

**OFFICE OF BUILDING, ZONING AND PLANNING
ADMINISTRATION AND ENFORCEMENT
TOWN OF ORANGETOWN
MEMORANDUM**



Date: June 11, 2014

To: Cheryl Coopersmith, Chief Clerk
Planning Board

From: John Giardiello, PE
Director O.B.Z.P.A.E.

Subject: **New Item:**
Hillside Commercial Park Site Plan
Final Site Plan Review (Pearl River)
PB#14-27; LI zoning district
Section 68.11 Block 3 Lots 39 & 40

Submission reviewed: 1) Hillside Commercial Park layout plan last revised
04/08/2014.

- 1.) All easements need to be shown on the site plan.
- 2.) Approval from the Army Corp of Engineers needs to be provided based on the encroachment into the wetlands.
- 3.) The purpose of the underground water well and the owner should be disclosed. More details should be provided.
- 4.) Approval from the NYS DOT will need to be obtained for the construction of the offsite utilities through the Route 304 right of way.
- 5.) The number of parking spaces shown for lot #2 is 102 and 104 is listed in the "Parking Calculation Data". Please correct.
- 6.) The Flood Insurance Rate Map (FIRM) map #36087C0159G, effective date March 3, 2014 indicates the 100 year floodplain elevation at 225 feet

which was the prior elevation under the old FIRM therefore the floodplain letter of March 21, 2012 is still valid, however, a floodplain development permit is required as per local law 1, 2014, Chapter 14B, "Flood Damage Prevention".

- 7.) The height of the retaining wall along the property line separating lots 1 and 2 varies from 2 feet to 10 feet. The retaining wall detail provided on drawing # 12 has a 6 foot maximum height. Please provide a retaining wall detail for the wall height proposed and an engineer's design for the retaining wall, stamped and signed by a New York State Professional Engineer.

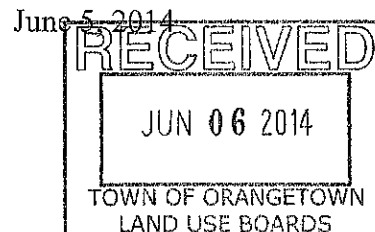
JG:rad
06/06/2014



Department of Environmental Management and Engineering Town of Orangetown

Route 303 Orangeburg New York 10962
Tel: (845) 359-6502 • Fax: (845) 359-6951

Planning Board
Town of Orangetown
1 Greenbush Road
Orangeburg, New York 10962
Attn: Cheryl Coopersmith, Chief Clerk



Re: Hillside Commercial Park Site Plan

PB# 14-27

Gentlemen:

This Department has the following comments/ recommendations.
(This letter supersedes our letter of 5/17/13)

1. A Storm Water Pollution Prevention Plan is **REQUIRED** for this site.
2. This Department has serious concerns about the location of the retaining proposed retaining wall being a part of the proposed water quality/ water quantity basin. The retaining wall appears to function to both retain the proposed parking area but also “hold in” the stormwater runoff volume that will enter the basin. The applicant’s engineer shall thoroughly explain, in the required SWPPP, the affect that the wall will have on water quality and ability of the wall to keep the water in the basin (i.e. what will prevent water from seeping into the wall and undermining the parking area?) The applicant’s engineer is advised that the *New York State Stormwater Management Design Manual* specifically states that “A pond buffer shall be provided that extends 25 feet outward from the maximum water surface elevation of the pond.”(NYSSMDM page 6-14 – Required Elements.)
3. Copies of all correspondence (including any and all approvals) with the New York State Department of Environmental Conservation, U.S. Army Corps. of Engineers, the Rockland County Drainage Agency, etc., in connection with this proposed subdivision, shall be supplied to the Planning Board and this Department, prior to signing the map.
4. The location of the proposed sanitary building connections, for the proposed self storage buildings and the warehouse/ light manufacturing building, shall be shown on the plans.
5. Sanitary calculations for the proposed buildings as well as the design calculations for the proposed sanitary pumping stations, prepared and sealed by a New York State Licensed Professional Engineer, shall be submitted to this Department for review and approval. Also, the proposed forced main from the Warehouse/ Light manufacturing building can NOT tie into the existing forced main on Crooked Hill Road. The proposed Private forced main must be extended to the nearest Town owned gravity manhole.



