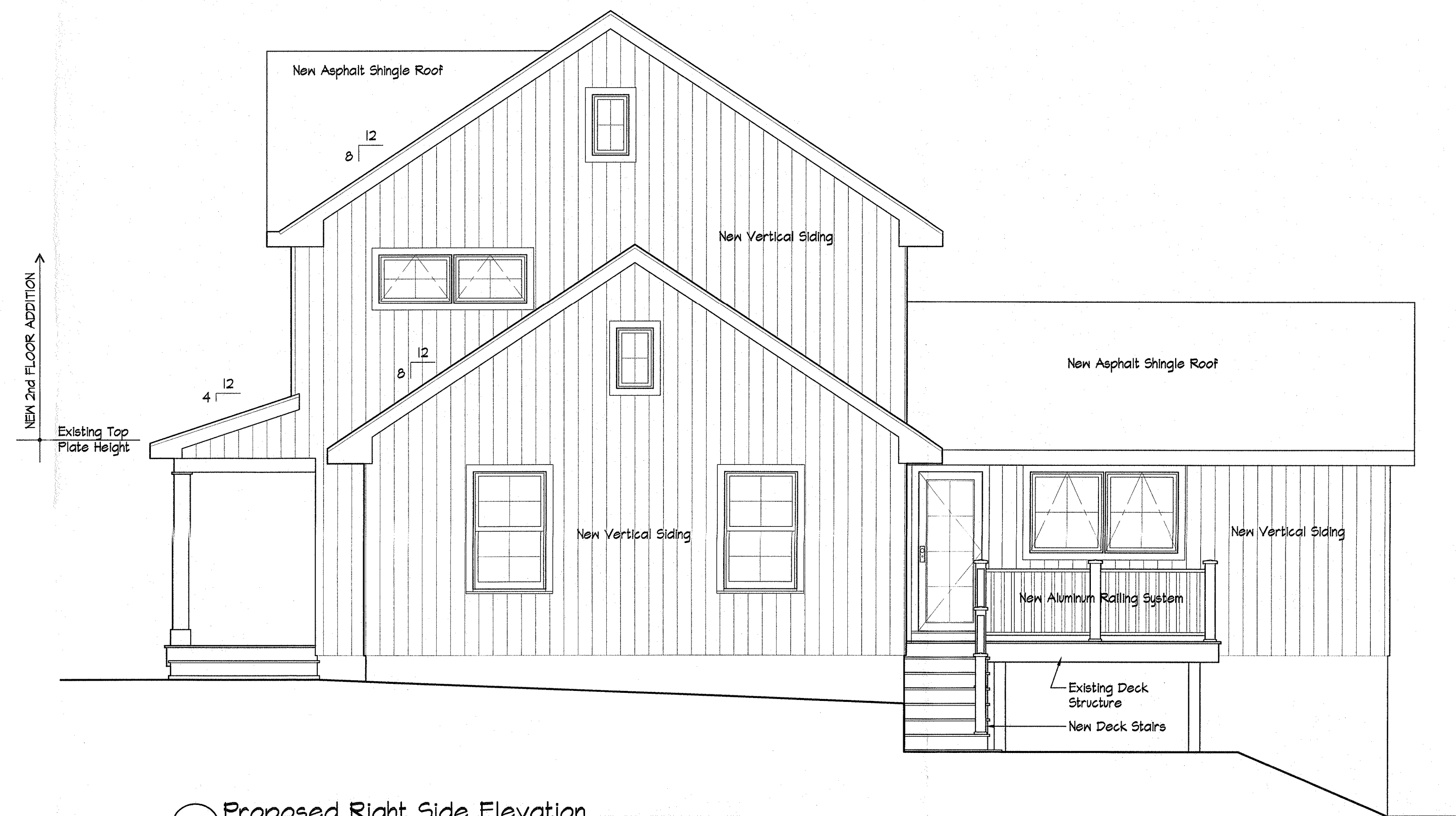
Demolition Plans, Proposed
Foundation Plan, Zoning
Info & Site Location Plan