COUNTY OF ROCKLAND
DEPARTMENT OF PLANNING

Building T
Pomona, NY 10970
(845) 364-3434
Fax: (845) 364-3435

EDWIN J. DAY
County Executive

THOMAS B. VANDERBEEK, P.E.
Commissioner

ARLENE R. MILLER
Deputy Commissioner

May 13, 2014

Orangetown Planning Board
21 Greenbush Road
Orangeburg, NY 10962

Tax Data: 68.11-3-40 68.11-3-39

Re: GENERAL MUNICIPAL LAW REVIEW: Section 239 L and M

Map Date: 4/8/2014

Date Review Received: 4/14/2014

Item: *HILLSIDE COMMERCIAL PARK (O-2140F)*

Site plan for the proposed construction of three buildings totaling 168,100 sq. ft. and a 2,000 sq. ft., two-story office/watchman's residence, in the LI zoning district on a total of 10.22 acres. Lot #1 will contain two self-storage buildings totaling 100,100 sq. ft on 6.99 acres; and lot #2 will contain a 68,000 sq. ft. warehouse/light manufacturing building on 3.23 acres.

East side of NYS Route 304, north side of Hillside Avenue, west side of the railroad right-of-way

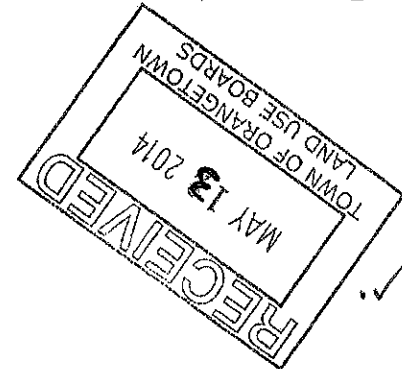
Reason for Referral:

NYS Route 304, Muddy Creek

The County of Rockland Department of Planning has reviewed the above item. Acting under the terms of the above GML powers and those vested by the County of Rockland Charter, I, the Commissioner of Planning, hereby:

****Recommend the following modifications***

- 1 An updated review shall be completed by the New York State Department of Transportation and all required permits obtained.
- 2 The comments and conditions of the April 30, 2014 letter from the Rockland County Drainage Agency must be met. All required permits must also be obtained.
- 3 An updated review shall be completed by the United States Army Corps of Engineers and all required permits obtained.
- 4 An updated review must be completed by the New York State Department of Environmental Conservation and all required permits obtained.
- 5 The comments and conditions in the April 16, 2014 letter from the Rockland County Department of Health must be met.



HILLSIDE COMMERCIAL PARK (O-2140F)

- 6 An updated review must be completed by the Rockland County Office of Fire and Emergency Services.
- 7 Parking calculations are provided for the warehouse use on Lot #1, but not for the office/watchman's residence. Parking for all uses on Lot #1 must be provided.
- 8 It should be clarified by the Town if the parking requirement of one space per two employees or 300 square feet of gross floor area needs to be provided for the larger of the two requirements. There is a great deal of discrepancy between having two parking spaces for the number of employees, and the number of parking spaces being dependent on the gross square footage of the floor area, which would require 334 parking spaces. This must be better defined in the zoning ordinance.
- 9 Road B with the T-turnaround almost ties into Road C on Lot #2 at the northern end. Why not create a tie-in to each road so that full circulation can be done for both roads and eliminate the T-turnaround? This would decrease pavement area and provide better circulation for all vehicles.
- 10 A narrative and other information shall be provided explaining how the overall stormwater management system for both lots will be designed and maintained.
- 11 Wetlands to be preserved and any wetland buffers or setbacks shall be shown as conservation areas on the site plan.
- 12 All wetland and wetland buffer areas to be preserved shall be clearly marked in the field prior to any clearing or construction. Notes shall be placed on the site plan regarding this field-marking requirement, as well as to explain the long-term use restrictions for these areas, including that no accessory structures or uses shall be placed in these areas.
- 13 The Town shall be satisfied that the landscape and lighting plan meets all Town requirements.
- 14 Any public sewer mains requiring extensions within a right-of-way or an easement shall be reviewed and approved by the Rockland County Health Department prior to construction.
- 15 Water is a scarce resource in Rockland County; thus proper planning and phasing of this project are critical to supplying the current and future residents of the Villages, Towns, and County with an adequate supply of water. A letter from the public water supplier, stamped and signed by a NYS licensed professional engineer, shall be issued to the municipality, certifying that there will be a sufficient water supply during peak demand periods and in a drought situation.
- 16 If any public water supply improvements are required, engineering plans and specifications for these improvements shall be reviewed by the Rockland County Department of Health prior to construction. In order to complete an application for approval of plans for public water supply improvements, the water supplier must supply an engineer's report pursuant to the "Recommended Standards for Water Works, 2003 Edition," that certifies their ability to serve the proposed project while meeting the criteria contained within the Recommended Standards for Water Works. These standards are adopted in their entirety in 10 NYCRR, Subpart 5-1, the New York State regulations governing public water systems. Further, both the application and supporting engineer's report must be signed and stamped by a NYS licensed professional engineer and shall be accompanied by a completed NYS Department of Health Form 348, which must be signed by the public water supplier.
- 17 A plan illustrating turning radii for emergency equipment must be provided and demonstrate that the largest fire trucks can maneuver on site.