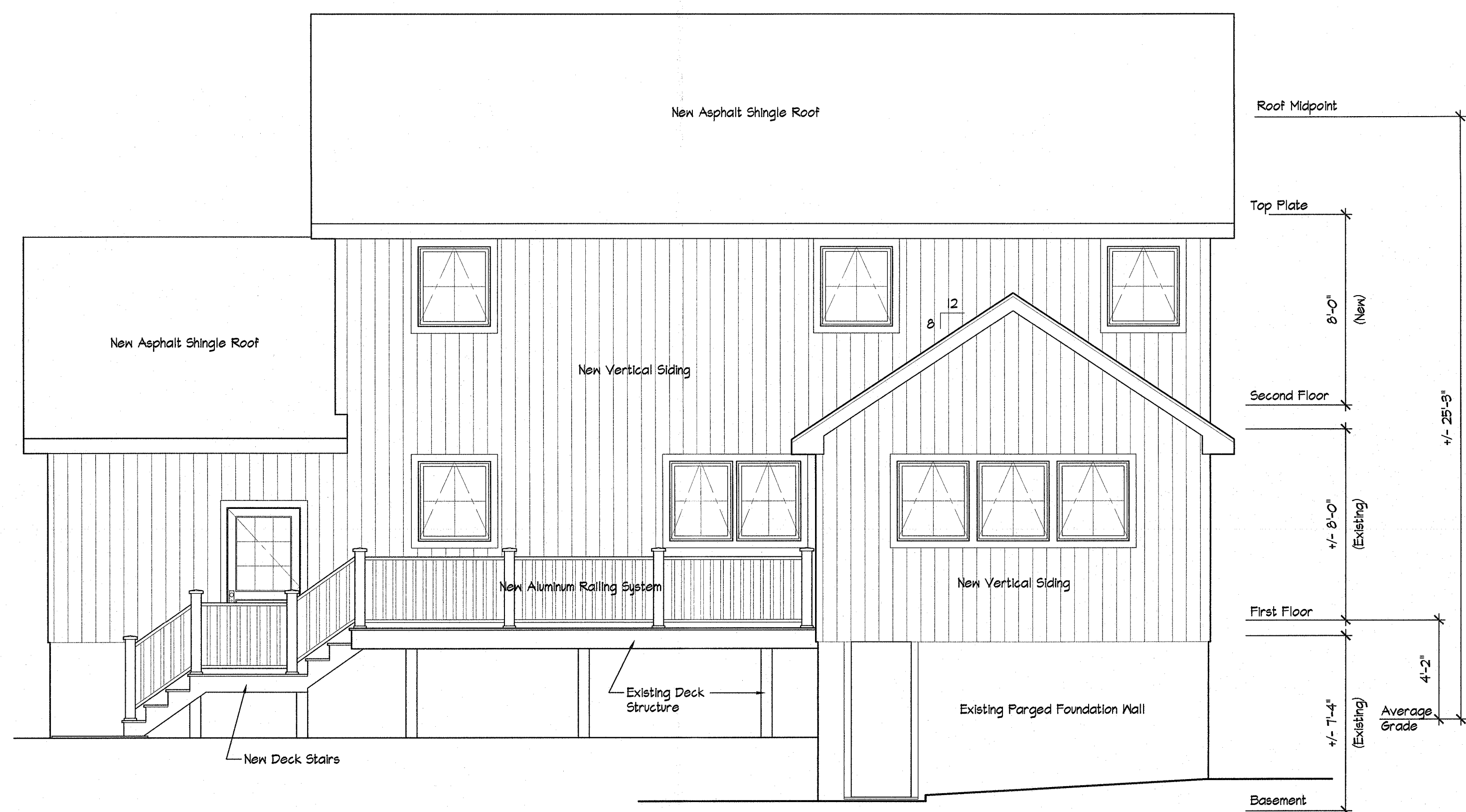
DATE: 01-14-2020
DRAWN BY: RP
SCALE: As Noted
JOB NO.: 2019.12