HILLSIDE COMMERCIAL PARK (O-2140F)

18 Prior to the start of construction or grading, a soil and erosion control plan shall be developed and in place for the entire site that meets the latest edition of the New York State Guidelines for Urban Erosion and Sediment Control.

19 There shall be no net increase in the peak rate of discharge from the site at all design points.

20 The Map Notes are numbered incorrectly; Map Note #11 and Map Note #18 are missing on the sheets (Title Sheet & Drawing #1). In addition, the Title Sheet is missing a Map Note for #22. Except for the last five map notes, all notes on both the Title Sheet and Drawing #1 are identical. To maintain identical notes, all notes must be added, as Title Sheet contains 26 "numbered" map notes, while Drawing #1 only contains 23 "numbered" items, and be consistent (Map Note #24 on the Title Sheet is Map Note #23 on Drawing #1). These errors/omissions must be corrected.

21 Except for the Title Sheet, all other drawings provided show a revision date of 03/02/2013, yet the seven tree wells, and building reduction have been made on these maps, reflecting changes to the plans. The revision dates must be updated to be consistent with the actual drawings to avoid confusion.



Thomas B. Vanderbeek, P.E.
Commissioner of Planning

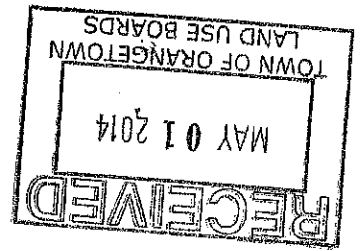
- cc: Supervisor Andrew Stewart, Orangetown
- New York State Department of Transportation
- New York State Department of Environmental Conservation
- Rockland County Drainage Agency
- Rockland County Department of Health
- Rockland County Office of Fire and Emergency Services
- United States Army Corps of Engineers
- Brooker Engineering, PLLC
- Donald Brenner, Esq.

**NYS General Municipal Law Section 239 requires a vote of a 'majority plus one' of your agency to act contrary to the above findings.*

The review undertaken by the Rockland County Planning Department is pursuant to, and follows the mandates of Article 12-B of the New York General Municipal Law. Under Article 12-B the County of Rockland does not render opinions, nor does it make determinations, whether the item reviewed implicates the Religious Land Use and Institutionalized Persons Act. The Rockland County Planning Department defers to the municipality forwarding the item reviewed to render such opinions and make such determinations if appropriate under the circumstances.

In this respect, municipalities are advised that under the Religious Land Use and Institutionalized Persons Act, the preemptive force of any provision of the Act may be avoided (1) by changing a policy or practice that may result in a substantial burden on religious exercise, (2) by retaining a policy or practice and exempting the substantially burdened religious exercise, (3) by providing exemptions from a policy or practice for applications that substantially burden religious exercise, or (4) by any other means that eliminates the substantial burden.

Proponents of projects are advised to apply for variances, special permits or exceptions, hardship approval or other relief.



**COUNTY OF ROCKLAND
DRAINAGE AGENCY**

Division of the Highway Department

23 New Hempstead Road
New City, New York 10956
(845) 638-5081

Fax: (845) 708-7116

Email: highway@co.rockland.ny.us

EDWIN J. DAY
County Executive

CHARLES H. VEZZETTI
Superintendent of Highways
Chairman, Drainage Agency

VINCENT ALTIERI
Executive Director

Via e-mail: ccoopersmith@orangetown.com

April 30, 2014

Town of Orangetown Planning Board
20 Greenbush Road
Orangeburg, New York 10962
Attention: Cheryl Coopersmith

Re: **RCDA Permit Application No. 07-38**
Hillside Commercial Park -- Route 304 LLC
Section 68.16, Block 1, Lot 1; and
Section 68.11, Block 3, Lots 39 & 40
Town of Orangetown Tax Map
Resource: Muddy Creek

Dear Mrs. Coopersmith:

The Rockland County Drainage Agency ("RCDA") has reviewed the above-referenced proposal included with Planning Board referral for Planning Board Meeting dated May 14, 2014 as prepared by Brooker Engineering, PLLC.

The Rockland County Drainage Agency ("RCDA") has previously reviewed the above-referenced parcels and were determined to be within the jurisdiction of the RCDA. Subsequently, the RCDA has received a Stream Control Act Permit Application from the property owner and issued an Application No. 07-38. This project has had multiple reviews by the RCDA and the latest RCDA review letter dated May 8, 2013 is attached for your ready reference.

Please be advised that the RCDA has not received a response from the applicant or its consultant for the permit application review comments indicated in the latest RCDA letter dated May 8, 2013. Please be further advised that, upon receipt and review of a response for the latest RCDA comments from the applicant or its consultant, the RCDA will provide a copy of our review letter with new comments, if any, to the Town Planning Board and Building Department.

Any further decisions or determinations made by the Town of Orangetown land use boards in this matter should indicate that the site is within the jurisdiction of the RCDA and that a permit from the RCDA is required. The RCDA recommends that the Town of Orangetown ensure that the applicant has secured the necessary permits and approvals from all interested and involved agencies as a prerequisite to granting any final approvals. As of this date, a Rockland County Stream Control Act permit has not been issued for this project by the RCDA.

Please contact Shajan S. Thottakara, P.E., CFM, of the RCDA at (845) 638-5081 or thottaks@co.rockland.ny.us if you have any questions regarding this matter.

Very truly yours,

Vincent Altieri
Rockland County Drainage Agency

c: Town of Orangetown Building Department (by e-mail: obzpac@orangetown.com)
Stuart Strow, P.E., Brooker Engineering (by e-mail: stu@brookerengineering.com)
Rockland County Planning Department
Shajan S. Thottakara, P.E., CFM



**COUNTY OF ROCKLAND
DRAINAGE AGENCY**

Division of the Highway Department
23 New Hempstead Road
New City, New York 10956
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C. SCOTT VANDERHOEF
County Executive

CHARLES H. VEZZETTI
Superintendent of Highways
Chairman, Drainage Agency

VINCENT ALTIERI
Executive Director

May 8, 2013

Route 304 LLC
4 Friar Tuck Court
Orangeburg, New York 10962
Attn: Edmund Lane

Re: **RCDA Permit Application No. 07-38**
Hillside Commercial Park – Route 304 LLC
Section 68.16, Block 1, Lot 1; and
Section 68.11, Block 3, Lots 39 & 40
Town of Orangetown Tax Map
Resource: Muddy Creek

Dear Mr. Lane:

The Rockland County Drainage Agency, hereinafter "RCDA," has received the following information regarding the above referenced permit application:

- A. Cover letter with responses to the RCDA letter dated October 25, 2010 from Stuart Strow, P.E. of Brooker Engineering, PLLC to Rockland County Drainage Agency, dated March 28, 2013.
- B. Floodplain Certification Letter from John Giardiello, P.E., Director, Town of Orangetown OBZPAE to Shajan S. Thottakara, P.E., County of Rockland Drainage Agency dated March 21, 2012.
- C. "Stormwater Management System Design Chart" data sheets prepared by Brooker Engineering, PLLC, last revised March 20, 2013 (not signed, stamped or sealed).
- D. "Techo-Bloc Design Chart", Geogrid-reinforced Wall catalog sheets (15 pages).
- E. The "Hillside Commercial Park" drawings prepared by Brooker Engineering, PLLC, signed and stamped by Brian A. Brooker, P.E., dated August 29, 2007 and last revised March 20, 2013:
 - a) Title Sheet, Drawing Number: T,
 - b) Layout Plan, Drawing Number: 1,
 - c) Grading and Utility Plan (1 of 2), Drawing Number: 2,
 - d) Grading and Utility Plan (2 of 2), Drawing Number: 3,
 - e) Soil Erosion & Sediment Control, Drawing Number: 4,
 - f) Landscaping & Lighting Plan, Drawing Number: 5,
 - g) Existing Condition, Drawing Number: 6,
 - h) Road Profiles (1 of 2), Drawing Number: 7,

- i) **Road Profiles (2 of 2), Drawing Number: 8,**
- j) **Drainage Profiles, Drawing Number: 9,**
- k) **Drainage and Sanitary Sewer Profiles, Drawing Number: 10,**
- l) **Force Main Profiles, Drawing Number: 11,**
- m) **Construction Details (1 of 2), Drawing Number: 12; and**
- n) **Construction Details (2 of 2), Drawing Number: 13.**

The RCDA has previously provided the applicant with written comments regarding the application in comment letters dated January 8, 2008, March 7, 2008, February 5, 2010 and October 25, 2010. For clarity and in order to provide a comprehensive review, any outstanding previous outstanding comments are included in the comments provided below.