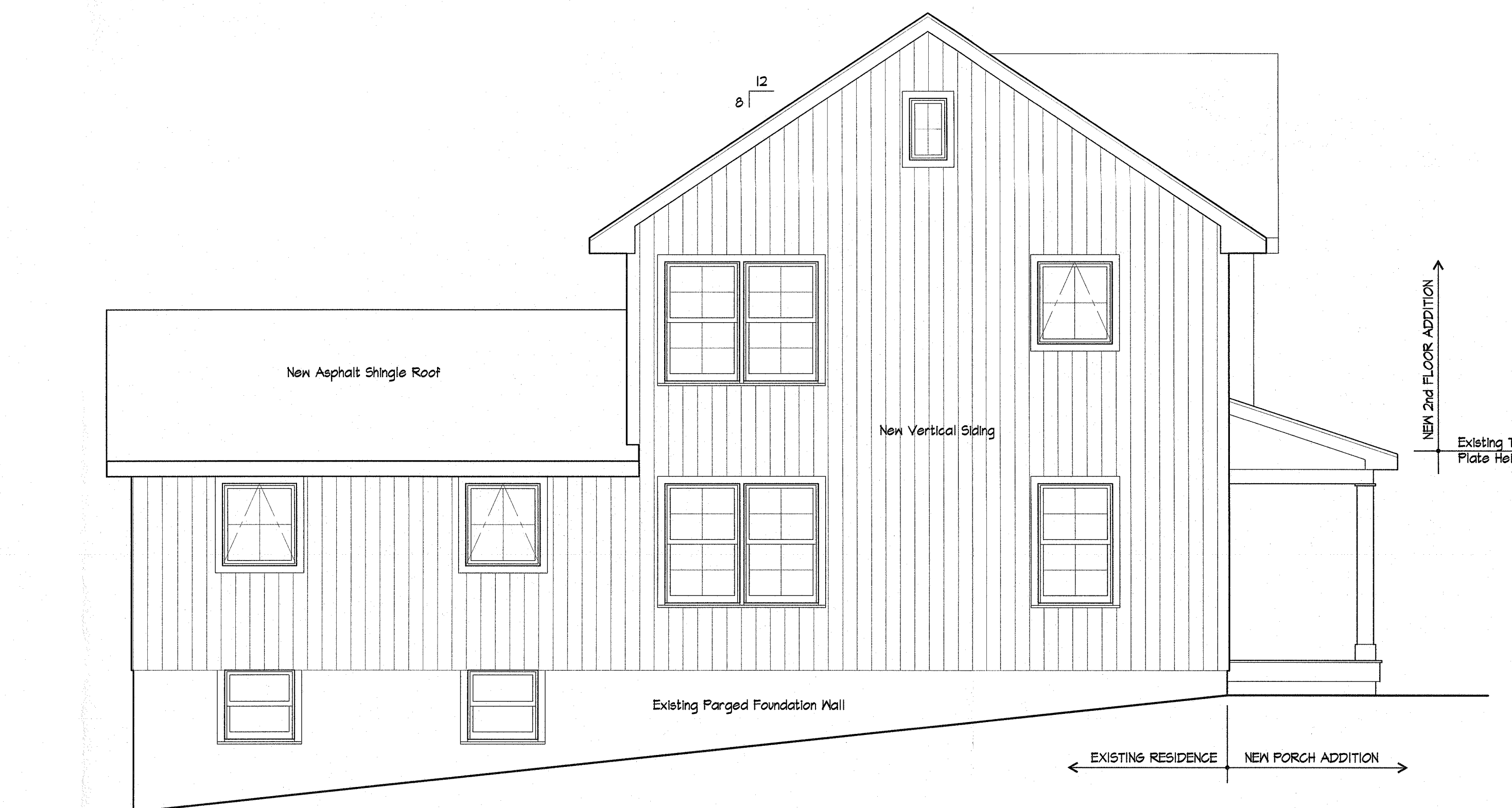
1 Proposed Front Elevation
SCALE: 1/4"=1'-0" West Facade



2 Proposed Right Side Elevation
SCALE: 1/4"=1'-0" South Facade



3 Proposed Rear Elevation
SCALE: 1/4"=1'-0" East Facade



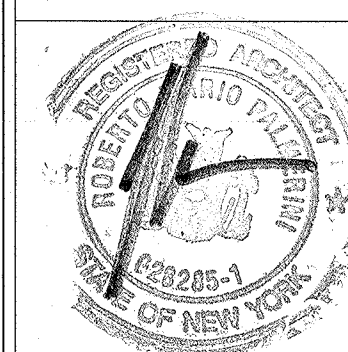
4 Proposed Left Side Elevation
SCALE: 1/4"=1'-0" North Facade

NOTE: Written dimensions on this drawing shall govern over all other dimensions. The contractor shall verify and be responsible for all dimensions and conditions on the site. The architect shall not be responsible for any errors or omissions in the drawing or for any conditions shown on this drawing.

ISSUE	DATE	DESCRIPTION
1	01-14-2020	For Zoning Approval

Renovation & 2nd Floor Addition For:
DEIS RESIDENCE
4 VILLA ROAD
PEARL RIVER, N.Y. 10965

Proposed Exterior Elevations



DATE: 01-14-2020
DRAWN BY: RP
SCALE: 1/4"=1'-0"
JOB NO.: 2019.12

ZB-3