1. Drawing Number: 4 includes a detail of the proposed silt fence; however, the silt fence location has not been indicated. Please delineate the location of the proposed silt fence on the drawing that will prevent sediment from leaving the disturbed area into the wetland and from the project site.
2. Response Number: 2 in the letter from Brooker Engineering, PLLC, dated March 28, 2013 indicates that Filterra Stormwater Bioretention Filtration units will be utilized for the water quality treatment and that the New York State Department of Environmental Conservation (NYSDEC) has approved them as a proprietary stormwater management practice. Proprietary practices are only approved by the NYSDEC for redevelopment applications or for pre-treatment. Please provide a copy of the approval of the Filterra units by the Town of Orangetown as land use MS4. In addition, please demonstrate that the proposed 6' x 4' Filterra units are adequately sized and spaced.
3. Based on the site grading indicated on Drawing Number:2, runoff from approximately 0.09 acres of the proposed pavement area of 0.75 acres will be directed to the two proposed Filterra Bioretention units. The remaining 0.66 acres will receive no water quality treatment prior to discharging into the wetland. Please provide supporting documents to demonstrate that water quality standards are achieved for the site, based on the "Unified Stormwater Sizing Criteria" indicated in the New York State Stormwater Management Design Manual (NYSSMDM).
4. The required pond buffers are not incorporated into the water quality/detention basin design as described on page 6-14 of the NYSSMDM. The letter from Brooker Engineering, PLLC, dated March 28, 2013 indicates that the water quality/detention basin design has been approved by the Town of Orangetown, acting as land use control MS4, and a waiver will be included in the final SWPPP. Please provide a copy of the documentation from the Town of Orangetown, as the traditional land use control MS4 for this application, indicating that the waiver has been granted, as previously requested in the RCDA comment letter dated February 5, 2010 and October 25, 2010.
5. The "Notes" on Drawing Number: 2 & 3 indicate that any future "Hot Spot" uses on this property, as defined by NYSDEC Stormwater Management Design Manual, must comply with any applicable water quality requirements as required by the NYSDEC; however, it does not indicate there are no 'hotspot' uses presently proposed on the subject property. Please revise the "Notes" on Drawing Number: 2 & 3 to indicate that "there are no stormwater 'hotspots' uses presently proposed at this site and that any future stormwater 'hotspot' uses on this property must comply with all applicable requirements for the stormwater 'hotspot' specified in the New York State Stormwater Management Design Manual."
6. The bottom of the proposed Block Masonry Walls appears to be below the permanent pool elevation indicating the design should reflect saturated soil conditions in contrast to the design chart information. Furthermore, the shallow footing adjacent to a deep pool warrants a confirmation of global stability. The "Techo-Bloc Design Chart" indicates that the bearing capacity of the foundation soil and global stability

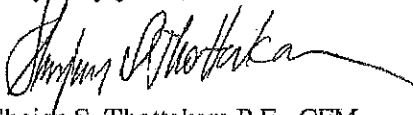
must be verified and validated by a qualified geotechnical engineer. Prior to installation, the site specific Block Masonry Wall design with global stability calculations must be submitted to the RCDA for review and approval. All drawings and calculations must be signed and stamped or sealed by a professional engineer in the State of New York.

7. Drawing Number: 3 indicates that the maintenance of the detention basin shall be the self-responsibility of the owners of Lot #1 and Lot # 2. A legally binding maintenance agreement shall be executed between lot owners. In addition, response No. 8 in the letter from Brooker Engineering, PLLC, dated March 28, 2013 indicates deeds of record will include a deed covenant that requires operation and maintenance of the stormwater management practices. Please provide a copy of the legally binding maintenance agreement executed between lot owners and a deed covenant that requires operation and maintenance of the stormwater management practices.
8. Please provide a copy of the "MS4 SWPPP Acceptance" form signed by the Executive Officer or ranking elected official or by a duly authorized representative of that person from the Town of Orangetown, as previously requested.
9. As previously requested, please provide a copy of the acknowledgement letter from the New York State Department of Environmental Conservation indicating that the applicant has filed its Notice of Intent that includes a "SWPPP Preparer Certification Statement" for Stormwater Compliance.

Please note that all drawings and calculations submitted in support of the application must be signed and stamped or sealed by a Professional Engineer or a Registered Architect licensed in the State of New York.

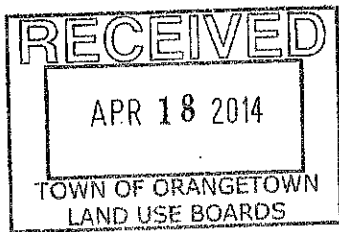
Please provide the requested information at your earliest convenience in order for the RCDA to continue processing the above-referenced application. The RCDA staff are available to meet with the applicant and/or his/her professionals to discuss the comments in detail. Please contact the undersigned at (845) 638-5081 or by e-mail: thottaks@co.rockland.ny.us, if you would like to schedule a meeting or if you have any questions/comments regarding this matter.

Very truly yours,



Shajah S. Thottakara P.E., CFM
Rockland County Drainage Agency

cc: Vincent Altieri, RCDA
Town of Orangetown Planning Board (by e-mail: ccoopersmith@orangetown.com)
Town of Orangetown Building Department
(by e-mail: OBZPAE@orangetown.com & jfeiertag@orangetown.com)
Stuart Strow, P.E., Brooker Engineering (by e-mail: stu@brookerengineering.com)
NYSDEC Division of Permits, Region 3 (by e-mail: r3dep@gw.dec.state.ny.us)
Rockland County Department of Planning



County of Rockland

ROCKLAND COUNTY DEPARTMENT OF HEALTH
The Dr. Robert L. Yeager Health Center
50 Sanatorium Road – Building D
Pomona, New York 10970

ENVIRONMENTAL HEALTH PROGRAM

Telephone: (845) 364-2608
Fax: (845) 364-2025
www.rocklandgov.com/health

EDWIN J. DAY
County Executive

PATRICIA S. RUPPERT, DO, FAAFP
Commissioner of Health

RON HANSEN, MBA
Deputy Commissioner of Health

JUDITH M. HUNDERFUND, P.E.
Director, Environmental Public Health



Public Health
Prevent. Promote. Protect.

April 16, 2014

Ms. Cheryl Coopersmith, Clerk
Town of Orangetown Planning Board
20 Greenbush Road
Orangetown, NY 10962

Re: Hillside Commercial Park, Tax Lots 68.11-3-39 & 40

Dear Ms. Coopersmith:

We have received the above referenced subdivision plans as prepared by Brooker Engineering, PLLC, revised through April 8, 2014. Our comments are as follows:

1. A Transportation Corporation must be formed in accordance to Article 10, "Sewage-Works Corporations" of the New York State Transportation Corporation Law. This office will conduct a detailed review when the formal application is made to the Health Department
2. Application is to be made to the RCDOH for a water main extension. This application is to be made through United Water New York.
3. Application is to be made to the RCDOH for review of the storm water management system for compliance with the County Mosquito Code.

If you have any questions regarding this matter, please contact the undersigned.

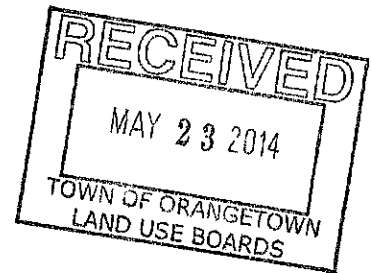
Very truly yours,

Scott McKane, P.E.
Senior Public Health Engineer
(845) 364-2642

cc: Brooker Engineering, PLLC
Arlene Miller, Rockland County Department of Planning
Brian Hunderfund, RCDOH



STATE OF NEW YORK
DEPARTMENT OF TRANSPORTATION
275 Ridge Road
New City, N.Y. 10956
(845)634-1892, FAX (845)634-2141

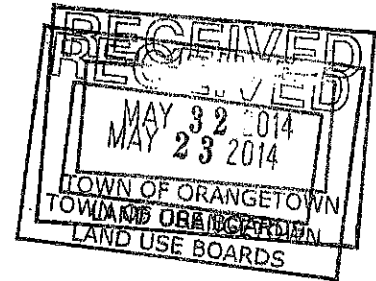


BILL GORTON
ACTING REGIONAL DIRECTOR

JOAN MCDONALD
COMMISSIONER

May 14, 2014

Town of Orangetown Planning Board
20 Greenbush Road
Orangeburg, N.Y. 10962



RE: Hillside Commercial Park, Rt. 304/Hillside Ave, Orangetown

To Whom It May Concern:

I have reviewed the last revised submission for the above subject project last revised on April 8, 2014. Please note that our comments previously sent on April 1, 2008 and May 2, 2013 have not been addressed. Please provide a written response to the comments and revise the plans accordingly.

If you have any questions, you may reach me at 845-634-1892. Thank you.

Sincerely,

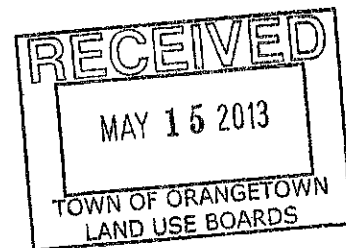
A handwritten signature in cursive script that reads 'Mary Jo Russo'.

Mary Jo Russo, PE
Rockland County Permit Engineer

CC: M. Sassi, Regional Permit Coordinator, Reg. 8
A. Shareef, Planning, Reg. 8
Rockland County Dept. of Planning, 50 Sanatorium Rd., Building T, Pomona, NY 10970
Brooker Engineering, 76 Lafayette Ave. Suffern, NY 10901
File



STATE OF NEW YORK
DEPARTMENT OF TRANSPORTATION
275 Ridge Road
New City, N.Y. 10956
(845)634-1892, FAX (845)634-2141



BILL GORTON, PE
ACTING REGIONAL DIRECTOR

JOAN MCDONALD
COMMISSIONER

May 2, 2013

Town of Orangetown Planning Board
20 Greenbush Road
Orangeburg, N.Y. 10962

RE: Hillside Commercial Park, Rt. 304/Hillside Ave., Orangetown
SEQRA 07-121

To Whom It May Concern:

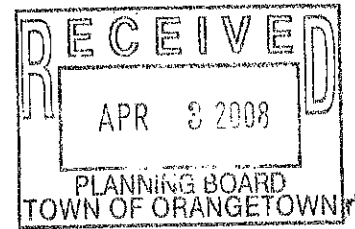
Our office has reviewed the revised site plans for the above subject project and has the following comments:

1. The comments listed in the attached letter dated April 1, 2008 have yet to be addressed in the subject plan submittal.
2. The number of parking spaces provided has increased by 65. To insure the original traffic analysis has not changed, please justify the increase in parking.
3. Please note there shall be no changes in grading in the state right of way. While it is understood that the permittee has received a Use and Occupancy permit for the placement of utilities in the NYSDOT right of way, the final grade shall remain the same. This shall be noted on the plans and the limit of disturbance shall be shown on the plans.

If you have any questions, you may reach me at 845-634-1892. Thank you.

Sincerely,

Mary Jo Russo, PE
Rockland County Permit Engineer



STATE OF NEW YORK
DEPARTMENT OF TRANSPORTATION
275 Ridge Road
New City, N.Y. 10956
(845)634-4661, FAX (845)634-2141

JOAN DUPONT
REGIONAL DIRECTOR

ASTRID C. GLYNN
COMMISSIONER

April 1, 2008

Town of Orangetown Planning Board
20 Greenbush Road
Orangeburg, N.Y. 10962

RE: Hillside Commercial Park, Hillside Ave./Rt. 304

To Whom It May Concern:

Our office has reviewed the site plans, traffic study and drainage study for the above subject plan and has the following comments:

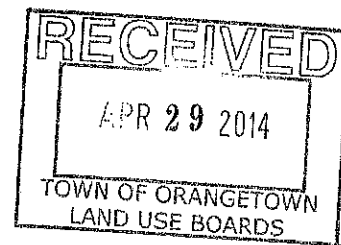
1. We recommend that Hillside Ave. be widened to allow for a right turn lane and a left turn/through lane.
2. The drainage report is missing the following information. Please forward the revised report to our office for review.
 - a. The drainage report does not include details for the outlet control of the detention basin.
 - b. The drainage report does not include high water elevations for the proposed location of the detention basin.
 - c. The report must be signed and stamped by a P.E..

If you have any questions, you may reach me at 845-634-4661. Thank you.

Sincerely,

Mary Jo Russo, PE
Rockland County Permit Engineer

Hillside



Town of Orangetown
Bureau of Fire Prevention
20 Greenbush Road
Orangeburg, N.Y. 10962
Ph (845)365-0204*fax (845)365-0241

April 28, 2014

Site Plan Comments "Hillside Commercial Park Subdivision"

As written in our comments dated 5/13/13, we are again requesting the following:

Provide a site plan showing all fire service features and all buildings on one page: show turning radius for a 254 inch wheelbase fire apparatus navigating entire site on all roadways including hammerhead turnaround Indicate the Following: 1. fire hydrant locations. 2. Fire lanes-signs and striping. 3. Road widths. 4. Gates. 5. Proposed Fire Department connections for fire sprinkler systems(hydrant placement can be affected by these locations).

There is a concern as to there only being one means of access to the entire site, some type of emergency vehicle only access gate may be required to allow secondary access.

As the New York Fire Code dictates: **F503.1.2 Additional access.** The code enforcement official is authorized to require more than one fire apparatus access road based on the potential for impairment of a single road by vehicle congestion, condition of terrain, climatic conditions or other factors that could limit access.


The site has been prone to severe flooding, the primary entrance has been inaccessible in past flooding events, a fire or any other type emergency during a flood could prove disastrous, and accessing the site across an active rail line as a second means of emergency access is not an option.

- 1) All roadways, turnarounds etc... must provide a proper turning radius to accommodate a 55 foot long piece of fire apparatus with a wheelbase of 254 inches.
- 2) All roadways must be a minimum of 20 feet in width with vertical clearance of 13 Feet 6 inches. Where a fire hydrant is located on a roadway the road width must be 26 feet.
- 3) Bridges, culverts, elevated surfaces shall comply with the following:
Where a bridge or an elevated surface is part of a fire apparatus access road, the bridge shall be

constructed and maintained in accordance with AASHTO *Standard Specification for Highway Bridges*. Bridges and elevated surfaces shall be designed for a live load sufficient to carry the imposed loads of fire apparatus. Vehicle load limits shall be posted at both entrances to bridges when required by the Fire Inspector. Where elevated surfaces designed for emergency vehicle use are adjacent to surfaces which are not designed for such use, approved barriers, approved signs or both shall be installed and maintained when required by the Fire Inspector.

- 4) Fire hydrants shall be provided with a maximum spacing of 500 feet between each. As shown on site plan map drawing #1.
- 5) Provide proper architectural drawings of proposed structures.
- 6) Install and maintain fire sprinkler systems as per NFPA 13.
- 7) Install and maintain fire alarm systems as per NFPA 72. In addition fire alarm systems are to be addressable and transmit in contact id format to 44- Control.
- 8) Fire alarm systems are required to have exterior mounted amber strobe light for Activation of detection devices and manual pull stations. In a addition a red strobe light shall be installed on the exterior to indicate sprinkler water flow. (Location for strobe lights shall be determined by fire inspector)
- 9) Key boxes for fire department access shall be installed on each building in a location to be determined by Fire Inspector. (Order form shall be provided by Fire Inspector)
- 10) 5 inch storz fire department connections for the fire sprinkler systems shall be provided in a location to be determined by the Fire Inspector. In addition a sign indicating "FDC" in six inch red reflective letters shall be installed at a minimum of four feet above the connection.
- 11) Portable fire extinguishers shall be installed and maintained as per NFPA 10.
- 12) Upon review of structural drawings a determination shall be made as to the requirements of a standpipe system.
- 13) It appears that a four inch water main may be inadequate to support fire flows. Provide certified documentation of such.
- 14) Apply for and maintain a Certificate of Compliance Fire Safety.

- 15) All roadways other than designated parking spaces will be designated as NO parking no standing fire lanes. Any fire lane less than 26 ft wide must have fire lane signs and striping on both sides. Any fire lane over 26 ft wide must be striped and signed on one side.
- 16) Provide a site plan showing all fire service features and all buildings on one page: show turning radius for a 254 inch wheelbase fire apparatus navigating entire site on all roadways including hammerhead turnaround Indicate the Following: 1. fire hydrant locations. 2. Fire lanes-signs and striping. 3. Road widths. 4. Gates.
- 17) There is a concern as to there only being one means of access to the entire site, some type of emergency vehicle only access gate may be required to allow secondary access.


Michael B. Bettmann
Chief Fire Inspector
Town of Orangetown